



HERITAGE IMPACT ASSESSMENT

for
76 Main Street South

Brampton
GBCA Project No: 16071 / 22052

prepared for:

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Date of 1st issue: 6 February 2017
Date of 2nd issue: 20 September 2019
Date of 3rd issue: 13 July 2023



TABLE OF CONTENTS

	EXECUTIVE SUMMARY	2
1.	BACKGROUND	3
2.	INTRODUCTION TO THE SUBJECT PROPERTY	4
3.	SITE HISTORY	11
4.	ASSESSMENT OF VALUE	20
5.	PROPOSED SITE ALTERATION	22
6.	MITIGATIVE STRATEGIES	28
7.	RECOMMENDATIONS	29
8.	SOURCES	29
9.	CLOSURE	30

APPENDICES

APPENDIX I - Heritage Policy Review

APPENDIX II - Development Drawings

APPENDIX III - Landscape Plan and details

Commonly used abbreviations:

HCD	Heritage Conservation District
HIA	Heritage Impact Assessment
MSSHCD	Main Street South Heritage Conservation District
SGCHPC	Standards and Guidelines for the Conservation of Historic Places in Canada

For convenience and clarity, differences between the September 2019 and June 2023 HIA are highlighted in red.

EXECUTIVE SUMMARY

GBCA (Goldsmith Borgal & Company Ltd. Architects) was retained by Pulis Investments in 2016 to evaluate any impacts on heritage resources arising from a proposed land severance on a property located at 76 Main Street South, within the boundaries of the proposed Main Street South Heritage Conservation District (MSSHCD).

The subject property at 76 Main Street South consists of a two-storey residence listed in the City of Brampton's *Municipal Register of Cultural Heritage Resources* and it sits within a large parcel of land (measuring approximately .52 hectare or 1.28 acre).

A HIA, dated 6 February 2017, was submitted to the City. Following City comments, as well as an appeal due to the land severance, the proposal for the site was reviewed and the land severance was adopted. A revised HIA, dated 20 September 2019, was issued to the City to reflect the changes.

The **land severance** divides the property into two smaller parcels in order to permit the construction of an additional residence and detached garage on the newly created property.

In May 2022, the Applicant submitted for Site Plan Approval and received comments from Heritage Planning, dated June 7th 2022. The comments note that all Heritage Staff's previous comments regarding the architectural drawings were addressed, however, two issues remain:

1. The difference in design and massing compared to a previous version
2. The reduction of the driveway width where it meets Main Street

This current HIA addresses the above comments.

It is our opinion that the proposed new residence on the newly created severed property, in its current revised form, generally respects the intents of the policies and guidelines described in the Main Street South Heritage Conservation District.

This HIA has been prepared in accordance with the City of Brampton's Heritage Impact Assessment Terms of Reference and evaluates any impacts of a proposed rezoning on existing heritage resources.

1. BACKGROUND

1.1 Purpose of this Heritage Impact Assessment

On September 6th and again on September 23rd 2016, the applicant met with Brampton Planning staff to discuss a proposed land severance for the property at 76 Main Street South. During these meetings, City Staff were reluctant in supporting the proposed severance, as it is contrary to the Downtown Brampton Secondary Plan, which discourages land severances. The policy does not, however, prohibit them. City Staff are of the opinion that a land severance would be contrary to maintaining the character of Main Street South, and that the construction of the second dwelling would detract from the landscape of the property and the lot widths would be undersized.

A Heritage Impact Assessment (HIA), dated 6 February 2017, was submitted in support of the Committee of Adjustment Minor Variance and Consent to Sever Applications (City Files: A17-45, A17-46, B17-004). A supplementary letter dated 17 October 2017 was later submitted in response to City comments. These applications were approved on November 14, 2017 by the City of Brampton Committee of Adjustment but subsequently appealed to Local Planning Appeal Tribunal (LPAT). On January 18, 2019 the LPAT issued a written Decision dismissing the appeals and approving the applications (LPAT Case No.: PL171375).

As a Condition of Approval, the applicant is required to secure Site Plan Approval for the Severed Lands. A HIA dated 9 September 2019 was submitted for this Site Plan Application. City staff comments were received, including Heritage staff comments, dated June 7th 2022. The Applicant has been working to review the application in conjunction with the comments received.

This current HIA, dated 5 June 2023 is submitted to address those heritage comments.

For convenience and clarity, differences between the September 2019 and June 2023 HIA are highlighted in red.

1.2 Methodology

This HIA was prepared according to the Terms of Reference of the City of Brampton for a Heritage Impact Assessment (see Appendix I).

GBCA visited the property on October 26th 2016 and again on September 6th 2019

The historical background of the property including a list of previous owners was determined from research by an architectural historian and CAHP member. The assessment of cultural heritage value of the property was conducted following the 3 criteria in Ontario Regulation 9/06, under the Ontario Heritage Act to determine cultural heritage value or interest. The assessment of heritage impacts was prepared based on an objective evaluation of the proposed land severance against conflicts, if any, with the heritage attributes of the property, as identified within the proposed Main Street South Heritage Conservation District, currently in a draft form.

The following documents were consulted in the preparation of this HIA:

- City of Brampton Official Plan (2015 consolidation)
- Downtown Brampton Secondary Plan (July 2014)
- Main Street South HCD Plan (draft, November 2016)
- City of Brampton Archives
- Peel Region Archives

Additional consulted documents are listed in the Sources, at the end of the main HIA document.

1.3 Present Owner and Contact Information

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 Brampton, ON, L6X 3E4
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2. INTRODUCTION TO THE SUBJECT PROPERTY

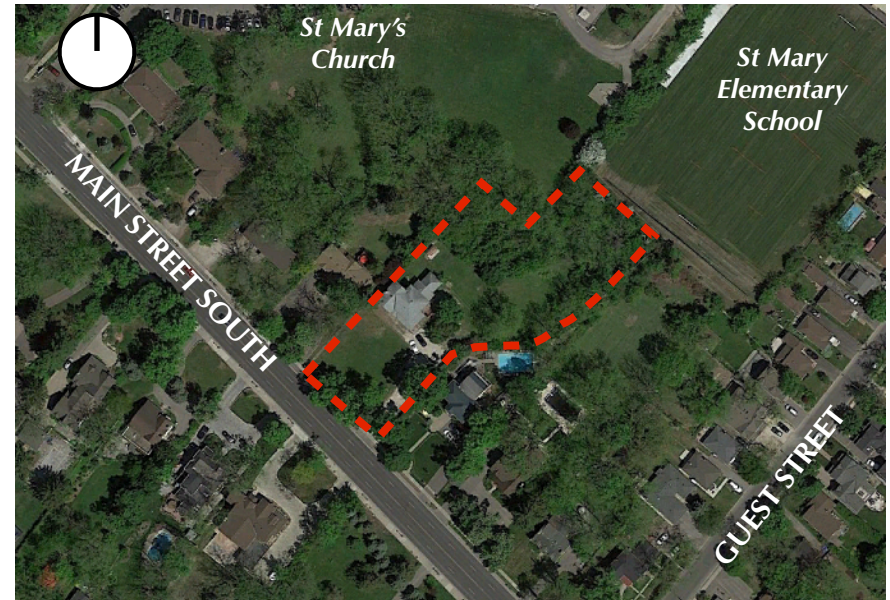
The property at 76 Main Street South is located on the east side of Main Street South roughly halfway between Woodbrock Drive and Guest Street. The property is situated in Site Specific Area #7 - Downtown Brampton. The character of the property's surroundings consist of low-scale single detached residential buildings on both sides of the street and featuring an eclectic mix of architectural styles dating from the 1850s to the present day. Main Street South is a mature, tree-lined street with residences that are well set back from the road to offer picturesque views.

The property is 1.28 acre (55 757 sq.ft.) in total area and includes a two-storey residence (2972.77 sq.ft.). The residence is significantly set-back from the road and is entered by a driveway located on the southern side of the property and curves near the principal elevation of the building to reach the front. This driveway offers a picturesque experience to the entrance path. The front and back (west and east elevations) of the residence have soft landscape surfaces and include, on the property, mature trees on the edge of Main Street South and areas in the backyard. The residence is the principal focus point of the property and is appreciated from Main Street South. The backyard is shielded by the residence itself and some coniferous and deciduous trees south of the residence, in the middle ground.

For clarity purposes in this HIA, the west elevation of 76 Main Street South (facing the street) will be considered the principal elevation.

Heritage Status

The property is identified as "Listed" in the City of Brampton's *Municipal Register of Cultural Heritage Resources*. The property is also included in the proposed Main Street South Heritage Conservation District (HCD) Plan. At the time of this HIA, the subject property has no designation under the Ontario Heritage Act. The proposed Main Street South HCD Plan is currently in progress. The latest draft dates from January 2018, which is a redlined draft.



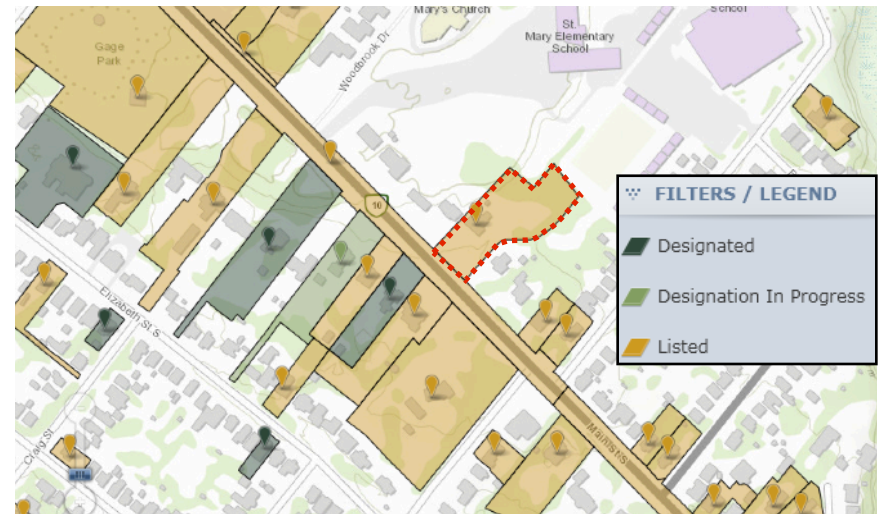
Aerial view of the site with the subject property bounded in a red line.

Current use

The property is currently occupied by the Applicant as a residence.

Adjacencies

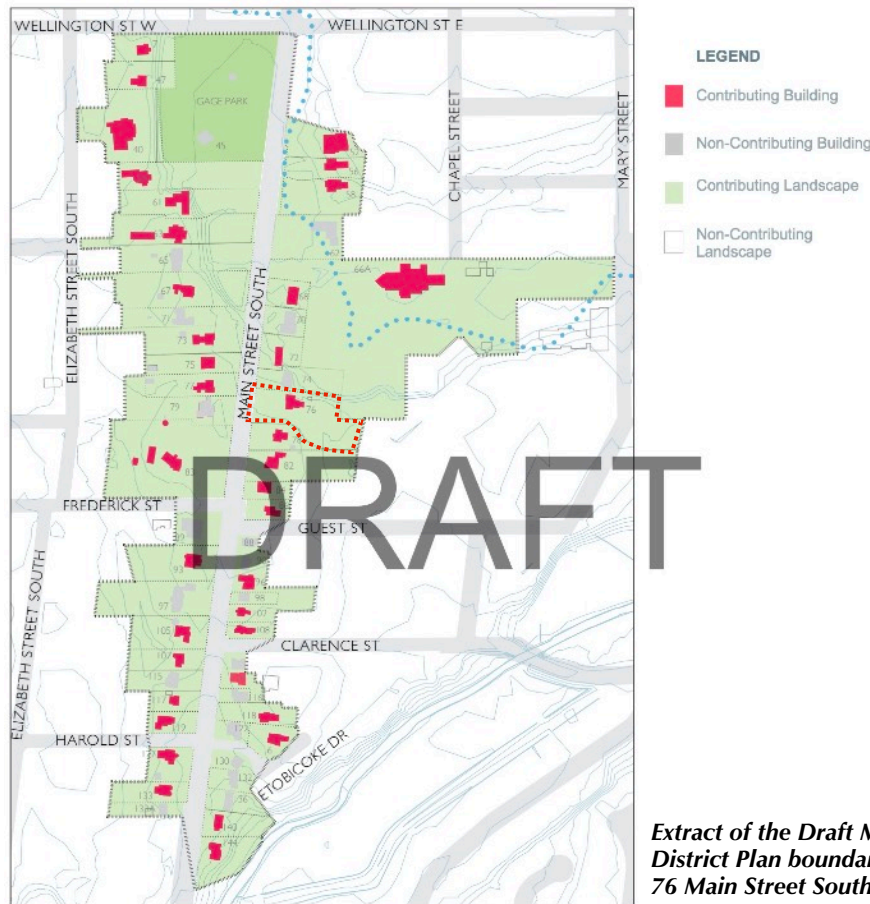
As shown on the interactive map on the right, the property is adjacent to a number of Listed properties (in yellow). As it is located in a proposed Heritage Conservation District, properties immediately north, west and south are all considered to have heritage interest (see draft map below taken from the MSSHCD Draft Plan).



Snapshot of the City of Brampton’s Interactive Map, identifying heritage buildings in the vicinity. The subject property is identified as “Listed”.

A designated property (77 Main Street South, in dark green on the map) is located across the street and is identified as an eclectic vernacular residence with Italianate features, built in 1877.

The property is adjacent to institutional grounds (a religious building and an elementary school) to, respectively, the north and northeast.



Extract of the Draft Main Street South Heritage Conservation District Plan boundary (January 2018). 76 Main Street South is highlighted with a red dashed boundary line.

Condition Review of 76 Main Street South

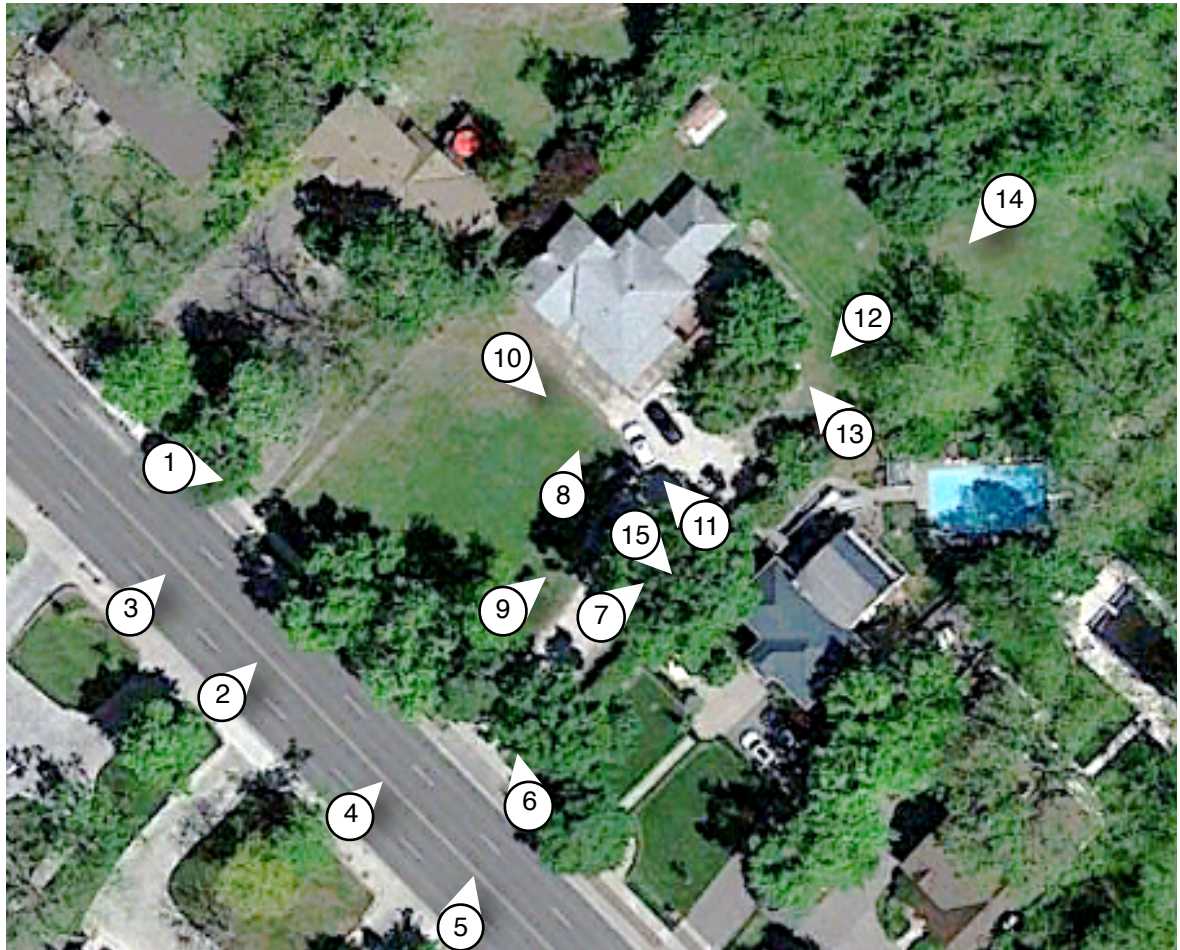
The property was visited on October 26th to perform a high level assessment of the context and condition of the heritage resources on the site and in the vicinity. The applicant is the owner and currently occupies the house at 76 Main Street South as a residence. The house is 2,972.77 sq.ft. in area, two storeys in building height and is estimated to be built around 1875. The house is an example of a Victorian style of architectural form with some Italianate influences, with notable architectural features such as a hipped roof with a projecting gable bay with an associated bay window fronting to Main Street South, a large porch that turns the corner and second storey paired windows, all of which are in very good condition.

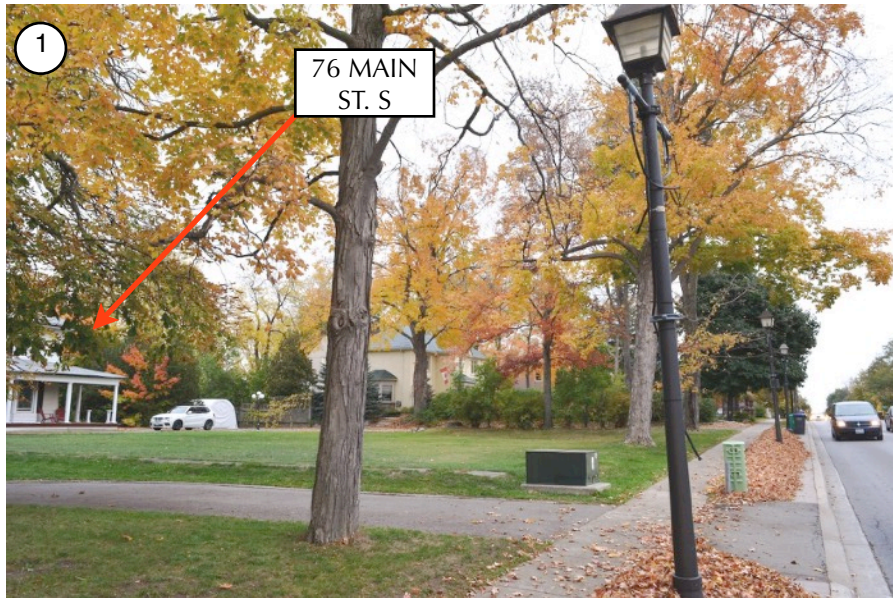
Aluminum cladding is currently shown over an exterior (we believe) stucco finish. Roof materials were shown to be asphalt shingles and are all in good condition.

No interior review was deemed necessary to be performed as the building is currently occupied.

Context Photographs

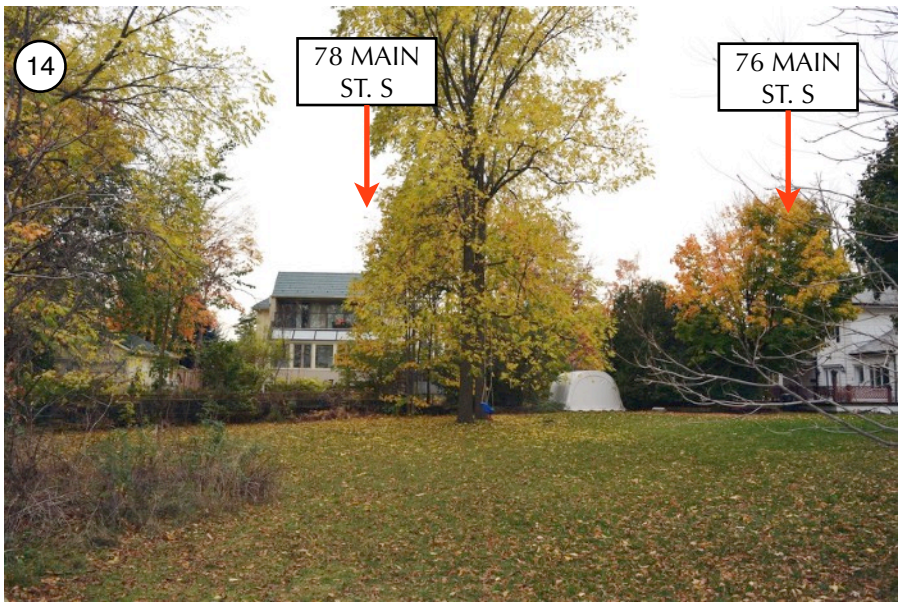
The following pages contain photographs of the subject property and its context taken on October 26th 2016.











