

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0428

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Paramsivam Arumugam and Chaitali Nandkumar Agaskar  
Address 1 COPELAND RD BRAMPTON, ON L6Y 2S5  
  
Phone # L6Y 2S5 Fax #  
Email kumz92B4@yahoo.co.in

2. Name of Agent SARAH MAHDI  
Address 1356 WEIR CHASE, MISSISSAUGA ON , L5V 2W9  
  
Phone # 6472819294 Fax #  
Email SARAH@SNSDESIGNANDBUILD.COM

3. Nature and extent of relief applied for (variances requested):  
SIDE BELOW GRADE ENTRANCE

4. Why is it not possible to comply with the provisions of the by-law?  
SIDE SETBACK FROM BELOW GRADE ENTRANCE DOESN'T MEET THE MINIMUM  
REQUIRNMENTS.

5. Legal Description of the subject land:  
Lot Number 159  
Plan Number/Concession Number  
Municipal Address 1 COPELAND RD

6. Dimension of subject land (in metric units)  
Frontage 15.20  
Depth 33  
Area 450

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)  
EXISTING 2-STOREY SINGLE FAMILY DWELLING. EXISTING REAR DECK. EXISTING DRIVEWAY.

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:  
PROPOSED SIDE BELOW GRADE ENTRANCE.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

<b>EXISTING</b>	
Front yard setback	<u>6.53</u>
Rear yard setback	<u>7.55</u>
Side yard setback	<u>1.27</u>
Side yard setback	<u>1.28</u>
<b>PROPOSED</b>	
Front yard setback	<u>6.53</u>
Rear yard setback	<u>7.55</u>
Side yard setback	<u>1.27</u>
Side yard setback	<u>1.28</u>

10. Date of Acquisition of subject land: N/A
11. Existing uses of subject property: SINGLE FAMILY DWELLING
12. Proposed uses of subject property: 2-UNIT DWELLING
13. Existing uses of abutting properties: SINGLE FAMILY DWELLINGS
14. Date of construction of all buildings & structures on subject land: N/A
15. Length of time the existing uses of the subject property have been continued: N/A

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ OF \_\_\_\_\_

THIS 01 \_\_\_\_\_ DAY OF AUGUST, 2024.



IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, \_\_\_\_\_, OF THE \_\_\_\_\_ OF \_\_\_\_\_

IN THE \_\_\_\_\_ OF \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

\_\_\_\_\_ OF \_\_\_\_\_

IN THE \_\_\_\_\_ OF \_\_\_\_\_

\_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_, 20\_\_\_\_.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1D, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar  
Zoning Officer

2024/11/04  
Date

DATE RECEIVED

Nov 13, 2024

Date Application Deemed  
Complete by the Municipality

SE LR

Revised 2022/02/17

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 1 COPELAND RD

I/We, Paramsivam Arumugam and Chaitali Nandkumar Agaskar  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

SARAH MAHDI  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 01 day of AUGUST, 2024.

✗

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)



(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**



**PERMISSION TO ENTER**


To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 1 COPELAND RD

I/We, Paramsivam Arumugam and Chaitali Nandkumar Agaskar  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

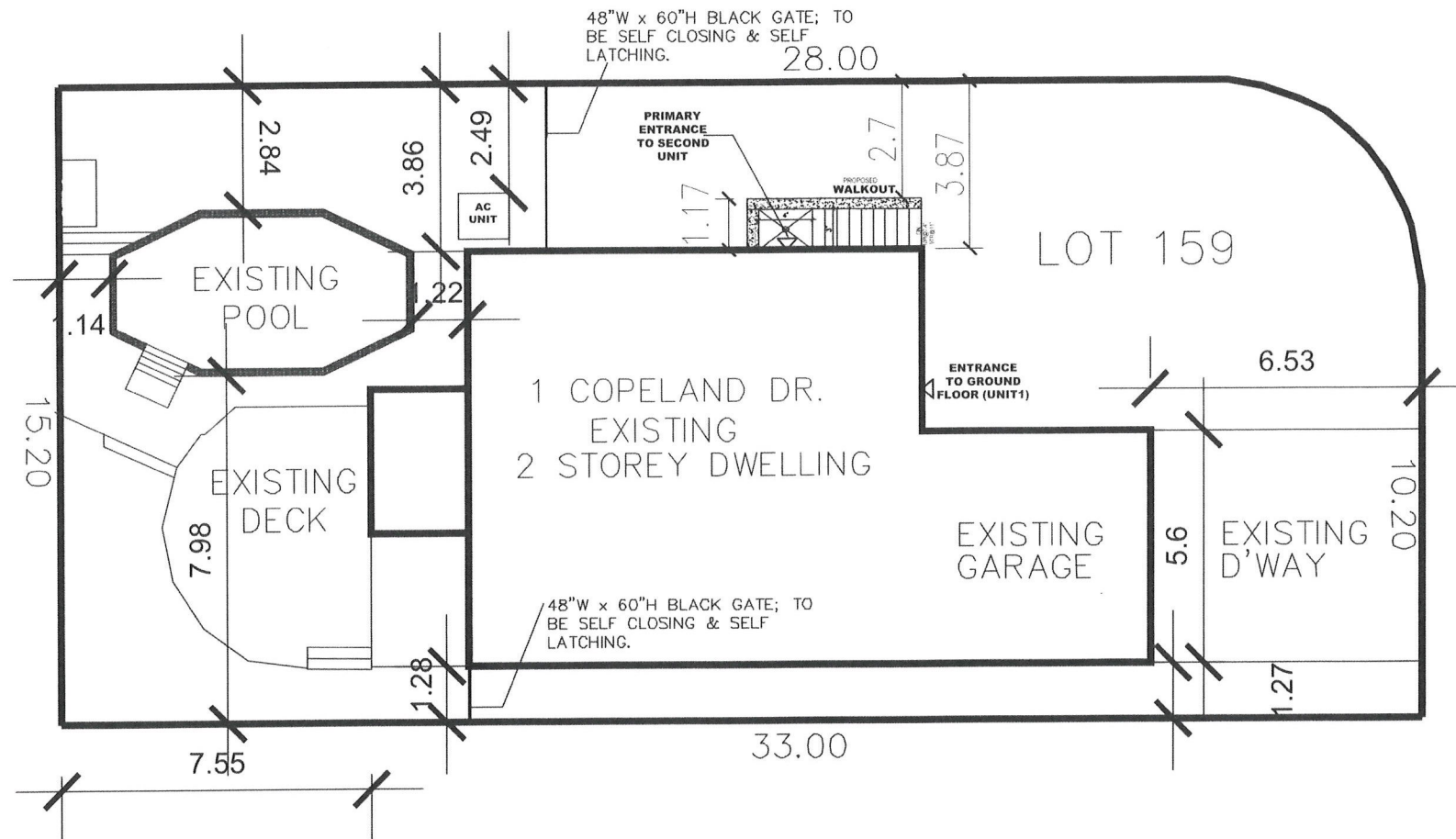
Dated this 01 day of AUGUST, 2024.

