

Flower City



brampton.ca

FILE NUMBER: A-2024-0399

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Farhan Tahir *(AMBER FARHAN Tahir)*
Address (244 Morningmist Street, Brampton L6R 2B8) *40 Carabob Court MITSN3 Tahir*
Phone # 647-216-5537 Fax # _____
Email farhan.tahir@gmail.com

2. Name of Agent Mobeen Yousafzai
Address 621-10 Gibbs Street Road,
Etobicoke, M9B 6L6
Phone # 226-600-2244 Fax # _____
Email mobeen@cynosureaec.com

3. Nature and extent of relief applied for (variances requested):
Existing below grade entrance to basement in garage. Requesting for minor variance to keep the staircase.

4. Why is it not possible to comply with the provisions of the by-law?
Existing concrete staircase in garage.

5. Legal Description of the subject land:
Lot Number _____
Plan Number/Concession Number _____
Municipal Address 244 Morningmist Street, Brampton, L6R 2B8

6. Dimension of subject land (in metric units)
Frontage _____ 8.2m
Depth _____ 31.4m
Area _____ 260m²

7. Access to the subject land is by:
 Provincial Highway
 Municipal Road Maintained All Year
 Private Right-of-Way
 Seasonal Road
 Other Public Road
 Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Existing semi-detached single dwelling unit (2 storey)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No new buildings proposed

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING
Front yard setback 7.06m
Rear yard setback 8.51m
Side yard setback 2.44m
Side yard setback N/A

PROPOSED
Front yard setback N/A
Rear yard setback N/A
Side yard setback N/A
Side yard setback N/A

10. Date of Acquisition of subject land:

11. Existing uses of subject property: Single dwelling unit

12. Proposed uses of subject property: Single dwelling unit

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1998

15. Length of time the existing uses of the subject property have been continued: Since construction

16. (a) What water supply is existing/proposed?

Municipal [X]
Well [] Other (specify)

(b) What sewage disposal is/will be provided?

Municipal [X]
Septic [] Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers []
Ditches []
Swales [X] Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property of an application for minor variance? ever been the subject

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Jack Tam

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16 DAY OF OCT, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, FARHAN TAHER, OF THE City OF Toronto

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF _____

PEEL THIS 16 DAY OF

OCT, 2024

[Signature]

A Commissioner etc.

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027.

Jack Tam

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED Oct 16, 2024

VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 244 Morningmist Steet, Brampton, L6R 2B8

I/We, FARHAN TAHIR / AMBER FARHAN
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Mobeen Yousafzai

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 12 day of September, 2024

Faem Tom
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 244 morningmist St Brampton

I/We, FARHAN FAHER / AMBER FARUKA Farhan
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12 day of Sept, 2024