3. SITE HISTORY

As part of the evaluation of the cultural heritage value or interest of the subject property the following information was gathered in order to provide a chronological history of the site and the structures thereon. Documents from the Peel Region Archives, including the Land Registry Abstracts, were used during this research (refer to section on Sources in this Report).

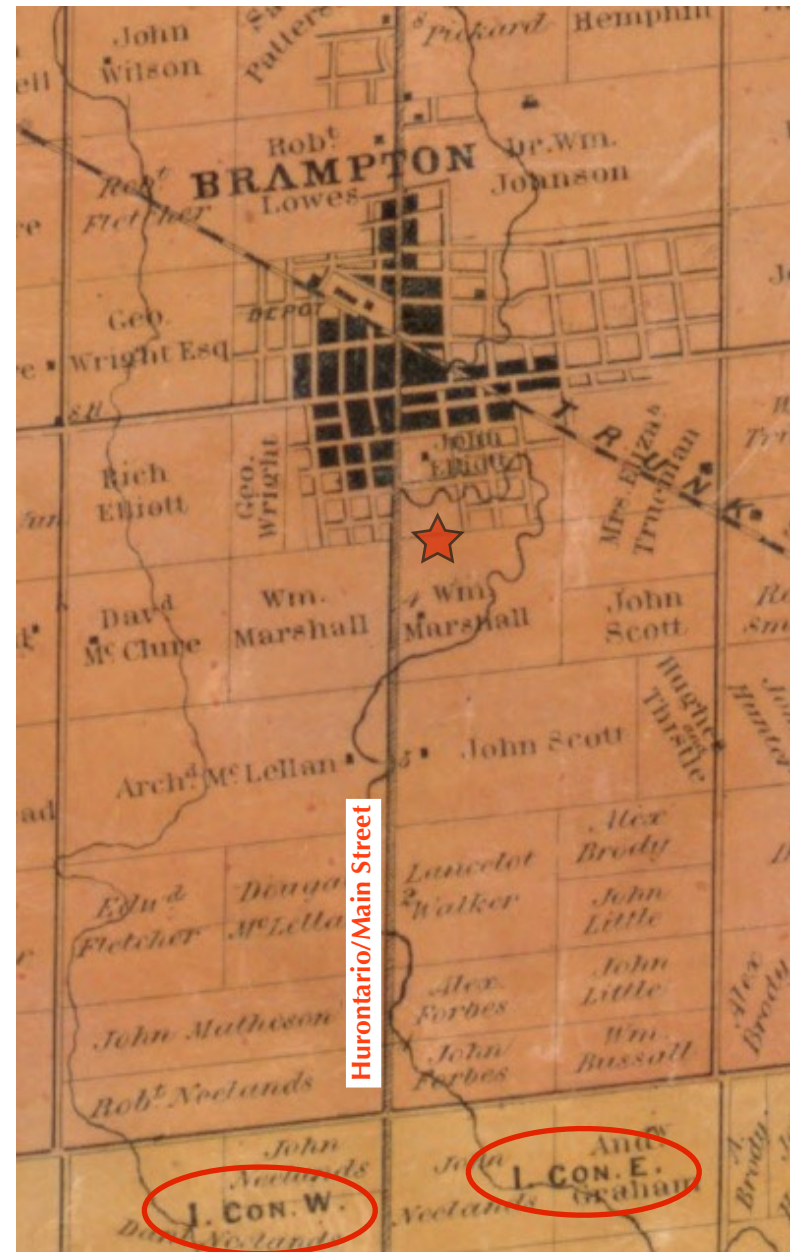
The subject property (now known as 76 Main Street South) is located on what was historically Part of Lot 4 and Part of Lot 5, Concession 1 EHS, Chinguacousy Township, County of Peel.

When formed, the County of Peel comprised five townships - Toronto, Toronto Gore, Chinguacousy, Caledon and Albion – and was bounded on the south by Lake Ontario, on the west by the Counties of Halton and Wellington, on the north by the Counties of Wellington and Simcoe, and on the east by the County of York. Chinguacousy Township was surveyed in 1819 with concession roads laid out on either side of Hurontario beginning with Concession 1 West of Hurontario Street (WHS) and Concession 1 East of Hurontario Street (EHS). Within the heart of what would become the village of Brampton, Hurontario Street was known as Main Street.

The physical development of Brampton grew out from the intersection of Queen and Main Streets, later known as “The Four Corners.” Hurontario/ Main Street, the boundary between Concession 1 West of Hurontario Street (WHS) and Concession 1 East of Hurontario Street (EHS), ran (more or less) north to south, and Queen Street, the boundary between Lots 5 and 6, ran (more or less) east to west. To the east of Main Street ran the Etobicoke River in a wandering course, crossing and re-crossing the proposed and realized grid of streets.

Tremaine’s Map of the County of Peel: Canada West, 1859.

Hurontario (also known as Main Street) was the boundary between Concession 1, West of Hurontario (WHS) and Concession 1, East of Hurontario (EHS). The location of the subject property is denoted along the boundary line between Lot 5 and Lot 4.



The arrival of the railway lines (such as the Grand Trunk Railway and, later, the Credit Valley Railway) through this area during the mid-Victorian period triggered an economic boom. Brampton was incorporated as a village in 1853 and was chosen the main “County Town” — the Grand Trunk Railway station (built 1856) solidifying this status. Having been selected as the seat of Peel County, the County Buildings were erected in 1865-66 on Main Street South at Wellington Street – part of Lot 5, Concession 1 (EHS). The county was known for its excellent agricultural land and therefore a large agricultural implement manufactory and foundry was established in Brampton. This, in turn, resulted in a strong commercial development. Supporting this commercial success were a number of churches, public buildings (including a grammar school) and many “handsome” private residences.

In 1873, Brampton was incorporated as a town and it is from this time that the building at 76 Main Street South dates.

Being located on Part of Lot 4 and Part of Lot 5, Concession 1 EHS, the subject property was central to the core of the growing town of Brampton, and it is not unusual that these lands have a long history related to many of the early important settlers in Brampton – including John Elliott.

Illustrated Historical Atlas of the County of Peel, Ontario, 1877

To the east of Main Street South ran the irregular course of the Etobicoke River. To the west of Main Street South ran the tracks of the Credit Valley Railway, which was constructed between 1877 and 1879. Traversing both the Etobicoke River and the Credit Valley tracks was the main Grand Trunk Railway line, established 1852, which cut diagonally through the town, just north of Queen Street.

The location of the subject property is denoted along the boundary line between Lot 5 and Lot 4.



Lot 5 - John Elliott Property

The Elliott family played an important role in the early history of Brampton – it was John Elliott (1794-1871) who (along with William Lawson) named the place after his home in Cumberland, England. When Elliott arrived in 1821, he purchased 100 acres of land in the County, being the west half of Lot 5, Concession 1 EHS from the Crown Patentee, Samuel Kenny. Kenny was the first owner of the Main Street South frontage of Lot 5, Concession 1 EHS, but seems to have only been a speculator who quickly sold the property for profit.

On Lot 5, Concession 1 EHS John Elliott constructed a family estate with a house and several out-buildings for the farming operations on site – an orchard was established adjacent to the structures. The Etobicoke River ran along the western edge of Elliott’s property, requiring a small bridge to provide access to Hurontario/Main Street. Indeed, the meandering course of the Etobicoke River on this Lot and Concession helped shape the evolution and character of the neighbourhood well into the mid-twentieth century when the river was diverted to a man-made course further east.

Elliott came to own many acres in and around the “Four Corners” of Brampton – for example he also owned Lot 5, Concession 1, WHS. Family members, such as his three sons, Richard, William, Matthew, were also property owners.

In the early years of the village’s development, several large estate houses flanked both sides of Main Street South. As noted above, the Elliott homestead was located on the east side of Main Street South. Elliott’s son, Matthew Mitchell Elliott (a well-known merchant, postmaster, and one-time mayor from 1883 to 1885), later had a large brick residence on the west side of Main Street South – the site that would later become Gage Park.

As early as the 1830s, John Elliott, having sensed the area’s potential, had begun to clear his land and subdivide his landholdings to sell off village lots for further residential development. Indeed, Land Registry records show that Elliott was selling small parcels to many of the early settlers throughout the 1830s, 1840s, 1850s and 1860s.



Bristow & Fitzgerald. *Plan of the Town of Brampton in the County of Peel, 1857* - detail showing the west half of Lot 5, Concession 1 EHS.

The Elliott property on Lot 5, Concession 1 EHS was, by the 1850s, developed with the family homestead. As early as the 1830s, Elliott had begun to divide up the lands for sale - as visible on this map along Park Street, King Street, Carlysle and Mary Streets.

The Etobicoke Creek ran parallel with Main Street South along the front edge of Elliott’s homestead, then meandered eastward, running behind the property that would become 76 Main Street South.

Two notable subdivisions of the Elliott landholdings are those of Registered Plan BR17 (dated 1867) and BR21 (dated 1871) – BR17 was on the Elliott property on the west side of Hurontario/Main Street South (Concession 1, WHS) while BR21 was included property on the east side of Hurontario/Main Street South, thus corresponding with the location of the subject property.

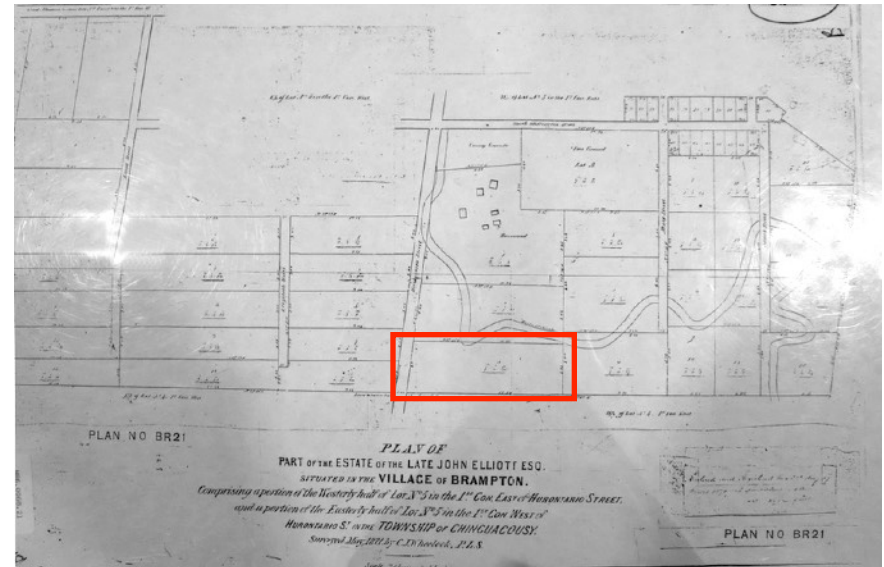
Surveyor C.J. Wheelock laid out Registered Plan BR21 on part of the original Elliott estate (comprising a portion of the westerly half of Lot 5 in Concession 1, EHS and a portion of the easterly half of Lot 5, Concession 1, WHS) in 1871.

The Elliott homestead was initially maintained on a generous lot within the plan of subdivision, as were the County Buildings at Wellington Street. The remainder of the Elliott acreage was divided into 18 lots of various sizes. The subject property is on a portion of what was surveyed as building Lot 3 of Registered Plan BR21.

While the Land Registry documents from the latter-half of the nineteenth century record the amount of land purchased by various individuals after the 1871 plan was prepared, these records do not define the specific location of the acreage/lot purchased. Therefore it is difficult to ascertain the subsequent owners of each specific building lot on BR21. However, an overlay of current building addresses onto the historical Lot 3 of BR21 suggests that the property now known as 76 Main Street South was likely the main building lot on this portion of the plan.

The Land Registry shows that portions of Lot 3 of Registered Plan BR21 were first sold to George Green and J.P. Clark; in 1875 a portion was sold to J.A. Austin; in 1898 to Annie Jackson, wife of James Jackson; in 1906 to Donald C. Craig; and, in 1912 to Margaret M. Wegenast.

George Green, was a barrister and the first Crown Attorney for Peel (1867-1879). Given that he is known to have lived at 67 Main Street South from 1871 to 1884 it is likely that he himself did not reside on Lot 3 of Registered Plan BR21.



Plan of Part of the Estate of the Late John Elliott, Esq. Situated in the Village of Brampton. Comprising a portion of the westerly half of Lot No. 5 in the 1st Concession East of Hurontario Street and a portion of the easterly half of Lot No. 5 in the 1st Concession West of Hurontario Street in the Township of Chinguacousy, Surveyed by C.J. Wheelock, 1871 (Plan No. BR21)

The Elliott homestead on the Main Street South frontage of Lot 5, Concession 1 EHS, including the gardens and orchards, was maintained in Plan No. BR21. The lands without frontage on Main Street South were laid out for sale and future subdivision. These lots would eventually be divided into long narrow lots as was a common layout in most nineteenth century urban areas in the region.

The lots with Main Street South frontage were, considered the most coveted and eventually they would be developed as larger/deeper building lots - such is the case with Lot 3 of BR 21 which contains the subject property at 76 Main Street South.

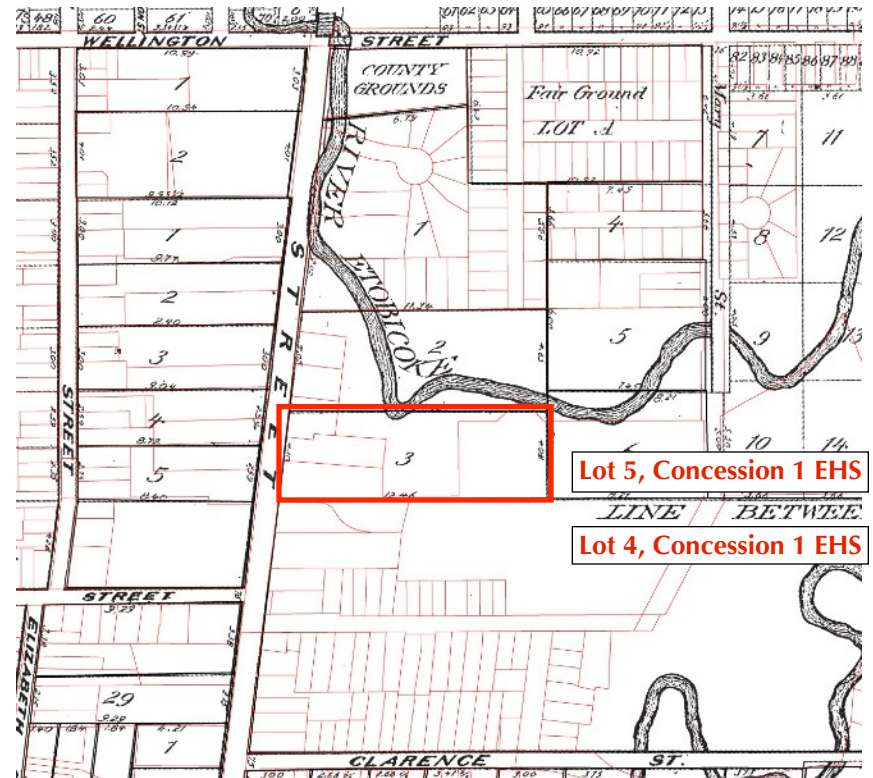
The 1873-74 Directory of the County of Peel reveals that James Austin was a Clerk of Surrogate Court.

James Jackson served as the Warden of Peel in 1904, the Justice of the Peace in 1906 and Reeve of Brampton 1908 to 1909.

Franklin Wellington Wegenast (1876-1942) moved to Brampton in late 1905 – he and his wife first lived at 22 William Street in Brampton from 1906 to 1911. They purchased Lot 3 of Registered Plan BR21 in 1912. Along with practicing law in Toronto and in Brampton, Wegenast involved himself in local politics. He sat on the Town Council in 1909, was Reeve in 1923 and 1924 and, subsequently, Mayor from 1925 to 1928 and again in 1940. He was a President of the Board of Trade in 1917 to 1919. It was Wegenast who beautified the southern entrance to the business section of the town, by straightening the way the creek ran through and building retaining walls for it.

An approximate date of 1875 for the construction of the house now known as 76 Main Street South can be determined through an assessment of the following data:

1. The building almost certainly post-dates the laying out of the building lot 3 in Registered Plan BR21, which took place in 1871. Indeed a number of Registered Plans in this immediate area date from around this time – for example, Registered Plan BR29, south of Clarence Street, was laid out in 1873. The buildings that pre-date the Registered Plans were generally those larger estate buildings.
2. The mid-1870s marks the height of the building boom and population growth in Brampton.
3. The date of sale of lands to James A. Austin, as recorded in the Land Registry Records, is 1875 and it is likely that Austin was the first to build on the lot. This is based on the assumption that the owner previous to Austin, George Green, would not have built a house on Lot 3 of BR21 EHS since he already had built a house on the west side of Main Street South (67 Main Street South) – Lot 3 of BR21 WHS.



Composite Map from the Main Street South Heritage Conservation District Study - The contemporary property lines have been overlaid on a portion of the map from the *Illustrated Historical Atlas of the County of Peel, 1877*.

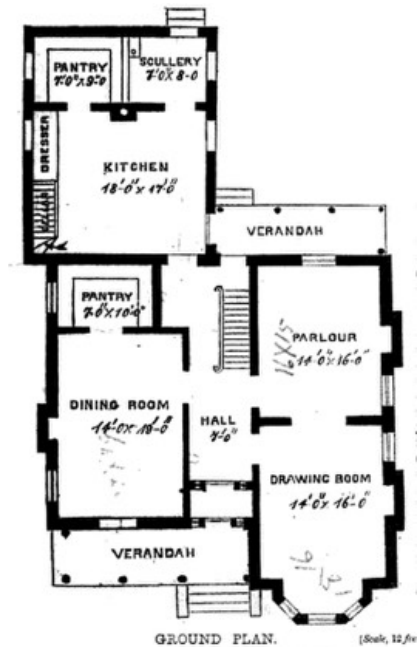
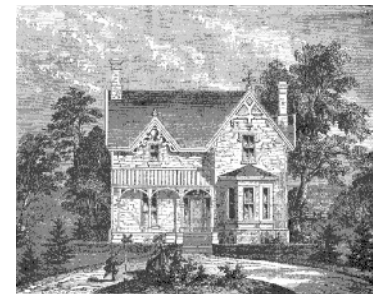
Lot 3 of BR21 is located along the boundary line between Lot 5, Concession 1 EHS and Lot 4, Concession 1 EHS. Eventually only two and one-half separate building lots were subdivided out of lot 3 - one of which is 76 Main Street South.

4. The Assessment Rolls for 1877 note that J. Austin owned 5-acres of lot 3 but unfortunately do not record whether a built structure stood on site. Fire Insurance plans for 1894, 1921 and 1931 do not include this portion of the area and therefore are of little help in determining the buildings exact date or form over the years.
5. A stylistic analysis of the current building also indicates the mid-1870s date. The L-shaped plan of the house is typical of 1860s and 1870s farmhouses. Earlier versions of brick or wood siding were often one-and-one-half stories but in the case of 76 Main Street South, a full two-storeys is under the hipped and cross-gable roof.

Stylistically, the house is a vernacular version of a type that often exhibited either Gothic Revival or Italianate features – the Gothic Revival examples found in Brampton exhibit pointed-arched window openings and bargeboard detailing in the gable end (compare 67 Main Street South which dates 1871); while the Italianate examples are often polychromatic, with corner quoining, denticulated cornices and/or decorative verandahs and pronounced overhanging eaves (compare 77 Main Street South which dates 1877). Common characteristics of the time period that are found at 76 Main Street South include not only the L-shaped plan but also the ground floor bay window and the wrap-around verandah.

These farmhouse designs were not generally the work of an architect but rather a builder or owner could refer to pattern books or journals, such as the *Canada Farmer*. The *Canada Farmer* was a monthly journal that included a section on rural architecture with plans and elevations of typical designs for a number of structures including residential buildings.

Set well back from Main Street South on a deep lawn, the property at 76 Main Street South also follows the characteristics of similarly dated buildings along Main Street South.



76 Main Street South is similar in overall plan and form to typical 1870s buildings in its L-shaped plan (with rear tail) and bay window. Comparisons with other Brampton houses of the period show the variety of styles that were possible with this vernacular suburban farmhouse.

The typical design could be sourced from journals such as *The Canada Farmer*. The 1864 issue published the elevation and plan of a “Suburban Villa or Farm House.”

