



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0310

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pauline Reichert  
**Address** 37 Guest St, Brampton, ON, L6W 1T7

**Phone #** 647-806-8832 **Fax #** \_\_\_\_\_  
**Email** reisrogroupinc@hotmail.com

2. **Name of Agent** Kelvin Lo (Permit Works)  
**Address** 3575 14th Ave, Unit 18, Markham, ON, L3R 0H6

**Phone #** 905-291-1868 **Fax #** \_\_\_\_\_  
**Email** permit@permitworks.ca

3. **Nature and extent of relief applied for (variances requested):**  
1. The proposed accessory structure (shed) exceeds the maximum permitted gross floor area of one accessory structure of 15 square metres (161 square feet). Proposed area 27.87 sq m (300 sq ft).  
2. The proposed accessory structure also exceeds the maximum permitted height of 3.0 metres to the top of the roof. Proposed height 3.38m.

4. **Why is it not possible to comply with the provisions of the by-law?**  
The shed being permitted is existing and doesn't comply to zoning by-laws

5. **Legal Description of the subject land:**  
**Lot Number** Part of Lot 1  
**Plan Number/Concession Number** Registered Plan BR-31  
**Municipal Address** 37 Guest St, Brampton

6. **Dimension of subject land (in metric units)**  
**Frontage** 14.02 m  
**Depth** 56.22 m  
**Area** 813.18 sq m

7. **Access to the subject land is by:**  
Provincial Highway  Seasonal Road   
Municipal Road Maintained All Year  Other Public Road   
Private Right-of-Way  Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

1-storey Dwelling 100 sq m; 13.21m x 7.57m  
 Shed 13.4 sq m; 3.66m x 3.66m

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Shed 27.87 sq m; 6.10m x 4.57m; height 3.38m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback - \_\_\_\_\_  
 Rear yard setback - \_\_\_\_\_  
 Side yard setback - \_\_\_\_\_  
 Side yard setback - \_\_\_\_\_

**PROPOSED**

Front yard setback - \_\_\_\_\_  
 Rear yard setback 0.13 m \_\_\_\_\_  
 Side yard setback 0.31 m \_\_\_\_\_  
 Side yard setback - \_\_\_\_\_

10. Date of Acquisition of subject land: 1961

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: dwelling 1961/prop shed couple years

15. Length of time the existing uses of the subject property have been continued: since built

16. (a) What water supply is existing/proposed?

Municipal  Other (specify) \_\_\_\_\_  
 Well

- (b) What sewage disposal is/will be provided?

Municipal  Other (specify) \_\_\_\_\_  
 Septic

- (c) What storm drainage system is existing/proposed?

Sewers  Other (specify) \_\_\_\_\_  
 Ditches   
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City Brampton OF Markham Brampton  
THIS 21 DAY OF March, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Steven Reichert, OF THE country OF Belize

IN THE \_\_\_\_\_ OF \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF

PEEL THIS 13 DAY OF

Aug, 2024

[Signature]  
A Commissioner etc.

Valerie Low  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires June 21, 2027.

Signature of Applicant or Authorized Agent

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Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1B

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar

Zoning Officer

July 16, 2024

Date

DATE RECEIVED

Aug 13, 2024

Date Application Deemed Complete by the Municipality

VL

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 37 Guest St, Brampton

I/We, Pauline Reichert  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Kelvin Lo & Saifk Imtiaz  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 10 day of May, 2024

X Pauline Reichert  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 37 Guest St

I/We, Pauline Reichert please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 10 day of May, 2024

X Pauline Reichert

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
 PLAN OF  
**Part of LOT 1**  
**REGISTERED PLAN BR-31**  
**CITY of BRAMPTON**  
 Regional Municipality of Peel  
 SCALE: 1:150  
**YOUNG & YOUNG SURVEYING**  
 (ETOBICOKE 2008) INC.  
 © COPYRIGHT 2024

**METRIC**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BEARING NOTE**  
 BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE EAST LIMIT OF GUEST STREET, HAVING A BEARING OF A37°45'00"E ACCORDING TO REGISTERED PLAN BR-31

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - RP --- REGISTERED PLAN BR-31
  - PL --- PLAN LRS-1235
  - N,S,E,W --- NORTH,SOUTH,EAST,WEST
  - M --- MEASURED
  - V --- CUT CROSS
  - CC --- CURB CROSS
  - IB --- IRON BAR
  - OU --- ORIGIN UNKNOWN
  - WF --- WIRELESS
  - PI# --- PROPERTY IDENTIFIER NUMBER
  - CLF --- CHAIN LINK FENCE
  - BF --- BOARD FENCE
  - D --- INSTRUMENT NO. R071457.7
  - CP1 --- PLAN BY C. PEAT, O.L.S. DATED APRIL 30, 1984
  - CP2 --- PLAN BY C. PEAT, O.L.S. DATED AUGUST 27, 1986
  - GTA --- PLAN BY GREATER TORONTO ACRES SURVEYING INC. O.L.S. DATED JULY 15, 2003
  - CEJ --- PLAN BY C.E. DOTERILL LTD., O.L.S. DATED JANUARY 30, 1978
  - (S&S) --- SET WAS LANKORED, O.L.S.
  - EHS --- EAST OF HURONTARIO STREET PRODUCTION
  - P ---

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-63735



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM  
 2. THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JANUARY, 2024

JANUARY 25, 2024  
 DATE

CHRIS BERESHNEWICZ  
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR PAULINE REINHART