 \_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)


**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

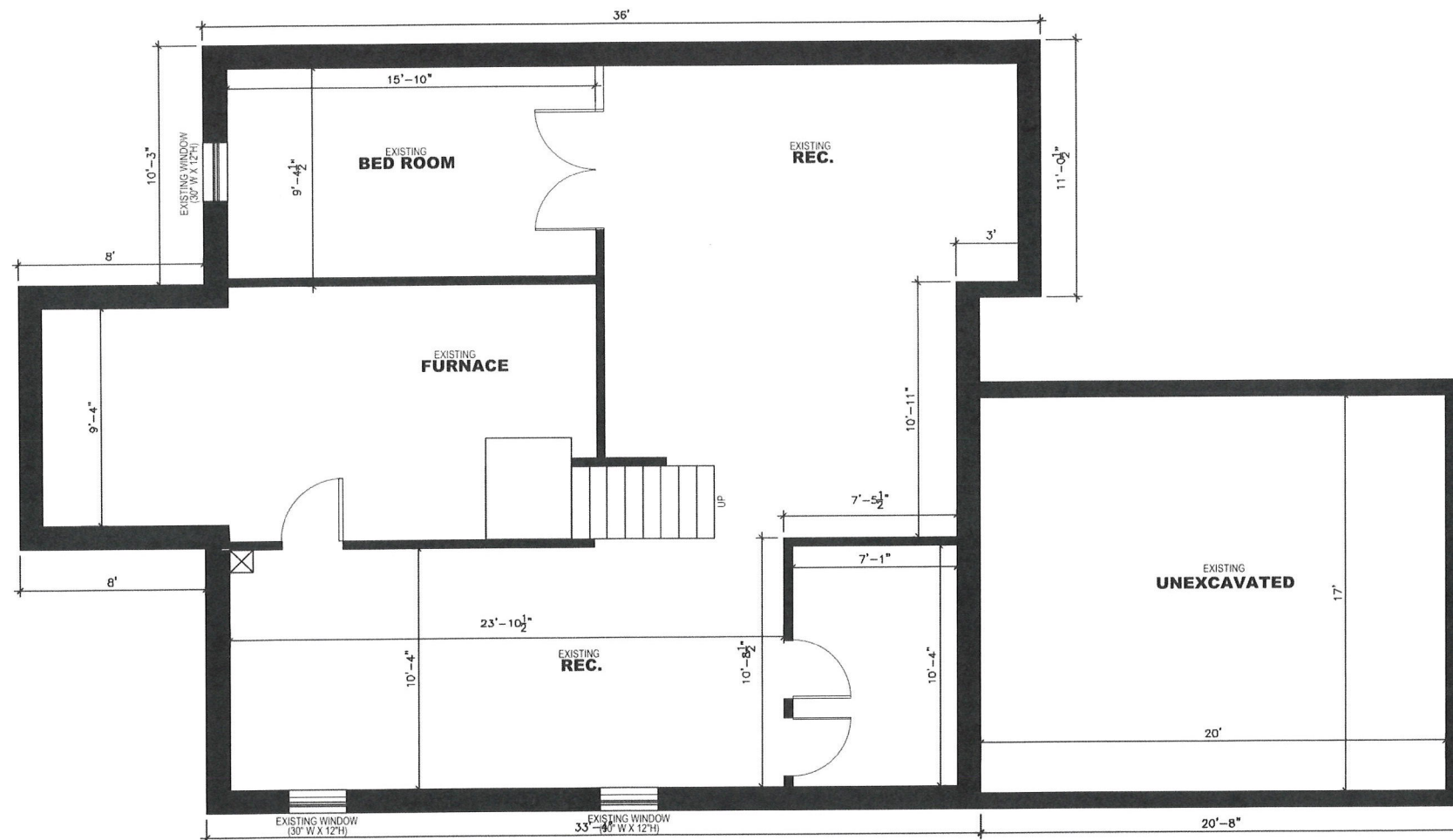
**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