Lot 4

The subject property also includes lands that are historically on Lot 4, Concession 1, EHS. Currently these lands are unoccupied, being a portion of the rear of 78 Main Street South.

According to the Land Registry records, the crown patentee of the 200-acre Lot 4 in 1821 was John Campbell Garden. Garden sold the east and west halves to Thomas Silverthorn in 1823, who in turn sold all 200-acres to William Lawson in 1839. Lawson was an early prominent Methodist, lay preacher and merchant, who, along with John Elliott, named this place Brampton.

In 1851 Lawson sold an approximately 10-acre lot to John Guest who constructed his farmstead on his property between Main Street South and the Etobicoke River. The Guest property was one of the first to be subdivided into smaller building parcels (the subdivision was registered in 1856) with a new street - Guest Street - running east off of Main Street.

In 1852, Lawson sold the remainder of the west half of Lot 4 (about 60 acres) to William Marshall. Marshall already owned all of the other side of Main Street South (East half of Lot 4, Concession 1 WHS).

In 1852, Lawson sold 15 ½-acres of the west half of Lot 4 to John Holmes, one of the very first members of Brampton Village Council when it was incorporated as a village in 1853. This land was located just south of the dividing line between Lots 4 and 5 and just north of Guest Street – thus a portion of the subject property is on what was historically the Holmes property. Holmes amassed more land when he purchased 8-acres from his neighbor to the south, John Guest. Holmes and his family also owned lands in Lot 5 Concession 1 WHS (south of Queen Street).



Bristow & Fitzgerald. Plan of the town of Brampton in the County of Peel, 1857.

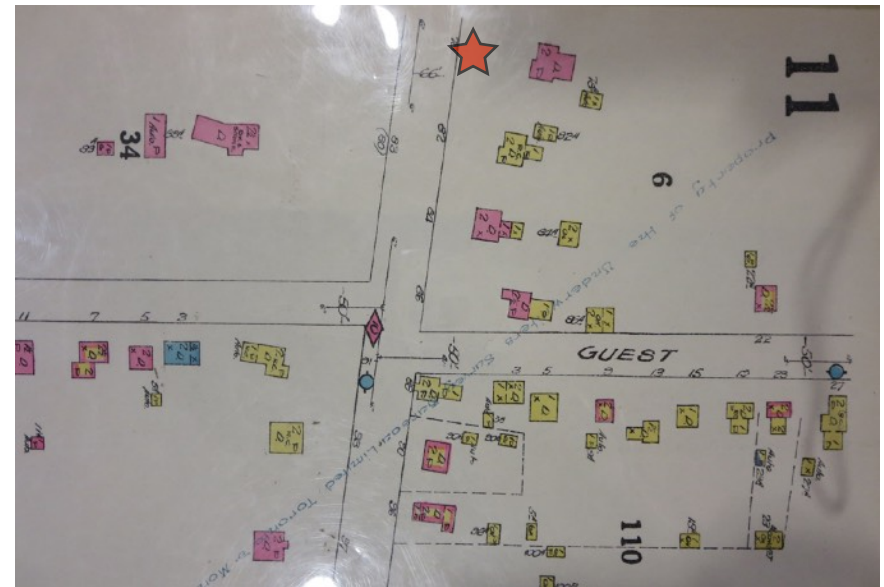
Lot 4, Concession 1 EHS was, by the 1850s, scarcely developed. John Guest had established his homestead and laid out Guest Street.

The lands marked with John Holmes Esq. would later be subdivided into building lots and a portion of the subject property (those lands behind 78 Main Street South) sits on these lands. The location of the subject property is denoted along the boundary line between Lot 5 and Lot 4.

Holmes land was variously sold off in small parcels (generally 1 or 2 acres) over the course of the second half of the nineteenth century.

- 1860 – Holmes to Archibald McMillan (34 ½ acres part west half)
- 1862 – Archibald McMillan to Duncan McDougall (34 ½ acres)
- 1893 – William E. Milner, et ax to Thomas H. Walls (34 ½ west half)
- 1893 – Thomas H. Walls to Ida E. South (34 ½ west half)
- 1861 – Holmes to Christopher Stork (15 ½ acres)
- 1862 – Andrew Holmes to William Dodgson
- 1865 – William Lawson to Christopher Stork (15 ½ acres)
- 1871 – Stork sells off lots in BR21

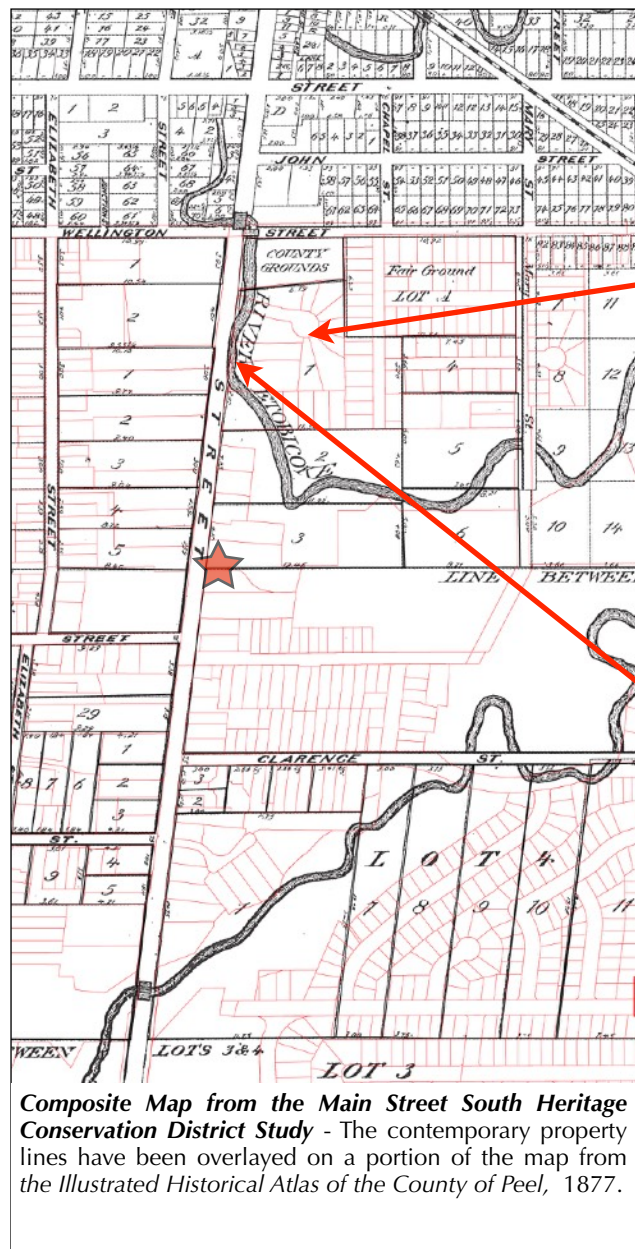
As with the house at 76 Main Street South (Lot 5, Concession 1, EHS), 78 Main Street South, which is located on Lot 4, Concession 1, EHS, likely dates to this time of development in the 1870s. That portion of the subject property that sits on this part of Lot 4, Concession 1, EHS, constitutes a portion of the rear yard of 78 Main Street South.



Underwriters Survey Bureau Limited, "Insurance Plan of the Town of Brampton, 1931

Lot 4, Concession 1 EHS was, by the 1930s, a well established residential neighbourhood. The John Guest subdivision had smaller lots than those along the Main Street South frontage.

The most northerly house on this plate of the atlas is 78 Main Street South. A portion of the rear property is now part of the subject property.



View of Main Street South, opposite the Park, Brampton Ontario

This row of three houses - 52, 56 and 58 Main Street South - were constructed on the lands that were the original location of the Elliott homestead - Lot 1 of Plan BR21.



View of Main Street South, along the Etobicoke River, Brampton Ontario

As seen in the map, the river course ran directly along the east side of Main Street South, requiring a bridge to access the properties to the east. The creek was diverted in the early 1950s, confining its once meandering course just east of Main Street to a path further east.

4. ASSESSMENT OF VALUE

Statement of Cultural Heritage Value or Interest

No official statement was prepared by the City of Brampton. For the purposes of the proposed Main Street South HCD Plan, prepared by ERA Architects, a Statement of Contribution was written and describes the property as follows:

76 Main Street provides an example of the historic massing and form of early houses in the District. Its front elevation features a projecting gabled bay, one-story bay window, covered porch, combined to form a simple yet well balanced front elevation.

Built during the later half of the 19th century [circa 1875], the residence is associated with several distinguished families in Brampton including the Clarks, Austins, Jacksons and former Brampton mayor, F.W. Wegenast.

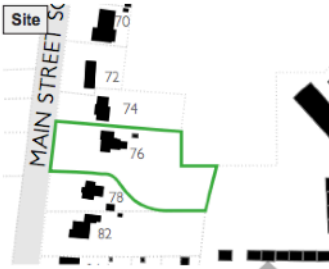

Notable Architectural Features

The list of attributes included in the proposed Main Street South HCD Plan (draft) include:

- The hipped roof with projecting gable bay [on the principal elevation],
- The bay window [on the principal elevation],
- The large porch, and
- The second storey paired windows.

This information was extracted from the Main Street South HCD draft Plan, on page 128 (see image at right).

76 MAIN STREET SOUTH

STATEMENT OF CONTRIBUTION

76 Main Street provides an example of the historic massing and form of early houses in the District. Its front elevation features a projecting gabled bay, one-story bay window, covered porch, combined to form a simple yet well balanced front elevation.

Built during the later half of the 19th century, the residence is associated with several distinguished families in Brampton including the Clarks, Austins, Jacksons and former Brampton mayor, F.W. Wegenast.

Estimated Period of Construction	Circa 1875
Style	Victorian with Italianate influences
Height (storeys)	2
Main Materials	Aluminum cladding over stucco
Sub-district	A - Etobicoke Creek
Setting	Deep setback from the street
Landscape	Open lawn
Notable Architectural Features	Hipped roof with projecting gable bay, bay window, large porch, and second storey paired windows
Additional Information	

Extract of a page taken from a previous version of the Main Street South HCD, showing a description of the property.

Evaluation of Cultural Heritage Value

Following the amendments to the Ontario Heritage Act in 2005 which gave municipalities the power to protect the historic character of property in perpetuity, the Province established criteria for determining whether property is of cultural heritage value or interest. Ontario Regulation 9/06 prescribes three sets of criteria (nine criteria in all) for determining whether property may be designated under Section 29 of the Act. One or more of the criteria must be met.

Those criteria, as quoted from Ontario Regulation 9/06 are listed in the table on this page.

Summary

The property as a whole meets the criteria under O.Reg. 9/06 and is therefore considered of cultural heritage value. This value is reflected in the building’s listing under the City of Brampton’s *Municipal Register of Cultural Heritage Resources*.

Value (quoted from Ontario Reg. 9/06)	Assessment for 76 Main Street South
1. The property has design value or physical value because it,	
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method, ii. displays a high degree of craftsmanship or artistic merit, or iii. demonstrates a high degree of technical or scientific achievement.	<p>i. Meets the criteria. To determine if 76 Main Street South is rare, unique or representative, comparisons are made to other buildings of a similar style in the vicinity of the property. 77 Main Street South is of a similar design and designated under the Ontario Heritage Act. 73 and 75 Main Street South are equally of a similar design with comparable features and materials (73 is characterized with more elaborate ornamentation on its facade). 86 Main Street South is of a Victorian style yet of the early 20th century. After looking at other existing similar and well executed examples in the vicinity, the property at 76 Main Street South is not considered rare or unique, but is representative.</p> <p>ii. Does not meet the criteria. The building was likely built by a builder as opposed to an architect. No features of significant craftsmanship or artistic merit are noted.</p> <p>iii. Does not meet the criteria. The building does not show any examples of technical or scientific achievement.</p>
2. The property has historical value or associative value because it,	
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community, ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	<p>i. Meets the criteria. The property has connections with a number of prominent figures and families that made significant contributions to the City of Brampton, such as James Austin, James Jackson and former Brampton mayor F.W. Wegenast. The building on the property dates from the period of Brampton’s incorporation as a town.</p> <p>ii. Meets the criteria. The building on the property yields information about the residential use of the lot that was created through a plan of subdivision from the 1870s. The larger Main Street South lot speaks to the stature of this portion of the thoroughfare.</p> <p>iii. Does not meet the criteria. The design of 76 Main Street South was most likely the work of a builder or owner who may have referred to pattern books or journals. The property is not known to be associated to a notable builder.</p>
3. The property has contextual value because it,	
i. is important in defining, maintaining or supporting the character of an area, ii. is physically, functionally, visually or historically linked to its surroundings, or iii. is a landmark. O. Reg. 9/06, s. 1 (2).	<p>i and ii. Meets the criteria. The property forms part of a collection of late 19th and early 20th century buildings, is linked to the streetscape layout and supports the residential and architectural character of Main Street South through its location, its set-back and the front landscaping of the property.</p> <p>iii. Does not meet the criteria. The property is not considered a landmark.</p>

5. PROPOSED SITE ALTERATION

5.1 Description of Proposed Site Alteration

The proposal which prompted this HIA consists of subdividing the property at 76 Main Street South into two parcels: 76 Main Street South (land to be retained) and 76A Main Street South (land to be severed), respectively on the north and south of the property.

The existing two-storey building will remain in situ, renumbered as 76A Main Street South and maintain its use as a residence. The wood porch which wraps along the west and south elevations of the building will be maintained. The northern portion of the wood porch, which appears to be an extension of the original structure, will be removed.

A new single-detached residential dwelling is proposed on the severed land and will be identified as 76B Main Street South. A detached garage is also proposed on the severed property, at the back of the new residence.

The existing driveway will be modified to reduce its frontage with 76A Main Street South. A new driveway is proposed for the existing building which will be located on the northern side of the property. This new configuration retains the estate-like appearance fronting the residences by seamlessly providing landscaping and greenery at the centre of the properties. **The entrance driveways which are of asphalt, are bordered with permeable paving on the edges.**

The design of the proposed residence and garage is shown on drawings in Appendix II.

Right:
Extract of the site plan (issued in May 2022). In blue are the new buildings. Highlighted in red are the new entryways.



Above:
Landscape Plan, highlighting the hard landscaping of the front courtyard, which is generally consistent with the Site Plan issued in May 2022.

5.2 Impacts on Heritage Resources

The proposed land severance will result in the following impacts on the property:

- Alteration to the existing lot pattern;
- Redesign of the driveway from Main Street South;
- Tree removals
- Removal of a portion of the wooden porch on 76 Main Street South; and
- Addition of a new residence and a detached garage on the severed property.

Alteration to the existing lot pattern

Lots south of Wellington Street on both sides of Main Street South were originally much larger (in comparison to the smaller subdivisions north of Wellington Street) to accommodate the properties of prominent Brampton residents. Those lots have been subdivided over time to respond to growth and development. The Etobicoke Creek also was a factor in determining the pattern of the subdivisions, and even following the 1952 Etobicoke Diversion Channel, some of the lots have maintained their original pattern in response to the historic course of the Etobicoke Creek. 76 Main Street South was formerly included in Concession 1 EHS, and was partly on Lot 5 and Lot 4, which is considered the rear portion of today's 78 Main Street South. The existing property lines date to a later period. The severance of the property at 76 Main Street South, as proposed, will see a change in the lot pattern as it will reduce the lot width. The proposed lot widths, although less than what is required in the zoning by-laws, are not much different than other lot widths present in the vicinity and considered contributing landscapes of interest within the boundaries of the proposed MSSHCD (see image on page 5). From a heritage character standpoint, the reduction of the lot widths will not have any impact on the existing pattern found in the proposed District. The grand estate entrance, the deep landscaped set-backs and mature tree canopy, all character-defining elements identified in the proposed MSSHCD will be maintained following the proposed subdivision.

Redesign of the driveway from Main Street South

The current driveway is proposed to be redesigned so that each building (existing and proposed) has their own separate entrances from Main Street South, and would leave space for a landscaped surface at the front of both residences. The proposed design will maintain the character of the proposed HCD as it supports the grand landscaped entrance, characteristic of Main Street South, and will soften the impression of a severed land and will visually maintain the existing lot width. **It is recognized that the driveway widths as they meet Main Street are large (approximately 6m in total width). The surfaces of the driveways consist primarily of asphalt and articulated with decorative pavers at the edges. Decorative pavers are of an appearance that is traditional. Complemented with asphalt, they are generally respectful of the intents of the MSSHCD Plan, and mitigates the appearance of a large width.**

Tree removals

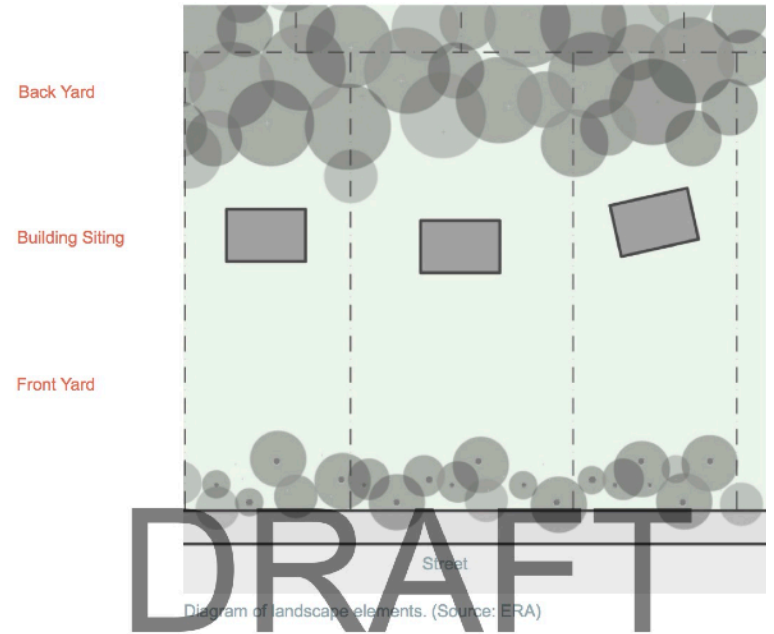
Based on the information available to GBCA at the time of this assessment, some trees will require to be removed to accommodate the new residence and driveways. The trees proposed to be removed are located in the building siting area of the property, near the residence.

Section 3.7 of the MSSHCD draft Plan speaks to Landscape and Streetscape. The snapshot at right was taken from the draft Plan and identifies the front yard, building siting and back yard as landscape elements of a property. Trees are only shown in the front and back yards

The impact of tree removals in this application on the streetscape will be minimal , as they will be replaced with compatible built structures. Trees in the back and front yards will remain, where the trees in the back yard will contribute in the visual backdrop from Main Street South. The proposed tree to be removed to the north of the building, to allow a new driveway, will better reveal the roof form on the principal facade.

All trees on the edge of Main Street South will be maintained at their original location and will not be impacted by the proposed driveways, which will preserve this idea of the tree canopy procession into the downtown core traveling northbound. **It is also to be noted that new trees will be added in the front yard, all of which are native and in compliance with the proposed MSSHCD Plan. See Landscape Drawings in Appendix III.**

FRONT YARD, SITING AND REAR YARD ON A RESIDENTIAL PROPERTY



Side trees proposed to be removed.

Side tree proposed to be removed.



Extract of the Main Street South HCD, showing a diagram of the elements of a site.

Addition of a new residence and detached garage

The severed land will include a proposed residential dwelling, two and a half storeys in building height and located with a slight step back from the main face of the existing building. The proposed building is of a form, scale and mass that is compatible and similar to other residences in the vicinity of Main Street South. The architectural style takes cues from Neo-Georgian architectural elements yet is clearly contemporary. *For instance, the proposed new window openings (and therefore the window to wall ratio) are larger than what a typical Neo-Georgian style would historically provide. The style of the new windows are also of contemporary design. These differences make the new building clearly of its time, with an attempt to include features of Neo-Georgian architectural style (such as symmetrical facade organized in bays, a front portico supported by columns, and the use of brick masonry with stone accents, to name a few).*

Proposed new materials include brick, stone (or cast stone) and asphalt shingles.

A detached garage will be located at the back of the new residence and will be of the same architectural language as the new residence. Considering its location from Main Street South and its size, the detached garage is clearly subordinate to both the new and existing residences.

Architectural drawings of the proposed new residence and detached garage, prepared by Steve Hamelin Design Studio, are included in Appendix II.



2019 design, submitted as part of 2019 HIA submission



2022 design (current design) submitted as part of this HIA.

Front (west) elevations comparisons between various design submissions. Of note in the 2022 (current) design, the window openings are larger than the previous (2019) design and the window style is more contemporary in appearance. The continuity of the stringcourse between the ground and second level is interrupted with spandrel panels in the 2022 design. The chimneys are taller than the roofline, which is an appropriate height and is also a Building Code requirement. These modifications to the design remain in general compliance with the intents of the Main Street South Heritage Conservation District Plan (which is currently not in force). The massing has remained the same.

