

FILE NUMBER: A-2024-0432

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**. MP

1. **Name of Owner(s)** (Nilaykhmar Patel) Nilaykumar Patel Komalben Patel
Address 15 Braddock Drive, Brampton, ON L7A 3T3

Phone # 647 803 3844 **Fax #** _____
Email nilaypatel.ce@gmail.com

2. **Name of Agent** Dhrupal Patel
Address 5 forest park avenue, Ottawa, Ontario

Phone # 5146607576 **Fax #** _____
Email primepermittedesigns@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
The relief requested is to allow the construction of below-grade exterior stairs within the required side yard setback for a secondary unit entrance in the basement. Specifically, the variance sought is to reduce the minimum required side yard setback from 3.0 meters to 1.8m. This modification is necessary to facilitate access to the new basement unit while maximizing the use of the available space.

4. **Why is it not possible to comply with the provisions of the by-law?**
Compliance with the By-law is not possible because the existing property layout and space constraints make it unfeasible to maintain the minimum 3.0-meter side yard setback while constructing below-grade stairs for the secondary basement entrance. Adhering to the setback requirement would significantly limit access to the basement unit, hinder functionality, and compromise the intended use of the space for safe and convenient entry. Additionally, the available side yard width is insufficient to meet the setback requirement without redesigning the entire site layout, which would be impractical given the existing conditions. Also, Owner wants to keep backyard open for privacy issue and kids have enough open space for play.

5. **Legal Description of the subject land:**
Lot Number 117
Plan Number/Concession Number _____
Municipal Address 15 Braddock Drive, Brampton, ON L7A 3T3

6. **Dimension of subject land (in metric units)**
Frontage 12.79
Depth 28.96
Area 370.39 SM

7. **Access to the subject land is by:**
Provincial Highway **Seasonal Road**
Municipal Road Maintained All Year **Other Public Road**
Private Right-of-Way **Water**

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Single dwelling unit

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposal to construct secondary unit in basement with below grade entrance

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

<u>EXISTING</u>	
Front yard setback	6.01
Rear yard setback	9.61
Side yard setback	0.64
Side yard setback	3.08

<u>PROPOSED</u>	
Front yard setback	6.01
Rear yard setback	9.61
Side yard setback	0.64
Side yard setback	1.80

10. Date of Acquisition of subject land: _____

11. Existing uses of subject property: Single dwelling residential use

12. Proposed uses of subject property: Two dwellings residential use

13. Existing uses of abutting properties: _____

14. Date of construction of all buildings & structures on subject land: N/A

15. Length of time the existing uses of the subject property have been continued: _____

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐

(b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐

(c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent? NO

Yes No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?


Yes No ☐

19. Has the subject property ever been the subject of an application for minor variance? NO

Yes No ☒ Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent


DATED AT THE _____ City _____ OF _____ Brampton _____
THIS 2 DAY OF September, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Dhrupal Patel, OF THE City OF ottawa
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
city OF ottawa
IN THE province OF
ontario THIS 2 DAY OF
September, 2024.



Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1C-1231 Residential

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato

September 26, 2024

Zoning Officer

Date

DATE RECEIVED Nov 8, 2024
LR

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 15 Braddock Drive, L7A3T3, Brampton

I/We, Nilaykumar Patel Komalben Patel n.p.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize
Dhrupal Patel

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application
for **minor variance** with respect to the subject land.

Dated this 2 day of september, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 15 Braddock Drive,L7A3T3, Brampton

I/We, Nilaykumar Patel Komalben Patel n.p.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 2 day of September, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act, 1992

For use by Principal Authority				
Application number:		Permit number (if different):		
Date received:		Roll number:		
Application submitted to: <div>City of Brampton</div> <div>(Name of municipality, upper-tier municipality, board of health or conservation authority)</div>				
A. Project information				
Building number, street name			Unit number	Lot/con.
15 Braddock Drive				15
Municipality	Postal code	Plan number/other description		
City of Brampton	L7A3T3			
Project value est. \$		Area of work (m ²)		
70000		80		
B. Purpose of application				
<div><input type="radio"/> New construction</div> <div><input type="radio"/> Addition to an existing building</div> <div><input checked="" type="radio"/> Alteration/repair</div> <div><input type="radio"/> Demolition</div> <div><input type="radio"/> Conditional Permit</div>				
Proposed use of building		Current use of building		
Two Dwelling unit		Single dwelling unit		
Description of proposed work				
The proposal involves converting an existing space into a secondary unit (Accessory Dwelling Unit - ADU) with a below-grade side entrance. The project includes the installation of new windows to provide adequate natural light and ventilation for the unit. The below-grade entrance will be constructed to ensure safe and accessible entry to the ADU, adhering to all building codes and regulations.				
C. Applicant				
Applicant is: <input type="radio"/> Owner or <input checked="" type="radio"/> Authorized agent of owner				
Last name		First name	Corporation or partnership	
Dhrupal		Patel		
Street address			Unit number	Lot/con.
5 forest park avenue				
Municipality	Postal code	Province	E-mail	
Ottawa	K2E5A2	Ontario	primepermittedesigns@gmail.com	
Telephone number	Fax		Cell number	
			5146607576	
D. Owner (if different from applicant)				
Last name		First name	Corporation or partnership	
patel		nilaykumar		
Street address			Unit number	Lot/con.
15 Braddock Drive				
Municipality	Postal code	Province	E-mail	
City Of Brampton	L7A3T3	Ontario	nilaypatel.ce@gmail.com	
Telephone number	Fax		Cell number	
			647 803 3844	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number	Fax		Cell number	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="radio"/> Yes	<input checked="" type="radio"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="radio"/> Yes	<input checked="" type="radio"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted).			<input checked="" type="radio"/> Yes	<input type="radio"/> No
Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="radio"/> Yes	<input type="radio"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="radio"/> Yes	<input type="radio"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="radio"/> Yes	<input type="radio"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="radio"/> Yes	<input type="radio"/> No
I. Declaration of applicant				
I, <u>Dhrupal Patel</u> declare that:				
(print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
11/09/2024				
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1546942



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR

In accordance with
Regulation 1026, Section 29(3)

NOTE:

GUIDO PAPA SURVEYING LTD. is not liable for use of this
REPORT by any party or parties for FUTURE TRANSACTIONS
or for any unrelated purposes.

This REPORT reflects conditions at time of survey. UPDATING
may be required to issue ADDITIONAL COPIES subsequent to
DATE of the SURVEYOR'S CERTIFICATE.

SURVEYOR'S REAL PROPERTY REPORT

**PART 1
PLAN OF**

**LOTS 116, 117, 118, 119, 120
AND LOTS 177, 178 AND 179
REGISTERED PLAN 43M-1661
CITY OF BRAMPTON**

REGIONAL MUNICIPALITY OF PEEL

5 0 5 10 20metres

SCALE = 1:300

NOTE:

ALL FOUND MONUMENTS WERE SET BY GUIDO
PAPA SURVEYING LTD. UNLESS NOTED OTHERWISE.

ALL FOUND OR PLANTED MONUMENTS SHOWN HEREON ARE IRON
BARS UNLESS NOTED OTHERWISE.

ALL BOUNDARY INFORMATION SHOWN HEREON HAS BEEN SET OR
MEASURED IN ACCORDANCE WITH REG'D. PLAN 43M-1661 UNLESS
NOTED OTHERWISE.

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 THIS PLAN MUST BE READ IN CONJUNCTION
WITH REPORT DATED NOV. 3, 2005

THIS REPORT HAS BEEN PREPARED FOR ROSEBAY ESTATES INC.
AND GUIDO PAPA SURVEYING LTD. ACCEPTS NO RESPONSIBILITY
FOR USE BY OTHER PARTIES.

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT (R.S.O. 1996, M56)
COPYRIGHT ACT R.S. 1985, c. C42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS

NOTE:

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
SOUTH-EASTERLY LIMIT OF BRADDOCK DRIVE AS SHOWN
ON REG'D. PLAN 43M-1661 HAVING A BEARING OF N36°00'40"W.

