

CITY OF BRAMPTON

COMMITTEE OF ADJUSTMENT *APPLICATION FOR MINOR VARIANCE*

10629 MISSISSAUGA ROAD

SITE CONTEXT

ADDRESS: 10629 Mississauga Road

SITE AREA: 1.70 hectares
4.21 acres

OFFICIAL PLAN
DESIGNATION: Neighbourhoods, Mixed Use,
High Density Residential

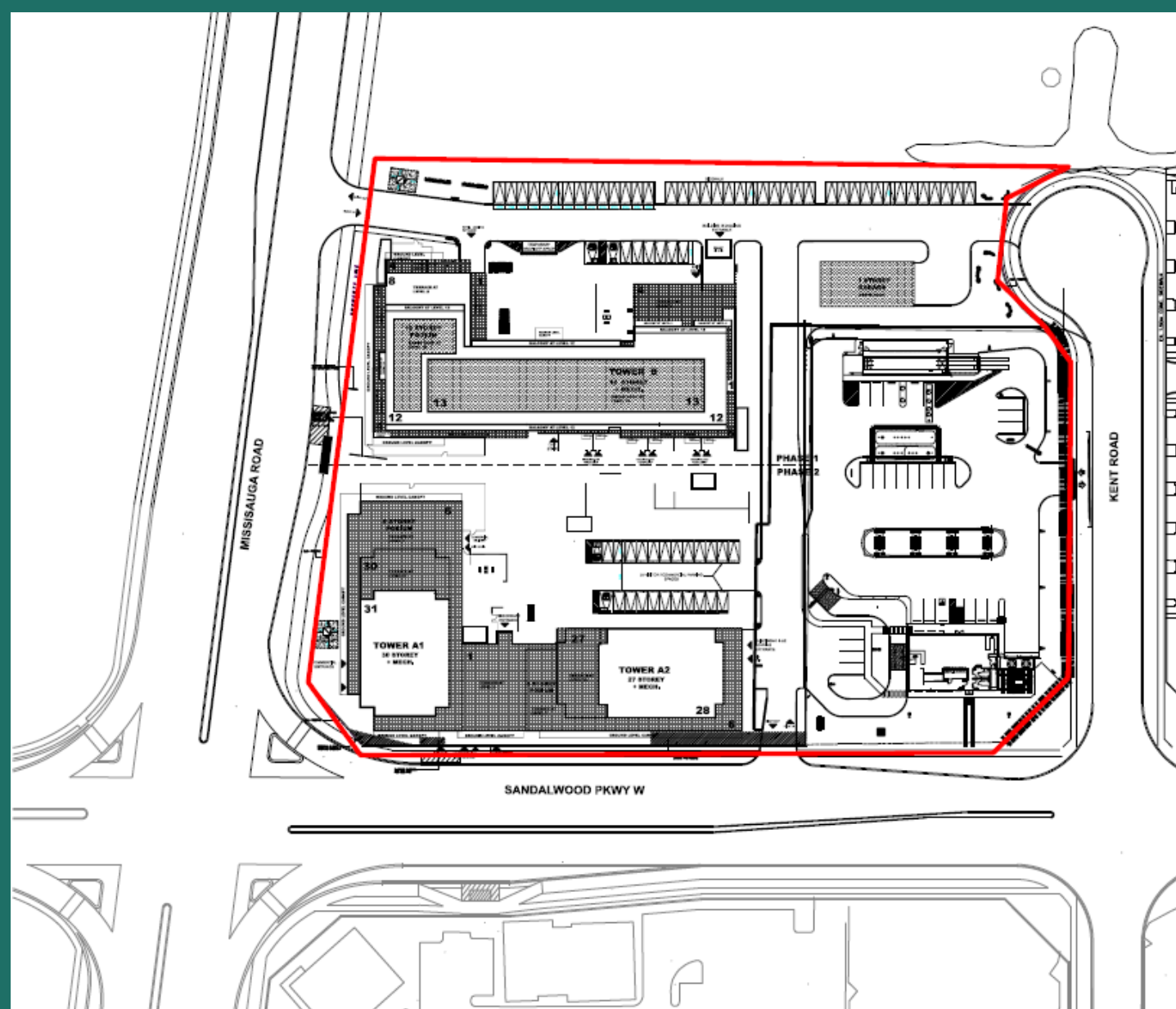
ZONING: Residential Apartment A
(R4A-3689)



RELATED CITY FILES

OZS.2021-0002
Approved

SPA.2022-0225
*Site Plan Agreement
Prepared*



REQUESTED VARIANCES

- 1. To permit a minimum resident parking requirement of 0.80 spaces per unit** whereas Zoning By-law 270-2004 requires a minimum of 1.0 parking spaces per unit.
- 2. To permit 30 storeys located within 68 meters of the exterior side lot line and 14 storeys within the remainder of the lot** whereas the site-specific Zoning By-law 53-2023 permits 30 storeys located within 68 meters of the exterior side lot line and 12 storeys within the remainder of the lot.