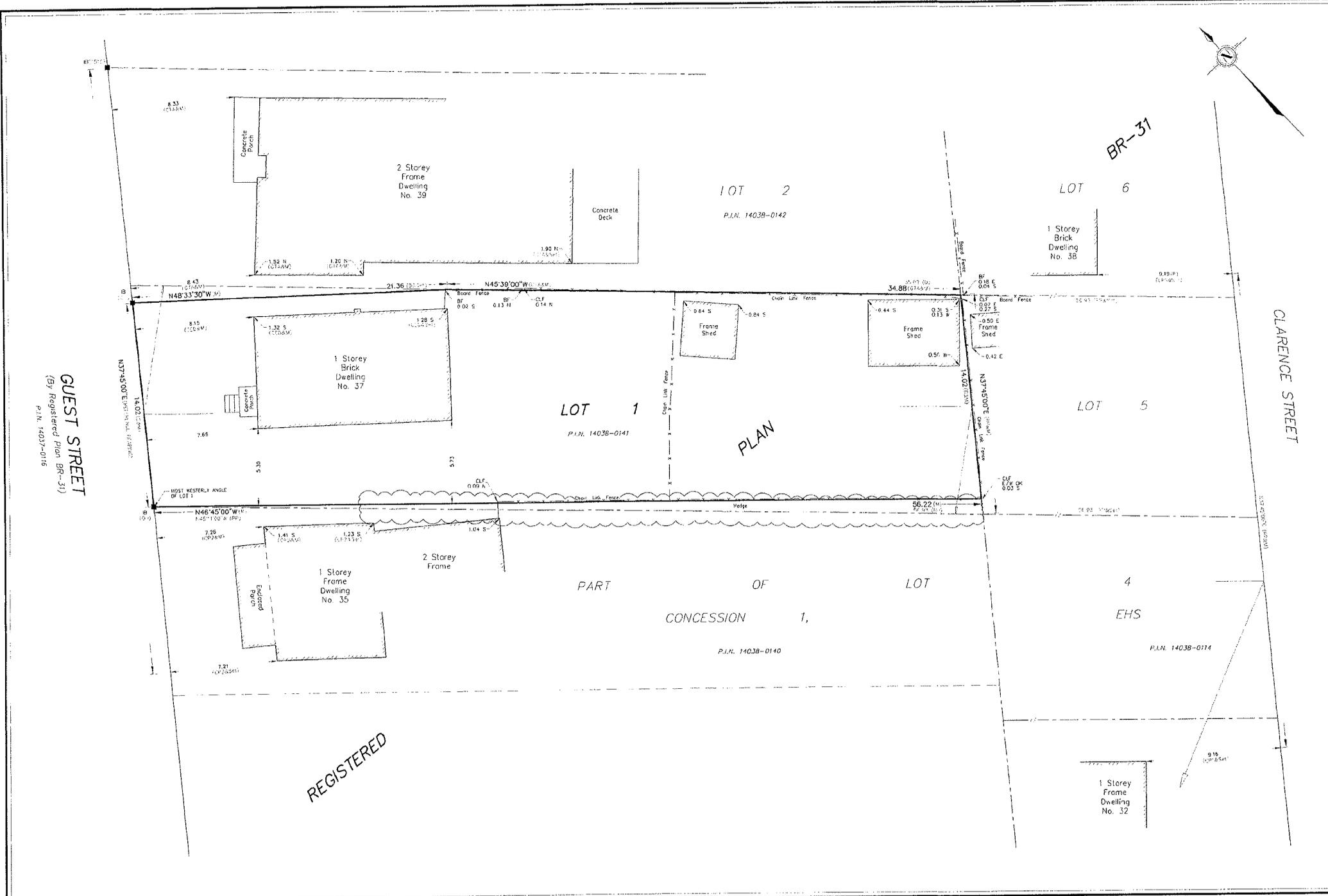
**PART 2 - SURVEY REPORT**  
 1) PLEASE NOTE LOCATION OF FENCES AND HEDGES  
 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE  
 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS



**YOUNG & YOUNG**  
 SURVEYING (ETOBICOKE 2008) INC.

310 North Queen St., Unit 102, Toronto ON M5C 5K4  
 Tel: (416) 821-2876 - Fax: (416) 821-3360  
 EMAIL: info@youngandyoung.ca