Removal of the rear portion of the wooden porch on 76 Main Street South

The rear portion of the porch, which consists of a wood deck and a trellis enclosure appears to be an extension of the original porch. It is currently wider than the width of the original porch and encroaches onto the severed land. It is proposed to be removed. This removal will not impact the original scale of the porch and will not alter the appearance of the existing canopy and columns. The deck's edges will require some repair, refinishing and repainting upon removal of the extension.



Left
Close-up of the front porch at the corner. The portion proposed to be removed (yellow arrow) is located at the rear.



Right
Close-up of the porch at the rear, which is proposed to be removed. Note this portion does not appear to be original. In a yellow dashed line is the approximate cut line.

From a heritage perspective, the reduced lot widths and side yard widths created by the severed lands will not have an impact on the picturesque view from the sidewalk. Step-backs from the property line and landscape treatments between the sidewalk and the building faces contribute to the grand entrance perception of the Main Street South residences which are preserved and enhanced in this development.

An assessment of possible effects of the proposed development on the property is presented at right. The table lists possible effects based on the City of Brampton’s Heritage Impact Assessment Terms of Reference (which originates from the *Ontario Heritage Tool Kit - Heritage Resources in the Land Use Process*).

Possible Effect <i>(quoted from Ontario Heritage Tool Kit-Heritage Resources in the Land Use Process)</i> Assessment (Considered Alternative Development and Mitigation Measures)
Destruction of any, or part of any, significant heritage attributes or features <i>No demolition is proposed in this land severance with the exception of the removal of the rear portion of the porch which is an extension to the original structure and does not contain any heritage fabric.</i>
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance <i>The land severance proposes to create an additional parcel on the existing property, build a new residence and detached garage on the new severed parcel and redesign the driveway entrance. These changes are compatible with the historic fabric and will not negate the cultural heritage value of Main Street South. The wood porch will be altered by the removal of the rear portion, which is not of heritage value.</i>
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden <i>Shadows created from the new additions on the property will not have any impact on the heritage resources on the property, or in the vicinity.</i>
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship <i>The land severance and the additional residence on the severed land will not create an isolation of the existing residential building on the property and will maintain the consistent deep landscaped set-backs found on both sides of Main Street South</i>
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features. <i>There will be no impacts on the picturesque vistas on Main Street South</i>
A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property’s cultural heritage value <i>No change in land use is proposed.</i>
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources <i>There will be no land disturbances as a result of this development that will impact on a cultural heritage resource.</i>

6. MITIGATIVE STRATEGIES

Some of the mitigation strategies identified in the City of Brampton's HIA Terms of Reference can be applied to this development. These strategies are discussed below.

Appropriate set-backs

The new residence will be located so that its western (principal) face is set back from the face of the original residence as well as the adjacent residence at 78 Main Street South. This set back conforms with the existing building location pattern in relation to Main Street South.

The proposed interior side yard widths will be less than what is currently required in the zoning by-laws. This reduced distance will not have an impact on the heritage attributes of the existing residence (76 Main Street South) or on the overall character of the proposed MSSHCD as the deep landscaped front yard, building set back and grand entrance approach are character-defining elements which will all be maintained.

Architectural design guidelines / Compatible infill and additions

The proposed design of the new residence is sympathetic to the character of Main Street South by taking cues from styles found within the area while being contemporary in detailing. **It is recognized that the window openings in their current design is larger than a previous submission, they can be of their own time and contemporary. The overall design remains compatible and distinguishable from the historic place (the MSSHCD) and therefore respect the intents of the SGCHPC.**

New driveways are proposed with a landscaped area at the front. This design is a suitable entryway to both properties, in line with the proposed MSSHCD draft Plan and mitigates the impression of reduced lot widths and reads as the existing lot width is maintained.

It is recognized that the driveway widths as they meet Main Street are large (approximately 6m in total width). The surfaces of the driveways consist primarily of asphalt and articulated with decorative pavers at the edges. Decorative pavers are of an appearance that is traditional. Complemented

with asphalt, they are generally respectful of the intents of the MSSHCD Plan, and mitigates the appearance of a large width.

Limiting height and density

The proposed new residence will be two and a half storeys in building height, which is similar in height to the residences of the surrounding area. Its location makes the garage subordinate to the residences.

Ensuring compatible lotting patterns

The land severance will create an additional property within the existing boundaries. The severed land will be of a similar configuration than adjacent lots and although the new lot widths will be reduced to a width that is less than what is required by the zoning by-laws, the new widths will not be unlike other lot widths found in the vicinity, which are considered contributing landscapes to the proposed MSSHCD.

Preparation of a Conservation Plan and adaptive reuse plans as necessary

At this time, no Conservation Plan is deemed necessary.

Heritage Designation, Heritage Conservation Easement

The property is listed in the City's Municipal Register of Cultural Heritage Resources and is part of a proposed HCD, currently in the Plan phase.

Partial salvage, documentation, and high-resolution digital photographs

At this time, partial salvage, documentation and digital photography is not required.

7. RECOMMENDATIONS

To comply with the City of Brampton's Terms of Reference for a Heritage Impact Assessment, we have answered the following question:

Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

Based on our assessment (see page 22), the property meets the criteria for designation under the Ontario Heritage Act. The current Main Street South HCD is under the Plan phase and if enacted, the property will be designated under Part V of the OHA. This designation is worthy for the property.

Can the structure or landscape be feasibly integrated into the development?

This Heritage Impact Assessment has evaluated the impacts of the proposed severance onto the property at 76 Main Street South, the adjacent property at 78 Main Street South and the heritage attributes of the proposed MSSHCD. The proposed severance will not have significant impacts on the heritage character of the property and the proposed MSSHCD.

The proposed additions to the severed parcel is of a similar scale, form and mass to other properties in the vicinity and has been appropriately integrated onto the severed portion.

8. SOURCES

Primary Sources

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9. CLOSURE

The information and data contained herein represents GBCA’s best professional judgment in light of the knowledge and information available to GBCA at the time of preparation. GBCA denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of GBCA and the client.

APPENDIX I

Heritage Policy Review

Development of the property is governed by a variety of policies which define the approach to and scope of the issues surrounding the project. Some of these policies are reviewed in this Appendix.

Ontario Planning Act, R.S.O. 1990, Chapter P.13

The Ontario Planning Act deals, in Part I - PROVINCIAL ADMINISTRATION, (under the title "Provincial Interest"), with heritage matters and states

"The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under the Act, shall have regard to, among other matters, matters of provincial interest such as, ...

2. (d) the conservation of features of significant, cultural, historical, archaeological or scientific interest:"

It is our opinion that the proposed development complies with this intent as it will conserve the cultural heritage value and the most significant heritage attributes of the existing building on the site.

Ontario Heritage Act (OHA)

The Ontario Heritage Act (R.S.O. 1990 as amended) is specific and prescriptive in terms of development that may have an impact on heritage resources. Whereas the PPS directs municipalities to take steps to protect resources in a general manner, the OHA is specific in terms of the measures that may be taken by municipalities to inventory and/or designate heritage properties and to ensure the protection of properties considered to be of Provincial interest.

76 Main Street South is not currently designated under the OHA. If the MSSHCD is enacted, it will be designated under the Act, of which Part V (Heritage Conservation Districts) will be applicable. As it pertains to alterations and demolitions of properties designated under Part V, the Act states that:

42. (1) No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

- 1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.*
- 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure. 2005, c. 6, s. 32 (1).*

Ontario Provincial Policy Statement (PPS) - 2014

The Ontario Provincial Policy Statement “*is intended to be read in its entirety and the relevant policies are to be applied to each situation*” (PPS Part III). The statement consists of Provincial policy direction related to land use planning and development. Policy direction related to heritage sites and cultural assets is provided in Section 2.6 entitled “*Cultural Heritage and Archaeology*”.

Article 2.6.1, states that “*Significant built heritage resources and significant cultural heritage landscapes shall be conserved*”. Key definitions in the PPS are as follows:

Built heritage resources means one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political, economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the Ontario Heritage Act, or listed by local, provincial or federal jurisdictions.”

Cultural heritage landscape means a defined geographical area of heritage significance which has been modified by human activities and is valued by a community. It involves a grouping(s) of individual heritage features such as structures, spaces, archaeological sites and natural elements, which together form a significant type of heritage form, distinctive from that of its constituent elements or parts. Examples may include, but are not limited to, heritage conservation districts designated under the Ontario Heritage Act; and villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways and industrial complexes of cultural heritage value.”

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact

assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Furthermore, article 2.6.3 discusses development and site changes when they have an impact on built heritage resources and states:

“Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.”

Heritage attributes (as defined by the PPS) means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).

A draft Plan for the proposed MSSHCD was prepared by ERA Architects. The most recent draft is dated January 2018. A previous draft included a draft Statement of Contribution with a list of notable architectural features (which can be assumed to be the heritage attributes of the property). The land severance will not result in the removal of heritage attributes. The land severance will result in the creation of an additional property on the lot and the reduction of side yards, however the estate-like character will not be significantly impacted by this alteration.

Growth Plan for the Greater Golden Horseshoe, 2006 (rev. 2019)

This document outlines the policies for the Province of Ontario in terms of the development of this specific region as they arise from the Places to Grow Act of 2005.

Under Section 4.2.7, entitled “*Cultural Heritage Resources*”, it states

1. *Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*

The impact of this statement is that the conservation of cultural heritage is of importance where it benefits communities. Indeed, a purpose of this document is for

A balanced approach to the wise use and management of all resources, including those related to water, natural heritage, agriculture, cultural heritage, and mineral aggregates, will be implemented in the Greater Golden Horseshoe (under Section 4.1 Context. p.38).

This HIA has reviewed heritage considerations as they apply to this land severance (and the intents of the proposed Main Street South HCD) in a manner that provides a balance approach to other considerations that apply to this site.

City of Brampton Official Plan (consolidated to 2015)

The City’s Official Plan speaks about Cultural Heritage in Section 4.10. In compliance with Policy 4.10.1.1, the City has compiled a Cultural Heritage Resources Register, which includes 76 Main Street South.

The property is described as a Category B resource. A Category B resource is considered under the Register to be “*Significant*” and “*worthy of preservation; municipal designation under the Ontario Heritage Act will always be considered.*” (quoted from the *Municipal Register of Cultural Heritage Resources*).

Policy 4.10.1.8. states that:

Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

For the purposes of this HIA, we have reviewed compliance with the *Standards and Guidelines for the Conservation of Historic Places in Canada*, which incorporates the principles of the Appleton Charter.

Main Street South Heritage Conservation District draft Plan (January 2018 draft)

Prepared by ERA Architects, this draft Plan provides preliminary policies and guidelines affecting development within the boundaries of the proposed HCD. The contents of this draft Plan, as they relate to land severances and new additions are reviewed in the main body of the HIA in the discussion of the impacts on heritage resources.

Standards and Guidelines for the Conservation of Historic Places in Canada

Conceived as a manual for use by various levels of government in the conservation of heritage sites, the document, after its release, has become adopted as a code of practice both municipally and provincially across Canada. The document is currently in its second edition and an extract is shown on this page.

Character-defining elements (heritage attributes) have been identified for the property in the MSSHCD draft Plan and includes the large wooden porch, the rear portion of which is proposed to be removed. Standard 1 asks to not “*substantially alter its intact or repairable character-defining elements*”. This alteration is not considered substantial as the rear portion facing the back yard does not appear to be original. Its removal will not impact the most prominent portion of the porch which includes the columns supporting the canopy.

THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

General Standards for Preservation, Rehabilitation and Restoration

- 1.** Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
- 2.** Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
- 3.** Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
- 4.** Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
- 5.** Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
- 6.** Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
- 7.** Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
- 8.** Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
- 9.** Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

APPENDIX II

Preliminary Development Drawings
as prepared by Steve Hamelin DesignStudio

76 MAIN ST. SOUTH, BRAMPTON ON.- PULIS

CITY FILE: SPA-2019-0053

GWD FILE: 16.2194.00

TRUE NORTH **CONST. NORTH**

Ministry of Municipal Affairs and Housing
QUALIFICATION INFORMATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONLY RELEVANT CODE TO BE A DESIGNER.
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STEVEN HAMELIN 31977
 FIRM NAME: HAMELIN ARCH INC. 45935

GENERAL NOTES:
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OWNER(S)
 CLIENT/COMPANY NAME:
KYLE PULIS
 ADDRESS:
76, MAIN ST. SOUTH
 CITY:
BRAMPTON, ON.
 POSTAL CODE:
L6W 2C6
 TELEPHONE:
 -
 EMAIL:
kyle@pulisinvestments.com
 CONTACT:
KYLE PULIS

ARCHITECTURAL DESIGNER
 CLIENT/COMPANY NAME:
STEVE HAMELIN DESIGN STUDIO
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OAKVILLE, ON
 POSTAL CODE:
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 TELEPHONE:
(905) 491-6797
 EMAIL:
STEVE@STEVEHAMELIN.COM
 CONTACT:
STEVE HAMELIN

CIVIL ENGINEER
 CLIENT/COMPANY NAME:
WSP
 ADDRESS:
4 HUGHSON ST. SOUTH SUITE 300
 CITY:
HAMILTON, ON.
 POSTAL CODE:
L8N 3Z1
 TELEPHONE:
(289) 678-0310
 EMAIL:
tara.chisholm@wsp.com
 CONTACT:
TARA CHISHOLM

SENIOR TERRESTRIAL ECOLOGIST
 CLIENT/COMPANY NAME:
R.J. BURNSIDE & ASSOCIATES LTD.
 ADDRESS:
292 SPEEDVALE AVE. WEST, UNIT 20
 CITY:
GUELPH, ON.
 POSTAL CODE:
N1H 1C4
 TELEPHONE:
(226) 486-1568
 EMAIL:
nicholle.smith@rjburnside.com
 CONTACT:
NICHOLLE SMITH

ARBORIST
 CLIENT/COMPANY NAME:
WELWYN CONSULTING
 ADDRESS:
 -
 CITY:
 -
 POSTAL CODE:
 -
 TELEPHONE:
(905) 301-2925
 EMAIL:
welwytrees@gmail.com
 CONTACT:
TOM BRADLEY

ARCHAEOLOGIST
 CLIENT/COMPANY NAME:
THE ARCHAEOLOGISTS INC.
 ADDRESS:
16640 YONGE ST. #1 P.O. BOX #93301
 CITY:
NEWMARKET
 POSTAL CODE:
L3X 1A3
 TELEPHONE:
(416) 991-6848
 EMAIL:
kpowers@thearchaeologists.com
 CONTACT:
KEITH POWERS

LANDSCAPE ARCHITECT
 CLIENT/COMPANY NAME:
STRYBOS BARRON KING LTD.
 ADDRESS:
5770 HURONTARIO ST, SUITE 300
 CITY:
MISSISSAUGA
 POSTAL CODE:
L5R 3G5
 TELEPHONE:
(416) 695-4949 EXT. 223
 EMAIL:
jbeitz@stybos.com
 CONTACT:
JOSHUA BEITZ



SITE STATISTIC CHART			
PROJECT ADDRESS:	76 MAIN ST. SOUTH		
MUNICIPALITY:	BRAMPTON ON		
DESIGNATED ZONE:	MATURE	BY LAW #:	270-2004
DATE REVISED:	April 14, 2022		

SITE PLAN APPROVAL: YES

	AREA (S.F)	AREA (S.M)	PERCENTAGE
LOT AREA	34540.39	3208.91	
LOT COVERAGE			
MAXIMUM ALLOWABLE	10362.12	962.67	30.00%
PROPOSED LOT COVERAGE	4117.9	382.57	11.92%
GROSS FLOOR AREA			
MAXIMUM ALLOWABLE	N/A	N/A	N/A
BASEMENT (INSIDE WALLS)	2338.97	217.30	
MAIN FLOOR	2513.53	233.51	
SECOND FLOOR	2179.26	202.46	
TOTAL PROPOSED GFA	7031.76	653.27	20.36%
DETACHED GARAGE (INSIDE WALLS)	820.87	76.26	
DETACHED GARAGE (OUTSIDE WALLS)	923.33	85.78	
COVERED PORCH #1	73.69	6.85	
COVERED PORCH #2	575.52	53.47	
COVERED PORCH #3	31.83	2.96	
MASTER BALCONY	369.87	34.36	
	0.00	0.00	

	LANDSCAPE AREA		
FRONT LOT AREA	7280.16	676.35	
LANDSCAPE SOFT AREA	1771.63	164.59	24.34%

	LENGTH (m)	LENGTH (ft)	
BUILDING HEIGHT (PROPOSED FROM ESTABLISHED GRADE OF 214.19)			
MAX. BLDG HEIGHT TO TOP	10.60	34.78	
MAX. BLDG HEIGHT TO MID	8.50	27.89	
PROPOSED HEIGHT TO TOP	9.31	30.54	
PROPOSED HEIGHT TO MID	8.06	26.44	

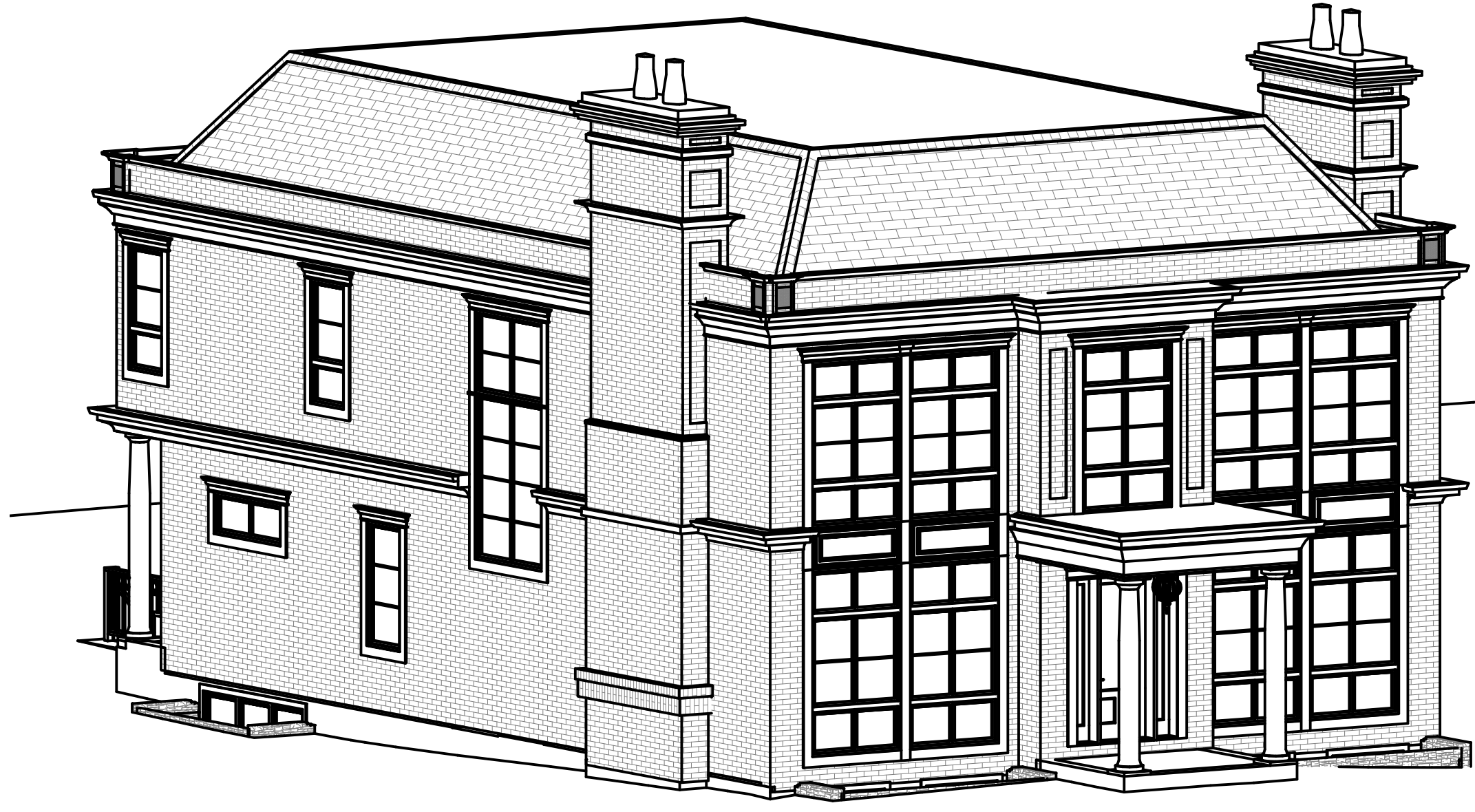
	REQUIRED SETBACKS		
FRONT	37.88	124.28	
REAR	54.42	178.54	
LEFT	3.60	11.81	
RIGHT	1.50	4.92	

	PROVIDED SETBACKS		
FRONT	36.82	120.80	to front porch
REAR	55.89	183.37	
LEFT	3.61	11.84	
RIGHT	1.52	4.99	