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
1. WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE
24TH DAY OF OCTOBER, 2005

DATE: NOV. 3, 2005

Laurence J. Kuelling
LAURENCE J. KUELLING
ONTARIO LAND SURVEYOR

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GUIDO PAPA SURVEYING LTD.
ONTARIO LAND SURVEYORS

216 CHRISLEA ROAD » SUITE 505
WOODBRIIDGE » ONTARIO » L4L 8S5
TEL (905) 264-2727 » FAX (905) 264-2728



www.gpsurvey.com

DRAWN: D.B.

CHECKED: L.J.K.

REF. NO.: 04-517-42

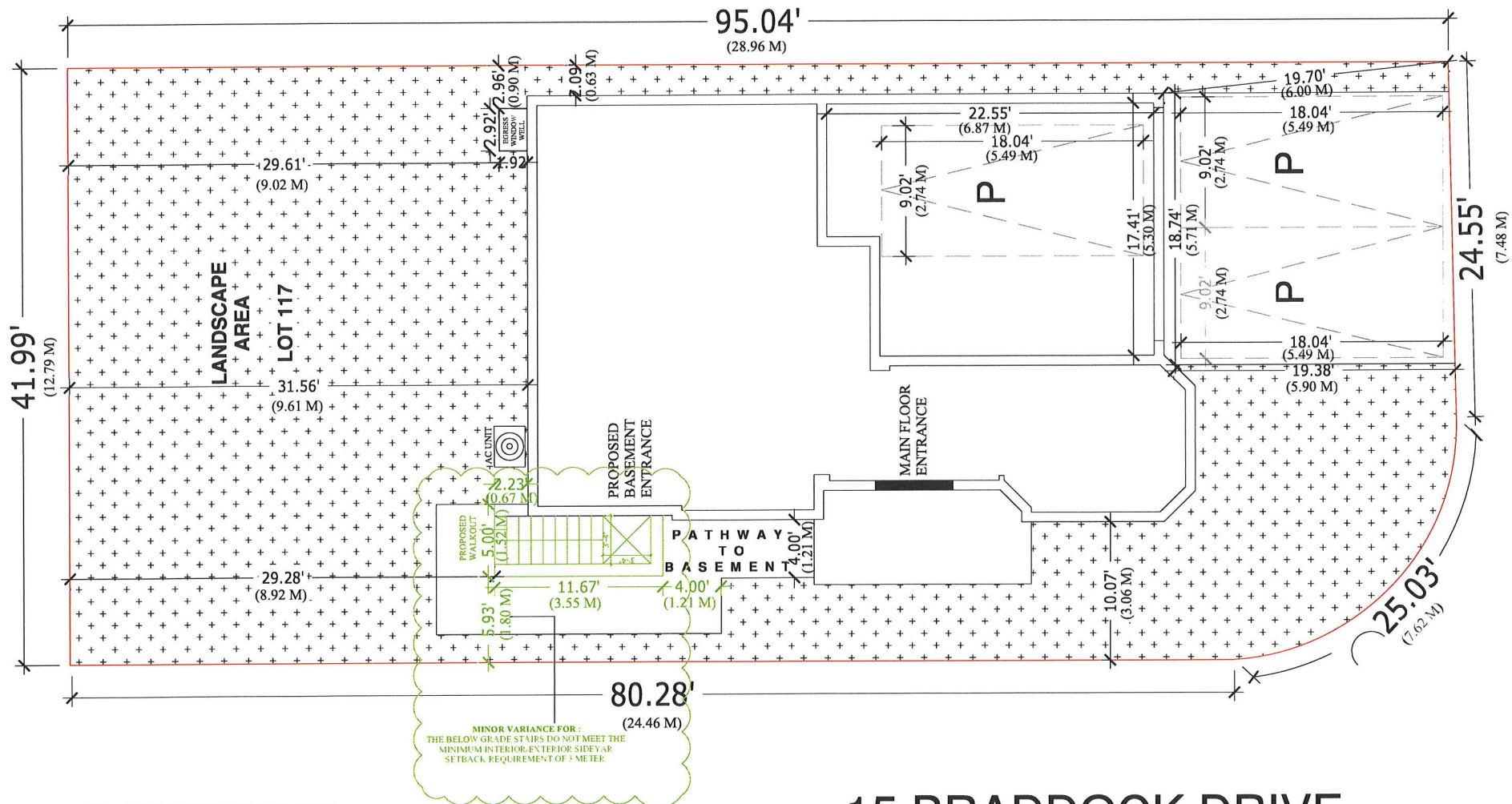
NOTE:

■ DENOTES SURVEY MONUMENT FOUND
□ SIB SURVEY MONUMENT PLANTED
B IRON BAR
CC CUT CROSS
WIT WITNESS
OU ORIGIN UNKNOWN
MS MEASURED
DUC DWELLING UNDER CONSTRUCTION (Concrete Foundation)
FF FINISHED FLOOR ELEVATION (GEODETIC)
T/W TOP OF FOUNDATION WALL (GEODETIC ELEVATION)
GP GUIDO PAPA, O.L.S.
CP CONCRETE PORCH
▲ SUBJECT TO EASEMENT AS SET OUT IN INST. NO. PR910276

BRADDOCK DRIVE (DEDICATED BY REGISTERED PLAN 43M-1661)

BOUVIER GATE

(DEDICATED BY REGISTERED PLAN 43M-1661)



04/09/24
CANAM ENGG.

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT WITH
BELOW GRADE ENTRANCE

GENERAL NOTES

DO NOT SCALE DRAWINGS.
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE

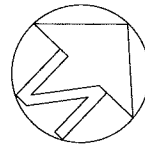
SITE PLAN-MINOR VARIANCE

CITY : BRAMPTON

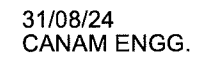
15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-0	AUG 2024
	SCALE 1/8"=1'-0"



15 BRADDOCK DRIVE



SCOPE OF WORK

PROPOSAL TO CONSTRUCT
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NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