DRAWN: S.S. CHECKED: C.B. PROJECT: 24-11490



**GUEST STREET**  
 (By Registered Plan BR-31)  
 P.I.N. 14037-0116

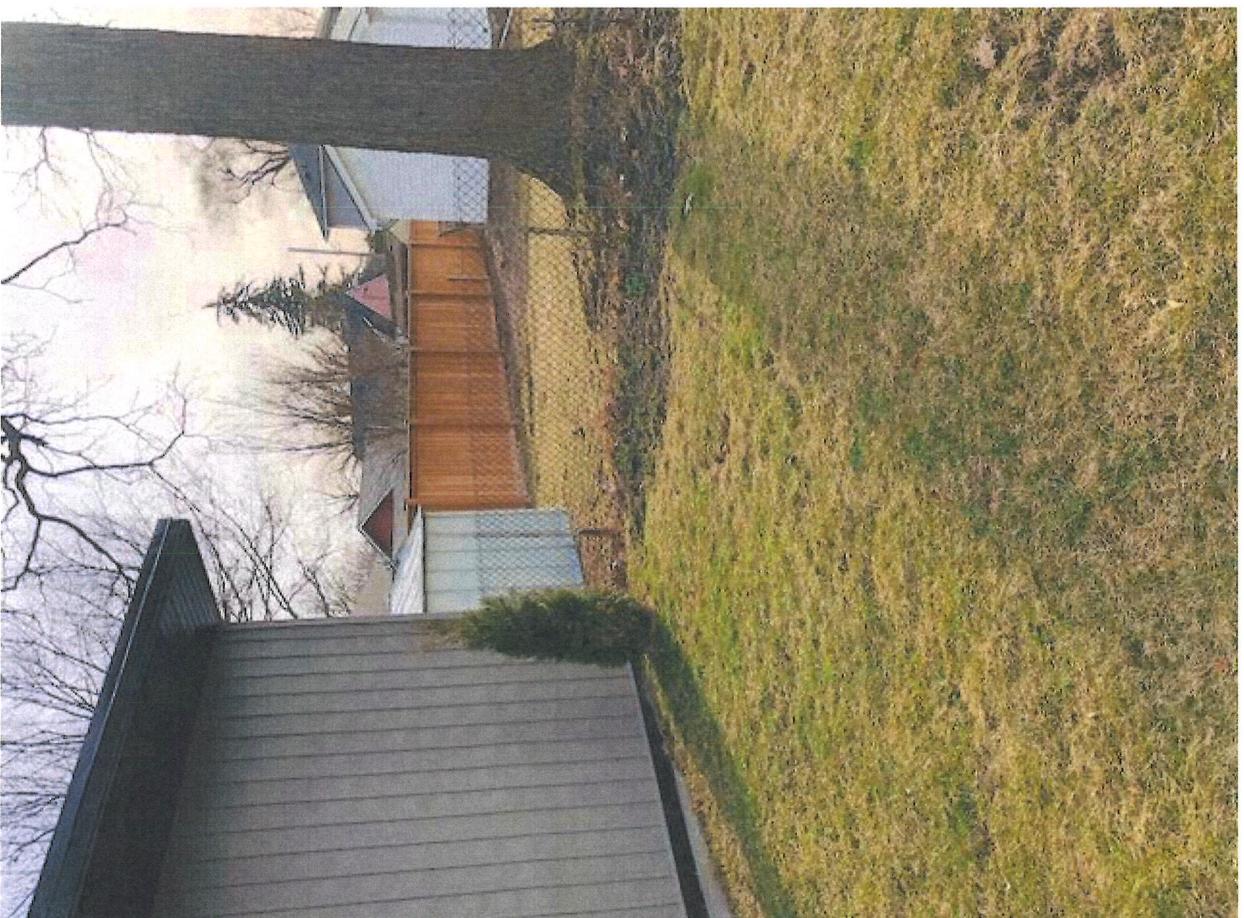
**CARENCE STREET**

**PLAN**

**REGISTERED**

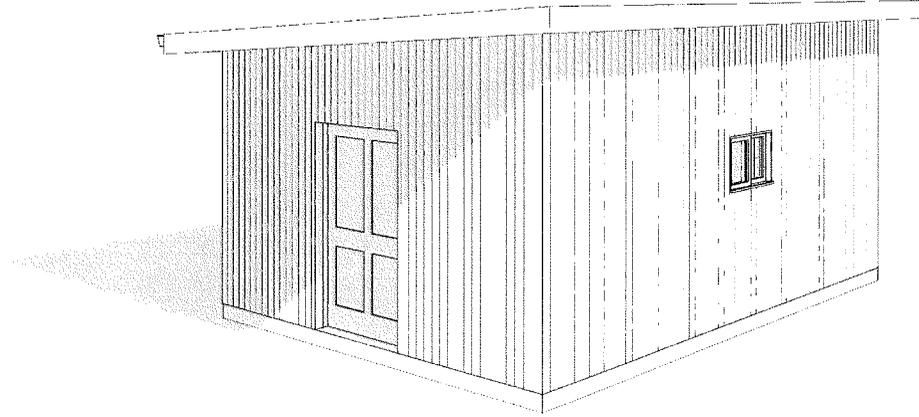
Tree photos at 37 Guest st, Brampton











**PROPOSED DETACHED SHED**  
**37 Guest St**  
**Brampton, ON L6W 1T7**

# KCCL Architect

LICENSED ARCHITECT BY ONTARIO ARCHITECT ASSOCIATION

348 Hemlock Drive, Whitchurch Stouffville, Ontario Canada L4A 5A7/  
Tel: 416 881 9898. Mobile: 416 602 9616  
Email: [Info@kcclarchitect.ca](mailto:Info@kcclarchitect.ca)  
Web: <https://www.kcclarchitect.ca>

OAA - Licence # 9250. Certificate of Practice # 6195

#### GENERAL NOTES 1.0

##### Drawings:

1. Owner and contractor is fully responsible for verifying all existing structural condition prior to any work. Any and all discrepancies shall be reported to KCCL Architect Inc. Prior to any work. Owner and contractor is fully responsible for shoring existing structure prior to any work.
2. DO NOT SCALE DRAWINGS
3. If any conflict of discrepancy exists in the drawings documents, the following priority sequence is to be followed:
  - Drawings of a later date supersede drawings of an earlier date
  - Larger scales drawings supersede those of a smaller scale
  - the specifications supersede the drawings
5. Mechanical and electrical contractors are to cross reference the architectural and engineering drawings through-out the course of the project and report any discrepancies to the architect before proceeding

##### Permits & Inspections:

1. **NO DEMOLITION OR CONSTRUCTION IS TO START WITHOUT ISSUANCE OF A VALID BUILDING PERMIT.**
2. Upon completion of the work, the contractors shall pay for and obtain a signed release from the municipality having jurisdiction indicating that the work is complete and the permit is signed off.
3. The contractor shall give all required notices for inspections as required by the building permit and all authorities having jurisdiction.
4. The architect will abide by the mechanic's lien act in his/her review of all progress invoices on the project.

##### Cooperation & Protection:

1. Each contractor is responsible for all necessary cutting and patching required by their respective trades.
2. Protection: The general contractor shall protect all finished work from construction any damage arising from any cause shall be made good by the general contractor to the satisfaction of the architect.
3. Protection: Contractor to provide protection over any base building equipment during all phases of construction.

##### Substitutions:

1. No substitution for any product or material will be accepted unless authorized by the architect in the form of an addendum.

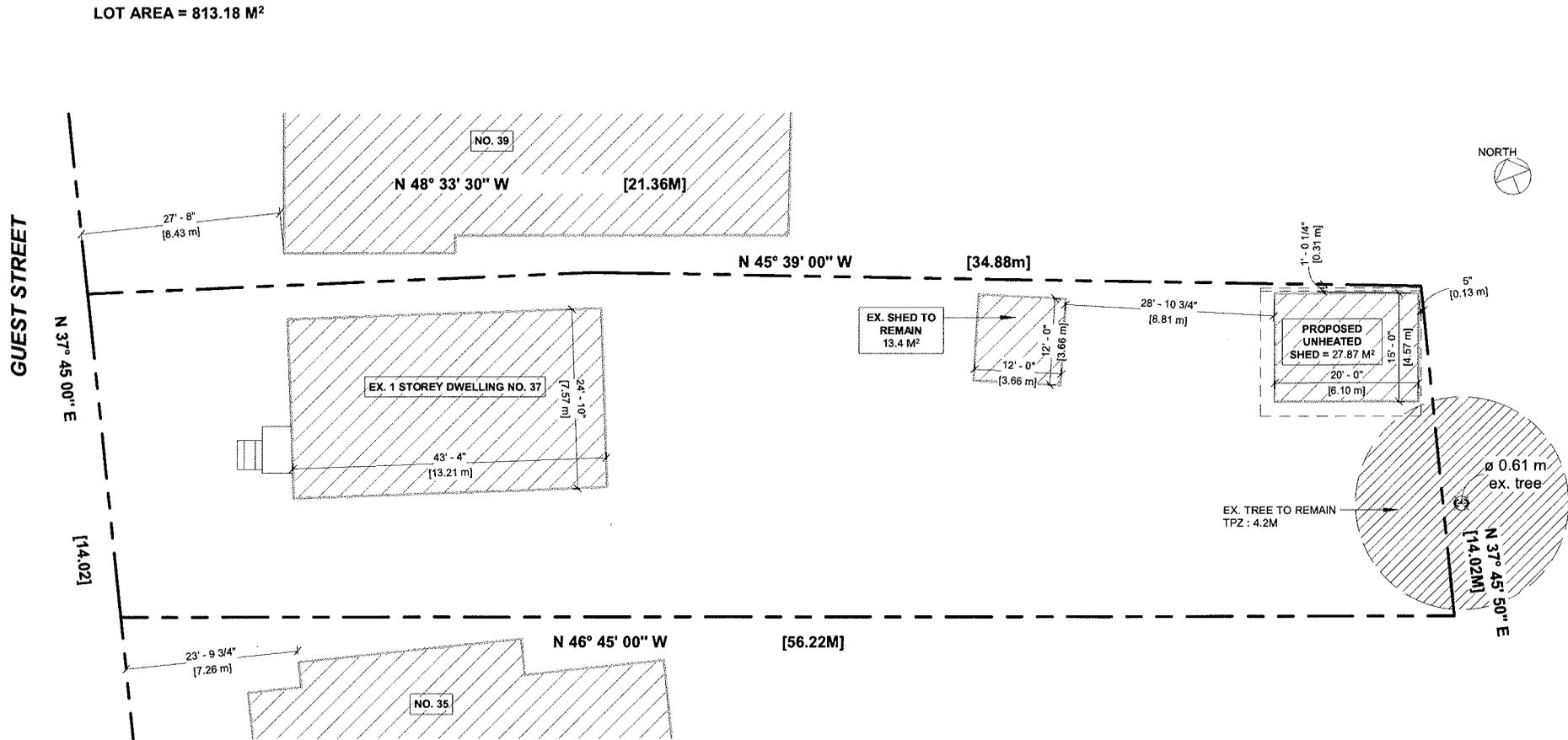
##### Building Code Compliance Note:

1. These drawings do not represent a comprehensive and exhaustive guide for compliance with the Ontario Building Code. It is assumed that the contractor has reasonably sufficient knowledge of the Ontario Building Code in order to perform all work as per these drawings in such a way that will comply with all aspects of the OBC and will not contravene any other applicable laws.

##### Legal:

Drawings issued by KCCL Architect Inc are for illustration and design intent purposes only. All Architectural, Mechanical, Electrical, Plumbing, Structural, Sprinkler, Suppression system and life safety items are to be as per outlined in municipal permit approved drawings as per issued by associated professional engineer and respective trades.

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① SITE PLAN  
1 : 200

**PROPOSED DETACHED SHED**  
**37 Guest St**  
Brampton, ON L6W 1T7

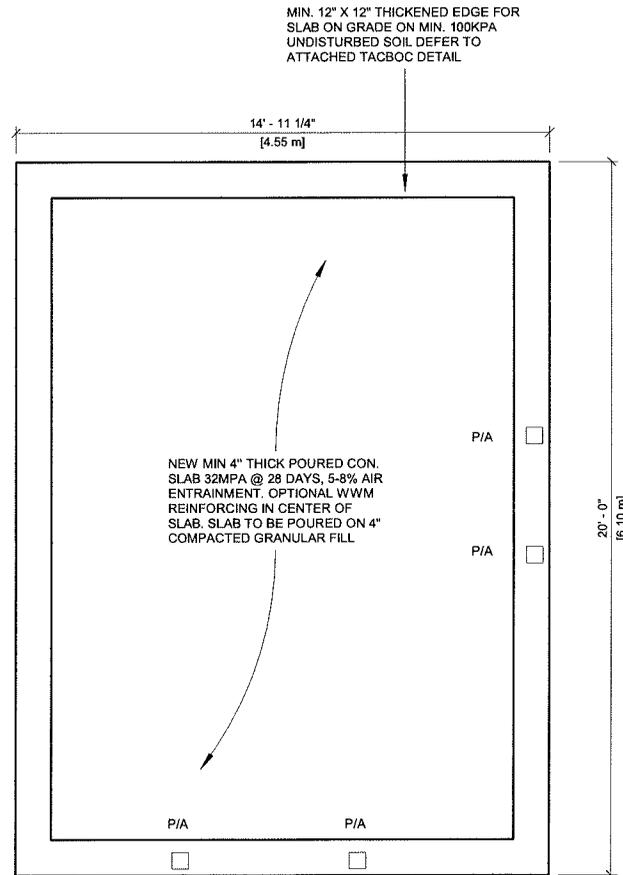
**KCCL Architect**  
348 Hemlock Drive, Witchurch  
Stouffville ON L4A 5A7  
email: info@kcclarchitect.ca  
mobile: 416-602-9616

Drawn by	<b>EY</b>
Date	<b>2023-09-21</b>
Scale	<b>1 : 200</b>
Project Number	<b>23180</b>

DRAWING NAME  
**SITE PLAN**

**CONTRACTOR SHALL  
VERIFY SITE DIMENSIONS**

SHEET NUMBER  
**A1.1**



① **NEW BASEMENT**  
1/4" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

**37 Guest St**  
Brampton, ON L6W 1T7

**Permit Works**  
Approvals Made Easy

3575 14TH AVE - UNIT 18  
MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8900