# **SITE PLAN**




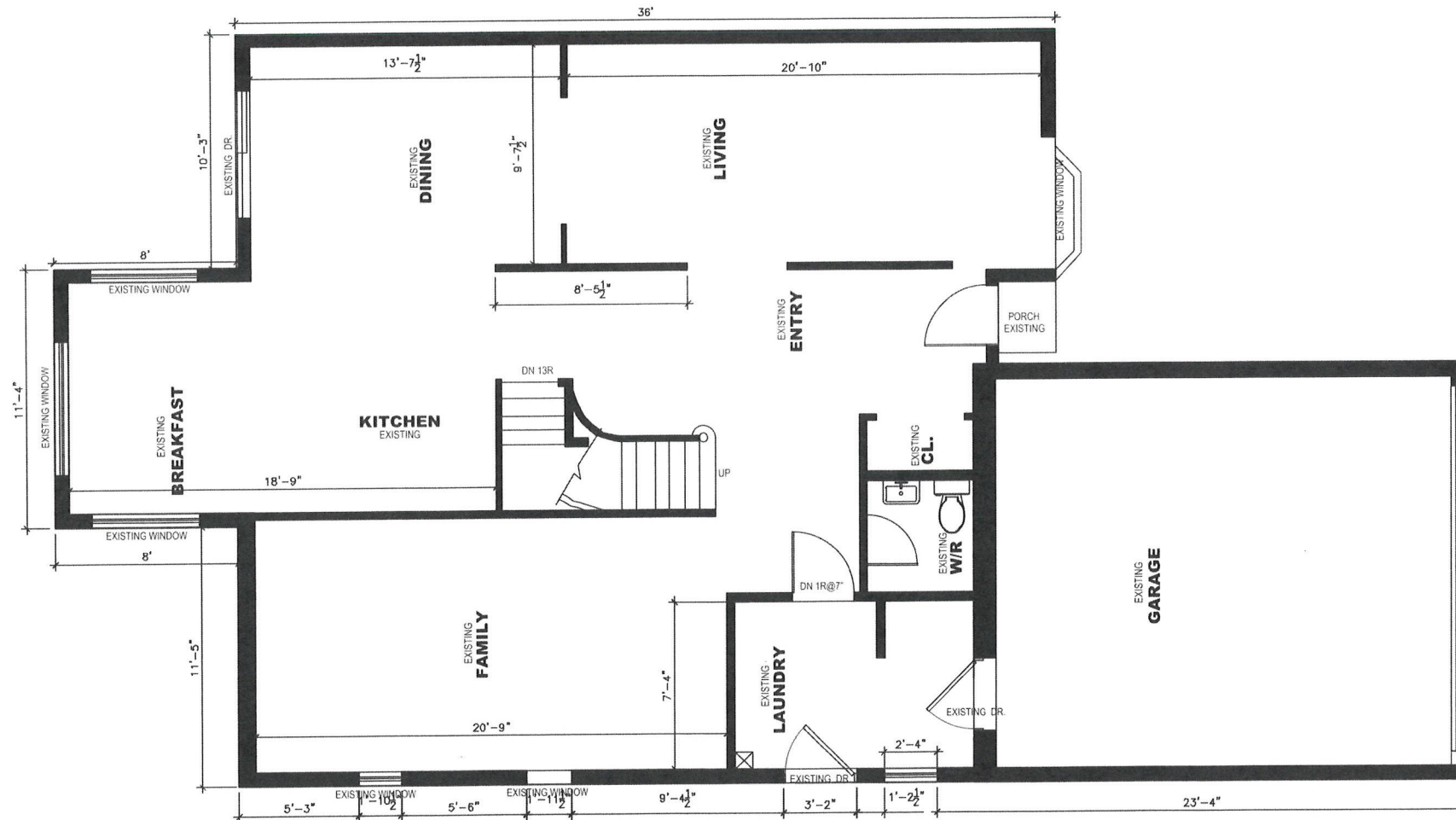
	SECOND UNIT DWELLING 1 Copeland Rd Brampton, ON L6Y 2S5	
	Designed: SI	
	SCALE: 3/16"=1'-0"	DATE: APR 2024
SITE PLAN		A102



# **EXISTING BASEMENT PLAN**



	SECOND UNIT DWELLING 1 Copeland Rd Brampton, ON L6Y 2S5	
		Designed: SI
	SCALE: $\frac{3}{16}"=1'-0"$	DATE: APR 2024
EXISTING BASEMENT PLAN		A103



NO CHANGES IS PROPOSED ON  
MAIN FLOOR, WINDOWS ,  
INTERIOR WALLS WILL REMAIN  
AS IS.



