

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pauline Reichert
Address 37 Guest St, Brampton, ON, L6W 1T7

Phone # 647-806-8832 **Fax #**
Email reisrogroupinc@hotmail.com

2. **Name of Agent** Kelvin Lo (Permit Works)
Address 3575 14th Ave, Unit 18, Markham, ON, L3R 0H6

Phone # 905-291-1868 **Fax #**
Email permit@permitworks.ca

3. **Nature and extent of relief applied for (variances requested):**

1.The proposed accessory structure (shed) exceeds the maximum permitted gross floor area of one accessory structure of 15 square metres (161 square feet). Proposed area 27.87 sq m (300 sq ft).

2.The proposed accessory structure also exceeds the maximum permitted height of 3.0 metres to the top of the roof. Proposed height 3.38m.

4. **Why is it not possible to comply with the provisions of the by-law?**

The shed being permitted is existing and doesn't comply to zoning by-laws

5. **Legal Description of the subject land:**
Lot Number Part of Lot 1
Plan Number/Concession Number Registered Plan BR-31
Municipal Address 37 Guest St, Brampton

6. **Dimension of subject land (in metric units)**
Frontage 14.02 m
Depth 56.22 m
Area 813.18 sq m

7. **Access to the subject land is by:**

Provincial Highway☐ Seasonal Road☐

Municipal Road Maintained All Year☒ Other Public Road☐

Private Right-of-Way☐ Water☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1-storey Dwelling 100 sq m; 13.21m x 7.57m

Shed 13.4 sq m; 3.66m x 3.66m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Shed 27.87 sq m; 6.10m x 4.57m; height 3.38m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	-
Rear yard setback	-
Side yard setback	-
Side yard setback	-

PROPOSED

Front yard setback	-
Rear yard setback	0.13 m
Side yard setback	0.31 m
Side yard setback	-

10. Date of Acquisition of subject land: 1961
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: dwelling 1961/prop shed couple years
15. Length of time the existing uses of the subject property have been continued: since built

16. (a) What water supply is existing/proposed?

Municipal	<input checked="" type="checkbox"/>	Other (specify)	
Well	<input type="checkbox"/>		

- (b) What sewage disposal is/will be provided?

Municipal	<input checked="" type="checkbox"/>	Other (specify)	
Septic	<input type="checkbox"/>		

- (c) What storm drainage system is existing/proposed?

Sewers	<input checked="" type="checkbox"/>	Other (specify)	
Ditches	<input type="checkbox"/>		
Swales	<input type="checkbox"/>		

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF ~~Markham~~ Brampton
THIS 21st DAY OF March, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Steven Reichert, OF THE country OF Belize

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF

PEEL THIS 13 DAY OF

APR, 2024

[Signature]
A Commissioner etc.

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar

Zoning Officer

July 16, 2024

Date

DATE RECEIVED

Aug 13, 2024

Date Application Deemed
Complete by the Municipality

VL

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 37 Guest St, Brampton

I/We, Pauline Reichert
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Kelvin Lo & Salik Imtiaz
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for minor variance with respect to the subject land.

Dated this 10 day of May, 2024

X Pauline Reichert
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 37 Guest St

I/We, Pauline Reichert

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 10 day of May, 2024

X Pauline Reichert

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION


SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
Part of LOT 1
REGISTERED PLAN BR-31
CITY of BRAMPTON
Regional Municipality of Peel
SCALE 1:100
YOUNG & YOUNG SURVEYING
(ETOBICOKE 2008) INC.
© COPYRIGHT 2024

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
BEARINGS ARE ASTROLOGIC AND ARE REFERRED TO THE
EAST LIMIT OF GUEST STREET, HAVING A BEARING OF
N37°45'00"E ACCORDING TO REGISTERED PLAN BR-31

- LEGEND
- DENOTES SURVEY MONUMENT FOUND
 - RP --- REGISTERED PLAN BR-31
 - PL --- PLAN K39-17035
 - N.S.E.W. --- NORTH-SOUTH-EAST-WEST
 - M --- MEASURED
 - CC --- CUT CROSS
 - IB --- IRON BAR
 - OU --- ORIGIN UNKNOWN
 - WT --- WITNESS
 - PI.N --- PROPERTY IDENTIFIER NUMBER
 - CLF --- CHAIN LINK FENCE
 - BF --- BOARD FENCE
 - D --- INSTRUMENT NO. R071457.7
 - CP1 --- PLAN BY C. PEAT, O.L.S.
DATED APRIL 30, 1984
 - CP2 --- PLAN BY C. PEAT, O.L.S.
DATED JULY 12, 2003
 - GTA --- PLAN BY GREATER TORONTO ACRES
SURVEYING INC., O.L.S.
DATED JANUARY 30, 1979
 - CE0 --- PLAN BY C.E. DOTTERILL LTD., O.L.S.
DATED JANUARY 30, 1979
 - (1515) --- 1515 HAWKWOOD, O.L.S.
 - EHS --- EAST OF HURONTARIO STREET
 - P --- PRODUCTION

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-63735



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT
AND THE REGULATIONS MADE UNDER THEM
 2. THE SURVEY WAS COMPLETED ON THE 22ND DAY OF
JANUARY, 2024

JANUARY 25, 2024
DATE

CHRIS BERESHEWICZ
ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR PAULINE RECHERT