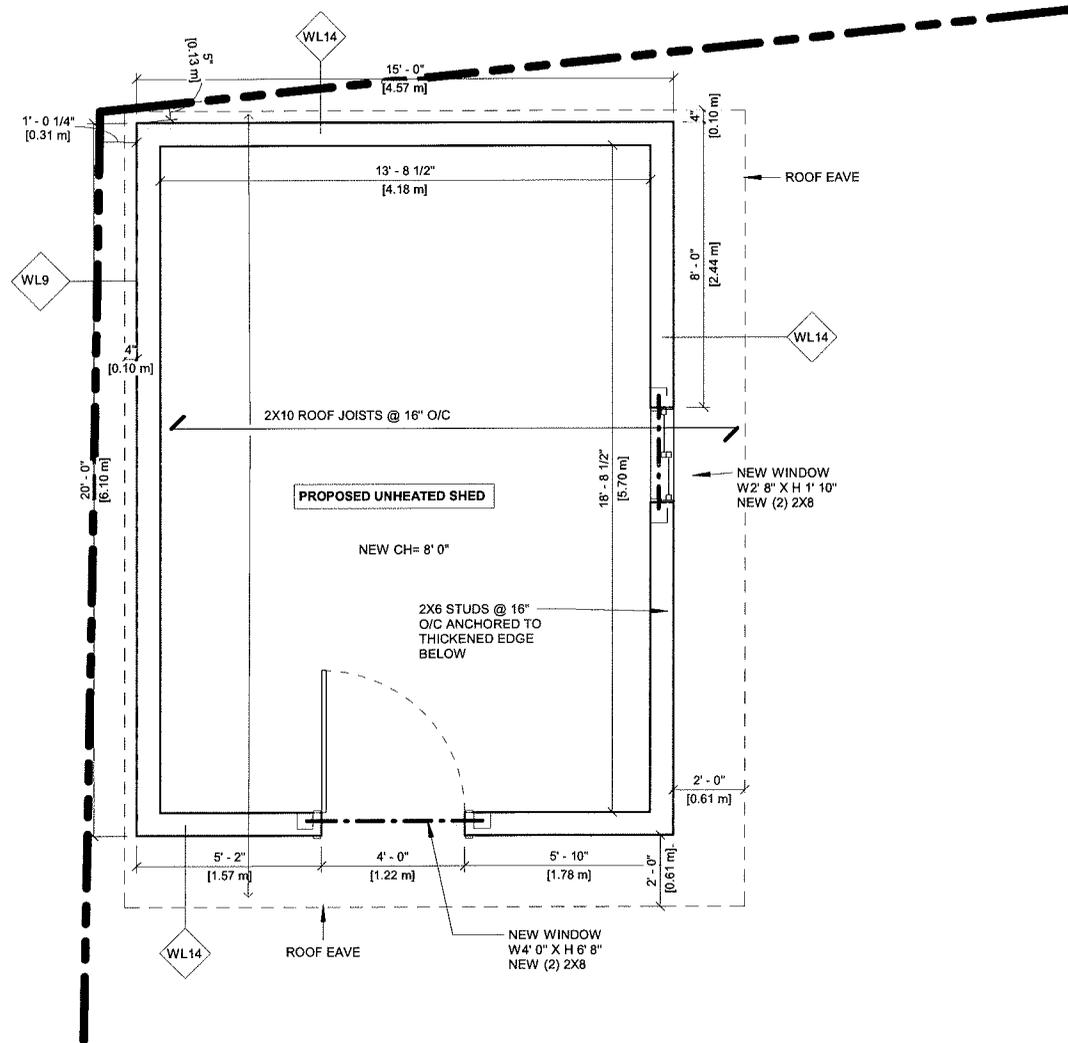
**KCCL Architect**

Drawn by **EY**  
Date **2023-09-21**  
Scale **1/4" = 1'-0"**  
Project Number **23180**

DRAWING NAME  
**NEW FLOOR PLAN**

SHEET NUMBER  
**A2.1**

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① NEW 1ST FLOOR  
1/4" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

37 Guest St

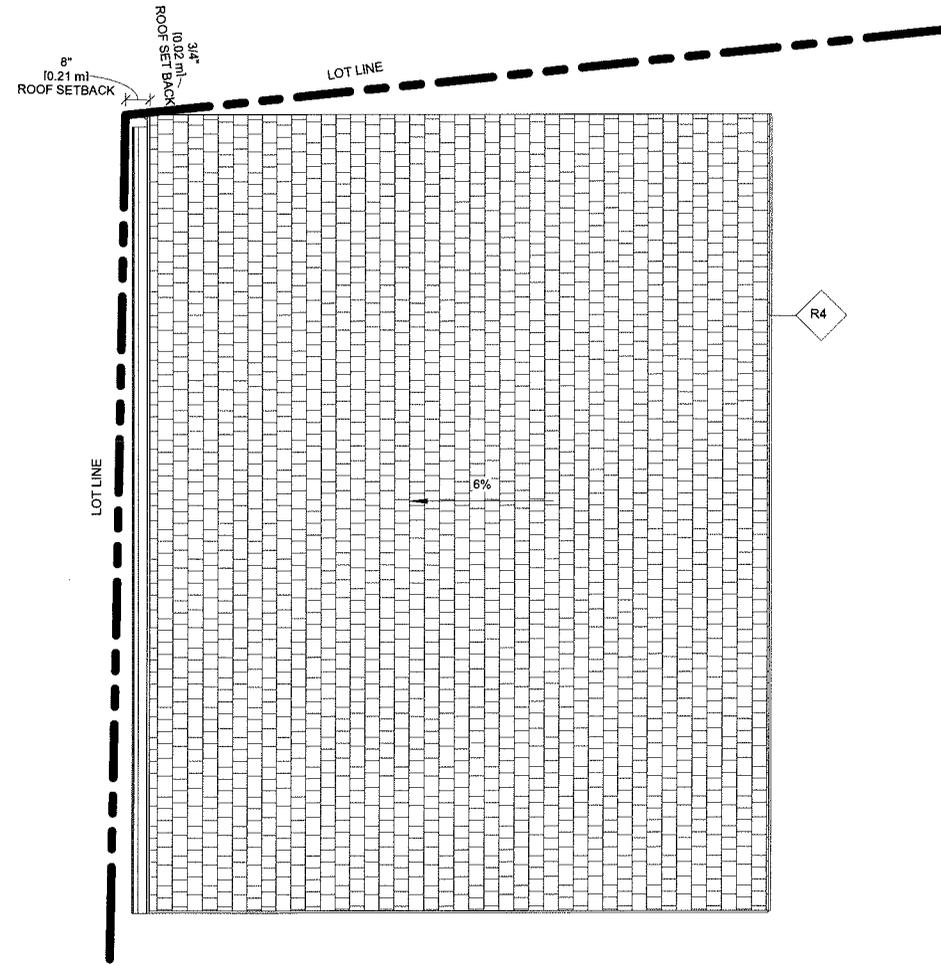
Brampton, ON L6W 1T7

Permit Works  
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MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8900

KCCL Architect

Drawn by	EY
Date	2023-09-21
Scale	1/4" = 1'-0"
Project Number	23180
DRAWING NAME	NEW FLOOR PLAN
SHEET NUMBER	A2.2



① NEW ROOF PLAN  
1/4" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

**37 Guest St**

Brampton, ON L6W 1T7

**Permit Works**  
Approvals  
Made Easy

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MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8900