## EXISTING GROUND FLOOR PLAN



SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

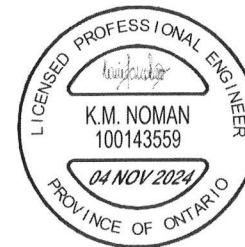
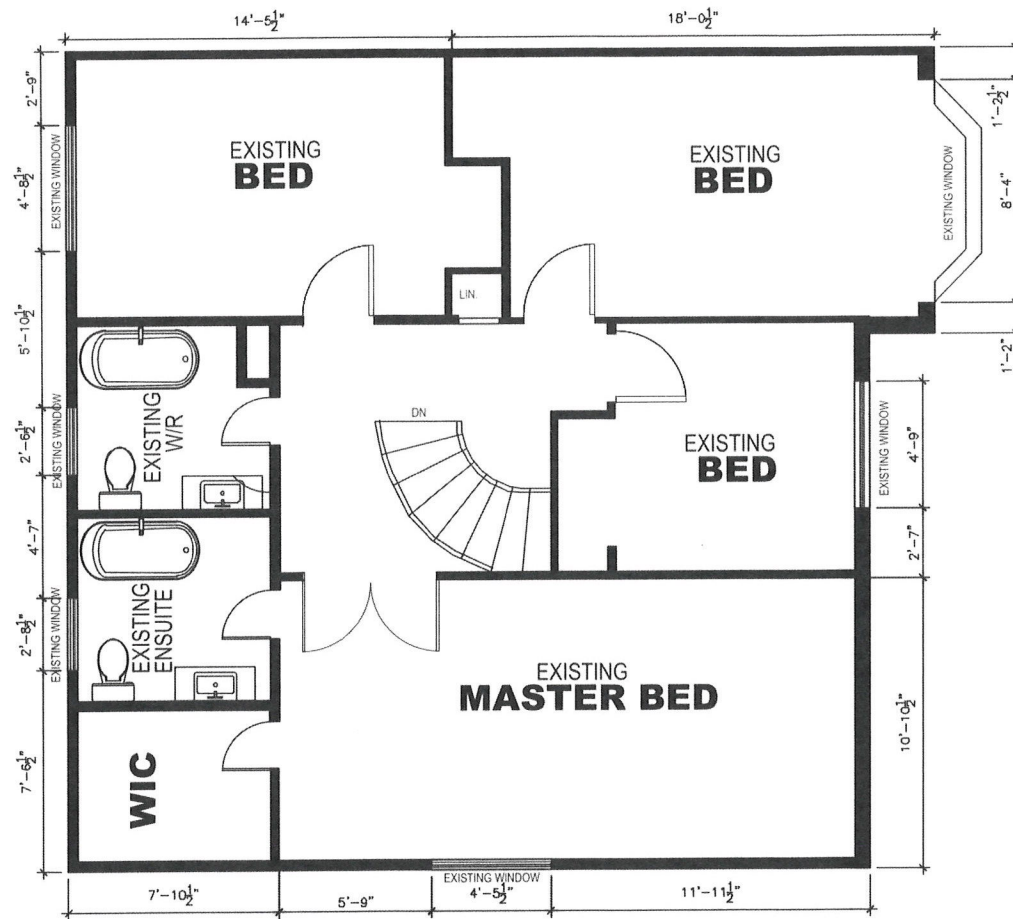
Designed: SI

SCALE: 3/16" = 1'-0" DATE: APR 2024

EXISTING GROUND FLOOR PLAN

A104





# **EXISTING SECOND FLOOR PLAN**



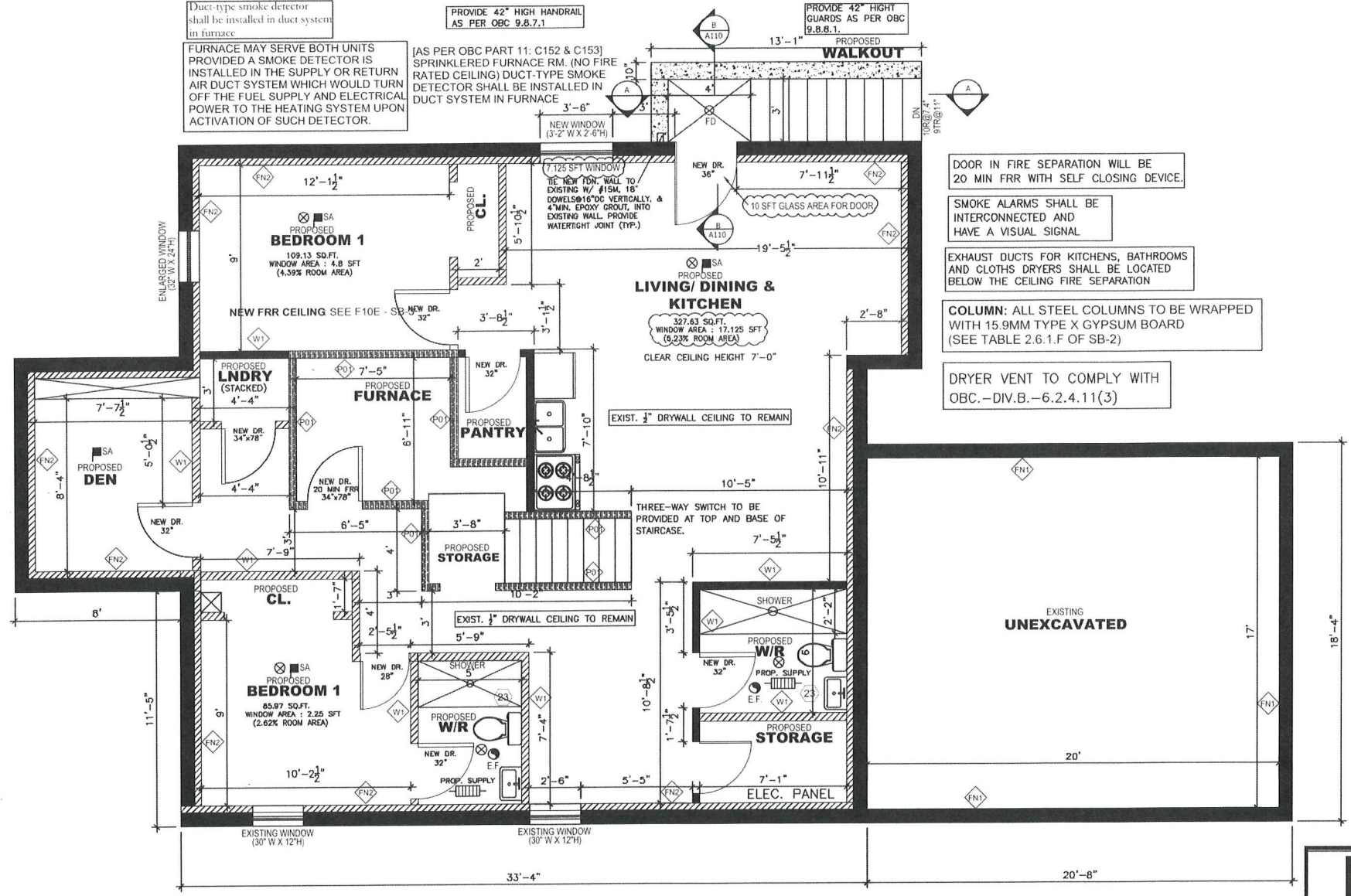
SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

