

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note: You are receiving this notice as you are within 60 meters of the subject property.**

Application Number: A-2024-0310
Property Address: 37 Guest Street
Legal Description: Plan BR 31, Part Lot 1, Ward 3
Agent: Permit Works c/o Kelvin Lo
Owner(s): Pauline Reichert
Other applications: nil
under the *Planning Act*
Meeting Date and Time: Tuesday, December 10, 2024, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit an accessory structure proposed shed having a setback of 0.13 metres to the rear lot line, whereas the by-law requires a minimum 0.6 metres to the nearest lot line;
2. To permit an accessory structure proposed shed having a setback of 0.31 metres to the side lot line, whereas the by-law requires a minimum 0.6 metres to the nearest lot line;
3. To permit an accessory structure proposed shed, having a height of 3.38 metres (11.09 feet), whereas the by-law permits an accessory structure having a maximum height of 3.00 metres;
4. To permit a combined gross floor area of 41.28 square metres (444.33 square feet.) for two (2) accessory structures, whereas the by-law permits a maximum combined gross floor area of 20 square metres for two (2) accessory structures; and
5. To permit an accessory structure proposed shed having a gross floor area of 27.88 square metres (300.10 square feet.), whereas, the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, December 5, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, December 5, 2024**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

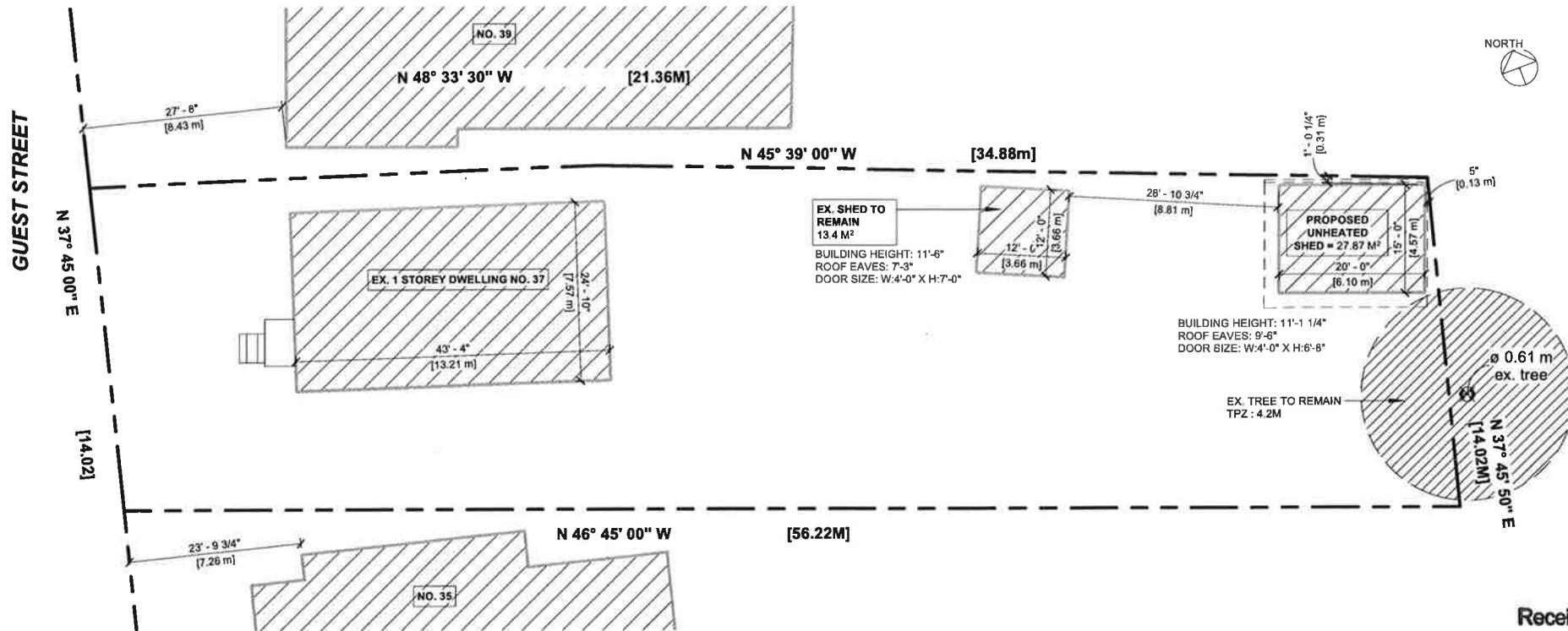
Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 26th day of November 2024

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca

LOT AREA = 813.18 M²



① SITE PLAN
1 : 200

Received / Revised

SEP 26 2024

Committee of Adjustment

PROPOSED DETACHED SHED
37 Guest St
Brampton, ON L6W 1T7

KCCL
Architect

348 Hemlock Drive, Wiltchurch
Stouffville ON L4A 5A7
email: info@kcclarchitect.ca
mobile: 416-602-9616

Drawn by	EY
Date	2024-09-03
Scale	1 : 200
Project Number	23180

CONTRACTOR SHALL
VERIFY SITE DIMENSIONS

DRAWING NAME
SITE PLAN

SHEET NUMBER

A1.1