PART 2 - SURVEY REPORT

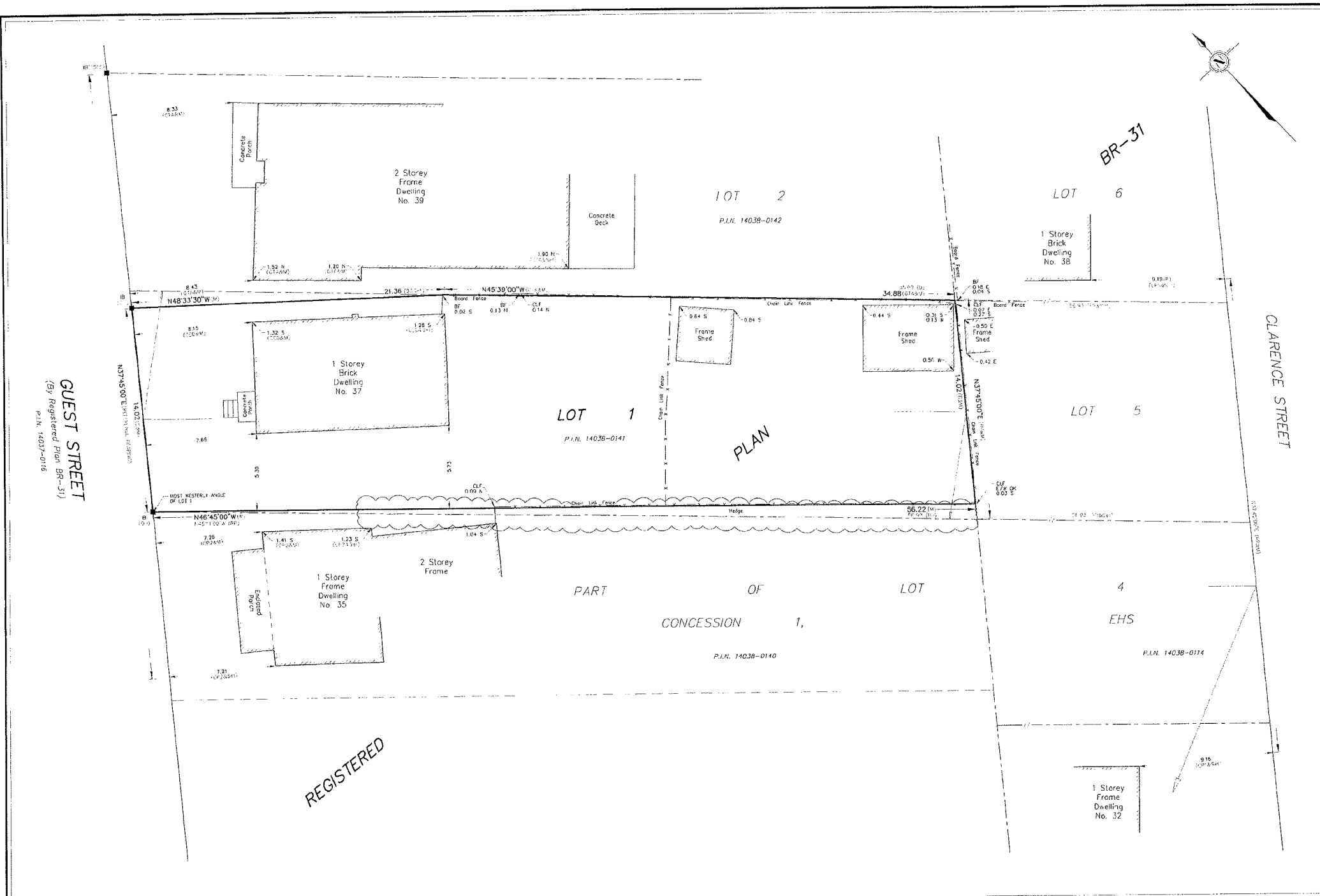
- 1) PLEASE NOTE LOCATION OF FENCES AND HEDGE
- 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE
- 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS



YOUNG & YOUNG
SURVEYING (ETOBICOKE 2008) INC.

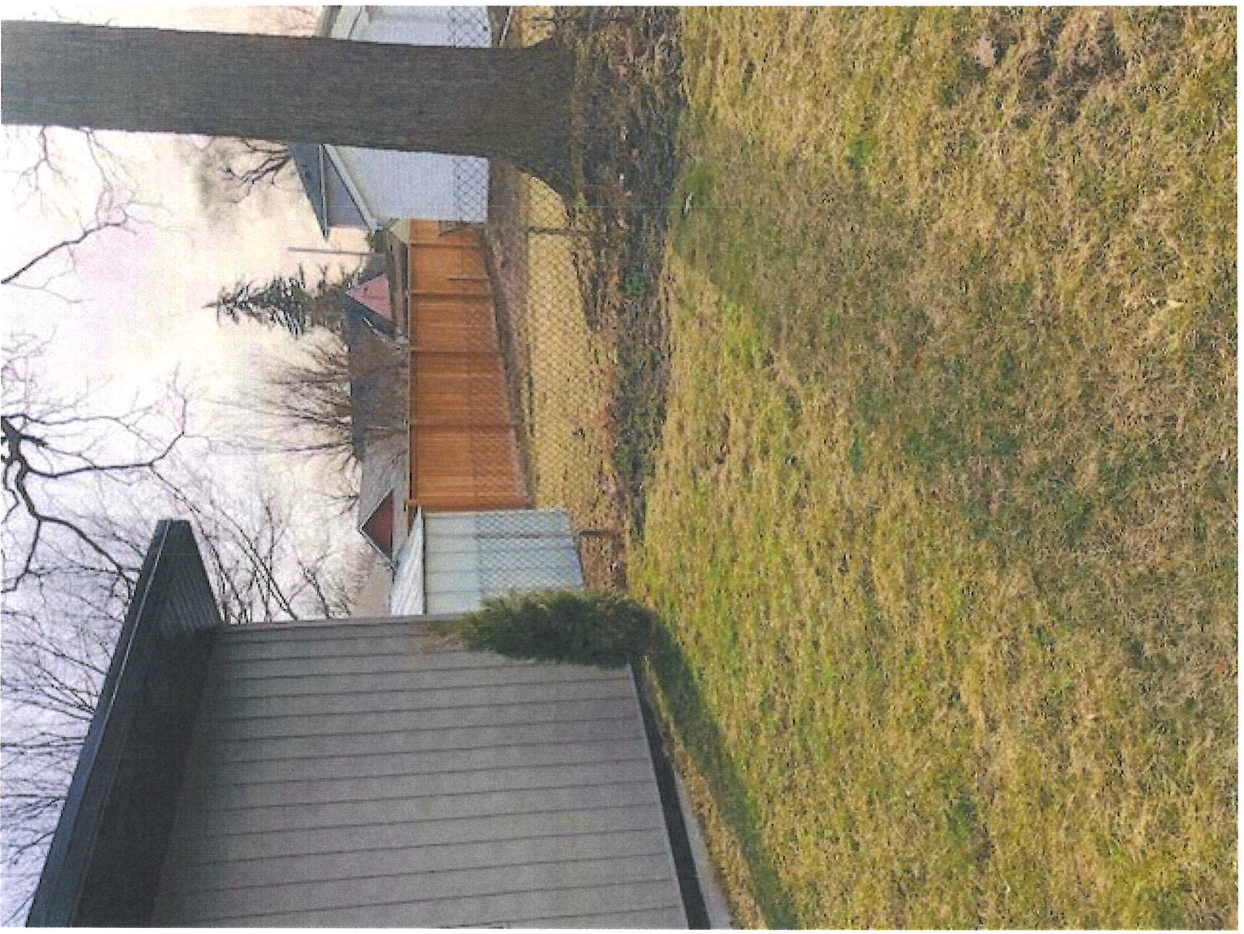
310 North Queen St., Unit 102, Toronto ON M5C 5K4
Tel: (416) 621-2876 - Fax: (416) 621-3360
EMAIL: info@youngandyoung.ca