Designed: SI

SCALE: 3/16" = 1'-0" DATE: APR 2024

EXISTING SECOND FLOOR PLAN

A105



SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

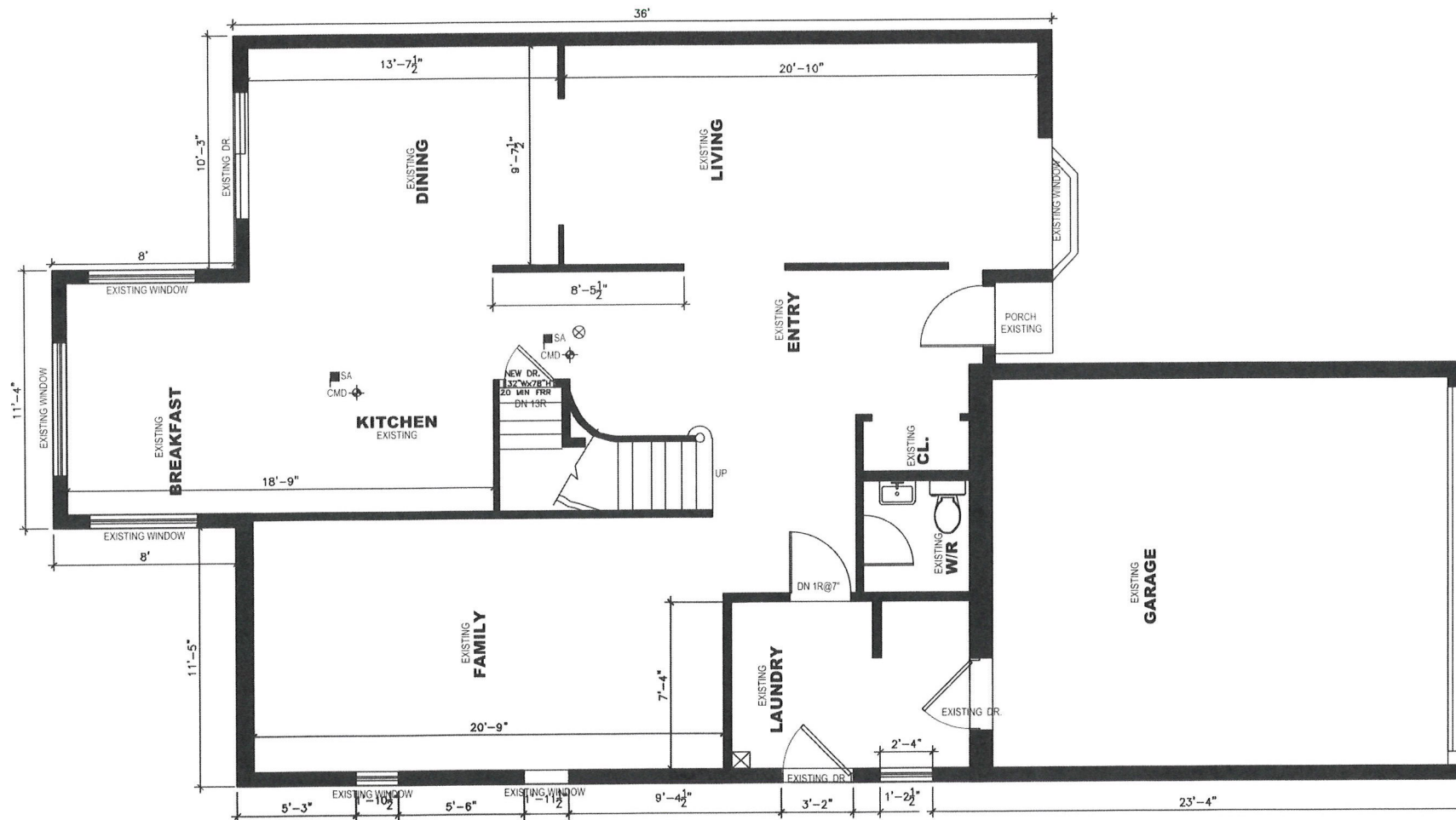
Designed: SI

SCALE: 3/16"=1'-0" DATE: APR 2024

PROPOSED BASEMENT PLAN

A106





NO CHANGES IS PROPOSED ON  
MAIN FLOOR, WINDOWS ,  
INTERIOR WALLS WILL REMAIN  
AS IS.