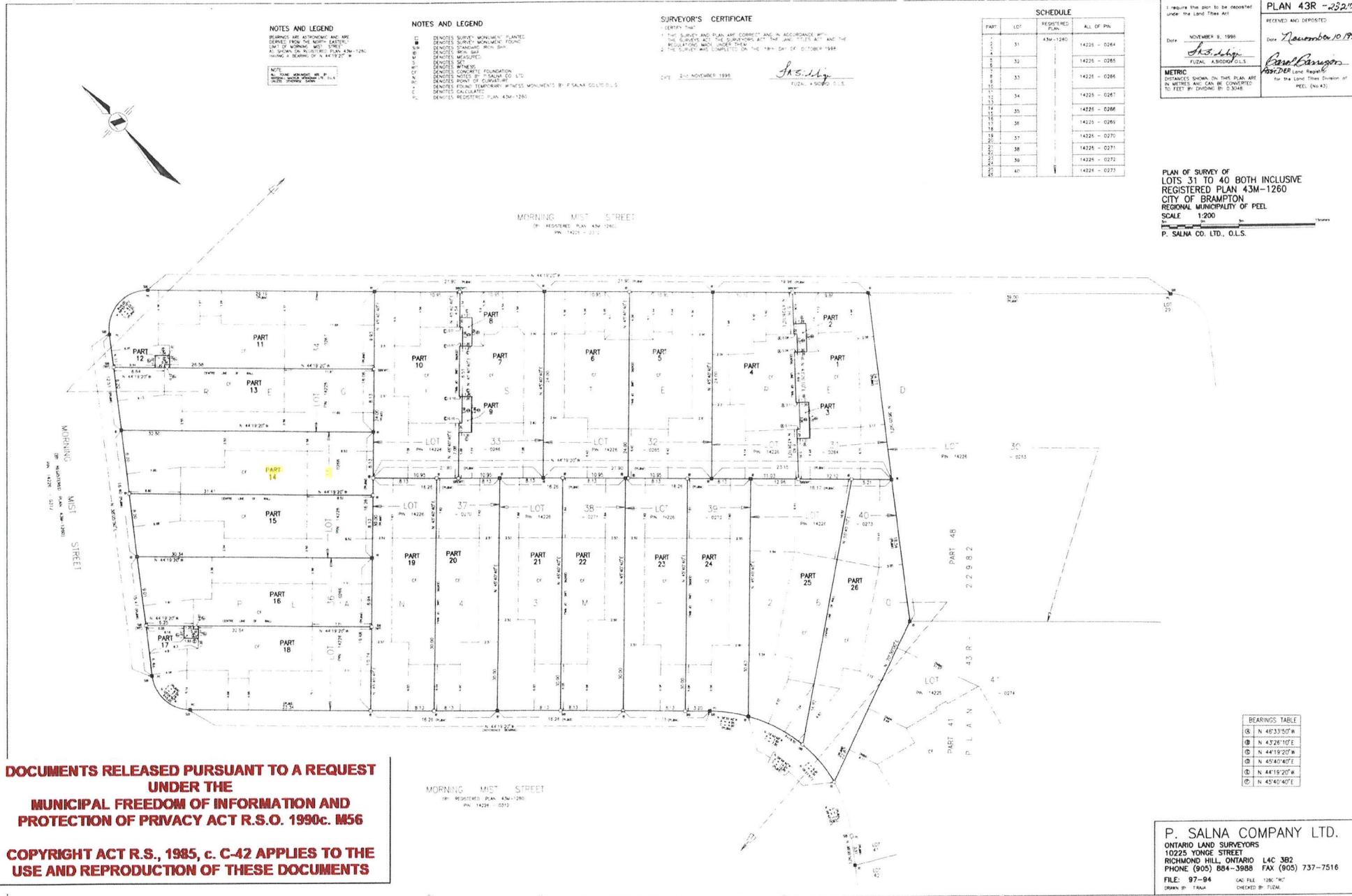
Farhan

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



NOTES AND LEGEND
 BEARINGS ARE ASTROMOMIC AND ARE DERIVED FROM THE NORTH EASTING LIMIT OF MORNING MIST STREET AS SHOWN ON REGISTERED PLAN 43M-1260 BEARING A BEARING OF N 44°19'20" W

NOTE
 IN SOME INSTANCES THE P.P. NUMBER INDICATED IS NOT THE SAME AS THE P.P. NUMBER ON THE PLAN

NOTES AND LEGEND
 D DENOTES SURVEY MONUMENT PLANTED
 M DENOTES SURVEY MONUMENT FOUND
 S DENOTES STAKE/PIPE MARK SHOWN
 W DENOTES WIRE MARK
 B DENOTES BENCH MARK
 ME DENOTES MEASURED
 C DENOTES CALCULATED
 P DENOTES POINT OF CURVATURE
 T DENOTES TEMPORARY FINISHED MONUMENTS BY P. SALMA CO. LTD.
 R DENOTES REGISTERED PLAN 43M-1260

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM
 2. THE SURVEY WAS COMPLETED ON THE 18th DAY OF OCTOBER 1998

DATE: 24th NOVEMBER 1998
 P. Salma
 P. SALMA CO. LTD.

SCHEDULE

| PART | LOT | REGISTERED PLAN | ALL OF PIN |
|------|-----|-----------------|--------------|
| 1 | 31 | 43M-1260 | 14226 - 0264 |
| 2 | 32 | | 14226 - 0265 |
| 3 | 33 | | 14226 - 0266 |
| 4 | 34 | | 14226 - 0267 |
| 5 | 35 | | 14226 - 0268 |
| 6 | 36 | | 14226 - 0269 |
| 7 | 37 | | 14226 - 0270 |
| 8 | 38 | | 14226 - 0271 |
| 9 | 39 | | 14226 - 0272 |
| 10 | 40 | | 14226 - 0273 |

I require this plan to be deposited under the Land Titles Act

PLAN 43R - 23210
 RECEIVED AND DEPOSITED
 Date: NOVEMBER 9, 1998
 Date: November 10, 1998
 Date: *11/10/98*
 FUZAL ABBODD O.L.S.
 P. SALMA CO. LTD.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PLAN OF SURVEY OF LOTS 31 TO 40 BOTH INCLUSIVE REGISTERED PLAN 43M-1260 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL SCALE 1:200 P. SALMA CO. LTD., O.L.S.