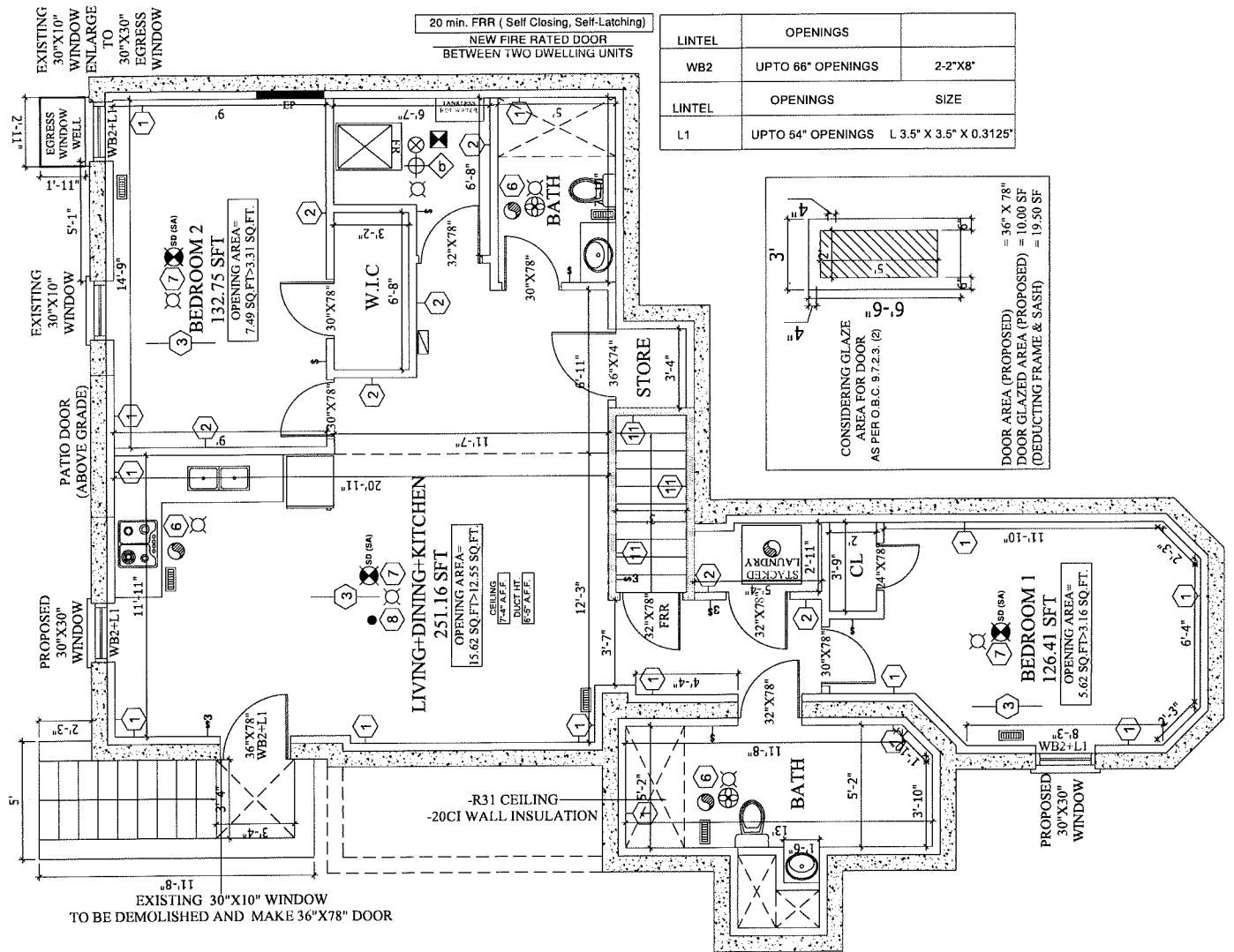
SHEET

A-1

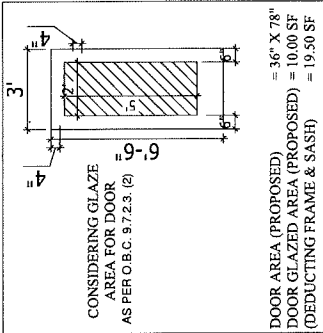
PROJECT

AUG 2024

SCALE 1/8"=1'-0"



LINTEL	OPENINGS	
WB2	UPTO 66" OPENINGS	2-2"x8"
LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3.5" X 3.5" X 0.3125"



PROPOSED BASEMENT

SCALE 3/16"=1'-0"

GROSS FLOOR AREA =800.09 SFT /74.33 SM



**31/08/24
CANAM ENGG.**

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
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NO	REVISION / ISSUE	DATE

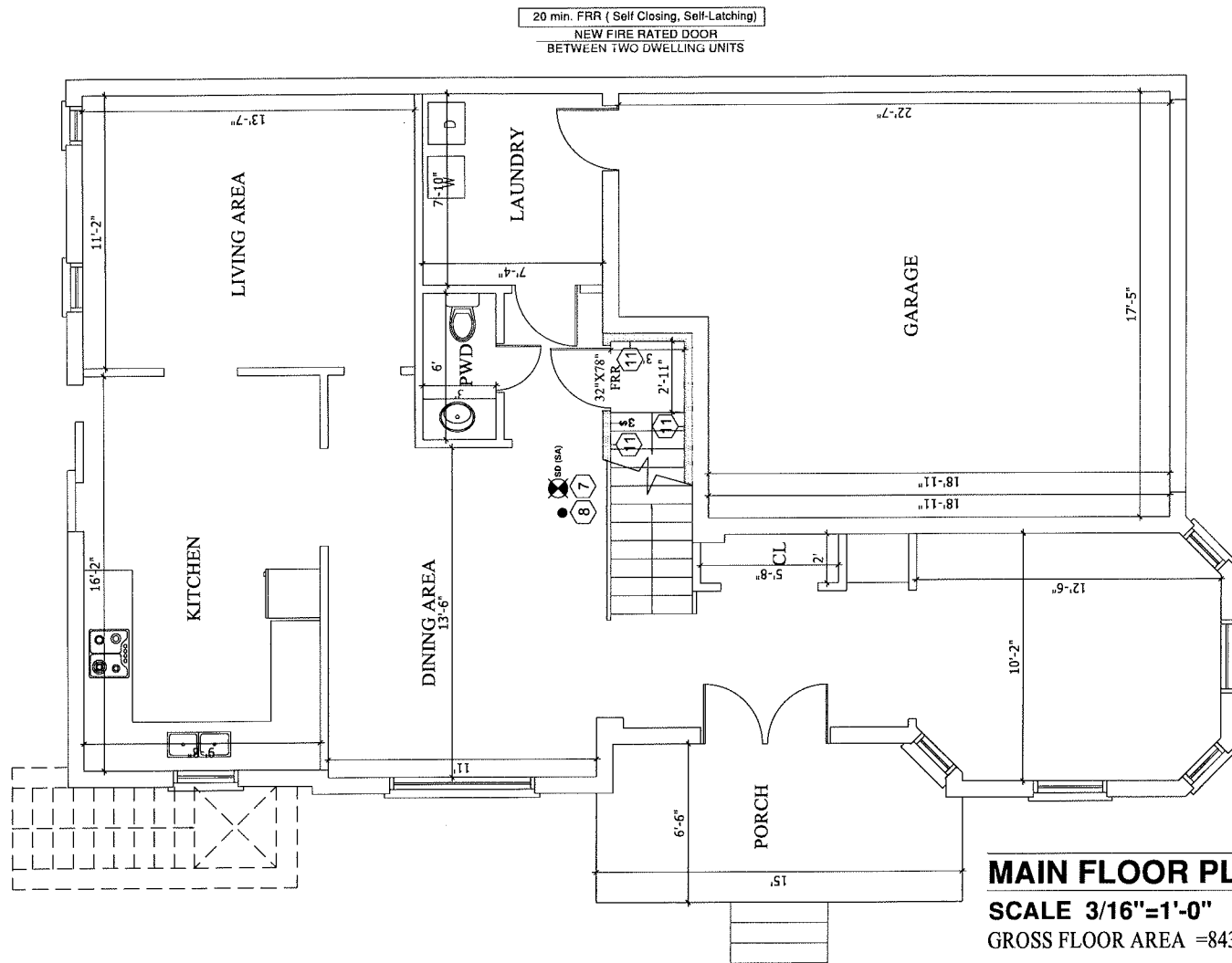
BASEMENT PLAN

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-2	AUG 2024
	SCALE 3/16"=1'-0"



31/08/24
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT WITH
BELOW GRADE ENTRANCE