## PROPOSED GROUND FLOOR PLAN



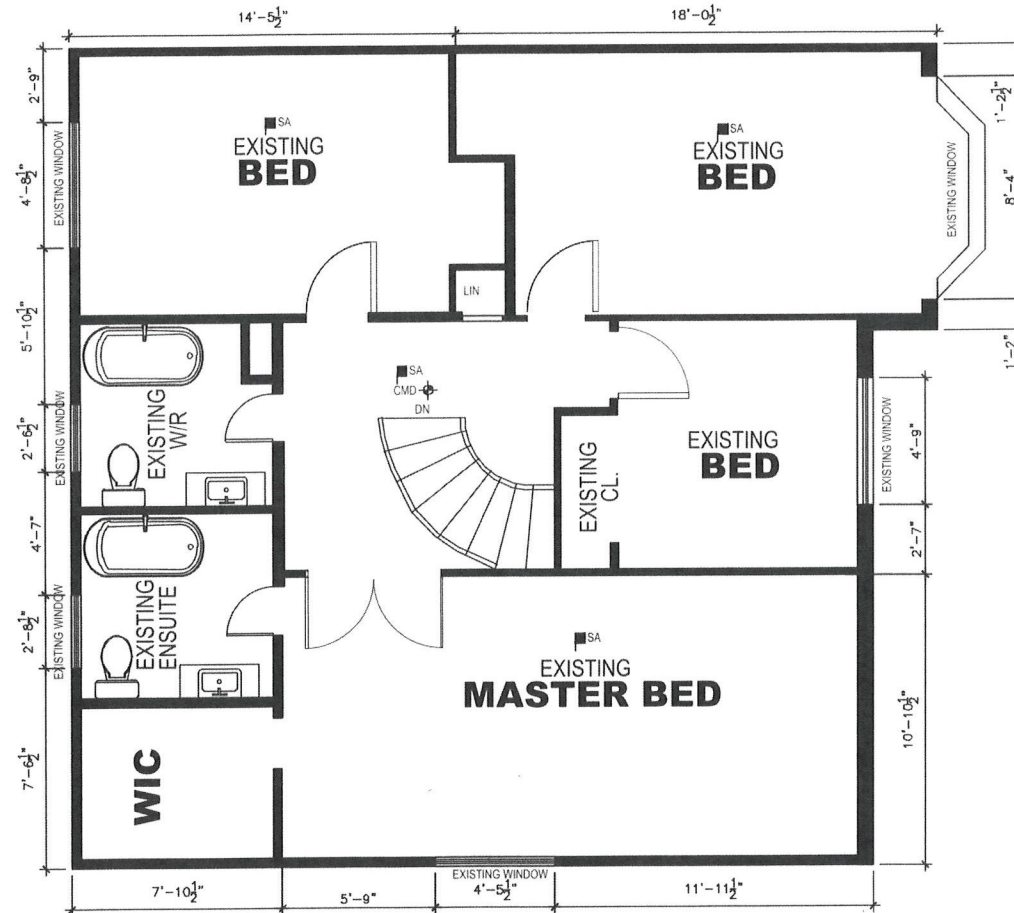
SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

Designed: SI

SCALE:  $\frac{3}{16}'' = 1'-0''$  DATE: APR 2024

PROPOSED GROUND FLOOR  
PLAN

A107



## PROPOSED SECOND FLOOR PLAN



SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

Designed: SI

SCALE: 3/16" = 1'-0" DATE: APR 2024

PROPOSED SECOND FLOOR  
PLAN

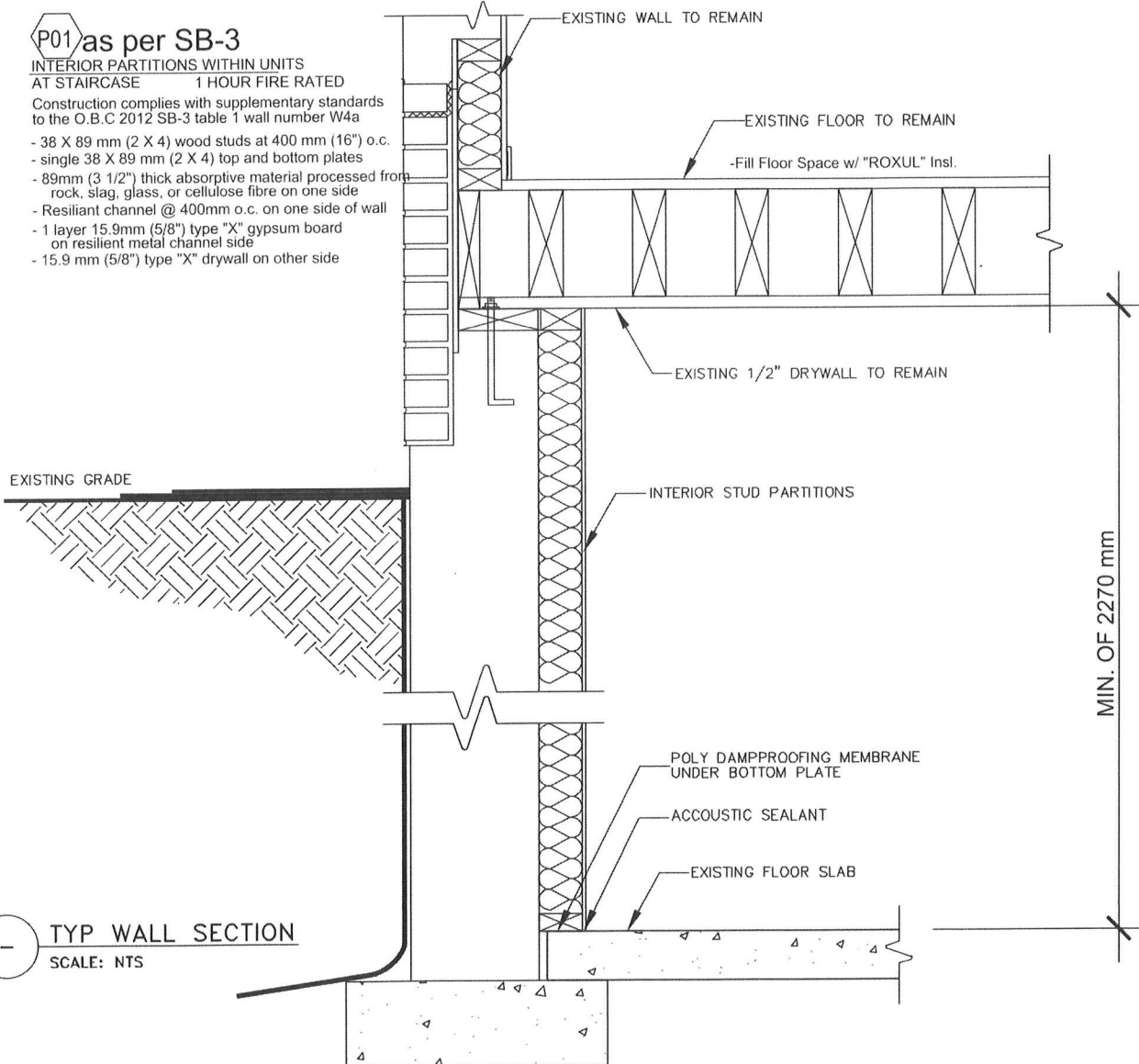
A108

P01/as per SB-3

INTERIOR PARTITIONS WITHIN UNITS  
AT STAIRCASE 1 HOUR FIRE RATED

Construction complies with supplementary standards  
to the O.B.C 2012 SB-3 table 1 wall number W4a