SIGN HERE

I ACKNOWLEDGE THAT THIS IS THE FINAL DESIGN THAT I APPROVE FOR WORKING DRAWINGS

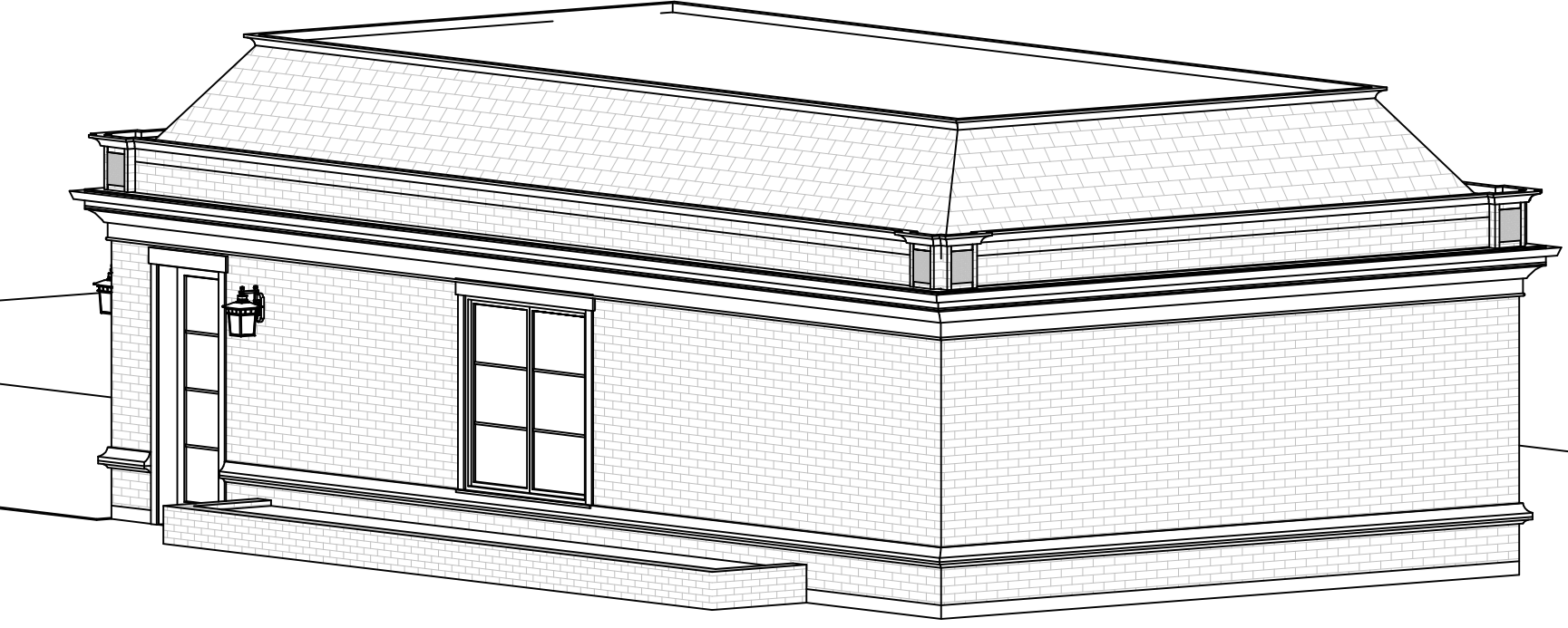
SITE STATS



PERSPECTIVE VIEW - HOUSE CPT B2



PERSPECTIVE VIEW - DETACHED GARAGE



SURVEYOR
 CLIENT/COMPANY NAME:
SPEIGHT, VAN NOSTRAND & GIBSON LTD.
 ADDRESS:
750, OAKDALE RD. (UNIT 65&66)
 CITY:
TORONTO, ON.
 POSTAL CODE:
M3N 2Z4
 TELEPHONE:
(416) 749-7864
 EMAIL:
toronto@svng.on.ca
 CONTACT:
 -

PLANNER
 CLIENT/COMPANY NAME:
GWD LTD.
 ADDRESS:
21 QUEEN ST. EAST
 CITY:
BRAMPTON, ON.
 POSTAL CODE:
L6W 3P1
 TELEPHONE:
(905) 796-5790 EXT. 257
 EMAIL:
mndenardis@gwdplanners.com
 CONTACT:
MARC DE NARDIS

ARCH. DRAWING INDEX

A-1	COVER PAGE
A-2	FOUNDATION PLANS
A-3	MAIN FLOOR PLANS
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ENGINEER SEAL:

COMPANY NAME:
STEVE HAMELIN design studio

COMPANY INFO:
 295, ROBINSON ST., UNIT 100
 OAKVILLE, ON. L6J 1G7
 60, HURONTARIO ST.
 COLLINGWOOD, ON. L9Y 2L7
 TEL: (905) 491-6797 FAX: (905) 337-9918
 WWW.SDHARCH.COM

PROJECT NAME:
PULIS RESIDENCE
 CITY FILE: SPA-2019-0053
 GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN:
BRAMPTON, ON.

POSTAL CODE:
L6W 2C6

DRAWING NAME:
COVER PAGE, PERSPECTIVE VIEWS

CLIENT NAME:
PULIS

PROJECT NO.:
(2019-04)

SCALE:
NTS.

DESIGN BY:
HAMELIN ARCH INC.

DATE:
2022-12-07

DRAWN BY:
HAMELIN ARCH INC.

DWG. NO.:
A-1

APPROVED BY:
HAMELIN ARCH INC.

**SIGN
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A-1	COVER PAGE
A-2	FOUNDATION PLANS
A-3	MAIN FLOOR PLANS
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ENGINEER SEAL:



COMPANY INFO:
STEVE HAMELIN design studio
295, ROBINSON ST., UNIT 100
OAKVILLE, ON. L6J 1G7
60, HURONTARIO ST.
COLLINGWOOD, ON. L9Y 2L7
TEL: (905) 461-6797 FAX: (905) 337-5918
WWW.SHHDESIGN.COM

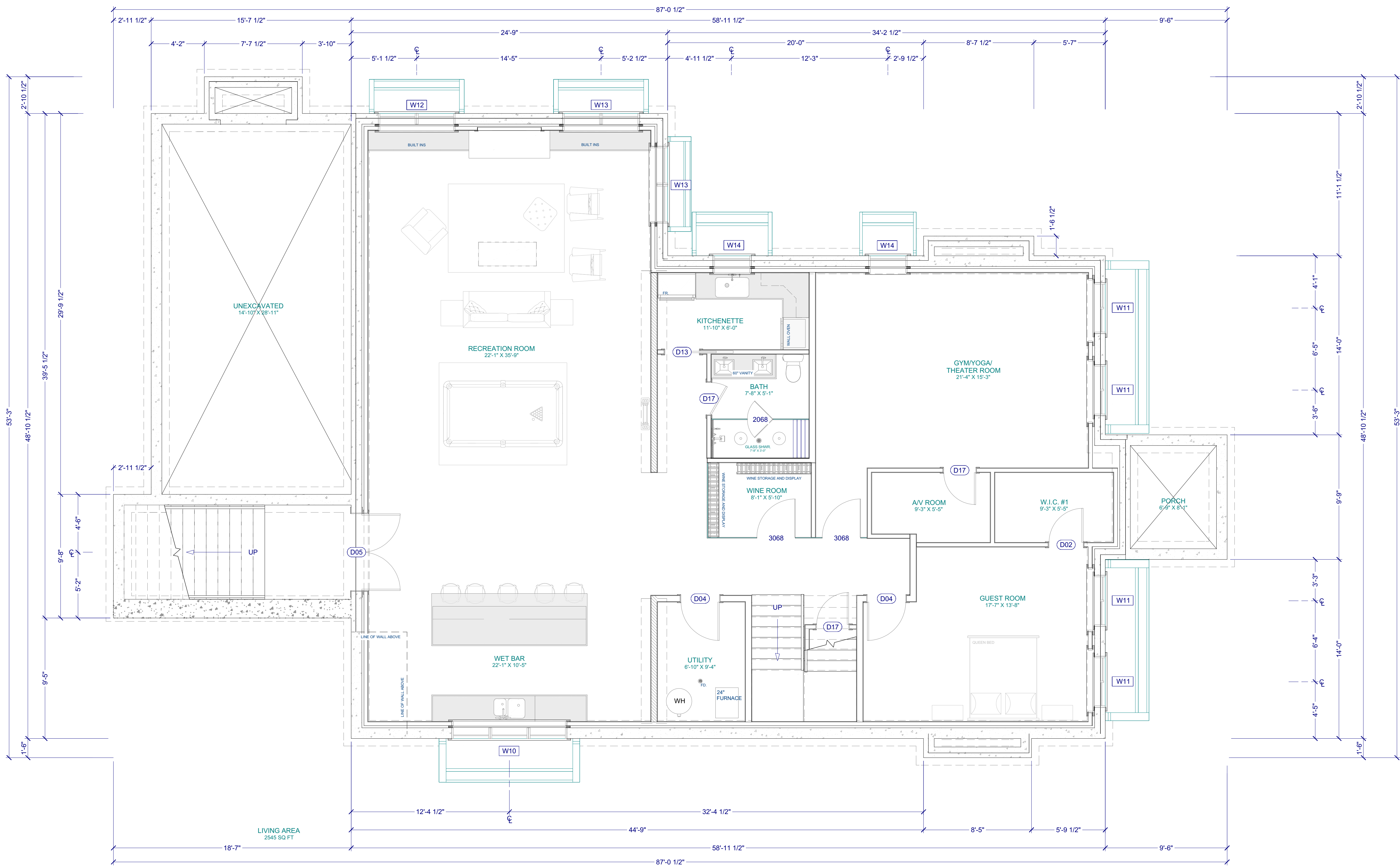
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PULIS RESIDENCE
CITY FILE: SPA-2019-0053
GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

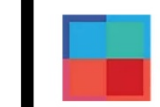
**FOUNDATION PLAN - HOUSE
CPT B2**

CLIENT NAME: PULIS
PROJECT NO.: (2019-04) SCALE: 1/4" = 1'-0"
DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07
DRAWN BY: HAMELIN ARCH INC. DWG. NO.: **A-2**
APPROVED BY: HAMELIN ARCH INC.



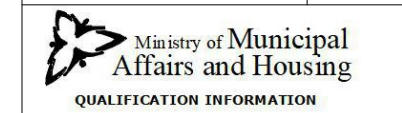
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ENGINEER SEAL:

Blank area for the engineer's seal and signature.

COMPANY NAME:
STEVE HAMELIN design studio

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 295, ROBINSON ST., UNIT 100
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 CITY FILE: SPA-2019-0053
 GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
 76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

DRAWING NAME:
MAIN FLOOR PLAN - HOUSE CPT B2

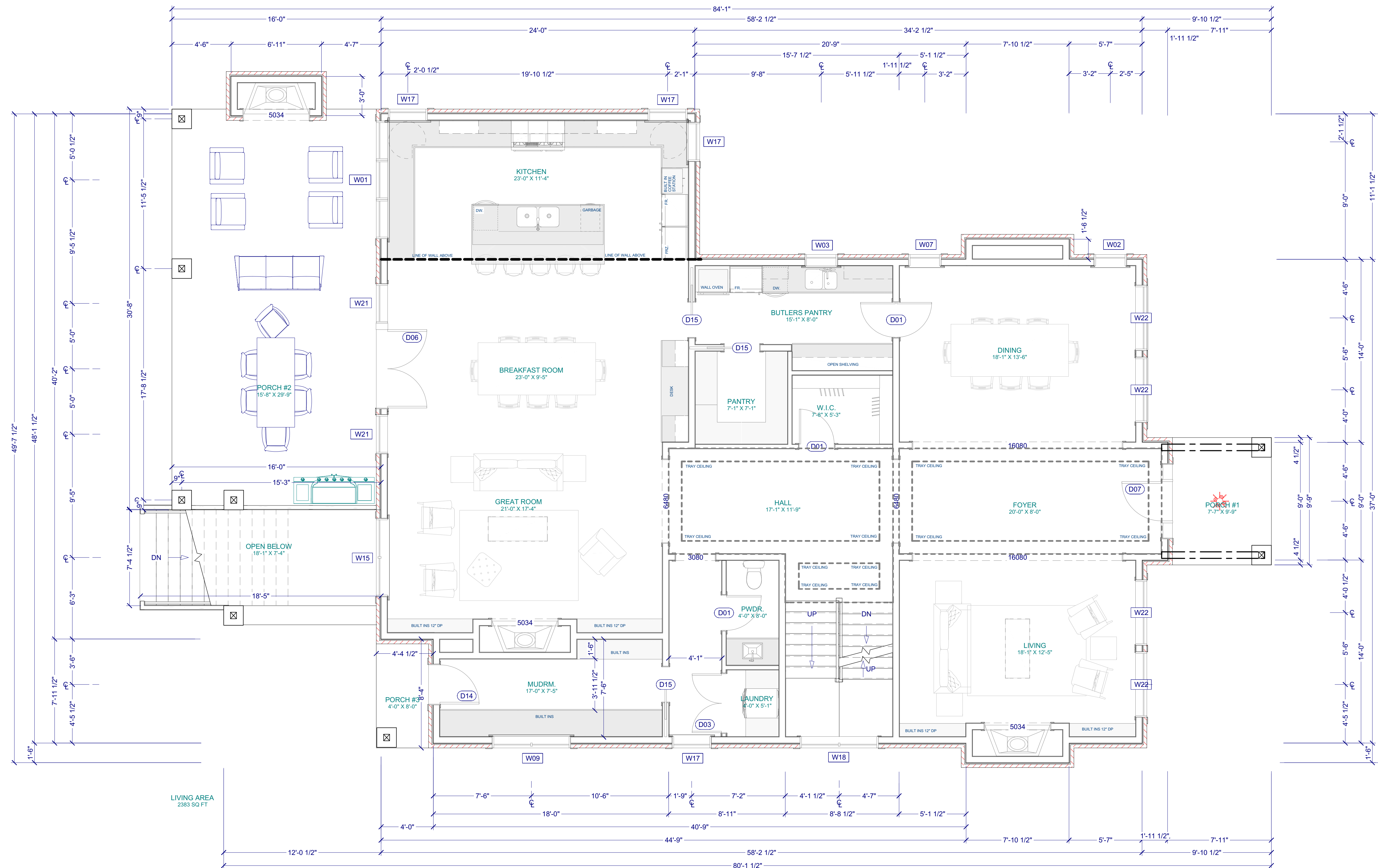
CLIENT NAME:
 PULIS

PROJECT NO.: (2019-04) SCALE: 1/4" = 1'-0"

DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

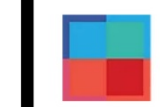
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APPROVED BY: HAMELIN ARCH INC.



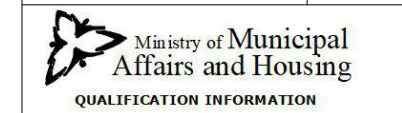
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CONST. NORTH



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A-2	FOUNDATION PLANS
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ENGINEER SEAL:

COMPANY NAME:



COMPANY INFO:
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60, HURONTARIO ST.
COLLINGWOOD, ON. L9Y 2L7
TEL: (905) 461-6797 FAX: (905) 337-9918
WWW.SHDH.COM

PROJECT NAME:
PULIS RESIDENCE
CITY FILE: SPA-2019-0053
GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

DRAWING NAME:
SECOND FLOOR PLAN - HOUSE CPT B2

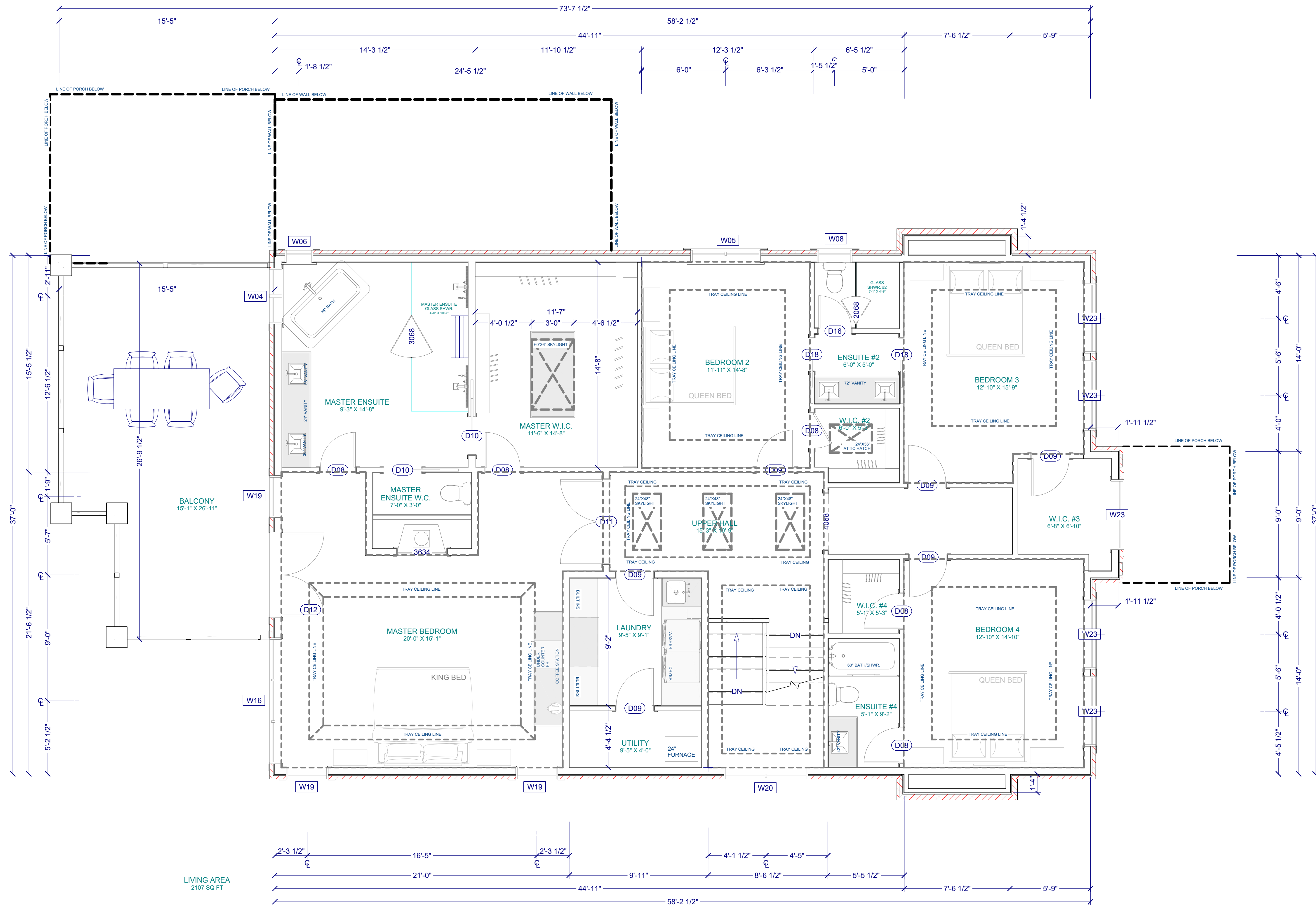
CLIENT NAME:
PULIS

PROJECT NO.: (2019-04) SCALE: 1/4" = 1'-0"

DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

DRAWN BY: HAMELIN ARCH INC. DWG. NO.: **A-4**

APPROVED BY: HAMELIN ARCH INC.