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

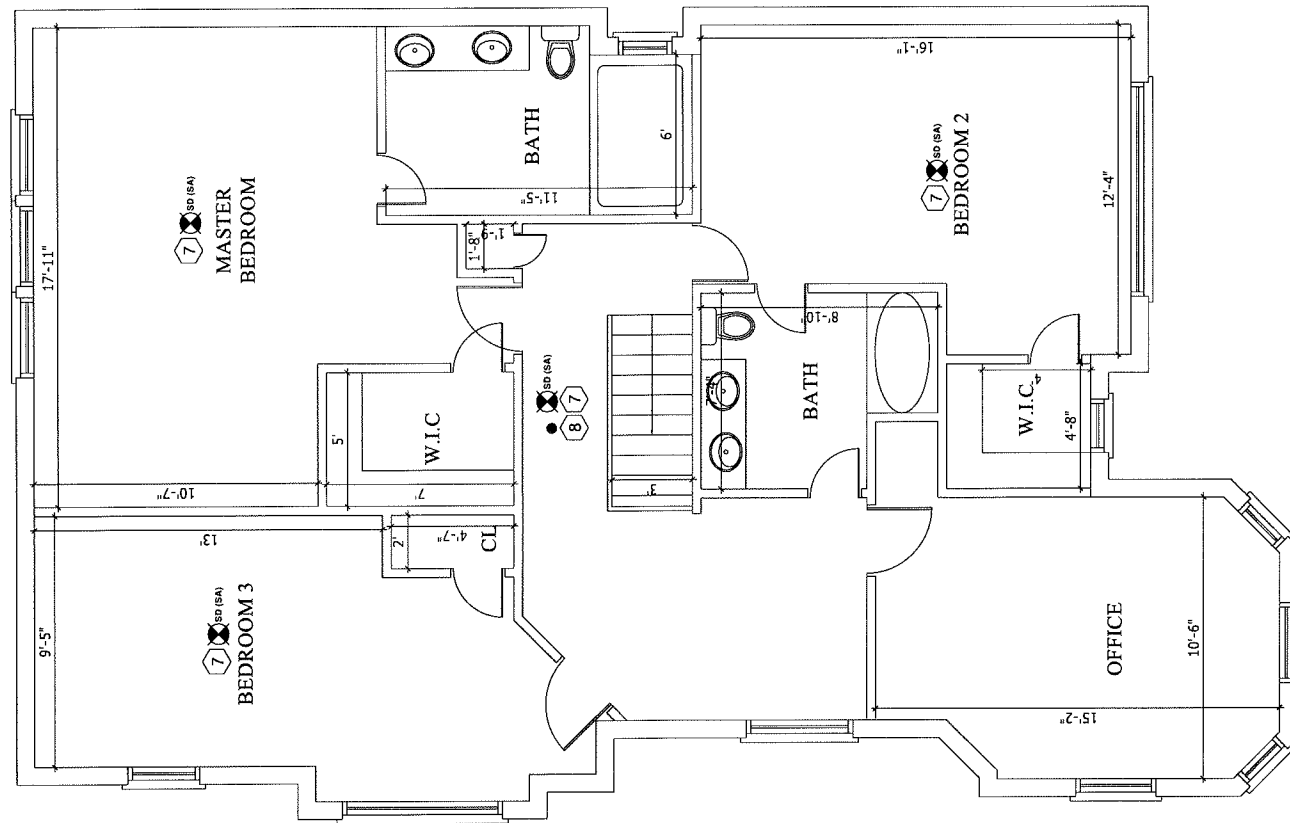
MAIN FLOOR PLAN

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-3	AUG 2024
	SCALE 3/16"=1'-0"



SECOND FLOOR PLAN

SCALE 3/16"=1'-0"

GROSS FLOOR AREA =1171.99 SFT /108.88 SM



31/08/24
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT WITH
BELOW GRADE ENTRANCE

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

SECOND FLOOR PLAN

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-4	AUG 2024
	SCALE 3/16"=1'-0"

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE, WHITE
C/W WHITE COVER PLATE
GFI- GROUND FAULT TYPE
WP- WEATHERPROOF COVER
C - ABOVE COUNTER

SMOKE ALARM

CARBON MONO OXIDE DETECTOR

ELECTRICAL PANEL

SWITCH

78

9,10,19 LOCATION OF PROPOSED
INTERCONNECTED SMOKE ALARMS &
CARBON MONOXIDE ALARMS
(CONNECTED TO A DUCT TYPE SMOKE
DETECTOR)

1

EXISTING CONC. WALL
2"x4 STUDS @24 O.C. WALL
W/ 6MIL POLY
R-EXISTING BATT EXISTING INSULATION
6MIL VAPOR BARRIER
1/2" GYPSUM BOARD

2

INTERIOR DRYWALL
PARTITION
1/2" GYP. BOARD
2"x4 SPRUCE STUD @16
O.C.
1/2" GYPSUM BOARD

3

FLOOR ASSEMBLY (15MIN - ACCEPTABLE
WITH INTERCONNECTED SMOKE ALARM)
SUB FLOOR
WOOD JOIST OR I-JOIST AS PER THE
ORIGINAL BUILDING PERMIT
TYPE X, TYPE C, 5/8" TYPE X OR EQUIVALENT
GYPSUM BOARD

11

INTERIOR DRYWALL PARTITION
(30 MIN. FRR HORIZONTAL & VERTICAL)
1/2" GYP. BOARD
2"x4 SPRUCE STUD @16 O.C. W/
SAFE & SOUND INSULATION 89MM THICK
TYPE X, TYPE C, 5/8" TYPE X OR EQUIVALENT
GYP. BOARD

RECEPTACLE 50A,
208V,
STOVE OR DRIER
OUTLET.

6

EXHAUST FAN

FD: FLOOR DRAIN

SPRINKLER

SUPPLY AIR REGISTER

EMERGENCY LIGHT WITH
BATTERY BACK UP 4 HRS

DRY EXHAUST FAN

LIGHT

SPOT LIGHT

RETURN AIR REGISTER

E

ELECTRICAL PANEL

●

COLUMN - 15 MIN FIRE
RESISTING RATING

EL

EMERGENCY LIGHT

⊕

EXTERIOR LIGHT

FRR

20 MIN FIRE RATED
LOCKABLE & SELF-CLOSING
DOOR

SI

UNDERSIDE & CEILING OF
STAIRS - FIRE RATING
1 LAYER 5/8" TYPE X
GYP. BOARD

⊠

DUCT TYPE SMOKE
DETECTOR

LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x8"
WB3	UPTO 78" OPENINGS	3-2"x10"
WB4	UPTO 90" OPENINGS	3-2"x12"
LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3.5" X 3.5" X 0.3125"
L2	UPTO 66" OPENINGS	L 4.0" X 3.5" X 0.3125"

GENERAL NOTES

1.THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS, SITE CONDITION AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF THE WORK.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE 2012, AND THE CITY BYLAWS AND STANDARDS.

3. IT IS ASSUMED THAT ALL THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCE REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.

4. BY COMMENCING THE CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGE THAT THE GENERAL NOTES HAVE BEEN UNDERSTOOD.



31/08/24
CANAM ENGG.

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT WITH
BELOW GRADE ENTRANCE

GENERAL NOTES

DO NOT SCALE DRAWINGS.
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
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ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE
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LEGEND SHEET

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-5	AUG 2024
	SCALE 3/16"=1'-0"