- 38 X 89 mm (2 X 4) wood studs at 400 mm (16") o.c.
- single 38 X 89 mm (2 X 4) top and bottom plates
- 89mm (3 1/2") thick absorptive material processed from  
rock, slag, glass, or cellulose fibre on one side
- Resilient channel @ 400mm o.c. on one side of wall
- 1 layer 15.9mm (5/8") type "X" gypsum board  
on resilient metal channel side
- 15.9 mm (5/8") type "X" drywall on other side



TYP WALL SECTION  
SCALE: NTS



SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

Designed: SI

SCALE:  $\frac{3}{16}'' = 1'-0''$  DATE: APR 2024

TYP. WALL DETAIL

A109



## 1. FOOTINGS

- ## 2. CONCRETE

## 5. RETAINING WALL

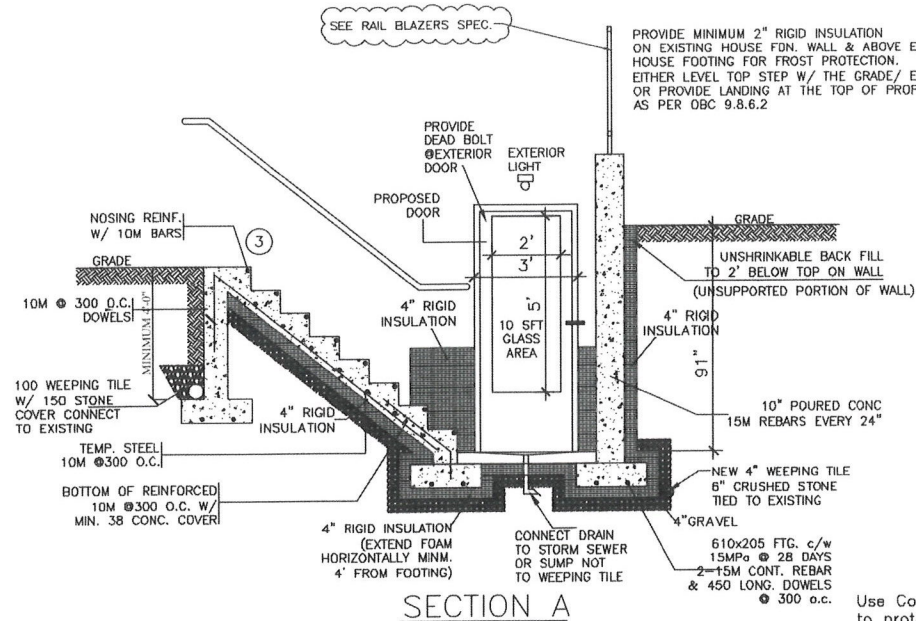
## 6. GUARDS

### 3. EXTERIOR STAIRS

- #### 4. INSULATION

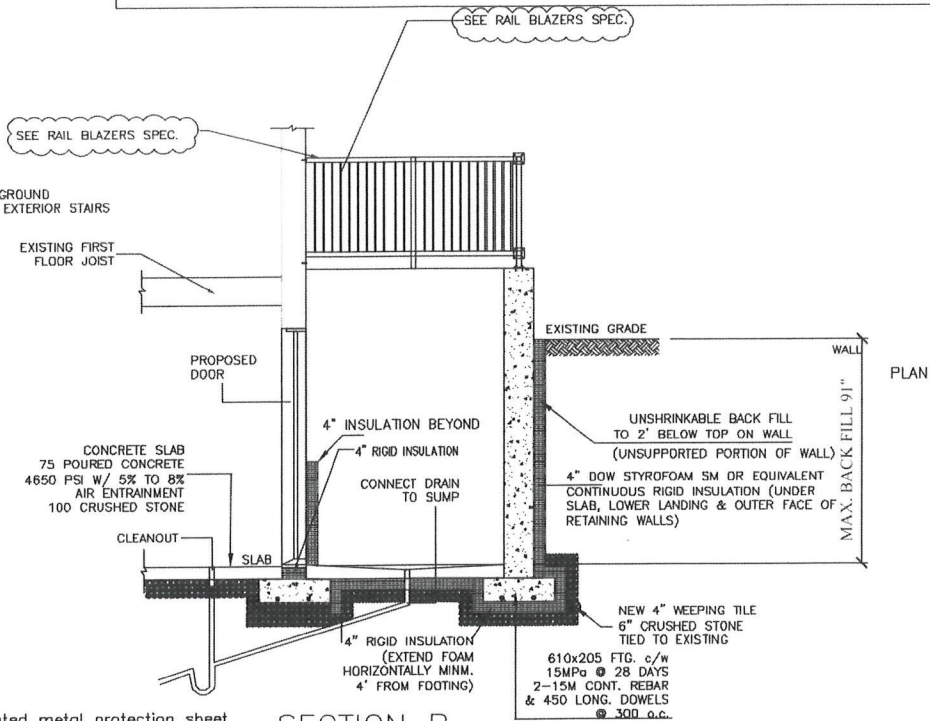
## 7. LINTELS

- 6(a) NOTE: GUARD RAIL DESIGN MUST:
1. CONFORM TO THE REQUIREMENTS OF SUPPLEMENTARY STANDARDS SB-7 OF THE ONTARIO BLDG. CODE
  2. VERTICAL RAILS & PICKETS HAVE BEEN DESIGNED IN ACCORDANCE WITH 2012 OBC SECTION 9.8.8.2 & NBCC SECTION 9.8.8.2 FOR THE FOLLOWING LOADS:
    - i) 113 LB (0.5 kN) HORIZONTAL
    - ii) A UNIFORM VERTICAL LOAD OF 100 PLF (1.5 kN/m) APPLIED TO THE TOP OF THE GUARD.
  3. FLAT TOP RAIL DESIGNED TO RESIST THE FOLLOWING HORIZONTAL LOADS:
    - i) 0.5 kN/m (34 lb/ft) OR
    - ii) 1.0 kN (225 lbs) CONCENTRATED LOAD AT ANY POINT