LIVING AREA
2107 SQ FT

**SIGN
HERE**

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LEFT ELEVATION - HOUSE CPT B2

SCALE: 1/4"=1'-0"



RIGHT ELEVATION - HOUSE CPT B2

SCALE: 1/4"=1'-0"

TRUE NORTH
CONST. NORTH

Ministry of Municipal
Affairs and Housing

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COMPANY NAME:
 **STEVE HAMELIN
design studio**

COMPANY INFO:
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OAKVILLE, ON. L6J 1G7
60, HURONTARIO ST.
COLLINGWOOD, ON. L9Y 2L7
TEL: (905) 491-6797 FAX: (905) 337-9918
www.stevhamelin.com

PROJECT NAME:
PULIS RESIDENCE
CITY FILE: SPA-2019-0053
GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

**ROOF FRAMING LAYOUT PLAN
(HOUSE)**

CLIENT NAME:
PULIS

PROJECT NO.: (2019-04) SCALE: AS NOTED

DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

DRAWN BY: HAMELIN ARCH INC. DWG. NO.: **A-6**

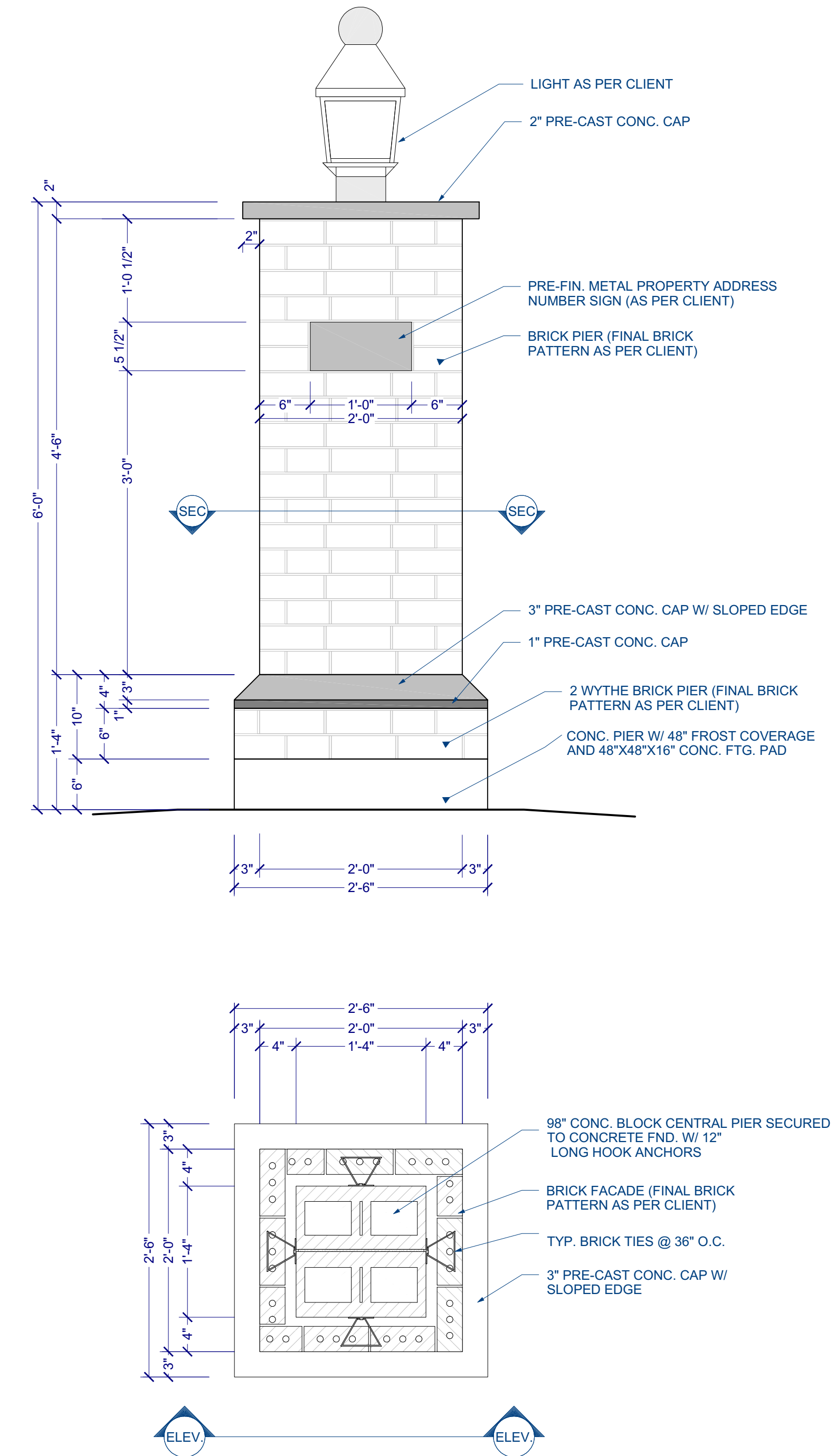
APPROVED BY: HAMELIN ARCH INC.

#	PERS. VIEW	QTY	FLOOR	WIDTH	HEIGHT	DOOR SCHEDULE		COMMENTS
						R/O	DESCRIPTION	
D01		3	1	32"	96"	34 1/2"x98 1/2"	HINGED-DOOR P04	
D02		1	0	32"	80"	34 1/2"x82 1/2"	HINGED-DOOR P04	
D03		1	1	54"	96"	56 1/2"x98 1/2"	DOUBLE HINGED-DOOR P04	
D04		2	0	36"	80"	38 1/2"x82 1/2"	HINGED-DOOR P04	
D05		1	0	72"	96"	74 1/2"x98 1/2"	DOUBLE HINGED-GLASS PANEL	
D06		1	1	72"	108"	74 1/2"x111"	EXT. DOUBLE HINGED-GLASS PANEL	
D07		1	1	68"	96"	69"x97"	MULLED UNIT-HL	
D08		5	2	30"	80"	32 1/2"x82 1/2"	HINGED-DOOR P04	
D09		6	2	32"	80"	34 1/2"x82 1/2"	HINGED-DOOR P04	
D10		2	2	32"	80"	66 1/2"x82 1/2"	POCKET-DOOR P04	
D11		1	2	72"	80"	74 1/2"x82 1/2"	DOUBLE HINGED-DOOR P04	
D12		1	2	72"	96"	74 1/2"x99"	EXT. DOUBLE HINGED-GLASS PANEL	
D13		1	0	32"	80"	66 1/2"x82 1/2"	POCKET-DOOR P04	
D14		1	1	36"	96"	38 1/2"x99"	EXT. HINGED-GLASS PANEL	
D15		3	1	32"	96"	66 1/2"x98 1/2"	POCKET-DOOR P04	
D16		1	2	28"	80"	30 1/2"x82 1/2"	HINGED-DOOR P04	
D17		3	0	30"	80"	32 1/2"x82 1/2"	HINGED-DOOR P04	
D18		2	2	28"	80"	58 1/2"x82 1/2"	POCKET-DOOR P04	

NOTE:
WINDOW AND DOOR SCHEDULES ARE FOR DISCUSSION AND BUDGETING PURPOSES ONLY (see final working drawings for final schedules)

WINDOW SCHEDULE
SCALE: NOT TO SCALE

#	PERS. VIEW	QTY	FLOOR	WIDTH	HEIGHT	WINDOW SCHEDULE		COMMENTS
						R/O	DESCRIPTION	
W01		1	1	108"	72"	109"x73"	MULLED UNIT-HL	
W02		1	1	30"	108"	31"x109"	SINGLE CASEMENT-HL	
W03		1	1	30"	72"	31"x73"	SINGLE CASEMENT-HL	
W04		1	2	48"	48"	49"x49"	MULLED UNIT-HL	
W05		1	2	60"	72"	61"x73"	DOUBLE CASEMENT-LHL/RHR	
W06		1	2	24"	48"	25"x49"	DOUBLE HUNG	
W07		1	1	30"	108"	31"x109"	SINGLE CASEMENT-HR	
W08		1	2	30"	48"	31"x49"	SINGLE CASEMENT-HL	
W09		1	1	72"	24"	73"x25"	DOUBLE CASEMENT	
W10		1	0	108"	36"	109"x37"	MULLED UNIT-HL	
W11		4	0	48"	36"	49"x37"	LEFT SLIDING	
W12		1	0	72"	36"	73"x37"	MULLED UNIT-HL	
W13		2	0	72"	36"	73"x37"	MULLED UNIT-HR	
W14		2	0	36"	36"	37"x37"	SINGLE CASEMENT-HL	
W15		1	1	72"	72"	73"x73"	DOUBLE CASEMENT-LHL/RHR	
W16		1	2	108"	72"	109"x73"	MULLED UNIT-HL	
W17		4	1	36"	72"	37"x73"	SINGLE CASEMENT-HL	
W18		1	1	72"	96"	73"x97"	DOUBLE CASEMENT	
W19		3	2	36"	72"	37"x73"	MULLED UNIT-HL	
W20		1	2	72"	48"	73"x49"	DOUBLE CASEMENT	
W21		2	1	36"	108"	37"x109"	FIXED GLASS	
W22		4	1	60"	108"	61"x109"	MULLED UNIT-HL	
W23		5	2	60"	96"	61"x97"	MULLED UNIT-HL	



LOT ENTRY PIER DETAIL
SCALE: 1 1/2"=1'-0"



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Ministry of Municipal Affairs and Housing
QUALIFICATION INFORMATION

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

STEVEN HAMELIN 31977
FIRM NAME: HAMELIN ARCH INC. 45935

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ARCH. DRAWING INDEX

A-1	COVER PAGE
A-2	FOUNDATION PLANS
A-3	MAIN FLOOR PLANS
A-4	SECOND FLOOR PLANS
A 5/6	ELEVATIONS
A 7	SCHEDULES/DETAILS
A 8	DETACHED GARAGE

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ENGINEER SEAL:

COMPANY NAME:
STEVE HAMELIN design studio

COMPANY INFO:
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www.stevh.com

PROJECT NAME:
PULIS RESIDENCE
CITY FILE: SPA-2019-0053
GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

DRAWING NAME:
DETAILS

CLIENT NAME:
PULIS

PROJECT NO.: (2019-04) SCALE: AS NOTED

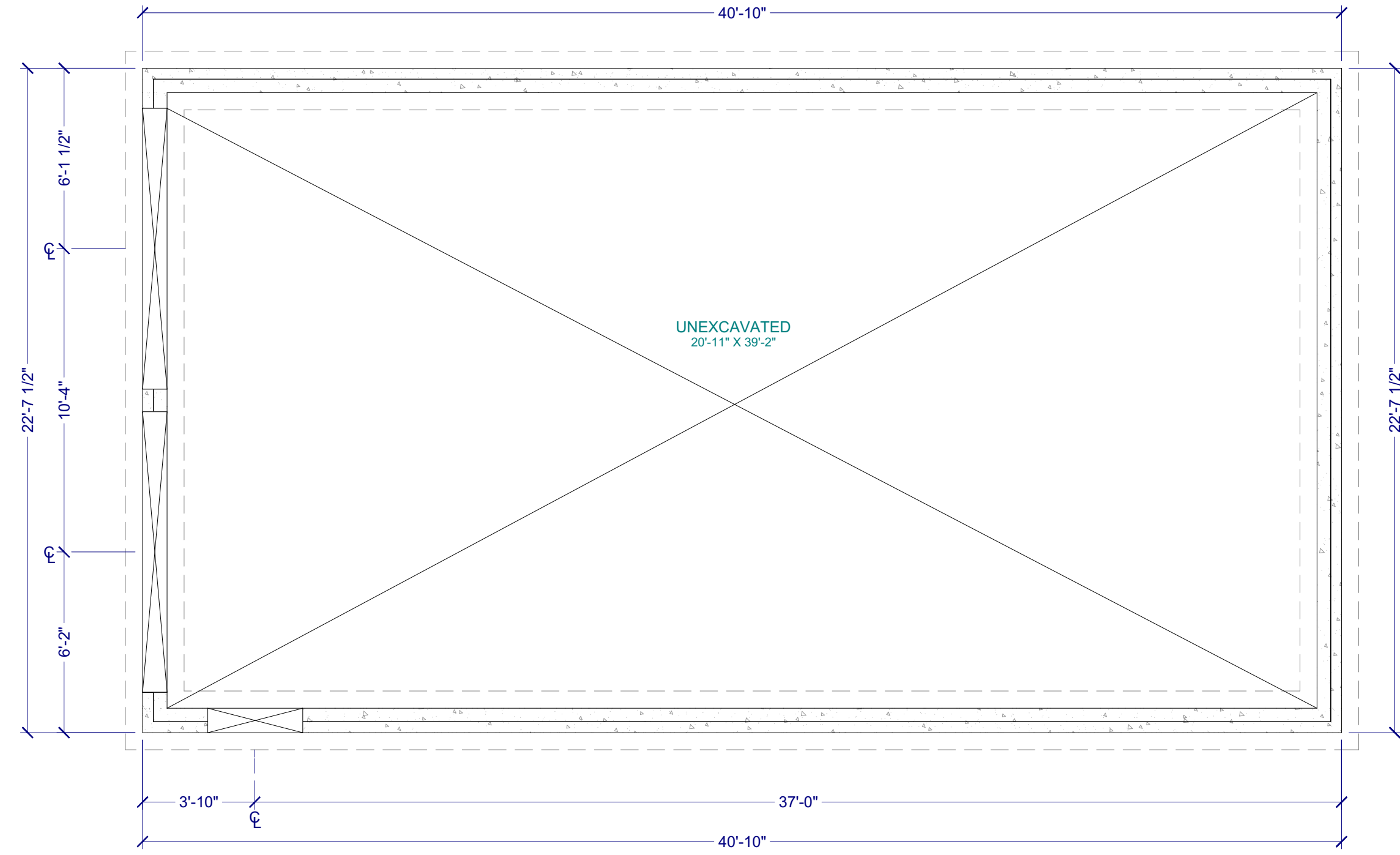
DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

DRAWN BY: HAMELIN ARCH INC. DWG. NO.: **A-7**

APPROVED BY: HAMELIN ARCH INC.

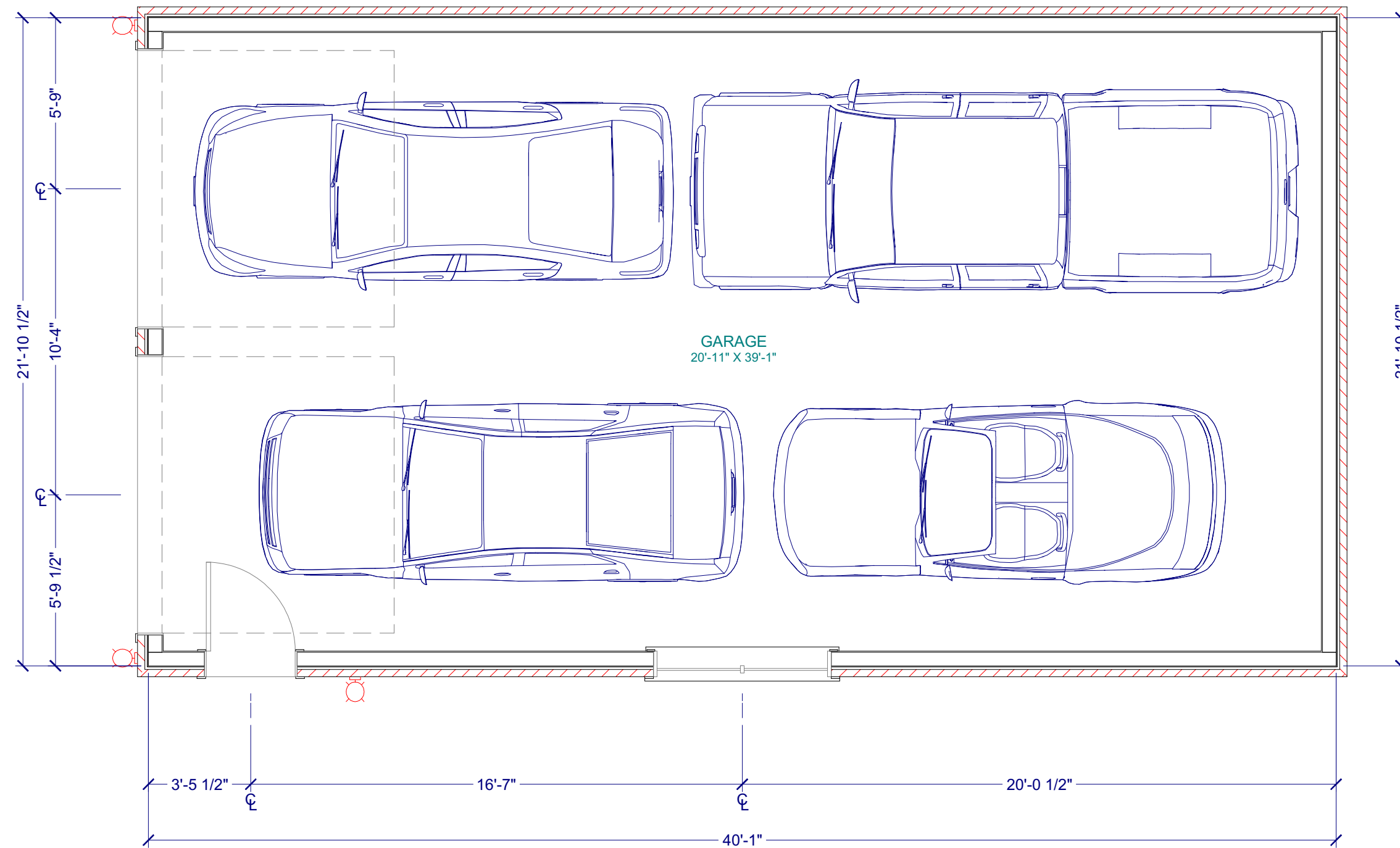
**SIGN
HERE**

I ACKNOWLEDGE THAT THIS IS THE FINAL DESIGN THAT I APPROVE FOR WORKING DRAWINGS



FOUNDATION PLAN - DETACHED GARAGE

SCALE: 1/4" = 1'-0"



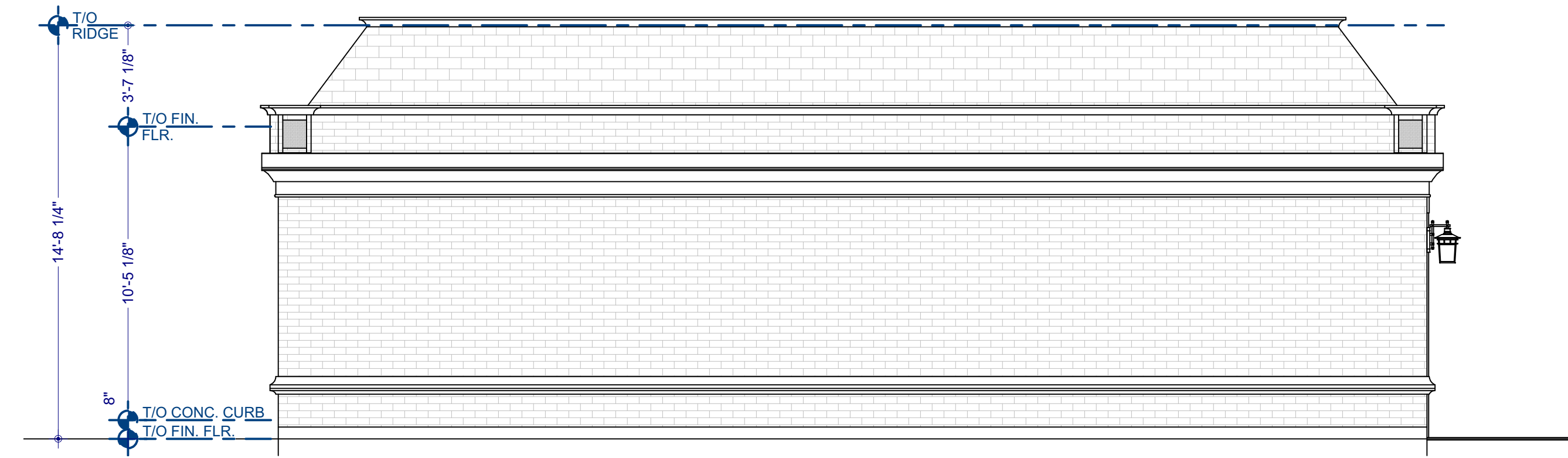
MAIN FLOOR PLAN - DETACHED GARAGE

SCALE: 1/4" = 1'-0"



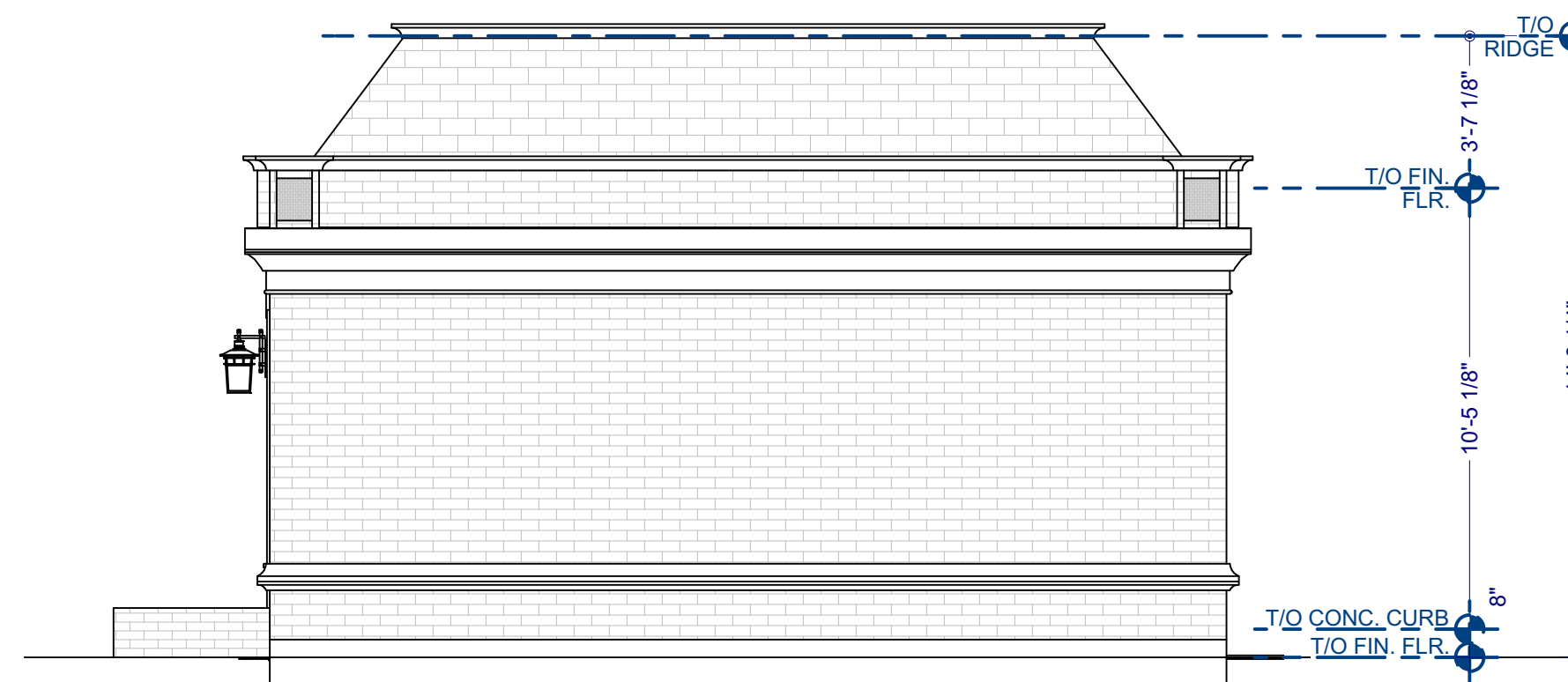
FRONT ELEVATION - DETACHED GARAGE

SCALE: 1/4" = 1'-0"