**KCCL**  
Architect

Drawn by **EY**

Date **2023-09-21**

Scale **1/4" = 1'-0"**

Project Number **23180**

DRAWING NAME

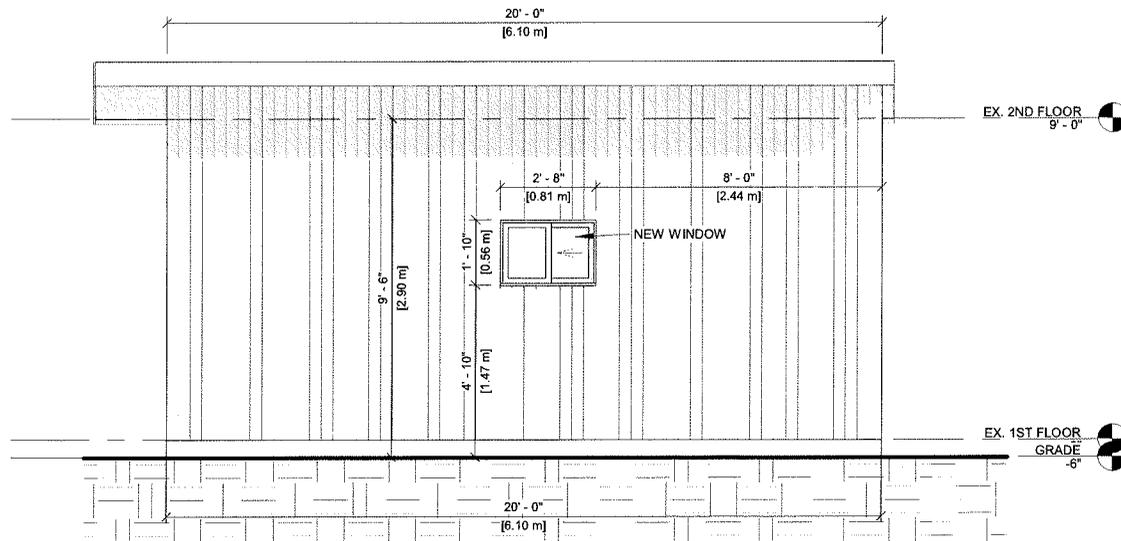
**NEW FLOOR PLAN**

SHEET NUMBER

**A2.3**

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R4		<b>RAFTER ROOF FRAMING</b> <ul style="list-style-type: none"> <li>ASPHALT SHINGLES - 30 YEAR, 3 TAB. UNDERLAY ICE AND WATER SHIELD FOR A VERTICAL DIMENSION OF 5'-0" MIN. UP ROOF SLOPE FROM EAVES</li> <li>1/2" SPRUCE PLYWOOD + 'H' CLIPS ON APPROVED WOOD RAFTERS. SEE PLAN FOR SIZE</li> </ul>
WL14		<b>WOOD SIDING WALL</b> <ul style="list-style-type: none"> <li>VERTICAL/HORIZONTAL WOOD SIDING (REFER TO MANUFACTURE'S SPEC. FOR DETAILS) TO BE APPROVED BY OWNER OR ARCHITECT</li> <li>1" AIR SPACE W/ 1"X 3" FURRING STRIPS @ 32" O.C.</li> <li>"TYVEK" MOISTURE PROTECTION</li> <li>1/2" EXTERIOR GRADE PLYWOOD</li> <li>2" X 6" SPRUCE STUD @ 16" O.C.</li> </ul>
WL9		<b>METAL SIDING WALL (45MIN FRR)</b> <ul style="list-style-type: none"> <li>VERTICAL/HORIZONTAL METAL SIDING (REFER TO MANUFACTURE'S SPEC. FOR DETAILS) TO BE APPROVED BY OWNER OR ARCHITECT</li> <li>1" AIR SPACE W/ 1"X 3" FURRING STRIPS @ 32" O.C.</li> <li>"TYVEK" MOISTURE PROTECTION</li> <li>1/2" EXTERIOR GRADE PLYWOOD</li> <li>2" X 6" SPRUCE STUD @ 16" O.C. R22 MINERAL WOOL "ROXUL" INSULATION</li> <li>6MIL POLY CONTINUOUS VAPOUR BARRIER (EXTERIOR GARAGE WALLS WILL NOT BE INSULATED)</li> <li>5/8" GYPSUM BOARD TYPE X</li> </ul>



① East  
1/4" = 1'-0"

PROPOSED DETACHED SHED

**37 Guest St**

Brampton, ON L6W 1T7

**Permit Works**  
Approvals  
Made Easy

3575 14TH AVE - UNIT 18  
MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8800

**KCCL Architect**

Drawn by **EY**  
Date **2023-09-21**  
Scale **1/4" = 1'-0"**  
Project Number **23180**

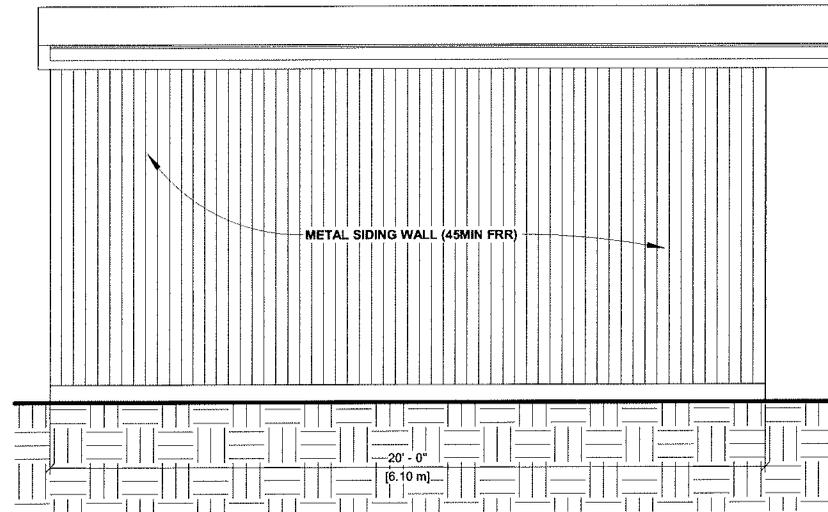
DRAWING NAME  
**NEW ELEVATIONS**

SHEET NUMBER

**A3.1**

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

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① West  
1/4" = 1'-0"

PROPOSED DETACHED SHED

**37 Guest St**

Brampton, ON L6W 1T7

**Permit Works**  
Approvals  
Made Easy

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MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8900

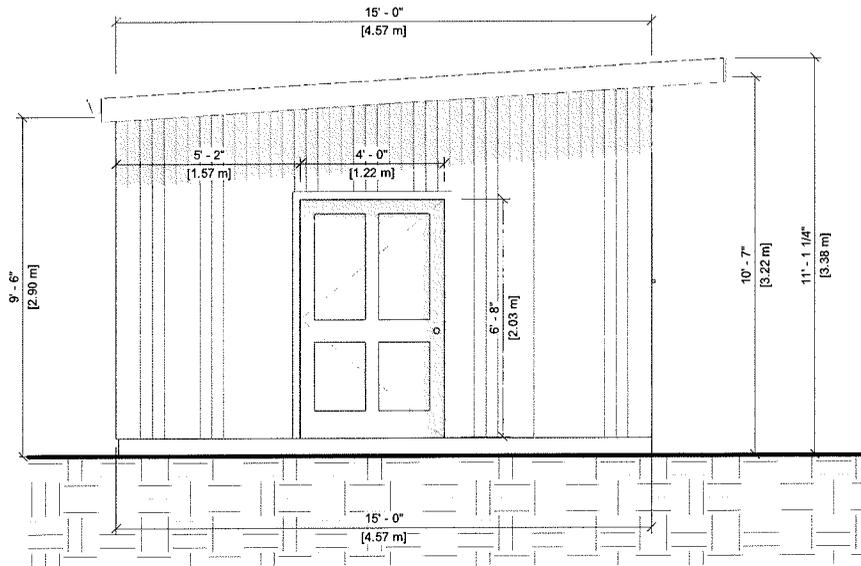
**KCCL  
Architect**

Drawn by **EY**  
Date **2023-09-21**  
Scale **1/4" = 1'-0"**  
Project Number **23180**

DRAWING NAME  
**NEW ELEVATIONS**

SHEET NUMBER  
**A3.2**

CONTRACTOR SHALL VERIFY SITE DIMENSIONS



① South  
1/4" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

**37 Guest St**  
Brampton, ON L6W 1T7

**Permit Works**  
Approvals Made Easy

3575 14TH AVE - UNIT 18  
MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8900