BEARINGS TABLE

| | |
|---|---------------|
| ⓐ | N 46°33'50" W |
| ⓑ | N 43°26'10" E |
| ⓒ | N 44°19'20" W |
| ⓓ | N 45°40'40" E |
| ⓔ | N 44°19'20" W |
| ⓕ | N 45°40'40" E |

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

P. SALMA COMPANY LTD.
 ONTARIO LAND SURVEYORS
 10225 YONGE STREET
 RICHMOND HILL, ONTARIO L4C 3B2
 PHONE (905) 884-3988 FAX (905) 737-7516

FILE: 97-84 CAD FILE: 1286.T67
 DRAWN BY: T. PAUL CHECKED BY: FUZAL



LOT-34
PART 13

LOT-35
PART 14

LOT-35
PART 15

PROPERTY LINE
FENCING

PROPERTY LINE
FENCING

26'-8"
[8.13]

27'-11"
[8.50]

8'-0"
[2.44]

ENTRANCE TO
BACKYARD

EXISTING TWO
STOREY DWELLING

106'-7"
[32.49]

103'-0"
[31.39]

8'-0"
[2.44]

HOUSE MAIN
ENTRANCE

GARAGE
ONE PARKING

BASEMENT AREA = 630 sft
GROUND FL. AREA = 575 sft
SECOND FL. AREA = 780 sft

6'-9"
[2.05]

10'-11"
[3.33]

DRIVEWAY
ONE PARKING

23'-2"
[7.06]

33'-6"
[10.20]

21'-7"
[6.59]

26'-11"
[8.20]

PROPERTY LINE

CONC. SIDEWALK

CONC. SIDEWALK



CYNOSURE AEC
Contact: (+1) 226 600 2244
Email: MOBEEN@CYNOSUREAEC.COM
WAQAS@CYNOSUREAEC.COM



CHECKED BY:
MOBEEN YOUSAFZAI

DRAFTED BY:
WAQAS AHMAD

COVERED AREA: 1950 SF

PROJECT NAME:
FINISH BASEMENT, 244 Morningmist St. Brampton

SHEET TITLE:
SITE PLAN

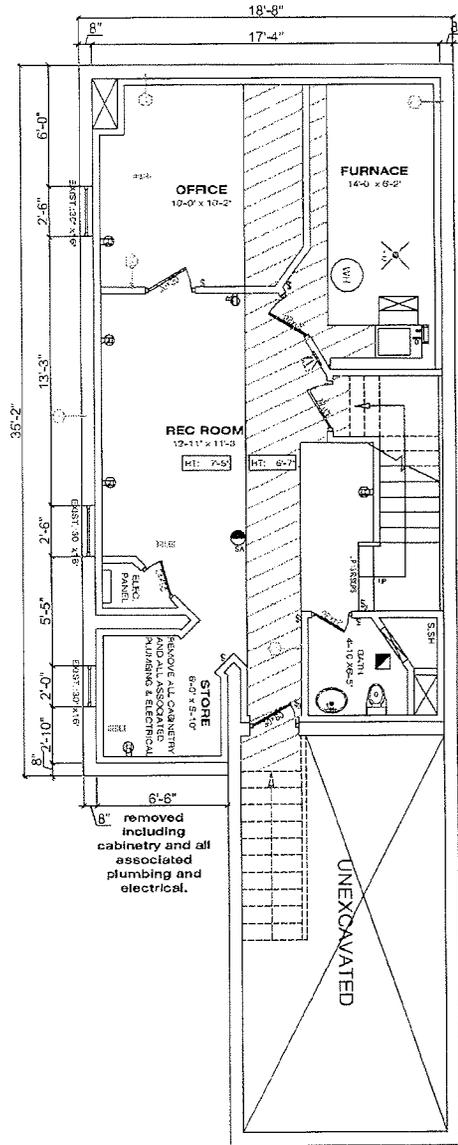
DATE: 16 SEP, 2024

SCALE: 1/8"=1'-0"