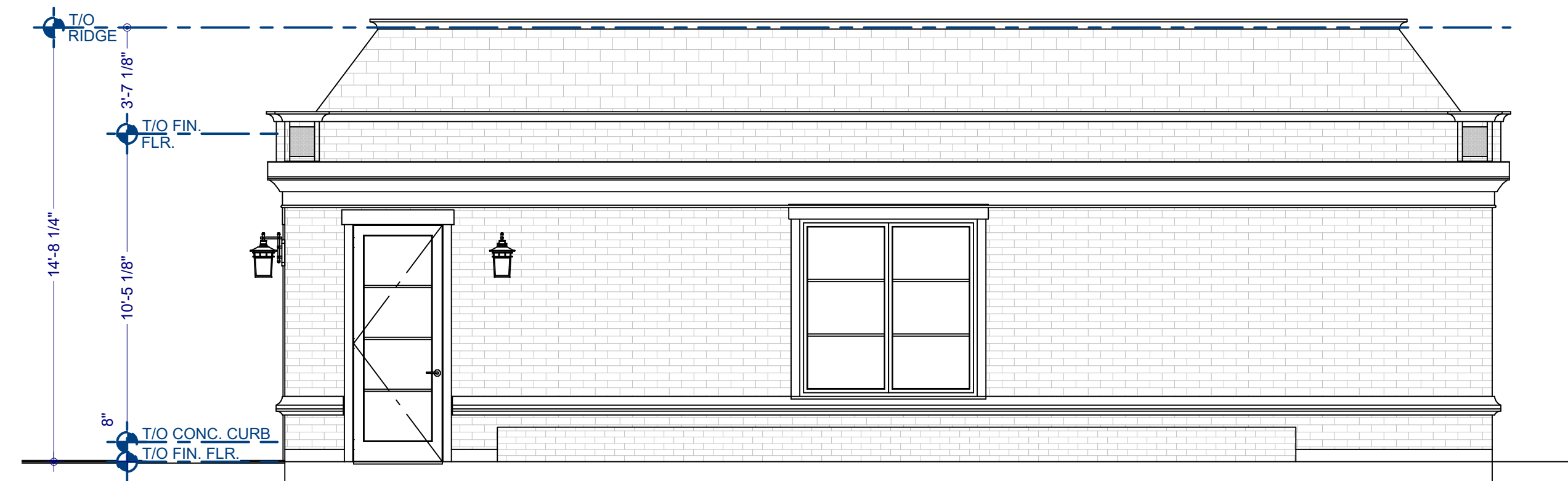
LEFT ELEVATION - DETACHED GARAGE

SCALE: 1/4" = 1'-0"



REAR ELEVATION - DETACHED GARAGE

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - DETACHED GARAGE

SCALE: 1/4" = 1'-0"

TRUE NORTH

CONST. NORTH



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STEVEN HAMELIN 31977
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ENGINEER SEAL:



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TEL: (905) 491-6797 FAX: (905) 337-9918
www.stevhamelin.com

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PULIS RESIDENCE
CITY FILE: SPA-2019-0053
GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

DRAWING NAME:
DETACHED GARAGE

CLIENT NAME:
PULIS

PROJECT NO.: (2019-04) SCALE: AS NOTED

DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

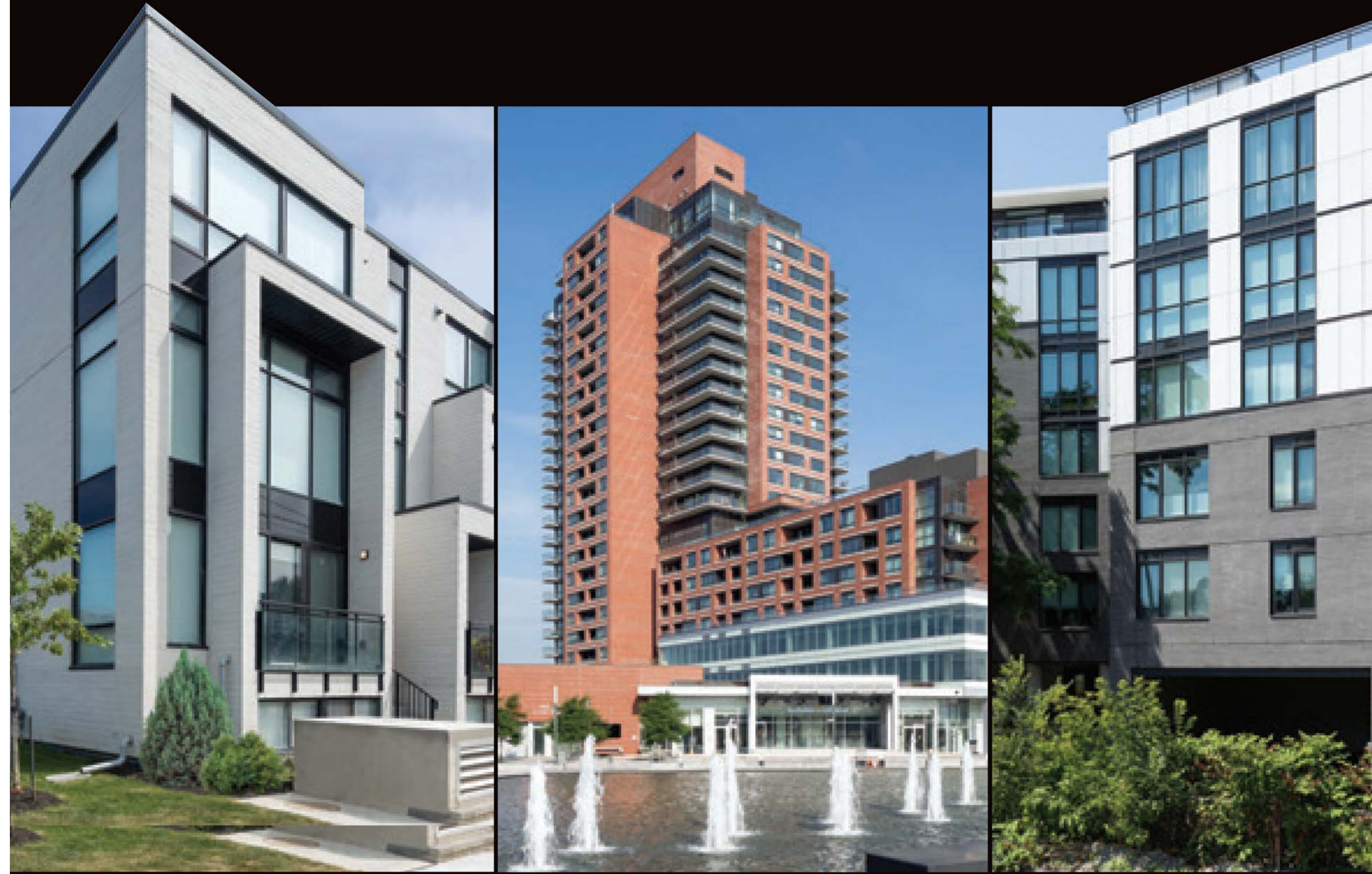
DRAWN BY: HAMELIN ARCH INC. DWG. NO.: A-9

APPROVED BY: HAMELIN ARCH INC.



ARCHITECTURAL MASONRY PRODUCTS | 5.1 EDITION

UPDATED 06/30/22



CLAY BRICK | STONE MASONRY | CONCRETE BLOCK

Legacy Series

This series is inspired by the graceful brickwork of stately historic homes, with textures ranging from subtle to grooved to pressed bark and diverse edge treatments. Through vibrant hues of orange and yellow, the Legacy Series adds brilliance to any exterior. Suitable for both commercial and residential use, these decorative bricks offer a traditional old-world charm.

COLOURS

All colours in the sizes shown are Stock Item Products. Manufactured in our Brampton, Ontario plant.

ARNPRIOR Sizes: Premier Plus	CANYON Sizes: Premier Plus	CHURCH HILL Sizes: Premier Plus	CRIMSON Sizes: Premier Plus	CRYSTAL GRAY Sizes: Premier Plus	MADISON COUNTY Sizes: Premier Plus
MANCHESTER Sizes: Premier Plus	OLD CHICAGO Sizes: Premier Plus	OLD SCHOOL Sizes: Premier Plus	STERLING GRAY Sizes: Premier Plus	VERIDIAN Sizes: Premier Plus	VIENNA Sizes: Premier Plus
WESTMONT Sizes: Premier Plus	WYNDHAM GRAY Sizes: Premier Plus				

Physical Property		CSA	ASTM	Typical Brampton Brick Range	
				Metric Units	Imperial Units
Minimum Compressive Strength	Individual Average of 5	> 17.2 MPa > 20.7 MPa	> 2500 psi > 3000 psi	65 – 85 MPa	9400 – 12000 psi
24 Hour Cold Water Absorption*	Individual Average of 5	< 8.0% -	< 8.0% -	7.0% - 11.5%	
5 Hour Boiling Water Absorption	Individual Average of 5	< 17.0% -	< 20.0% < 17.0%	11.0% - 15.5%	
Saturation (C/B) Ratio*	Individual Average of 5	< 0.78 -	< 0.80 < 0.78	0.65 - 0.75	

Based on CSA A82 for Exterior Grade (EG), Type X and ASTM C216 for Severe Weather (SW), Type FBX
*Standards require conformance to at least one of the two criteria

Note: Minimum orders apply for all Non-Stock Item Products. Pricing can vary according to product colour, size and finish. Contact a Brampton Brick Sales Representative for more information or for product availability prior to specifying. For additional information, please visit our website at BramptonBrick.com



LEGACY COLLECTION - OLD CHICAGO

TRUE NORTH	CONST. NORTH
 Ministry of Municipal Affairs and Housing QUALIFICATION INFORMATION THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONLY REGULATORY CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 12 SECTION 3.2 OF THE O.R.C. STEVEN HAMELIN 31977 FIRM NAME: HAMELIN ARCH INC. 45935	
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STEVE HAMELIN design studio

COMPANY INFO:
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 OAKVILLE, ON. L6J 1G7
 60, HURONTARIO ST.
 COLLINGWOOD, ON. L9Y 2L7
 TEL: (905) 461-6797 FAX: (905) 337-9918
 www.stevh.com

PROJECT NAME:
 PULIS RESIDENCE
 CITY FILE: SPA-2019-0053
 GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
 76, MAIN ST. SOUTH

PROJECT CITY/TOWN:
 BRAMPTON, ON.

POSTAL CODE:
 L6W 2C6

DRAWING NAME:
EXTERIOR FINISHES - BRICK

CLIENT NAME:
 PULIS

PROJECT NO.:
 (2019-04)

SCALE:
 NOT TO SCALE

DESIGN BY:
 HAMELIN ARCH INC.

DATE:
 2022-12-07

DRAWN BY:
 HAMELIN ARCH INC.

DWG. NO.:
A-11

APPROVED BY:
 HAMELIN ARCH INC.

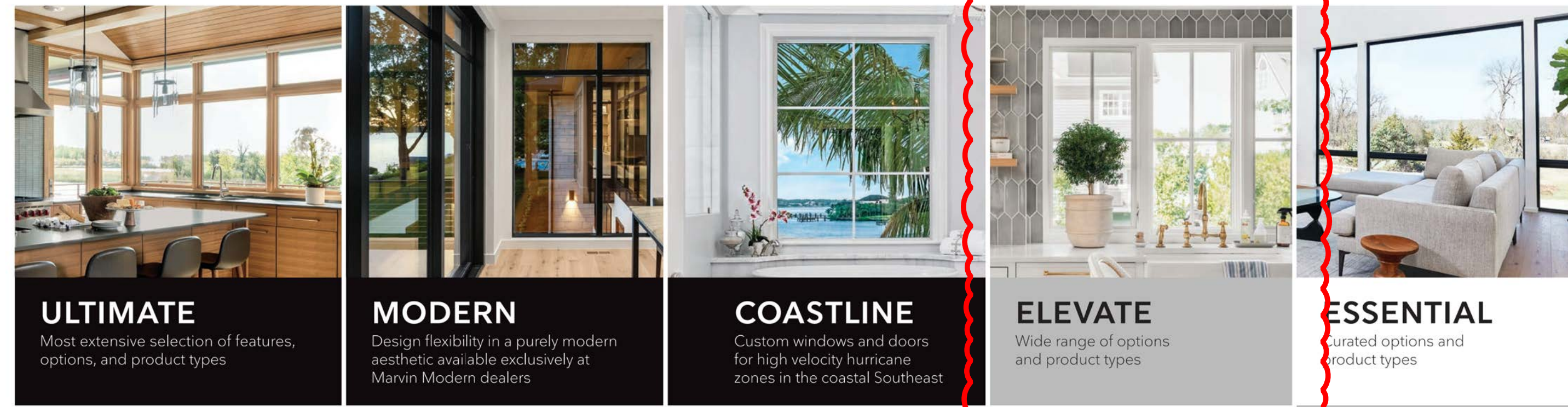


ELEVATE
MARVIN ELEVATE COLLECTION

THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



ULTIMATE
Most extensive selection of features, options, and product types

MODERN
Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers

COASTLINE
Custom windows and doors for high velocity hurricane zones in the coastal Southeast

ELEVATE
Wide range of options and product types

ESSENTIAL
Curated options and product types

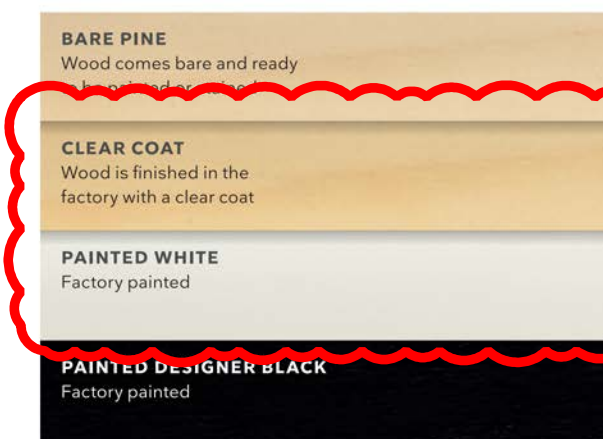
	MARVIN SIGNATURE® COLLECTION	MARVIN MODERN® COLLECTION	MARVIN COASTLINE® COLLECTION	MARVIN ELEVATE® COLLECTION	MARVIN ESSENTIAL™ COLLECTION
INTERIORS	WOOD 6 species options + custom 2 painted or primed options 6 stains + clear coat	EXTRUDED ALUMINUM 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	WOOD Bare pine, painted Designer Black, painted White, or clear coat	FIBERGLASS color options
EXTERIORS	EXTRUDED ALUMINUM 19 colors + custom OR WOOD 3 species + custom	FIBERGLASS 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	FIBERGLASS 5 color options	FIBERGLASS color options
SIZING	Standard + custom sizing for replacement, remodeling, or new construction	Custom sizing for remodeling or new construction	Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic	Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles	Available in 6 finish options with 1 door handle styles
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products		All products rated for High Velocity Hurricane Zone (IZ4)	Hurricane Impact Zone 3, + PG 50 Products	

DESIGN OPTIONS

INTERIOR AND EXTERIOR FINISHES

Elevate windows and doors feature rich pine interiors and a durable, strong, and fully paintable Ultrax® fiberglass exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics. Elevate Round Tops include the extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking.

WOOD INTERIOR FINISHES



FIBERGLASS EXTERIOR COLORS



DIVIDED LITES

GRILLES-BETWEEN-THE-GLASS (GBG)
Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Bronze, or Ebony exterior.*

SIMULATED DIVIDED LITE (SDL)
Bars permanently adhered to both sides of the glass for a more authentic look. Available with or without spacer bar and in several lite cut options.



GLASS OPTIONS

Glass is available with Standard Dual Pane or optional Triple Pane on select products. Available with Low E1, Low E2, Low E3, and Low E3/EVS insulated glass with argon gas.* Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones. Laminated glass is also offered in products designed specifically for hurricane zones.

DECORATIVE GLASS

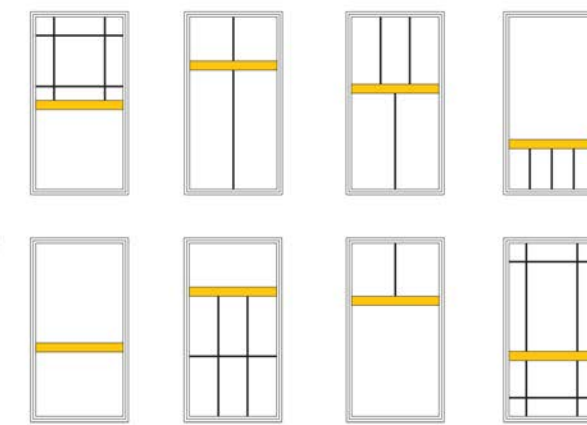


SIMULATED CHECKRAIL

Simulated Checkrail is the perfect solution when aesthetics call for the beauty of a double hung, but operation, egress, or performance demand another solution.

You specify placement of the horizontal simulated checkrail bar and the lite cut patterns above and below.

These illustrations offer a sampling of 1/2" Simulated Divided Lite (SDL) patterns that can be selected in combination with the 2 1/2" Simulated Checkrail on Casement, Awning, Glider, Direct Glaze Rectangle, Picture windows, and all Elevate doors.



WINDOW HARDWARE

Windows feature classic low-profile durable hardware for clean aesthetics, safety, and security.



DOOR HANDLES

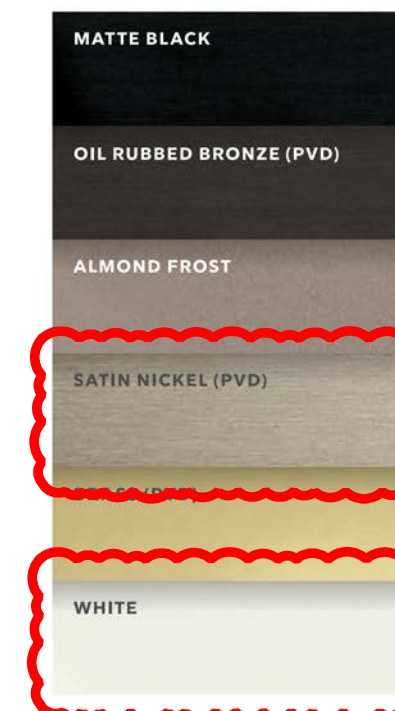
Door handles are available in two distinct hardware styles.