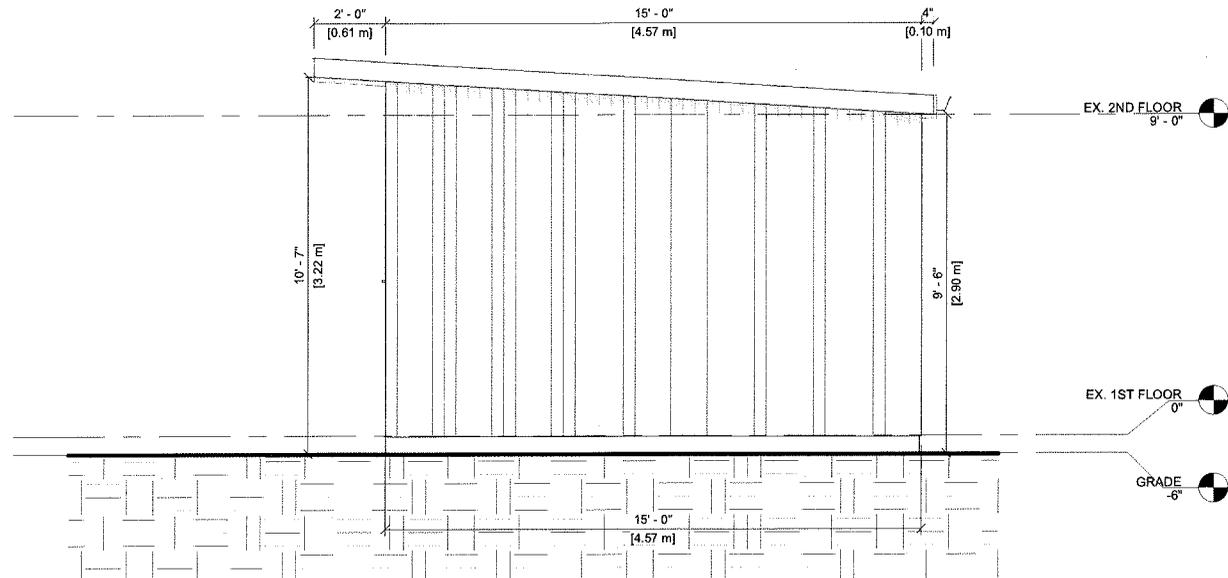
**KCCL Architect**

Drawn by **EY**  
Date **2023-09-21**  
Scale **1/4" = 1'-0"**  
Project Number **23180**

DRAWING NAME  
**NEW ELEVATIONS**

SHEET NUMBER  
**A3.3**

1 North  
1/4" = 1'-0"



CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED SHED

**37 Guest St**  
Brampton, ON L6W 1T7

**Permit Works**  
Approvals  
Made Easy

3575 14TH AVE - UNIT 18  
MARKHAM, ON L3R 0H6  
email: info@permitworks.ca  
mobile: 416-989-8900

**KCCL**  
Architect

Drawn by **EY**  
Date **2023-09-21**  
Scale **1/4" = 1'-0"**  
Project Number **23180**

DRAWING NAME  
**NEW ELEVATIONS**

SHEET NUMBER

**A3.4**

# Zoning Non-compliance Checklist

File No.

A-2024-0310

Owner: Pauline Reichert

Address: 37 GUEST ST

Zoning: R1B

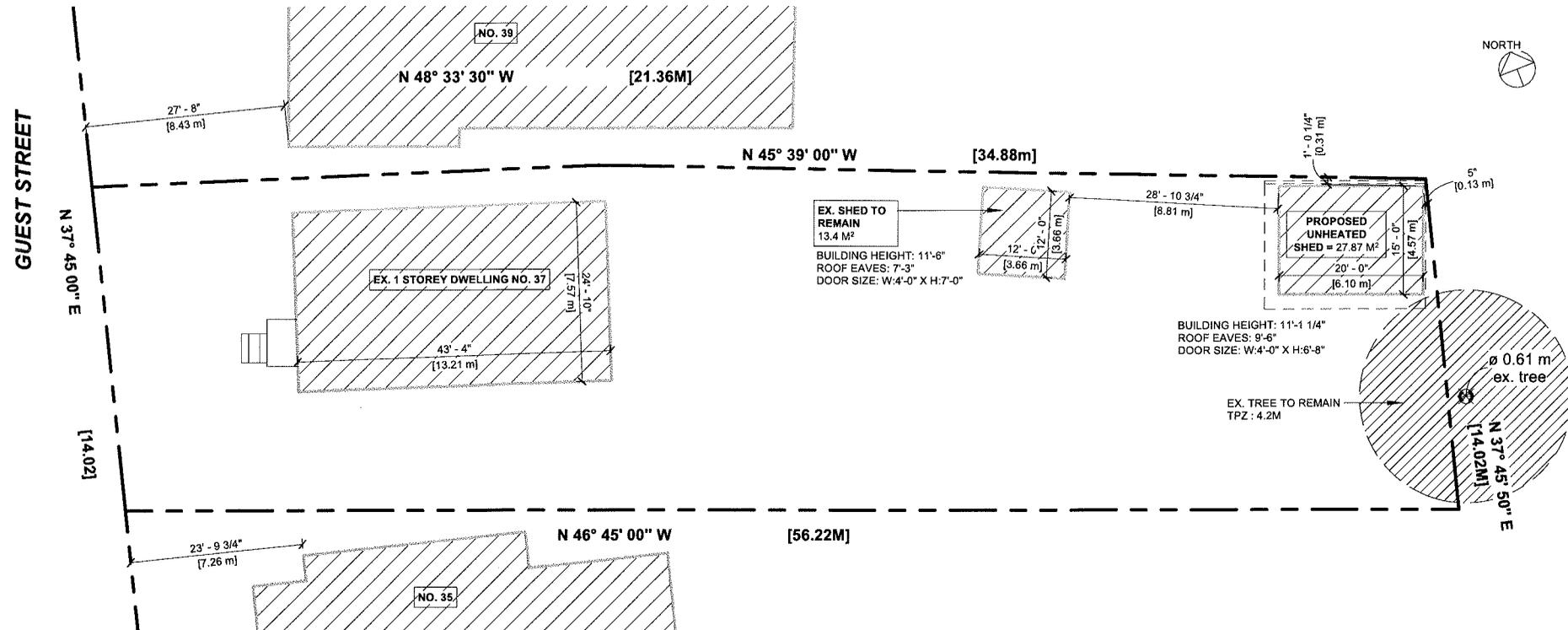
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
BUILDING SIZE			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT	To permit an accessory structure proposed shed having a setback of 0.13m to the rear lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure proposed shed having a setback of 0.31m to the side lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure proposed shed, having a height of 3.38m (11.09 ft),	whereas the by-law permits an accessory structure having a maximum height of 3.00m	10.3 (h)
	To permit a combined gross floor area of 41.28 sq. m (444.33 sq. ft.) for two (2) accessory structures	whereas the by-law permits a maximum combined gross floor area of 20 sq.m for two (2) accessory structures	10.3 (e) ii
	To permit an accessory structure proposed shed having a gross floor area of 27.88 sq. m (300.10sq. ft.)	whereas, the by-law permits a maximum gross floor area of 15 sq.m for an individual accessory structure	10.3 (e) ii
ENCROACHMENTS			