DRAWN S.S. CHECKED C.B. PROJECT 24-T11490

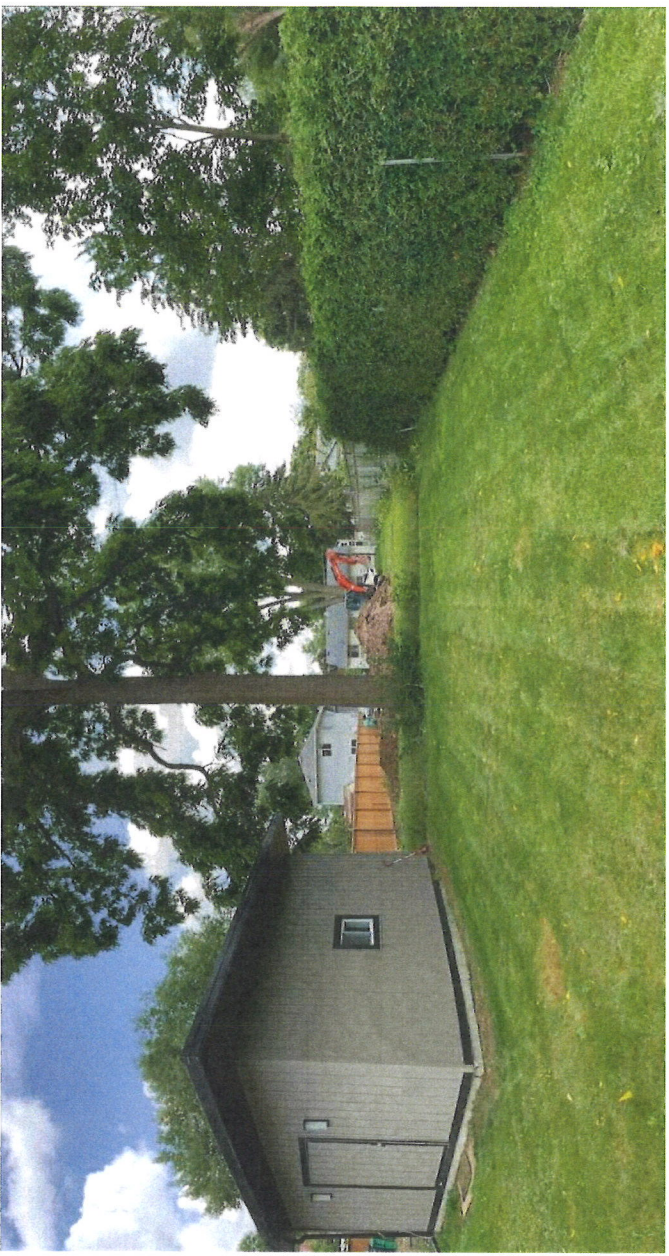


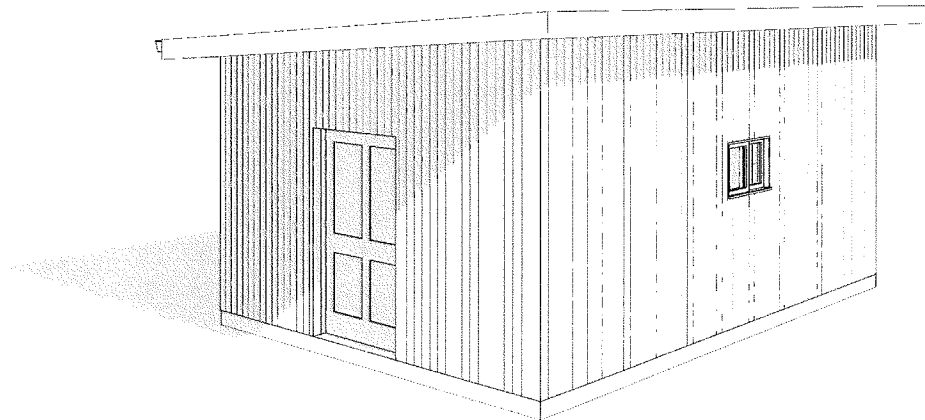
Tree photos at 37 Guest st, Brampton











PROPOSED DETACHED SHED
37 Guest St
Brampton, ON L6W 1T7

KCCL
Architect

LICENSED ARCHITECT BY ONTARIO ARCHITECT ASSOCIATION

348 Hemlock Drive, Whitchurch Stouffville, Ontario Canada L4A 5A7/
Tel: 416 881 9898. Mobile: 416 602 9616
Email: info@kcclarchitect.ca
Web: <https://www.kcclarchitect.ca>

OAA - Licence # 9250. Certificate of Practice # 6195

GENERAL NOTES 1.0

Drawings:

1. Owner and contractor is fully responsible for verifying all existing structural condition prior to any work. Any and all discrepancies shall be reported to KCCL Architect Inc. Prior to any work. Owner and contractor is fully responsible for shoring existing structure prior to any work.
2. DO NOT SCALE DRAWINGS
3. If any conflict of discrepancy exists in the drawings documents, the following priority sequence is to be followed:
 - Drawings of a later date supersede drawings of an earlier date
 - Larger scales drawings supersede those of a smaller scale
 - the specifications supersede the drawings
5. Mechanical and electrical contractors are to cross reference the architectural and engineering drawings through-out the course of the project and report any discrepancies to the architect before proceeding

Permits & Inspections:

1. **NO DEMOLITION OR CONSTRUCTION IS TO START WITHOUT ISSUANCE OF A VALID BUILDING PERMIT.**
2. Upon completion of the work, the contractors shall pay for and obtain a signed release from the municipality having jurisdiction indicating that the work is complete and the permit is signed off.
3. The contractor shall give all required notices for inspections as required by the building permit and all authorities having jurisdiction.
4. The architect will abide by the mechanic's lien act in his/her review of all progress invoices on the project.

Cooperation & Protection:

1. Each contractor is responsible for all necessary cutting and patching required by their respective trades.
2. Protection: The general contractor shall protect all finished work from construction any damage arising from any cause shall be made good by the general contractor to the satisfaction of the architect.
3. Protection: Contractor to provide protection over any base building equipment during all phases of construction.

Substitutions:

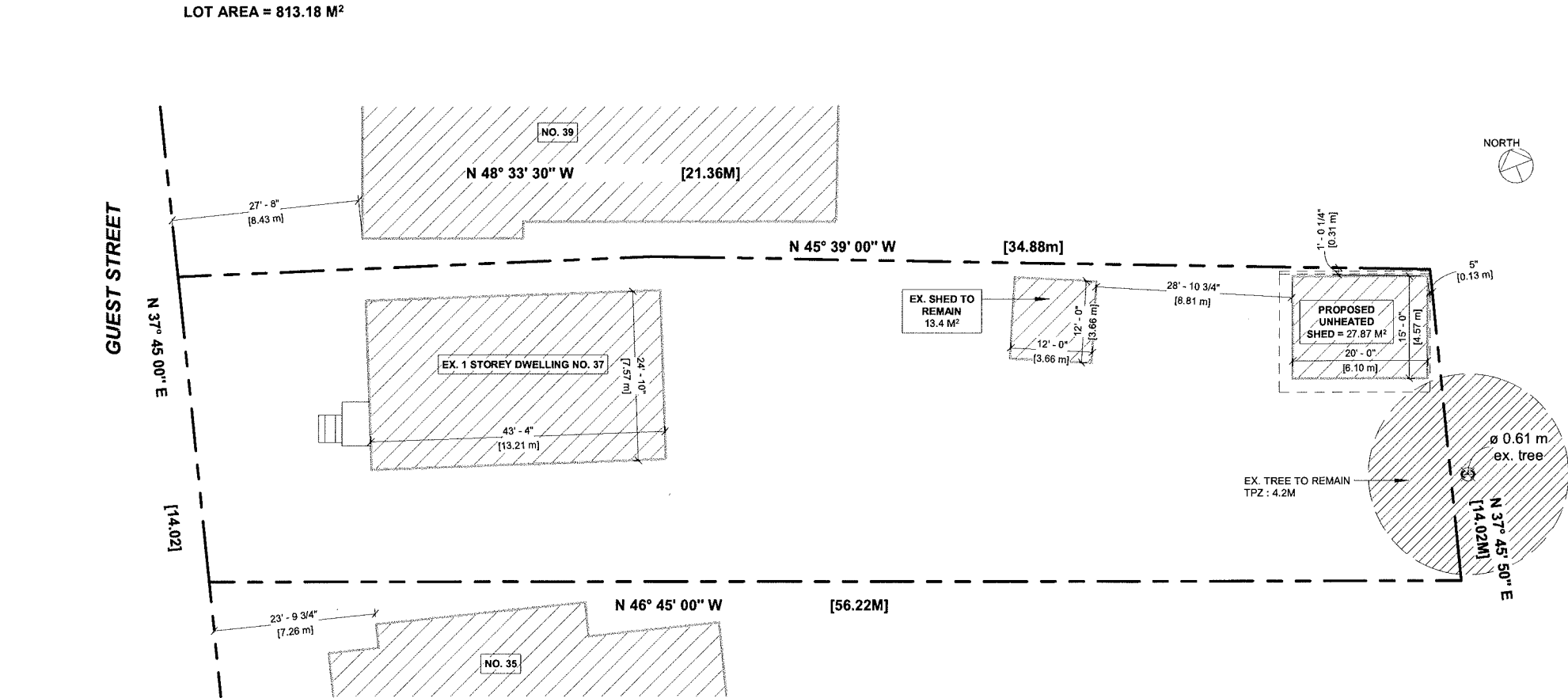
1. No substitution for any product or material will be accepted unless authorized by the architect in the form of an addendum.

Building Code Compliance Note:

1. These drawings do not represent a comprehensive and exhaustive guide for compliance with the Ontario Building Code. It is assumed that the contractor has reasonably sufficient knowledge of the Ontario Building Code in order to perform all work as per these drawings in such a way that will comply with all aspects of the OBC and will not contravene any other applicable laws.

Legal:

Drawings issued by KCCL Architect Inc are for illustration and design intent purposes only. All Architectural, Mechanical, Electrical, Plumbing, Structural, Sprinkler, Suppression system and life safety items are to be as per outlined in municipal permit approved drawings as per issued by associated professional engineer and respective trades.



1 SITE PLAN
1 : 200

PROPOSED DETACHED SHED
37 Guest St
Brampton, ON L6W 1T7

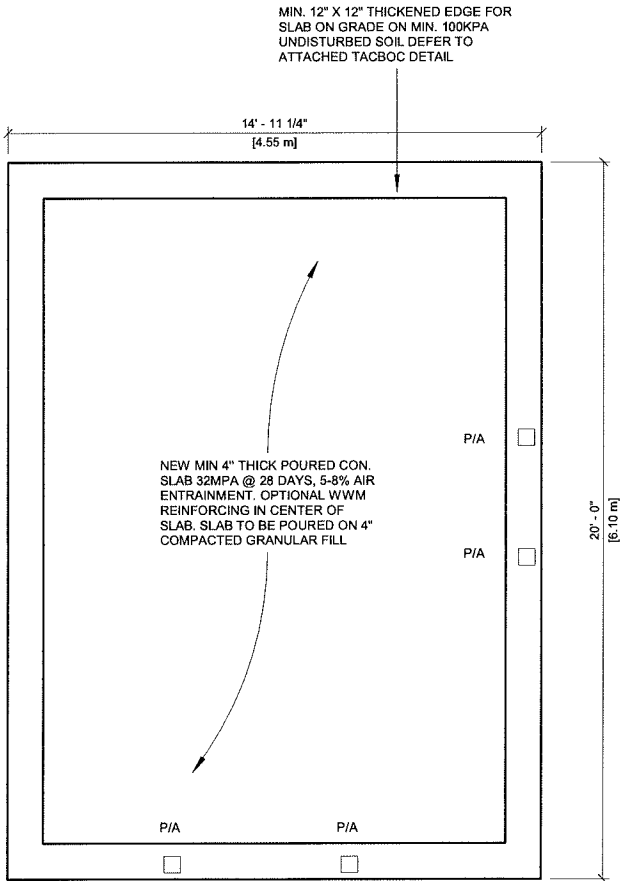
KCCL
Architect

348 Hemlock Drive, Witchurch
Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

Drawn by	EY
Date	2023-09-21
Scale	1 : 200
Project Number	23180
CONTRACTOR SHALL VERIFY SITE DIMENSIONS	