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, O. REG. 332/12; AND ANY CONSTRUCTION CHANGES MADE THAT ARE NOT A PART OF THE ISSUED REVIEWED PERMIT DRAWINGS WILL REQUIRE AN ADDITIONAL REVISION PERMIT.
- EXCEPT FOR PERMITTED OPENINGS SUCH AS TIGHTLY FITTER ELECTRICAL OUTLET BOXES, CERTAIN DUCT; FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION, EXTERIOR WALL OR ROOF.
- DOORS IN A FIRE SEPARATION MUST BE 20 MINUTE RATED OR BE 45mm SOLID CORE WOOD DOORS WITH A SELF CLOSING DEVICE. UNRATED WOOD DOOR FRAMES MUST BE A MINIMUM OF 38mm THICK. DOOR FRAME INSTALLATION MUST BE SMOKE TIGHT.
- FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25.
- EXCEPT FOR BATHROOMS, PUBLIC CORRIDORS AND EXITS, INTERIOR WALL AND CEILING FINISHES SHALL HAVE A SURFACE FLAME SPREAD RATING OF NOT MORE THAN 150.
- NEW SPRINKLERS IN THE FURNACE ROOM MUST BE INSTALLED IN ACCORDANCE WITH THEIR LISTING, SPRINKLER PIPING SHALL BE A RESIDENTIAL FULL FLOW-THROUGH SYSTEM CONSISTING OF MIN. 3/4" COPPER OF PEX SUPPLY PIPE AND FITTINGS.
- SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND IN CONFORMANCE WITH CAN/ULC-S553, "INSTALLATION OF SMOKE ALARMS". SMOKE SHALL INCLUDE A VISUAL SIGNALING COMPONENT AND BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH THE REVIEWED DRAWINGS. SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN THE NORMAL CONDITION, FOLLOWED BY 4M MINUTES OF ALARM SIGNALING.
- BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO. 14, EMERGENCY LIGHTING EQUIPMENT' SHALL BE PROVIDED IN ALL COMMON MEANS OF ESCAPE.
- PROVIDE CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO AN ELECTRICAL OUTLET.
- WHERE NEW CONSTRUCTION COULD RESTRICT THE SUPPLY OF COMBUSTION AIR OF ANY EXISTING FUEL-FIRE APPLIANCE, AN ADEQUATE COMBUSTION AIR SUPPLY SHALL BE PROVIDED TO ENSURE PROPER COMBUSTION AND SAFE OPERATION OF THE FURNACE AND/OR SERVICE WATER SUPPLY.
- PROVISIONS SHALL BE MADE FOR RETURN-AIR FROM ALL ROOMS BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS OR INSTALLING RETURN-AIR INLETS SHALL NOT BE INSTALLED IN AN ENCLOSED ROOM OR CRAWL SPACE THAT PROVIDES COMBUSTION AIR TO THE FURNACE OR SERVICE WATER HEATER.
- NATURAL VENTILATION FOR LIVING ROOM, DINING ROOM, BEDROOMS AND KITCHEN MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.28M2 PER ROOM OR COMBINATION OF ROOMS. NATURAL VENTILATION FOR BATHROOMS OR WATER CLOSET ROOMS MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.09M2 WHERE A ROOM OR SPACE IS NOT PROVIDED WITH NATURAL VENTILATION, MECHANICAL VENTILATION SHALL BE PROVIDED. EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR.
- ELECTRICAL WORK MUST BE INSPECTED BY THE ELCTRICAL SAFETY AUTHORITY.

NOTES

- MINIMUM HEADROOM : 6'5" (1950mm)
- MIN. 15 MIN. FIRE SEPARATION FOR ALL CEILINGS
- 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE, SMOKE ALARMS INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREA IN CONFORMANCE WITH 9.10.19 SMOKE ALARMS ARE INTERCONNECTED AND HAVE A VISUAL SIGNAL
- FURNACE MAY SERVE BOTH UNITS PROVIDE A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.
- TWO SPRINKLERS REQUIRED IN THE FURNACE ROOM
- INSTALL MECHANICAL VENTILATION AS PER OBC DIV B 9.32.1.3(3) REQ'S.
- EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.
- RETURN AIR FROM A DWELLING UNIT SHALL NOT BE RECIRCULATED TO ANY OTHER DWELLING UNIT - 6.2.4.7 (10).
- EXIT STAIR IS TO BE PROTECTED FROM FIRE EXPOSURE.

PLUMBING NOTES

- ONLY A LICENSED, INSURED, CERTIFIED PLUMBER SHALL BE USED FOR THE WORK.
- THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C(120° F) AS PER OBC ARTICLE 7.6.5.1.
- DISHWASHERS AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
- ALL THERMOSTATIC MIXING VALVES SHALL CONFORM TO CAN/CSA-B125,"PLUMBING FIXTURES" AND SHALL BE LABELED ACCORDINGLY.
- ALL SOLDER JOINTS MUST BE LEAD FREE AND MEET ALL REGULATORY REQUIREMENTS.
- ALL SANITARY PIPING TO HAVE CLEANOUTS TO SUIT OBC & PLUMBING CODES.
- SUPPLY AND INSTALL CLEAN OUTS WHETHER SHOWN OR NOT, AS REQUIRED BY CODE OR BY AUTHORITIES HAVING JURSDICTION ON SANITARY DRAINS.
- VENT ALL SANITARY FIXTURES AS REQUIRED BY THE ONTARIO BUILDING CODE.
- PROVIDE ONE PIECE CHROME PLATE ESCUTCHEONS ON ALL PIPING PASSING INTO EXPOSED AREAS.
- REFER TO OBC 2012 DIV. B 9.23.5 FOR NOTCHING AND DRILLING OF WOOD STRUCTURAL MEMBERS.



31/08/24
CANAM ENGG.

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT WITH
BELOW GRADE ENTRANCE

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

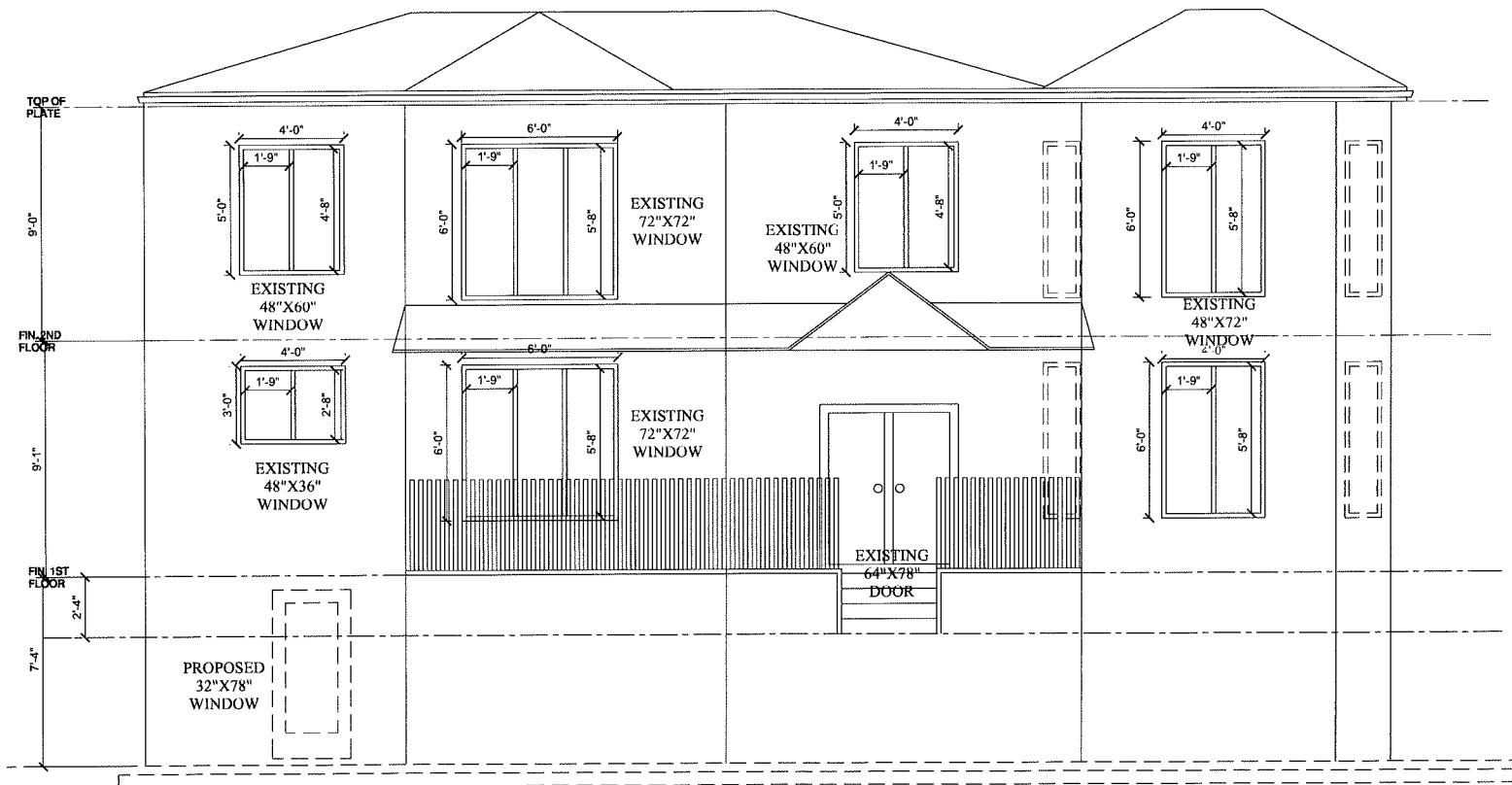
NOTES

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-6	AUG 2024
	SCALE 3/16"=1'-0"