VARIANCE #1

Required Parking Spaces			
	Units	Ratio	Total
Building A1/A2			
Residential	709	.80	568
Visitor/Comm.		.20	142
Building B			
Residential	387	.80	310
Visitor/Comm.		.20	78
TOTAL Residential			877
TOTAL Visitor/Comm.			220

PARKING JUSTIFICATION LETTER (GHD, OCTOBER 1, 2024)

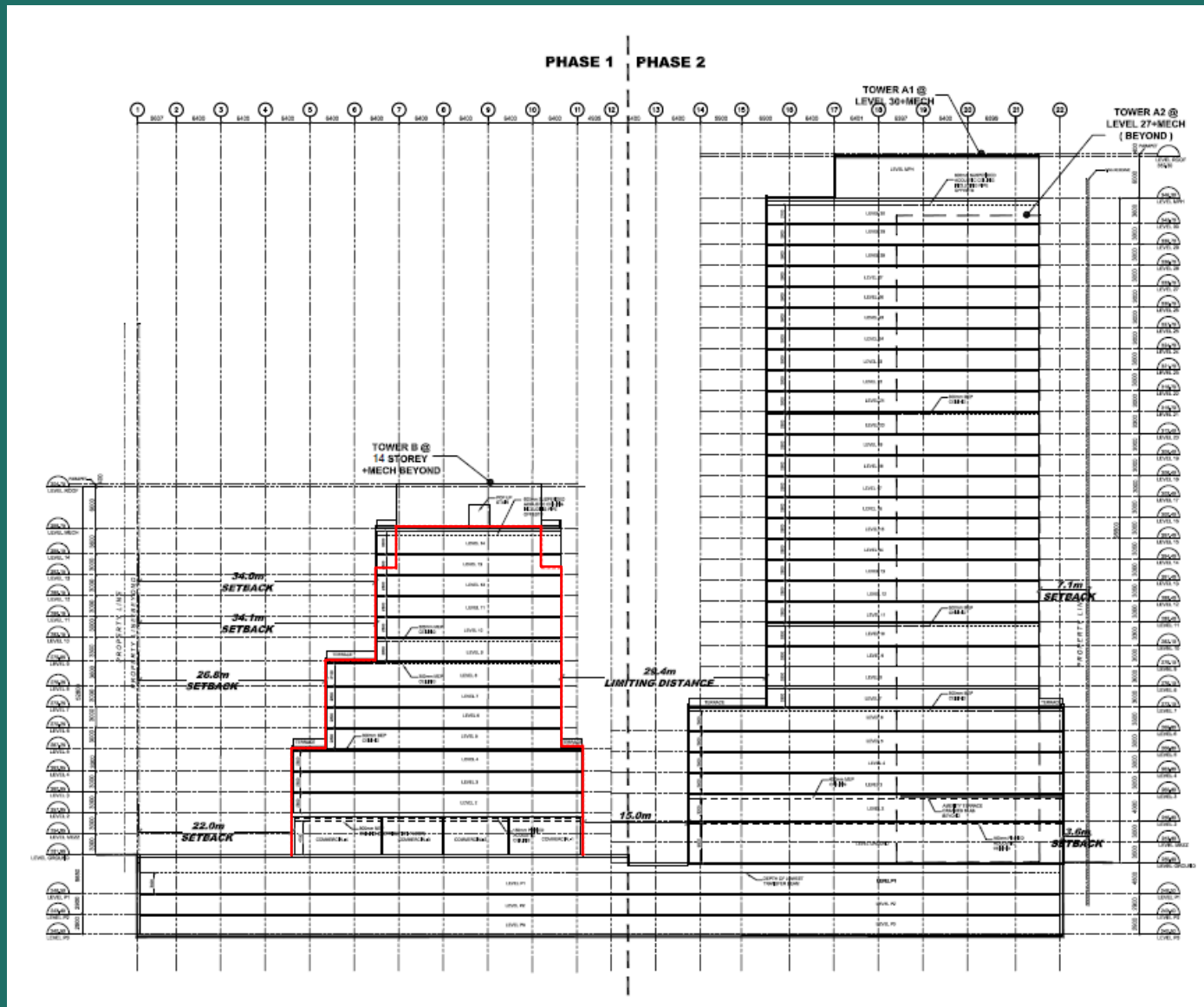
“Based on the analysis, the proposed reduction in resident parking supply to 0.80 spaces per unit is justified due to the site's transit accessibility, TDM measures, and the observed vehicle ownership trends in similar developments (M2 Condos).

GHD is of the opinion that a variance from Zoning By-law 270-2004 to permit a resident parking ratio of 0.80 spaces per unit while maintain the visitor parking requirement of 0.20 spaces per unit is appropriate and supportable for the subject site.”



Proxy Survey: M2 Condos
(215 Veterans Drive)

VARIANCE #2



THANK YOU