DRAWING NAME
SITE PLAN
SHEET NUMBER
A1.1

1 NEW BASEMENT
1/4" = 1'-0"



CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St
Brampton, ON L6W 1T7

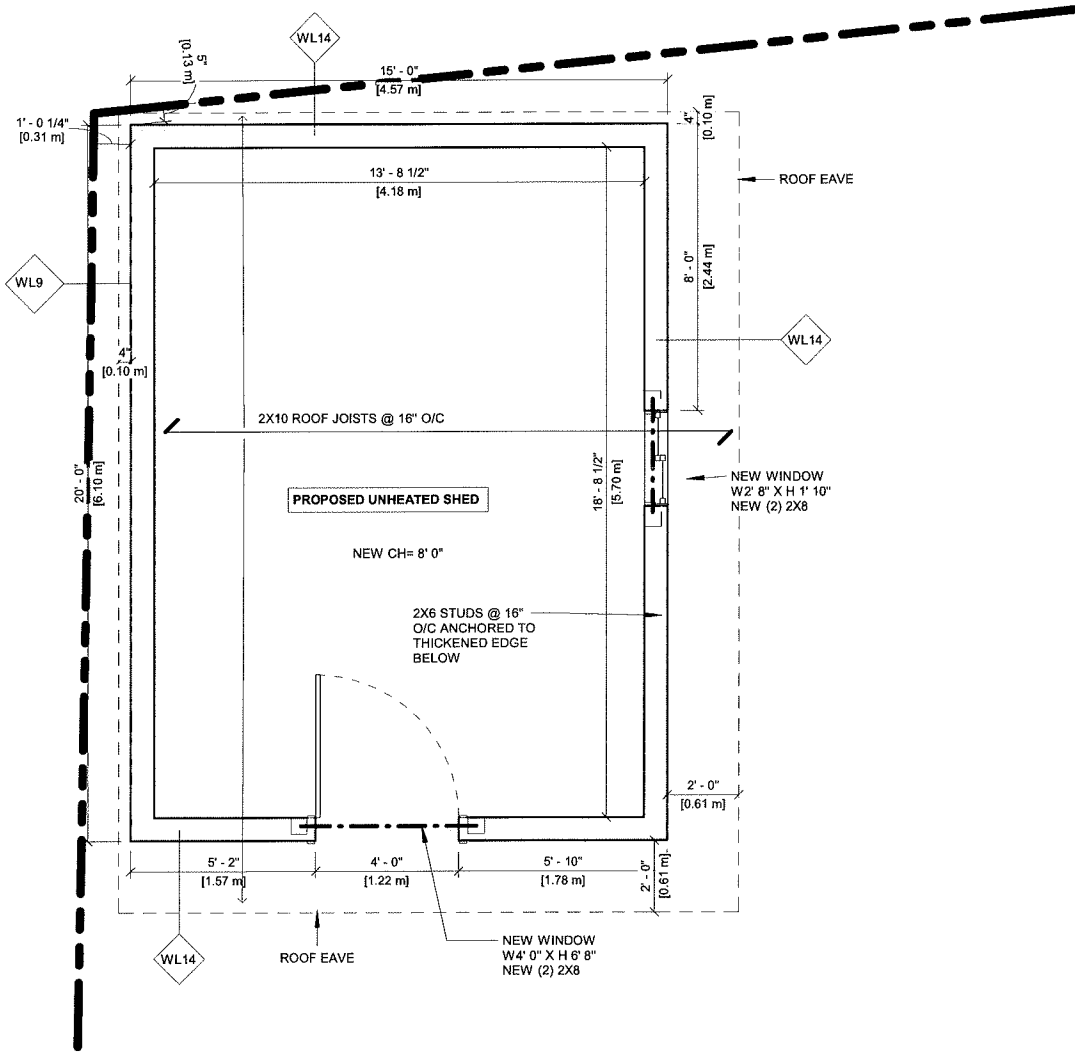
Permit
Works

Approvals
Made Easy

3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-989-8900

KCCL
Architect

Drawn by	EY
Date	2023-09-21
Scale	1/4" = 1'-0"
Project Number	23180
DRAWING NAME	NEW FLOOR PLAN
SHEET NUMBER	A2.1



① NEW 1ST FLOOR
1/4" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St
Brampton, ON L6W 1T7

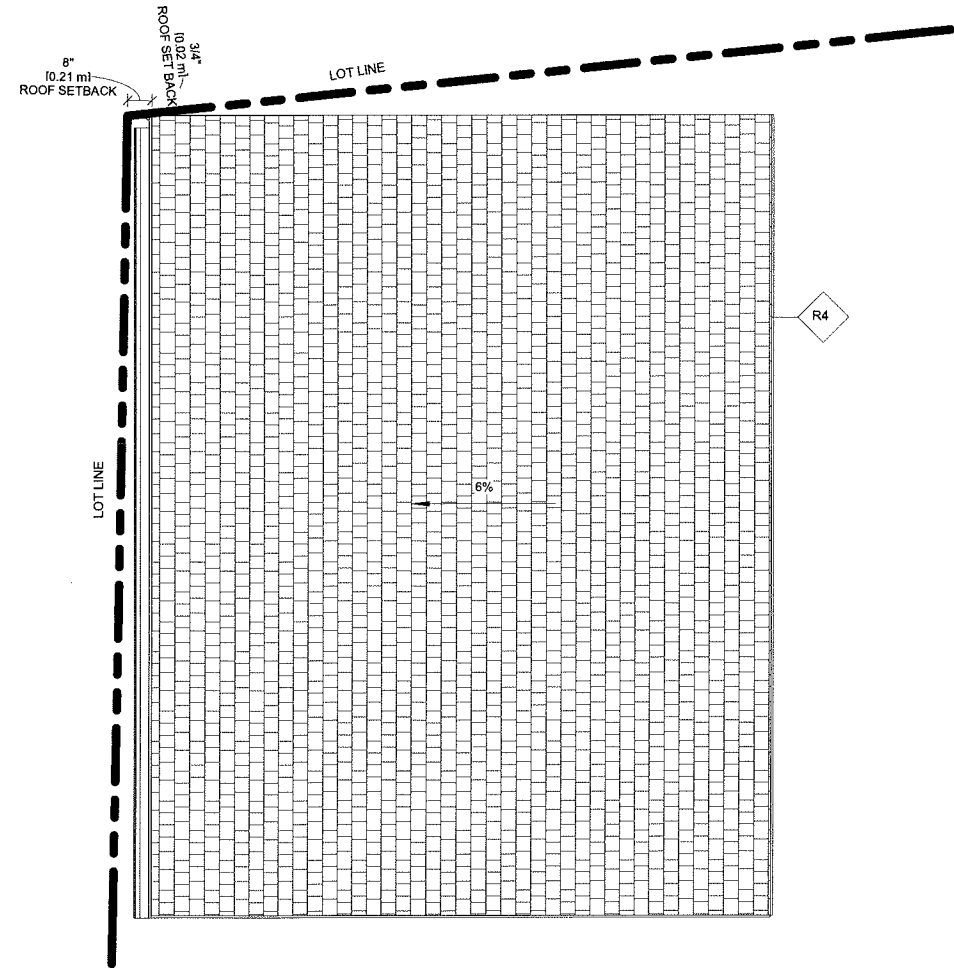
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MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-889-8900

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Architect

Drawn by	EY
Date	2023-09-21
Scale	1/4" = 1'-0"
Project Number	23180
DRAWING NAME	NEW FLOOR PLAN
SHEET NUMBER	A2.2

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1 NEW ROOF PLAN
1/4" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St
Brampton, ON L6W 1T7