ALLOWABLE UNPROTECTED OPENINGS
(EXPOSED BUILDING)

LIMITING DISTANCE	1.27 M
MAX PERCENTAGE	7 %
TOTAL WALL AREA	683.79 SF (63.52 SM)
ACTUAL OPENINGS	33.68 SF (3.12 SM)
	4.92%

LEFT SIDE ELEVATION
SCALE 3/16"=1'-0"



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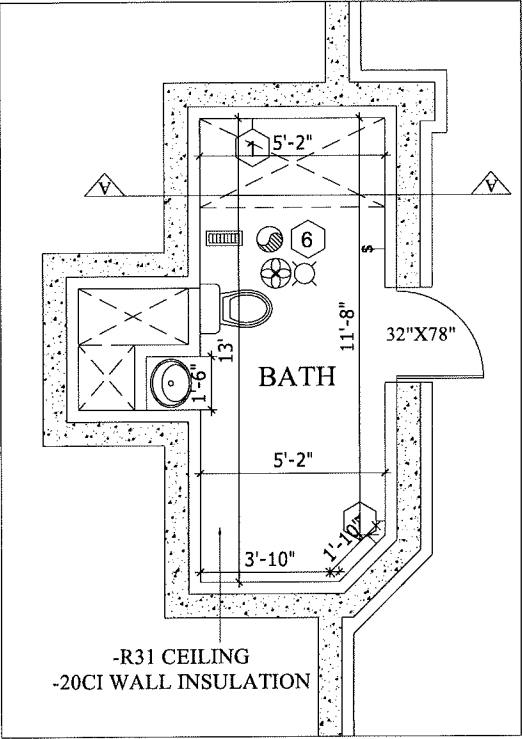
LEFT SIDE ELEVATION

CITY : BRAMPTON

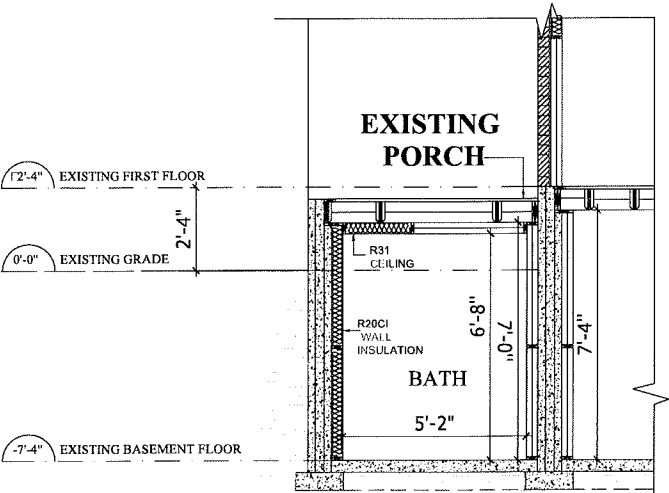
15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-7	AUG 2024
	SCALE 3/16"=1'-0"



FLOOR PLAN FOR BATH
SCALE 1/4"=1'-0"



CROSS SECTION
SCALE 1/4"=1'-0"



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SCOPE OF WORK

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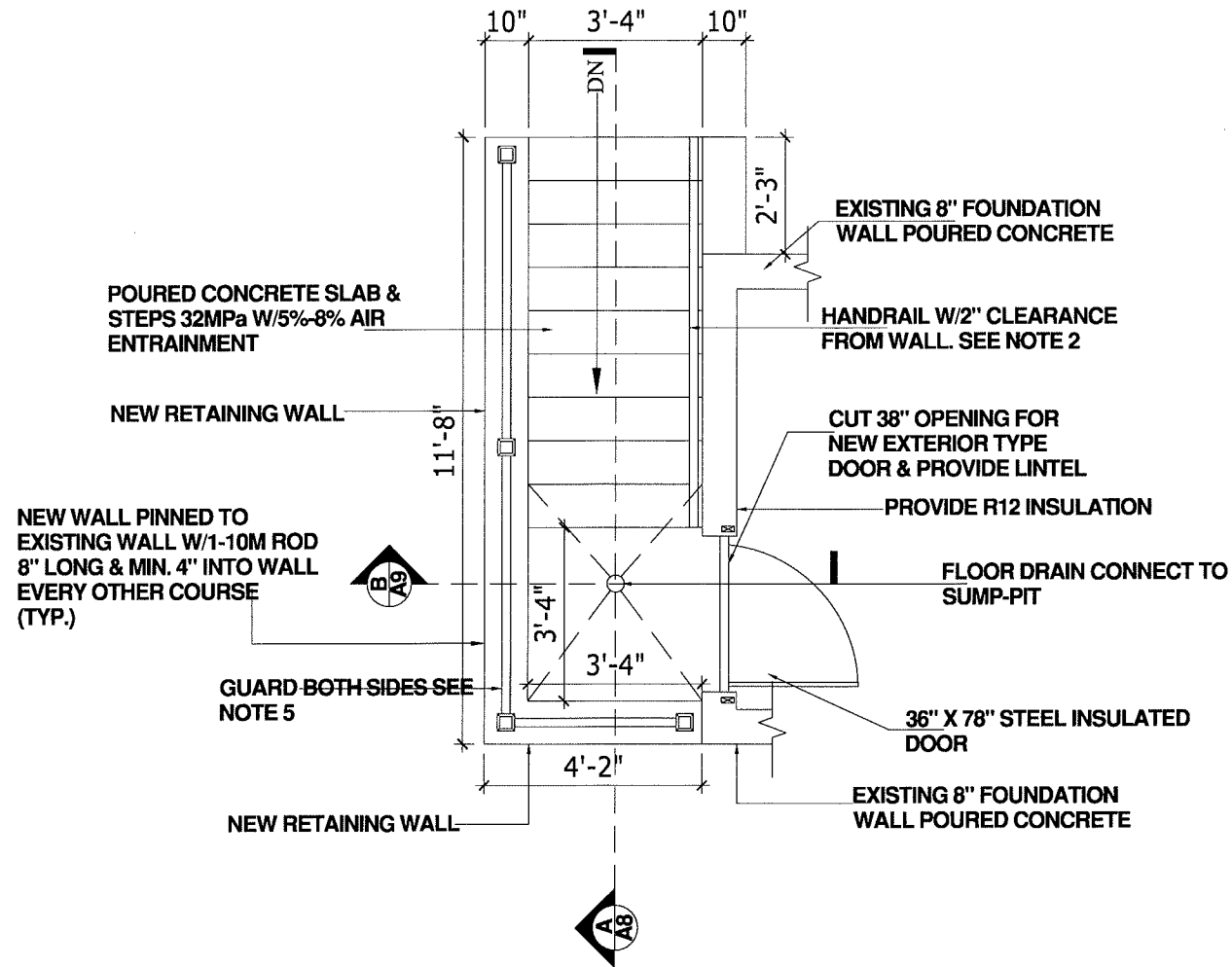
COLD CELLAR SECTION

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-8	AUG 2024
	SCALE 1/4"=1'-0"



WALKOUT PLAN



31/08/24
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
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WALKOUT PLAN

CITY : BRAMPTON

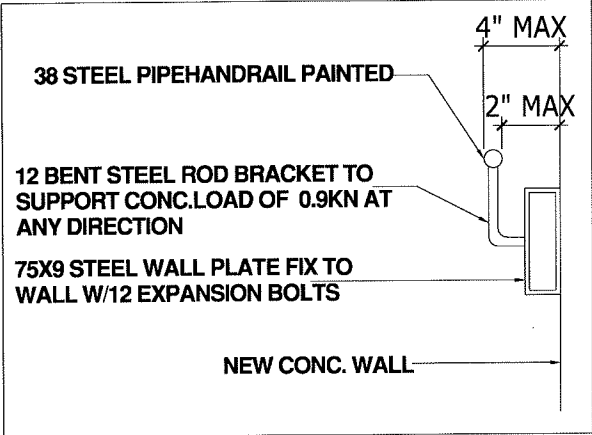
15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-9	AUG 2024
	SCALE 3/8"=1'-0"



SCALE 3/8"=1'-0"



REINF. BARS
HORIZONTAL: 10M REBAR @ 12" o.c.
VERTICAL: 10M REBAR @ 12" o.c.