SECTION A

Use Corrugated metal protection sheet  
to protect rigid insulation above grade



## SECTION B

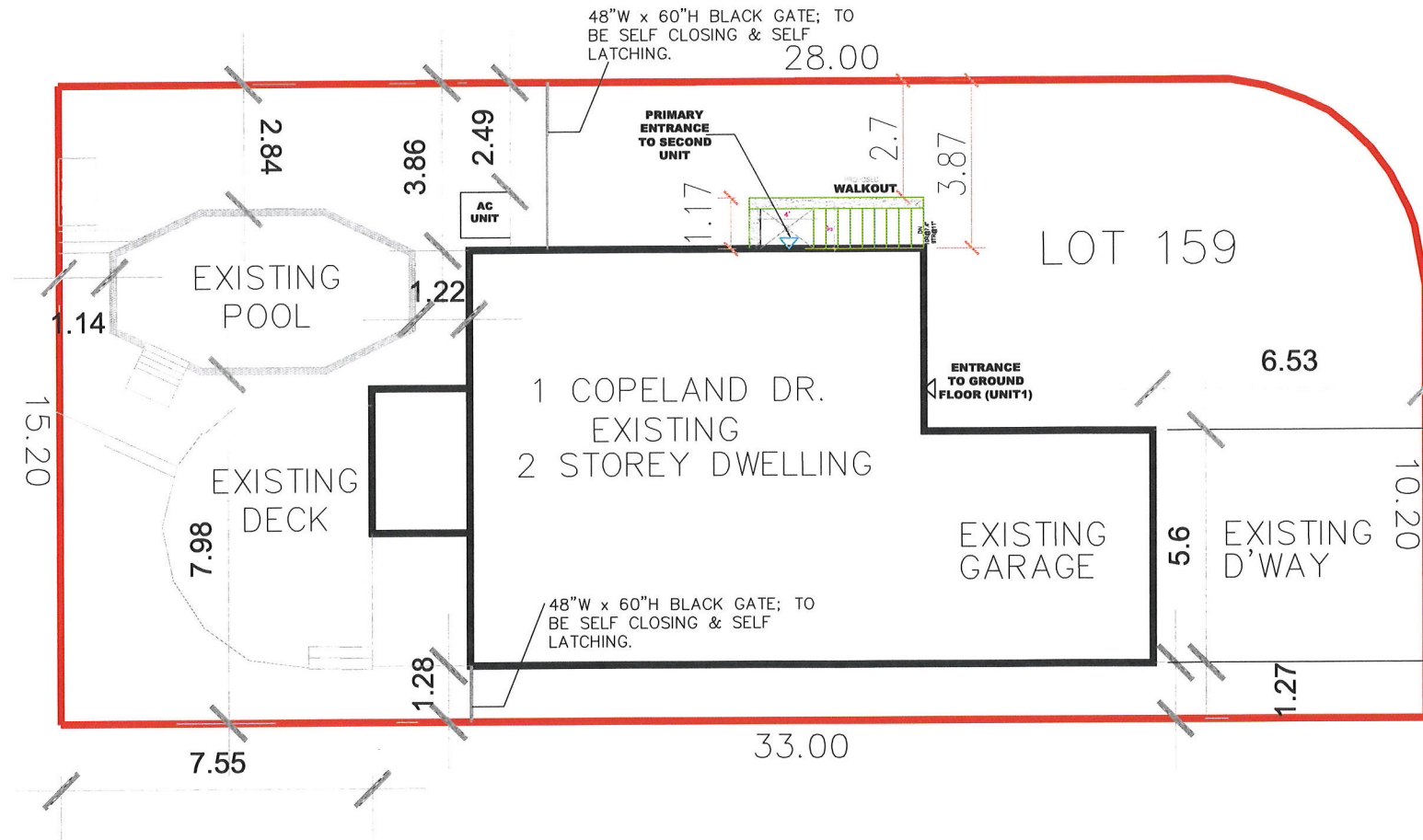


Designed: SI
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DATE: APR 2024
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## SECTIONS

A110



## SITE PLAN



SECOND UNIT DWELLING  
1 Copeland Rd Brampton, ON L6Y 2S5

Designed: SI

SCALE:  $\frac{3}{16}$ " = 1'-0" DATE: APR 2024

SITE PLAN

A102

# Zoning Non-compliance Checklist

File No.  
A - 2024-0428

Applicant: Arumugam Paramsivam & Agaskar Chaitali Nandkumar

Address: 1 Copeland Rd

Zoning: R1D, Mature Neighbourhood

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE	-To permit a proposed exterior stairway leading to a below grade entrance in a required side yard,	- whereas the by-law does not permit exterior stairways constructed below established grade in the required exterior side yard.	10.23.1
	- To permit a proposed exterior side yard setback of 2.7m to a stairway leading to a below grade entrance,	- whereas the by-law requires a minimum exterior side yard setback of 3.0m.	13.3.2 (f)
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/11/04

Date