PROJECT# BR031

DWG #

A100



EXISTING BASEMENT FL PLAN

| LEGENDS AND SCHEDULES | |
|-----------------------|--|
| | EXHAUST FAN |
| | SMOKE ALARM |
| | CARBON MONOXIDE DETECTOR SHALL COMPLY WITH OBC DIV. B. 9.33.4 |
| | DUPLEX RECEPTACLE OUTLET |
| | A THREE-WAY SWITCH AT THE TOP AND BOTTOM OF THE STAIR TO A LIGHT FIXTURE. |
| | SINGLE POLE SWITCH |
| | FLOOR DRAIN |
| | GFCI RECEPTACLE OUTLET |
| | RETURN AIR GRILL SHALL BE INSTALLED |
| | AIR REGISTER COMPLIANCE WITH OBC DIV. B. 9.33.3.11.1 |
| | EXISTING 8" CONCRETE BLOCK WALL MOISTURE BARRIER 2"x3" @ 16" O.C. STUDS RIGID INSULATION - 1/2" POLY VAPOR BARRIER - 1/2" GYPSUM BOARD |
| | PARTITION WALLS: 1/2" GYPSUM BOARD 2"x4" SPF STUDS @ 16 O.C. |



CHECKED BY:
MOBEEEN YOUSAFZAI

DRAFTED BY:
WAQAS AHMAD

PROJECT NAME:
FINISH BASEMENT, 244 Morningmist St. Brampton

SHEET TITLE:
EXISTING BASEMENT FL PLAN

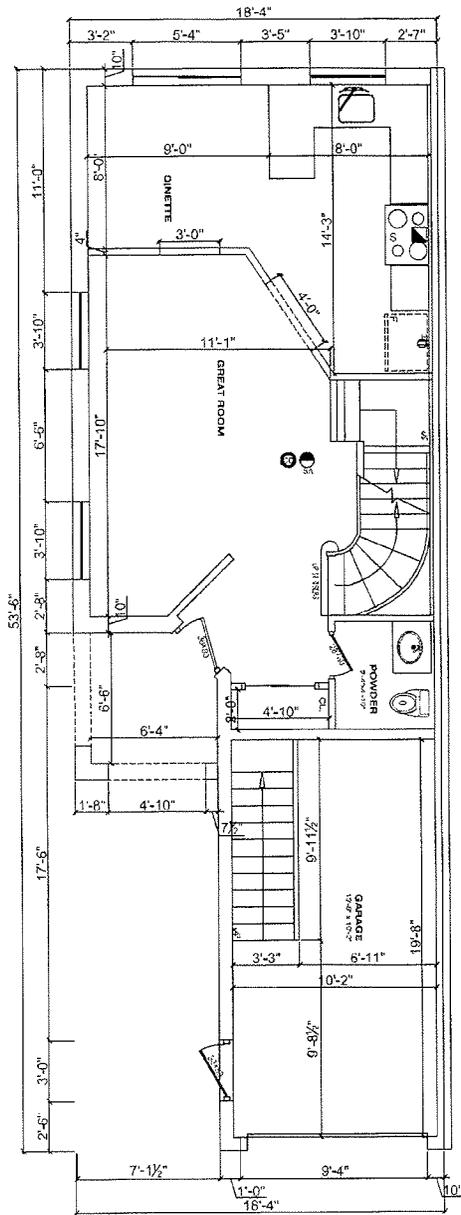
DATE: 01 AUG, 2023

DWG #

SCALE: 3/16"=1'-0"

PROJECT# BR031

A101



EXISTING MAIN FL PLAN



CYNOSURE AEC
 CONTACT: 1-11-224-300-3444
 Email: MOBEEN@CYNOSUREAEC.COM
 WAQAS@CYNOSUREAEC.COM



CHECKED BY:
MOBEEN YOUSAFZAI

DRAFTED BY:
WAQAS AHMAD

PROJECT NAME:
FINISH BASEMENT, 244 Morningmist St. Brampton

SHEET TITLE:
EXISTING GROUND FLOOR

DATE: 11 SEP, 2024

SCALE: 3/16"=1'-0"

PROJECT# BR031

DWG #

A102