POURED CONCRETE WALL & SLAB
32 MPa @ 28 DAYS W/ 5% TO 8% AIR
ENTRAINMENT

4" RIGID INSUL. (TYP.)
R-20.

4" COMPACTED GRANULAR FILL

HANDRAIL W/2"
CLEARANCE FROM
WALL. SEE NOTE 2

GUARD; SEE NOTE 5

GRADE

6"

3'-6"

5'-11"

3'-4"

4"

EXTERIOR LIGHT CONNECTED
BY A WALL SWITCH INSIDE
BASEMENT

DOOR LINTEL DETAILS
STEEL L-LINTEL 3.5" X
3.5" 0.25" MIN. 6" BEARING
EACH SIDE OF OPENING
2-2X8 WOOD LINTEL

CEILING

R-12 INSULATION INSIDE

2" RIGID INSULATION
(TYP.) R-10

EXISTING BASEMENT SLAB

EXISTING 4" WEEPING TILE TO
REMAIN

FLOOR DRAIN CONNECTED TO
SUMP PIT

SECTION B-B



31/08/24
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT WITH
BELOW GRADE ENTRANCE

GENERAL NOTES

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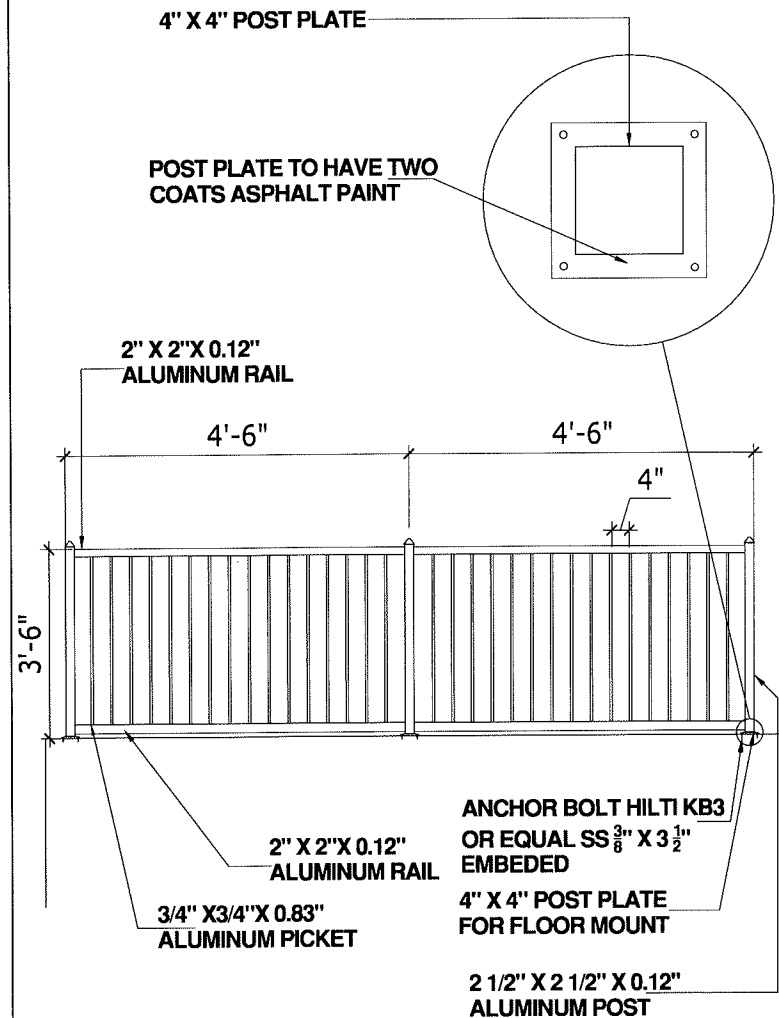
SECTION B-B

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-11	AUG 2024
	SCALE 3/8"=1'-0"



GUARDRAIL DETAILS

- 1 FOOTINGS:**
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 kPa
- 2 HANDRAILS**
HANDRAILS SHOULD BE BETWEEN 34 TO 42 IN ABOVE THE TREAD AT THE LEADING EDGE LINE.
2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD
BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.
- 3 EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
10" RUN MINIMUM 14" MAXIMUM
10" TREAD MINIMUM 14" MAXIMUM
- 4 RETAINING WALL**
10" POURED CONCRETE WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @ 12" o.c. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 4'-7".
- 5 GUARDS (PRE-ENGINEERED)**
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- 6 LIGHT**
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
- 7 EXTERNAL DOOR**
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9. 7.3
INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOORS SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS.
ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.
- 8 INSULATION DETAILS**
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
 - STYROFOAM™ Brand SM Extruded Polystyrene Foam Insulation
 - RSI value of 0.87/25 mm [R-5 PER 1 INCH]
 - Board Size: [as indicated on Drawings].
 - Compressive Strength: 210 kPa
 - Draining Capacity: > 0.72 m3/hr/m
- 9 INSULATION FINISHING**
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4 FT ABOVE EXISTING FOOTING
INSULATIONS TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 21 1/2" GALVANIZED 'J' TRACK TO SECURE AND PROTECT ALL EXPOSED EDGES
ALL JOINTS TO THE EXISTING WALL AND NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



31/08/24
CANAM ENGG.

SCOPE OF WORK

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BELOW GRADE ENTRANCE

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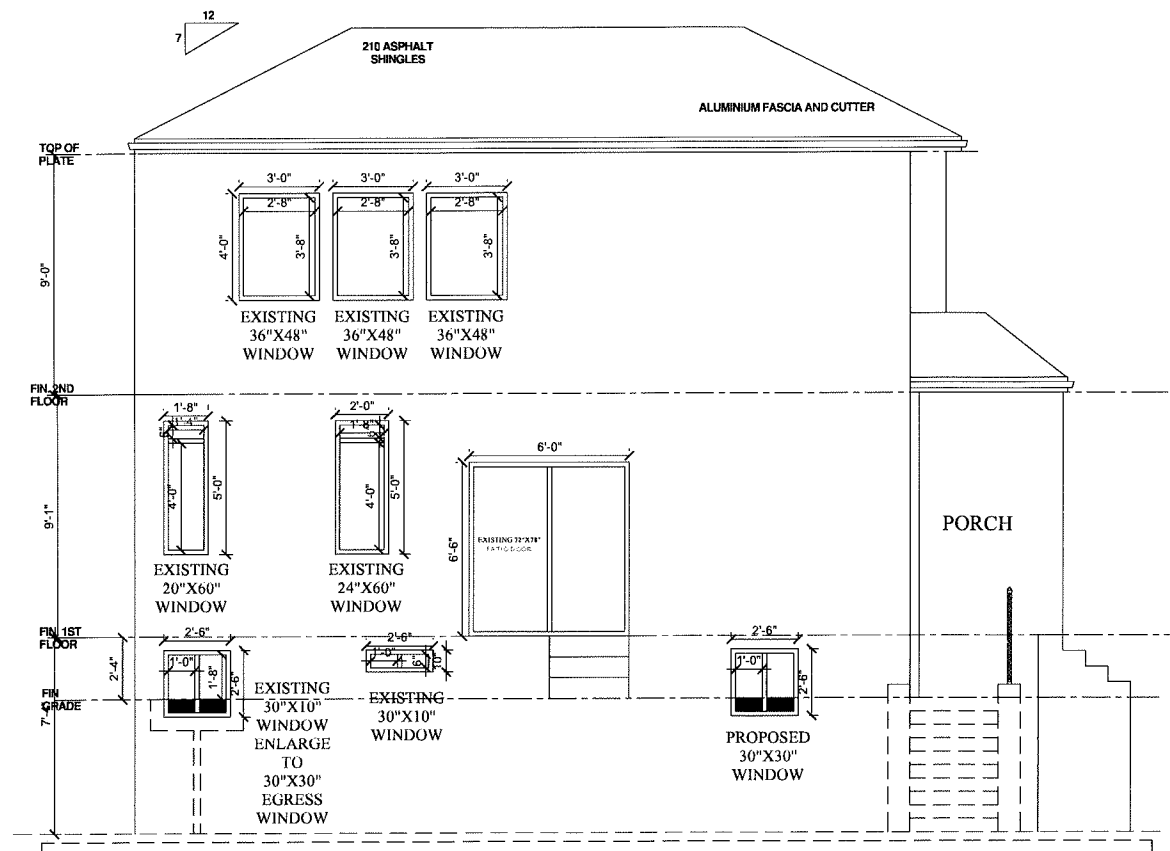
NOTES