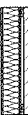
Permit
Works
Approvals
Made Easy

3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-989-8900

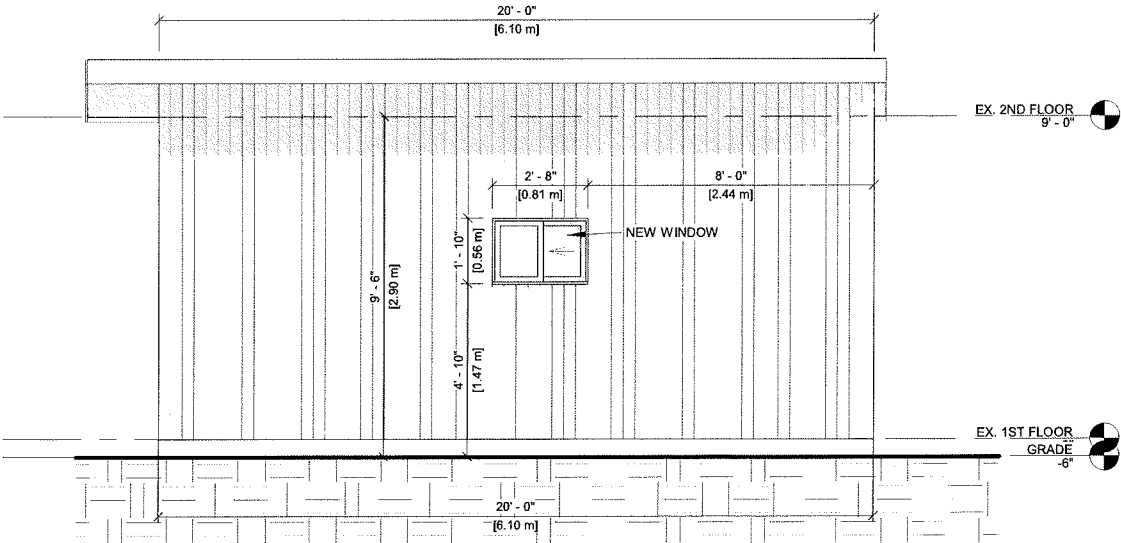
KCCL
Architect

Drawn by	EY
Date	2023-09-21
Scale	1/4" = 1'-0"
Project Number	23180
DRAWING NAME	NEW FLOOR PLAN
SHEET NUMBER	A2.3

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R4		RAFTER ROOF FRAMING <ul style="list-style-type: none">ASPHALT SHINGLES - 30 YEAR, 3 TAB. UNDERLAY ICE AND WATER SHIELD FOR A VERTICAL DIMENSION OF 5'-0" MIN. UP ROOF SLOPE FROM EAVES1/2" SPRUCE PLYWOOD + 'H' CLIPS ON APPROVED WOOD RAFTERS. SEE PLAN FOR SIZE
WL14		WOOD SIDING WALL <ul style="list-style-type: none">VERTICAL/HORIZONTAL WOOD SIDING (REFER TO MANUFACTURE'S SPEC. FOR DETAILS) TO BE APPROVED BY OWNER OR ARCHITECT1" AIR SPACE W/ 1"X 3" FURRING STRIPS @ 32" O.C."TYVEK" MOISTURE PROTECTION1/2" EXTERIOR GRADE PLYWOOD2" X 6" SPRUCE STUD @ 16" O.C.
WL9		METAL SIDING WALL (45MIN FRR) <ul style="list-style-type: none">VERTICAL/HORIZONTAL METAL SIDING (REFER TO MANUFACTURE'S SPEC. FOR DETAILS) TO BE APPROVED BY OWNER OR ARCHITECT1" AIR SPACE W/ 1"X 3" FURRING STRIPS @ 32" O.C."TYVEK" MOISTURE PROTECTION1/2" EXTERIOR GRADE PLYWOOD2" X 6" SPRUCE STUD @ 16" O.C. R22 MINERAL WOOL "ROXUL" INSULATION6MIL POLY CONTINUOUS VAPOUR BARRIER (EXTERIOR GARAGE WALLS WILL NOT BE INSULATED)5/8" GYPSUM BOARD TYPE X

① East
1/4" = 1'-0"



CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St
Brampton, ON L6W 1T7

Permit
Works

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3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-989-8900

KCCL
Architect

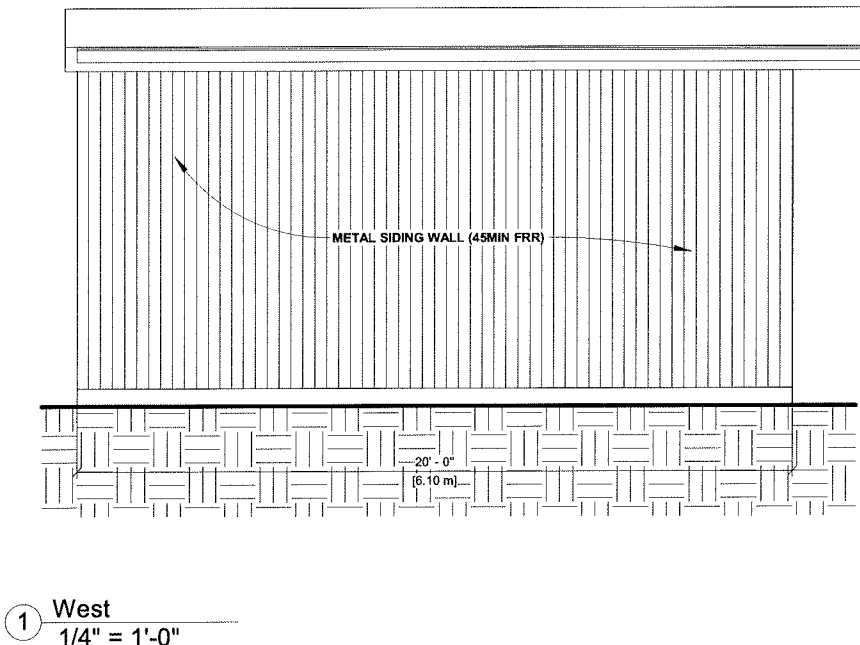
Drawn by EY
Date 2023-09-21
Scale 1/4" = 1'-0"
Project Number 23180

DRAWING NAME
NEW ELEVATIONS

SHEET NUMBER

A3.1

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CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St
Brampton, ON L6W 1T7

Permit
Works

Approvals
Made Easy

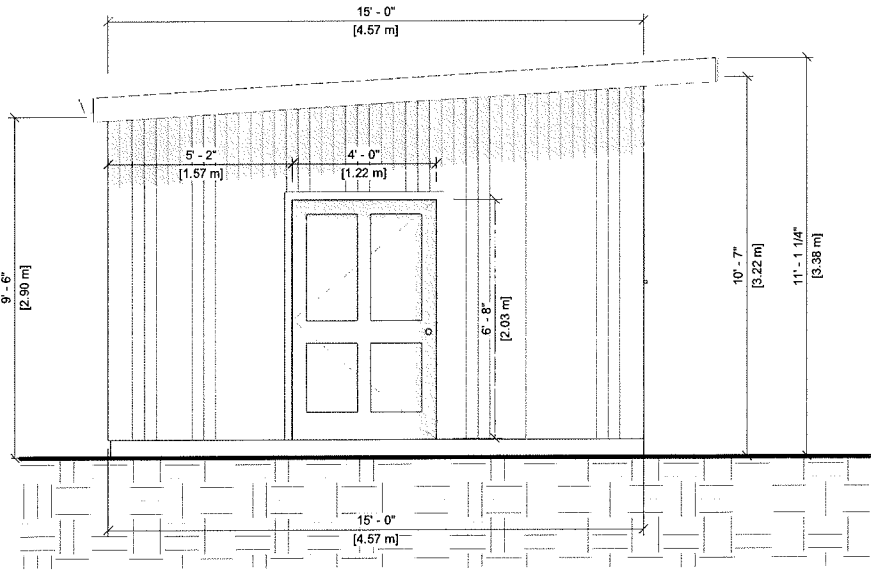
3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-989-8900