Philip Gaspar  
Reviewed by Zoning

July 16, 2024  
Date

LOT AREA = 813.18 M<sup>2</sup>



1 SITE PLAN  
1 : 200

PROPOSED DETACHED SHED  
**37 Guest St**  
Brampton, ON L6W 1T7

**KCCL**  
Architect

348 Hemlock Drive, Witchurch  
Stouffville ON L4A 5A7  
email: info@kcclarchitect.ca  
mobile: 416-602-9616

Drawn by	EY
Date	2024-09-03
Scale	1 : 200
Project Number	23180

CONTRACTOR SHALL  
VERIFY SITE DIMENSIONS

DRAWING NAME  
**SITE PLAN**

SHEET NUMBER

**A1.1**

# CITY OF BRAMPTON BUILDING PERMIT

Owner's Name *MR. REICHERT*  
Builder's Name *OWNER*  
Kind of Building *TWO SHEDS 12x12*  
*37 SWEET ST.*  
To be erected on Lot No. *4* Plan No. *COMC.1*  
Street Permit *NO*  
Date *JUNE 14 1983*

NO.

**32805**

**ISSUED BY**  
**L. T. KOEHLER, P. ENG.**  
CHIEF BUILDING OFFICIAL

This Card must be kept posted in a conspicuous place about seven feet above grade.  
If lost or defaced, another must be obtained.

Chief Building Official.

To be erected on Lot No. *4* Plan No.

Street Permit *NO*  
Yes or No

Date *JUNE 14 1983*

**ISSUED BY**  
**L. T. KOEHLER, P. ENG.**  
CHIEF BUILDING OFFICIAL

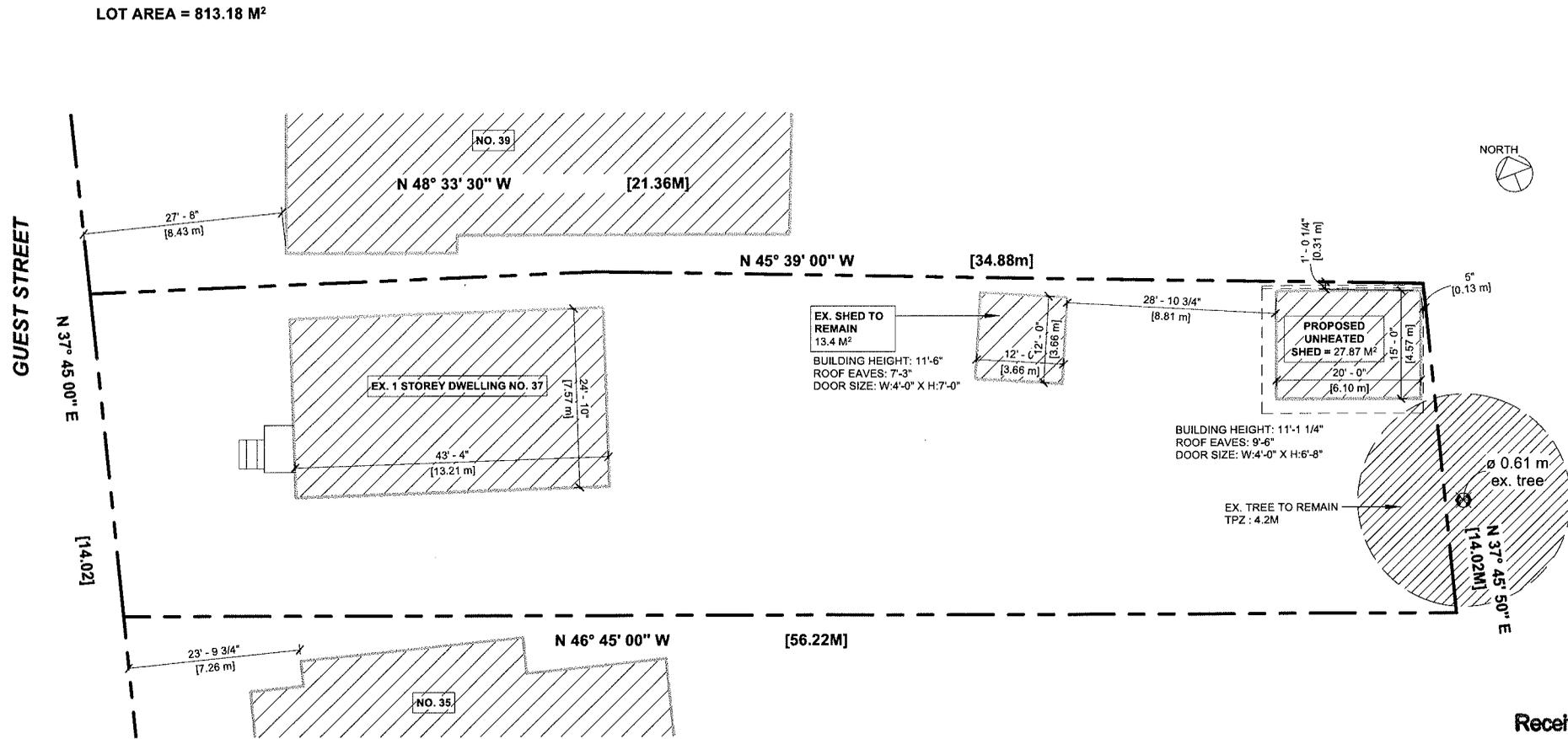
Chief Building Official

Received / Revised

SEP 26 2024

Committee of Adjustment

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① **SITE PLAN**  
1 : 200

Received / Revised

SEP 26 2024

Committee of Adjustment

**PROPOSED DETACHED SHED**  
**37 Guest St**  
Brampton, ON L6W 1T7

**KCCL**  
**Architect**

348 Hemlock Drive, Witchurch  
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email: info@kcclarchitect.ca  
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Drawn by **EY**  
Date **2024-09-03**  
Scale **1 : 200**  
Project Number **23180**

**CONTRACTOR SHALL  
VERIFY SITE DIMENSIONS**

DRAWING NAME  
**SITE PLAN**

SHEET NUMBER

**A1.1**