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-12	AUG 2024
	SCALE 3/8"=1'-0"



REAR ELEVATION



31/08/24
CANAM ENGG.

SCOPE OF WORK
PROPOSAL TO CONSTRUCT
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REAR ELEVATION

CITY : BRAMPTON

15 BRADDOCK DRIVE

EXISTING DWELLING

SHEET	PROJECT
A-13	AUG 2024
	SCALE 3/16"=1'-0"



WATER PIPE SIZING AND PLUMBING DATA SHEET
HOUSE WITH TWO DWELLING UNITS

Owner Name: _____
Address: 15 Braddock _____
Permit Application #: _____

The Ontario Building Code Div. B, 7.6.3 regulates size and capacity of pipes for a new house. Please enter the number of individual fixtures as listed and bathroom groups or powder room groups per floor. The fixture units and required minimum size of water service will automatically be calculated.

Size of Existing Water Service (inch)	<input type="radio"/> 1/2"	<input type="radio"/> 5/8"	<input checked="" type="radio"/> 3/4"	<input type="radio"/> 1"
---------------------------------------	----------------------------	----------------------------	---------------------------------------	--------------------------

Description	Basement Floor	First Floor	Second Floor	Third Floor
	Qty.	Qty.	Qty.	Qty.
Bathroom group A bathroom group consists of 1 water closet, 1 lavatory, and 1 bathtub (with or without showerhead)	2		2	
Bidet				
Extra Shower (count this if there is a bathtub and a separate shower in the bathroom)				
Lavatory (Bathrooms sink, count this if there is more than one bathroom sink in the bathroom)			2	
Bar Sink				
Powder room A powder room group consists of 1 water closet and 1 lavatory.		1		
Kitchen Sink	1	1		
Dishwasher		1		
Laundry Tub				
Washing Machine	1	1		
Hose Bibb A hose bibb is an outside faucet or a	2			

Total Fixture Units 30.7
Size Of Water Services (Inch) 1 Ø

- Note:
- (1) A potable water system shall be designed, constructed and installed to conform to good engineering practice appropriate to the circumstances, such as that described in the ASHRAE Handbooks and ASPE Data Books.
 - (2) No water system between the point of connection with the water service pipe or the water meter and the first branch that supplies a water heater that serves more than one fixture shall be less than 3/4 in. in size.
 - (3) The minimum water pressure at the entry to the building is 200 kPa, and the total maximum length of the water system is 90 m.
 - (4) In a hot water distribution system of a developed length of more than 30 m from the HWT to the farthest fixture or supplying more than 4 storeys, the water temperature shall be maintained by, (a) recirculation, or (b) a self-regulating heat tracing system.
 - (5) Where piping may be exposed to freezing conditions, it shall be protected from the effects of freezing.
 - (6) If the existing water service is 1/2" or 5/8" in size, it will be required to be replaced and upgraded in size to match the requirement of this data sheet.
 - (7) The water pipe after the water meter shall be 1" in size and shall run to the branches for the hot water tank and for the water supply to each dwelling unit.

CITY OF BRAMPTON - BUILDING DIVISION

SECTION G: DOCUMENTS ESTABLISHING COMPLIANCE WITH APPLICABLE LAW (OBC Div. A - 1.4.1.3.)

Permit Application No. _____	Project Location 15 # _____	Braddock Drive, L7A3T3 street _____	unit/suite _____
---------------------------------	-----------------------------------	--	------------------

Explanation:
Applicable Law - Applicable law is other regulations for which approval must be obtained before a building permit can issue. A complete list of Acts and Regulations that are "Applicable Law" is set out in Article 1.4.1.3 of Division A of the Ontario Building Code.

Instructions:
The most common Acts and Regulations are listed below with the documentation that must be provided before a building permit can issue. Check those that apply to your permit application and complete the declaration. The customer service plans examiner will assist you with any questions you may have about the regulations listed. The documents noted must be provided before a building permit can issue.

Details and Contact Information
A list of agencies and contact information is available at the Building Division or on the City of Brampton website

APPLICABLE LAWS (Note: This list provides only the most common approvals)

ACT	Description	REQUIRED DOCUMENTS (Provide copy)	Required Yes/No	Received
Planning Act s.41	(Site Plan Control)	Site plan approved drawings	No ▼	
Planning Act s.34	(Zoning By-law)	Final & binding amendment	No ▼	
Planning Act Pt. V1	(Division of Land)	Registered Plan or Deed	No ▼	
Planning Act s.45	(Minor Variance)	Final Decision from City Clerk	No ▼	
Planning Act s.33	(Demolition of Residential Property)	Council Approval	No ▼	
Ontario Heritage Act ss.27 (3), 30(2), 33, ss.34.40.1 & 40.2		Heritage Permit	No ▼	
Ontario Heritage Act s.34.5 and s. 34.7.(2)		Ministry of Culture approval	No ▼	
Development Charges Act s.28 and s.53, Education Act s.257.83 & 257.93	(Financial Contribution)	Confirmation of payment from City of Brampton Finance Department	No ▼	
Planning Act s.42(6)	(Cash in Lieu of Parkland)	Confirmation of payment from City of Brampton Finance Department	No ▼	
Conservation Authorities Act	(Flood plain or fill regulated area)	Construction and Fill Permit	No ▼	
Day Nurseries Act, Reg. 262 s.5	(Daycare centre with more than 5 children)	Approval from Ministry of Children and Youth Services	No ▼	
Education Act s.194	(Demolition of all or part of a school)	Approval from Ministry of Education	No ▼	
Environmental Protection Act s.168.3.1 & 168.6(1) change of use of land	(Industrial or commercial to agricultural, residential or park)	File Record of Site Condition (RSC) and/or provide Certification of Property use (CPU)	No ▼	
Public Transportation Act s.34 and s. 38 10	(Construction within 45m of the road or within 395m of an intersection of Hwys, 410 or 407)	Building and Land Use Permit issued by MTO	No ▼	
Other:				

APPLICANT'S DECLARATION

I, Dhrupal patel _____ certify that the applicable laws designated on the above noted chart are, to the best of my
(print name)
knowledge, all of the "applicable law" for which this application for a permit must comply before a permit is issued.

2024-09-13 _____
Date Signature

FOR OFFICE USE ONLY

Zoning Non-compliance Checklist

File No.
A-2024-0432

Applicant: Dhrupal Patel
Address: 15 Braddock Drive
Zoning: R1C-1231 Residential
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE	To permit a <i>proposed</i> exterior stairway leading to a below grade entrance in a required side yard	whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard.	10.23.1
	To permit a <i>proposed</i> exterior side yard setback of 1.8m to a stairway leading to a below grade entrance	whereas the by-law requires a minimum exterior side yard setback of 3.0m.	1231.2(5)
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato
Reviewed by Zoning

September 26, 2024
Date