KCCL
Architect

Drawn by	EY
Date	2023-09-21
Scale	1/4" = 1'-0"
Project Number	23180
DRAWING NAME	NEW ELEVATIONS
SHEET NUMBER	A3.2

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1 South
1/4" = 1'-0"



CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St
Brampton, ON L6W 1T7

Permit
Works
Approvals
Made Easy

3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-989-8900

KCCL
Architect

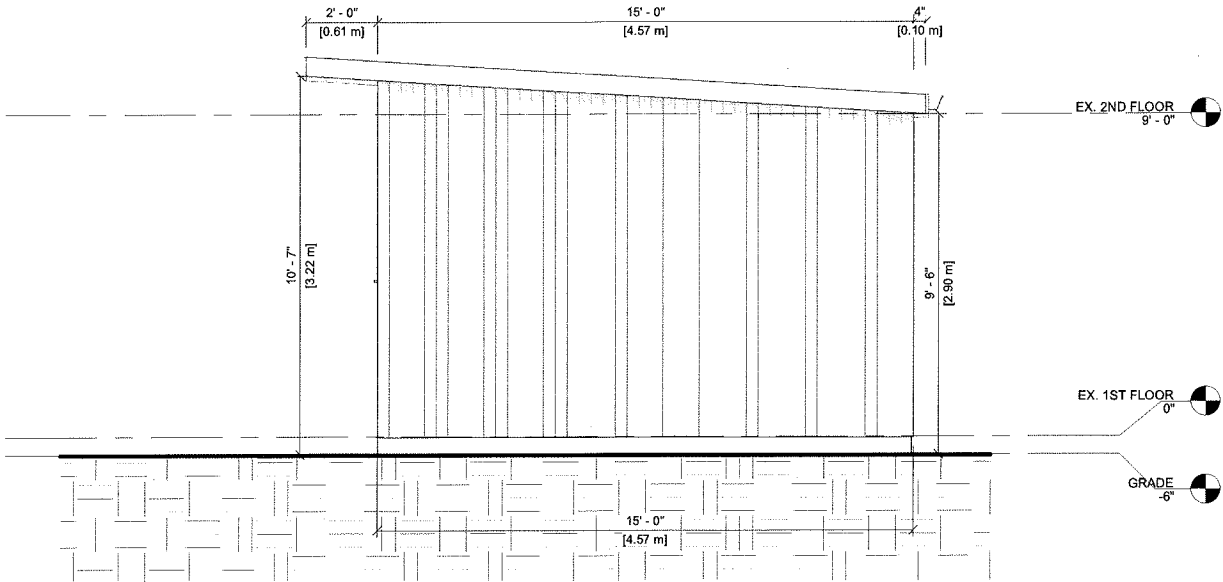
Drawn by EY
Date 2023-09-21
Scale 1/4" = 1'-0"
Project Number 23180

DRAWING NAME
NEW ELEVATIONS

SHEET NUMBER
A3.3

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1 North
1/4" = 1'-0"



CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St

Brampton, ON L6W 1T7

Permit
Works
Approvals
Made Easy

3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-989-8900

KCCL
Architect

Drawn by	EY
Date	2023-09-21
Scale	1/4" = 1'-0"
Project Number	23180
DRAWING NAME	NEW ELEVATIONS
SHEET NUMBER	A3.4

Zoning Non-compliance Checklist

File No.
A-2024-0310

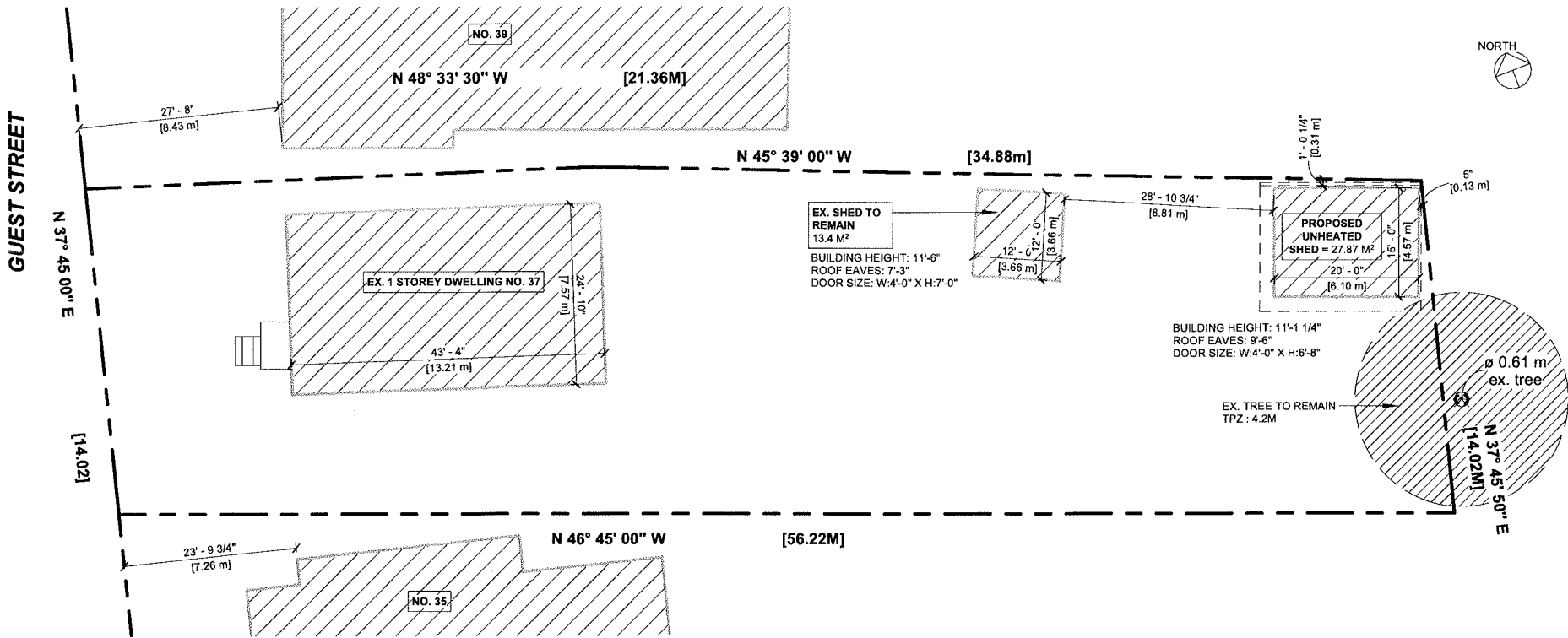
Owner: Pauline Reichert
Address: 37 GUEST ST
Zoning: R1B
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
BUILDING SIZE			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT	To permit an accessory structure proposed shed having a setback of 0.13m to the rear lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure proposed shed having a setback of 0.31m to the side lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure proposed shed, having a height of 3.38m (11.09 ft),	whereas the by-law permits an accessory structure having a maximum height of 3.00m	10.3 (h)
	To permit a combined gross floor area of 41.28 sq. m (444.33 sq. ft.) for two (2) accessory structures	whereas the by-law permits a maximum combined gross floor area of 20 sq.m for two (2) accessory structures	10.3 (e) ii
	To permit an accessory structure proposed shed having a gross floor area of 27.88 sq. m (300.10sq. ft.)	whereas, the by-law permits a maximum gross floor area of 15 sq.m for an individual accessory structure	10.3 (e) ii
ENCROACHMENTS			

Philip Gaspar
Reviewed by Zoning

July 16, 2024
Date

LOT AREA = 813.18 M²



1 SITE PLAN
1 : 200

PROPOSED DETACHED SHED
37 Guest St
Brampton, ON L6W 1T7

KCCL
Architect

348 Hemlock Drive, Wiltchurch
Stouffville, ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

Drawn by	EY
Date	2024-09-03
Scale	1 : 200
Project Number	23180
CONTRACTOR SHALL VERIFY SITE DIMENSIONS	

DRAWING NAME	SITE PLAN
SHEET NUMBER	A1.1

CITY OF BRAMPTON
BUILDING PERMIT

Owner's Name MR. REICHERT
Builder's Name OWNER
Kind of Building TWO SHEDS 12x12
37 SUITS ST.
To be erected on Lot No. 4 Plan No. COMC-1
Street Permit NO
Date JUNE 14 1983
ISSUED BY
L. T. KOEHLE, P. ENG.
CHIEF BUILDING OFFICIAL

NO.

32805

This Card must be kept posted in a conspicuous place about seven feet above grade.
If lost or defaced, another must be obtained.

Chief Building Official.

To be erected on Lot No. 4 Plan No. COMC-1

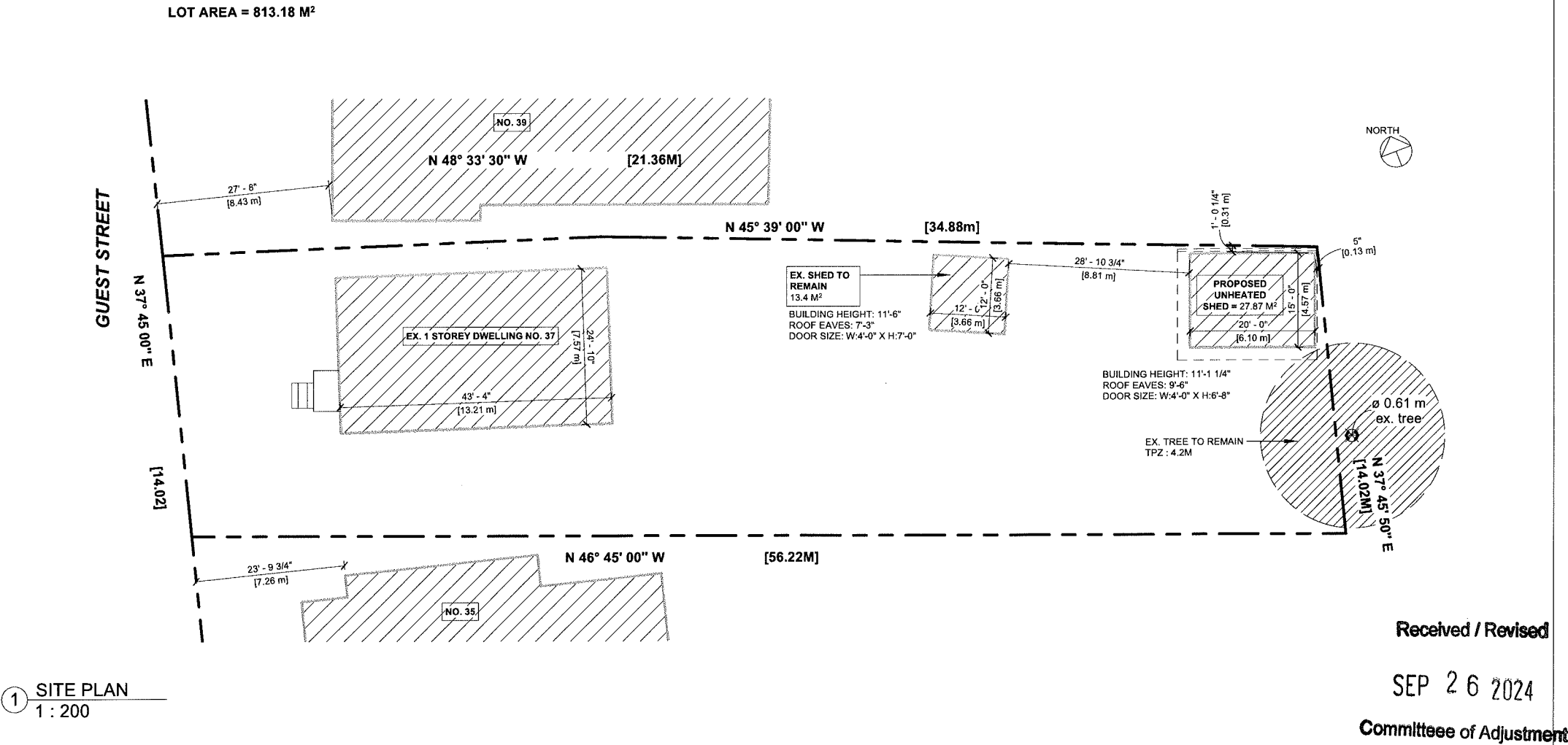
Street Permit NO
Yes or No

Date JUNE 14 1983
ISSUED BY
L. T. KOEHLE, P. ENG.
CHIEF BUILDING OFFICIAL
Chief Building Official

Received / Revised

SEP 26 2024

Committee of Adjustment



PROPOSED DETACHED SHED
37 Guest St
Brampton, ON L6W 1T7

KCCL
Architect

348 Hemlock Drive, Witchurch
Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

Drawn by	EY
Date	2024-09-03
Scale	1 : 200
Project Number	23180
CONTRACTOR SHALL VERIFY SITE DIMENSIONS	

DRAWING NAME	SITE PLAN
SHEET NUMBER	
A1.1	