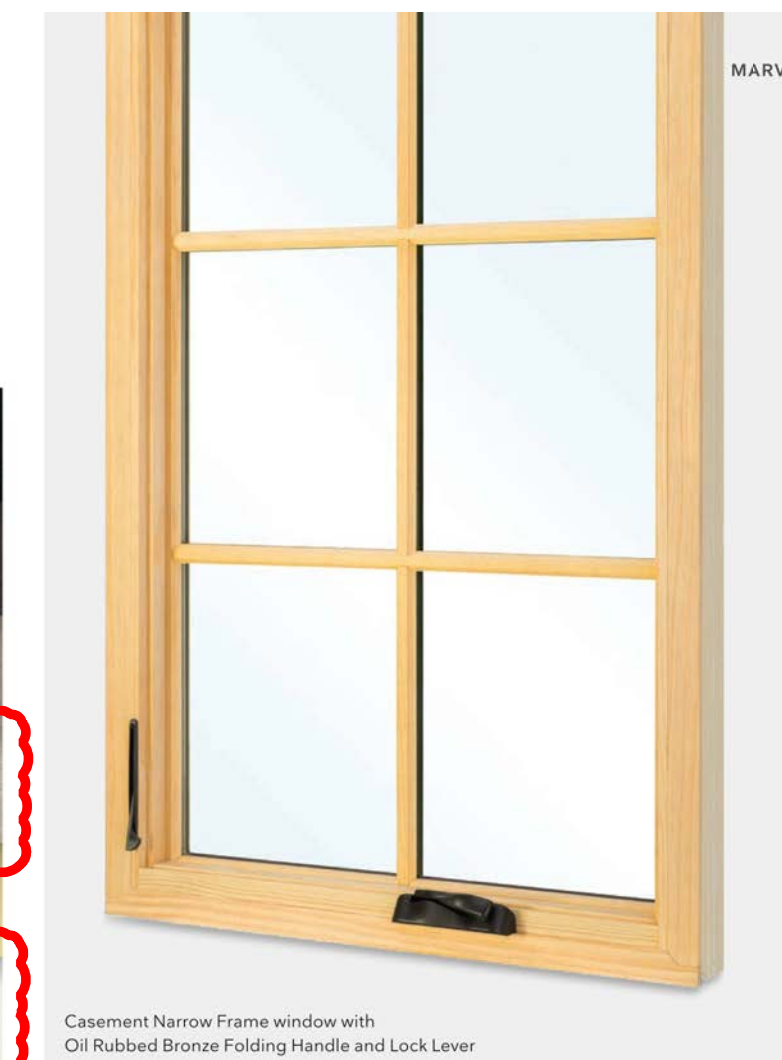
DOOR HANDLE OPTIONS

- Available keyed-alike option (use one key on multiple locks, with up to 3 different keys on each project).
- Choose a distinct interior and exterior handle finish that matches or complements the interior and exterior color of your door.

FINISHES



Choose from a variety of hardware finishes to complement your Elevate collection windows and doors. The Physical Vapor Deposition (PVD) process adds a layer of toughness to hardware exposed to environmental factors like direct sun and humidity. PVD finishes resist fading and discoloration, even in coastal areas. PVD has the highest grade corrosion resistant finish. PVD finish is available on exterior door hardware in Oil Rubbed Bronze, Satin Nickel, and Brass.



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STEVEN HAMELIN 31977
FIRM NAME: HAMELIN ARCH INC. 45905

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PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

DRAWING NAME:
EXTERIOR FINISHES - WINDOWS

CLIENT NAME:
PULIS

PROJECT NO.: (2019-04) SCALE: NOT TO SCALE

DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

DRAWN BY: HAMELIN ARCH INC. DWG. NO.: **A-12**

APPROVED BY: HAMELIN ARCH INC.



LRV
70.95

LRV, or Light Reflectance Value, is a measurement commonly used by design professionals—such as architects and interior designers—that expresses the percentage of light reflected from a surface. LRVs range from 0-100, with 100 being pure white and 0 being absolute black.

Collection
Off White Colours

Also Known As
954

**OFF WHITE COLLECTION - OC-7
(CREAMY WHITE)**

Decorative Concrete Precast Manufacturer

Cell: 416-890-3134
Office: 289-366-3738
Office: 289-579-9964
Cell: 647-643-2660
Email: info@lionprecast.ca

**PRECAST CONCRETE COMPANY - USED TO COMPLETE ALL
EXTERIOR TRIM BANDING'S AND WINDOW SURROUNDS**

TRUE NORTH	CONST. NORTH
QUALIFICATION INFORMATION THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE FOLLOWING CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 12 SECTION 3.2 OF THE O.B.C.	
STEVEN HAMELIN 31977 FIRM NAME: HAMELIN ARCH INC. 45935	
GENERAL NOTES: ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK. ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF HAMELIN ARCH INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.	

ARCH. DRAWING INDEX

A-1	COVER PAGE
A-2	FOUNDATION PLANS
A-3	MAIN FLOOR PLANS
A-4	SECOND FLOOR PLANS
A 5/6	ELEVATIONS
A 7	SCHEDULES/DETAILS
A 8	DETACHED GARAGE

DRAWING ISSUES/REVISIONS

NO.	DATE	ISSUES/REVISIONS:	BY:
5.	07DEC 2022	- ADDED DIMENSION STRING TO MID POINT OF ROOF AS PER 28JUNE2022 TOWN COMMENTS - UPDATED EXTERIOR ELEVATIONS AS PER MEETINGS WITH CLIENT AND HIA ARCHITECT - ADDED DESIGN SIGN OFF BOX FOR CLIENT APPROVAL	DL

ENGINEER SEAL:

STEVE HAMELIN design studio

COMPANY INFO:
295, ROBINSON ST., UNIT 100
OAKVILLE, ON. L6J 1G7
60, HURONTARIO ST.
COLLINGWOOD, ON. L9Y 2L7
TEL: (905) 461-6797 FAX: (905) 337-9918
www.stevhamelin.com

PROJECT NAME:
PULIS RESIDENCE
CITY FILE: SPA-2019-0053
GWD FILE: 16.2194.00PULIS RESIDENCE

PROJECT ADDRESS:
76, MAIN ST. SOUTH

PROJECT CITY/TOWN: BRAMPTON, ON. POSTAL CODE: L6W 2C6

DRAWING NAME:
EXTERIOR FINISHES - PRECAST CONCRETE AND TRIM COLOUR

CLIENT NAME:
PULIS

PROJECT NO.: (2019-04) SCALE: NOT TO SCALE

DESIGN BY: HAMELIN ARCH INC. DATE: 2022-12-07

DRAWN BY: HAMELIN ARCH INC. DWG. NO.: **A-13**

APPROVED BY: HAMELIN ARCH INC.

APPENDIX III

Landscape Plan and details
as prepared by Strybos

GENERAL NOTES:

- MAINTENANCE and ACCEPTANCE:**
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IMMEDIATELY AFTER ANY PLANTING HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF FINAL ACCEPTANCE.
 - SUCH MAINTENANCE SHALL INCLUDE ALL MEASURES NECESSARY TO ESTABLISH AND MAINTAIN ALL PLANTS IN AN ACCEPTABLE, VIGOROUS AND HEALTHY GROWING CONDITION INCLUDING CULTIVATING AND WEEDING, WATERING WHEN REQUIRED, PRUNING AND MAINTENANCE OF ALL ACCESSORIES.
 - AT TIME OF INSPECTION FOR INITIAL & FINAL ACCEPTANCE, ALL PLANTING BEDS AND TREE PITS SHALL BE FRESHLY CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND RUBBISH AND SHALL BE IN A NEAT AND TIDY CONDITION.
 - ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF 2 (TWO) YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND LOCAL AUTHORITY UNLESS OTHERWISE NOTED.
 - MAINTAIN PLANTING BEDS AND TREE PITS FREE OF WEEDS THROUGHOUT THE GUARANTEE PERIOD.
 - THE DEVELOPER SHALL REGULARLY REMOVE DEBRIS FROM THE METLAND UNTIL THE COMPLETION OF ALL BUILDING CONSTRUCTION WITHIN THE DEVELOPMENT.

- UTILITIES:**
- APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE UTILITY COMPANIES FOR WORKS WITHIN THE MUNICIPAL BOULEVARD.
 - ALL UTILITIES WITHIN THE BOULEVARD MUST BE LOCATED PRIOR TO COMMENCING CONSTRUCTION WITHIN THE BOULEVARD.

- RODENT PROTECTION:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FROM RODENT ACTIVITY FOR THE DURATION OF THE GUARANTEE PERIOD.
 - PROTECTIVE WIRE MESH GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF MULCH AND SHOULD BE PLACED A MINIMUM OF 50mm OUT FROM THE TREE TRUNK ON ALL SIDES. SUFFICIENT MESH SHOULD BE CUT TO COMPLETE THIS CIRCUMFERENCE AS WELL AS TO PROVIDE A MINIMUM OF 25mm OVERLAP.
 - THE WIRE MESH GUARDS MUST BE OF GALVANIZED STEEL 12mm SQUARE MESH, 19 GAUGE AND SUPPLIED IN 600mm ROLLS. THE WIRE MESH CAN BE FASTENED WITH ANY ACCEPTABLE GALVANIZED WIRE TIE. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

UNIT PAVING:

- Pavers shall be precast concrete unit pavers with min. 58.6 MPA (8500 P.S.I.) COMPRESSIVE STRENGTH, AND A WATER ABSORPTION NOT EXCEEDING 5% AND A FREEZE-THAW RESISTANCE EQUAL TO C-5-A-482-2 (1997).
- SETTING BED SHALL CONSIST OF SHARP, CLEAN, COARSE CONCRETE SAND OR APPROVED LIMESTONE SCREENINGS, SAND FOR JOINTS SHALL BE A CLEAN, NATURAL GRAVEL, CRUSHED STONE OR ROCK.
- INSTALL GRANULAR BASE AND COMPACT TO A MINIMUM 98% STANDARD PROCTOR DENSITY UNTIL THE MIN. SPECIFIED DEPTH AS DETAILED, HAS BEEN ESTABLISHED.
- LOOSELY PLACED CONCRETE SAND OR SCREENINGS TO A UNIFORM DEPTH OF 50mm (2"), MIN.
- MAINTAIN JOINTS UNIFORM AND CLOSELY BUTTED THROUGHOUT.
- WHERE NECESSARY, SAW OUT PAVERS TO PRODUCE A SHARP, VERTICAL CUT WITHOUT DAMAGED EDGES, AND TO FIT ACCURATELY.
- AFTER COMPLETION OF INSTALLATION, COMPACT PAVING BY MEANS OF A VIBRATING PLATE TAMPER.
- FILL THE JOINTS WITH FINE SAND, BY BRUSHING AND SWEEPING, HOSE PAVING WITH FINE WATER SPRAY.

TREE LOCATION:

- NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES OR OVER UNDERGROUND SERVICES.
- TREES ARE NOT TO BE PLANTED LESS THAN 1M FROM CURBS, UNDERGROUND UTILITIES, SIDEWALKS AND DRIVEWAYS, 2m FROM FIRE HYDRANTS AND TRANSFORMERS, AND 4m FROM LIGHT STANDARDS.
- THE CONTRACTOR IS TO STAKE OUT LOCATIONS OF TREES. THIS STAKE OUT IS TO BE INSPECTED BEFORE THE EXCAVATION OF ANY TREE PITS.
- BEFORE THIS STAKE OUT, THE CONTRACTOR IS TO REQUEST A STAKE OUT ALL UNDERGROUND SERVICES.
- THE LANDSCAPE ARCHITECT AND THE MUNICIPALITY MAY, AT THEIR DISCRETION REDISTRIBUTE TREE LOCATIONS, PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.

SODDING:

- PREPARE A MINIMUM 100mm DEPTH OF TOPSOIL WITH A 10-6-4 COMMERCIAL FERTILIZER AT 7.3kg/100sqm, AND SUPER PHOSPHATE AT 3kg/100sqm. THE PROPORTIONS SPECIFIED ARE SUBJECT TO ADJUSTMENT DEPENDING ON TOPSOIL ANALYSIS REPORT.
- LAY No. 1 NURSERY SOD ON ALL AREAS OF THE PROJECT NOT COVERED BY BUILDINGS OR PAVING.
- IMMEDIATELY AFTER INSTALLATION, SOD MUST BE WATERED AND ROLLED.

PLANTING:

- PREPARE PLANTING SOIL BY EVENLY MIXING FOUR PARTS SANDY TOPSOIL, ONE PART ORGANIC SOIL ADDITIVE WITH 500g BONE MEAL AND 750g COMMERCIAL FERTILIZER PER CUBIC METER. THE FOREGOING RATES, ARE SUBJECT TO ADJUSTMENT ON RECEIPT OF TOPSOIL ANALYSIS REPORT.
- EXCAVATE AND PROVIDE PLANTING SOILS AS PER PLANTING DETAILS.
- PROVIDE ALL SHRUBS AND TREES ACCORDING TO THE GUIDELINE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADE ASSOCIATION WITH REGARD TO QUALITY AND GRADING AND SIZED AS PER PLANT LIST.
- SPRAY ALL PLANTINGS IN LEAF WITH ANTI-DESICCANT. PROVIDE TREES WITH STAKES.
- PLANTS ARE TO BE No. 1 NURSERY GROWN, UNDER PROPER CULTURAL PRACTICES, IN PARTICULAR WITH RESPECT TO AMPLE SPACING, PEST AND DISEASE CONTROL, AND BRANCH AND ROOT PRUNING.
- TREES ARE TO HAVE STURDY, STRAIGHT TRUNKS.
- TREES SHALL BE WELL BRANCHED AND BALANCED WITH A STRONG CENTRAL LEADER.
- DECIDUOUS SHADE TREES SHALL BE FREE OF BRANCHES NOT LESS THAN 1.8m ABOVE THE GROUND.
- ALL SHRUBS ARE TO BE PLANTED IN CONTINUOUS BEDS. DO NOT SOD BETWEEN PLANTS. EXCAVATE ENTIRE AREA OF SHRUB BED UNIFORM TO SPECIFIED DEPTH AND FILL WITH SPECIFIED PLANTING SOIL.

TOPSOIL:

- USE EVENLY MIXED TOPSOIL OF FERTILE, FRAGILE NATURAL LOAM CONTAINING NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% MINIMUM ORGANIC MATTER FOR SAND LOAMS WITH AN ACIDITY RANGE OF 5.5 TO 7.5 PH.
- ALL TOPSOIL SHOULD BE FREE OF SUBSOILS, CLAY, STONES, ROOTS, EXCESS WATER, FROST AND OTHER EXTRANEOUS MATTER.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
AF	02	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	60	4000	2000	-	SB	AF
AL	02	Amelanchier laevis	Allegheny Serviceberry	1500	1500	-	-	WB	AL
AR	02	Acer rubrum	Red Maple	60	4000	2000	-	WB	AR
AS	04	Acer saccharum 'Endowment'	Endowment Sugar Maple	60	4000	2000	-	SB	AS
CC	02	Cercis canadensis	Eastern Redbud	-	1500	2000	-	WB	CC
CO	02	Celtis occidentalis	Hackberry	60	4000	2000	-	SB	CO
COO	02	Cornus alternifolia	Pagoda Dogwood	-	1500	-	-	CG	COO
QM	02	Quercus macrocarpa	Bur Oak	60	4000	2000	-	SB	QM
QR	03	Quercus rubra	Red Oak	60	4000	2000	-	SB	QR

CONIFEROUS TREES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
PI01	01	Picea amara	Serbian Spruce	1750	1500	-	-	SB	PI01
LI	03	Larix laricina	Tamarack	1750	1500	-	-	SB	LI
Tc	07	Taxus canadensis	Eastern Hemlock	1750	1000	-	-	SB	Tc

DECIDUOUS SHRUBS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Ao	06	Amelanchier alnifolia 'Obelisk'	Standing Ovation Serviceberry	1500	-	as shown	CG	As	Ao
Eol	05	Euonymus alatus 'Little Moses'	Little Moses Burning-Bush	700	-	750	CG	Eol	Eol
Hyp	08	Hydrangea paniculata 'Preziosa'	Preziosa Hydrangea	600	-	750	CG	Hyp	Hyp
Hyl	09	Hydrangea paniculata Little Quick Fire	Little Quick Fire Hydrangea	600	-	900	CG	Hyl	Hyl
Rha	40	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	-	600	900	CG	Rha	Rha

BROADLEAF EVERGREENS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Bux	33	Buxus 'Green Gem'	Green Gem Boxwood	-	500	-	400	CG	Bux

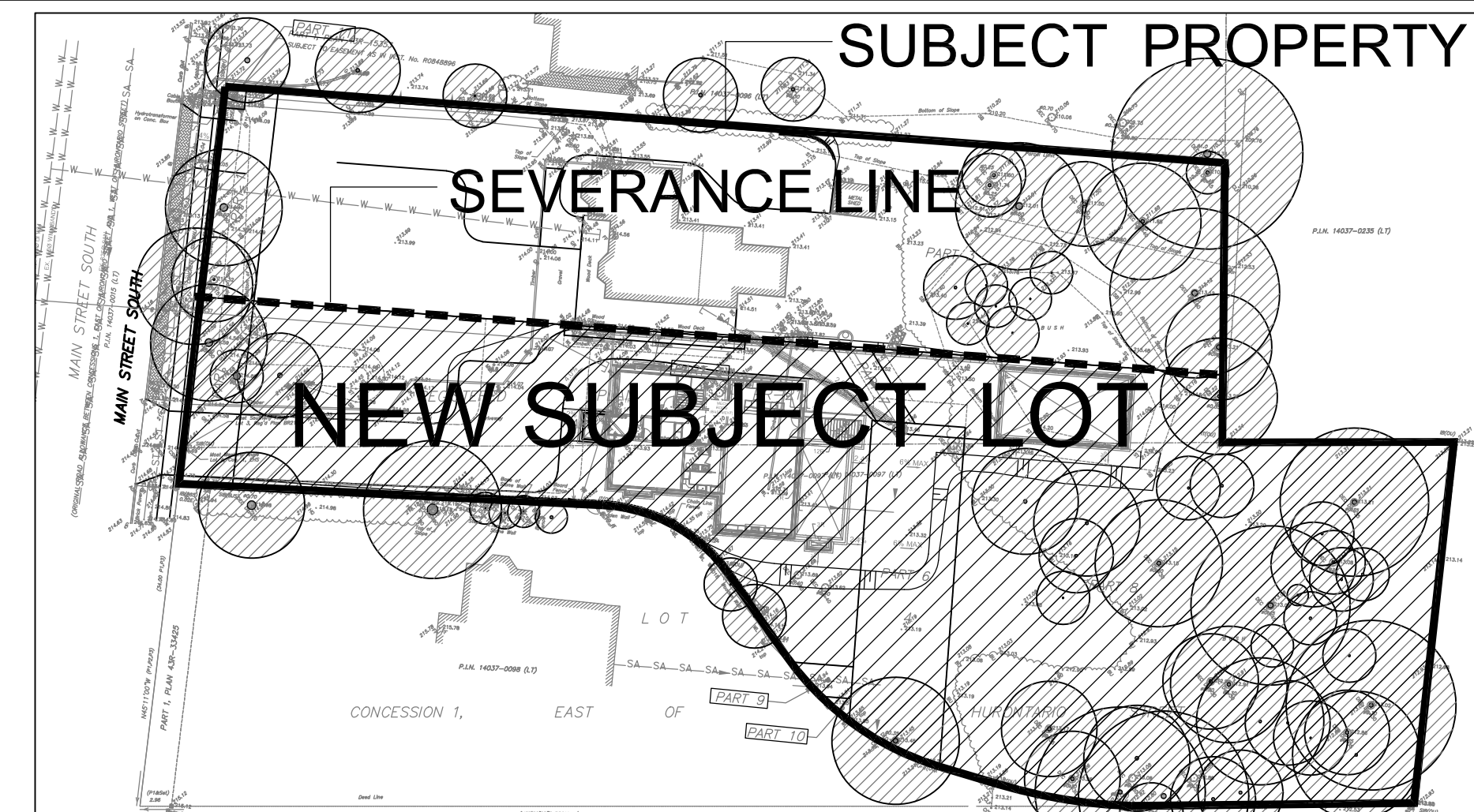
CONIFEROUS SHRUBS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Euf	50	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	-	600	750	CG	Euf	Euf
Tac	17	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	-	600	-	750	CG	Tac

PERENNIALS & GRASSES

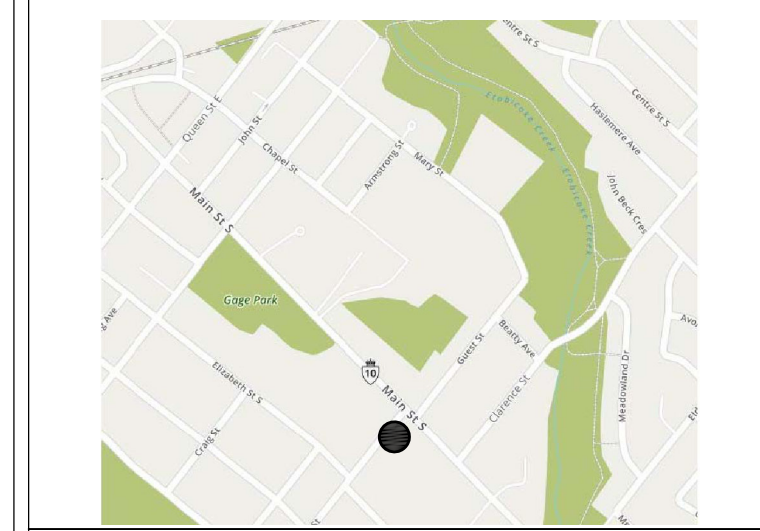
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SPACE	2 Gallon	COND.	KEY
hop	75	Hosta 'Patriot'	Patriot Hosta	600	2 Gallon	Potted	hop
sal	41	Salvia nemorosa	Perennial Salvia	500	2 Gallon	Potted	sal

TOTAL COMPENSATION TREES: 32



GENERAL NOTES

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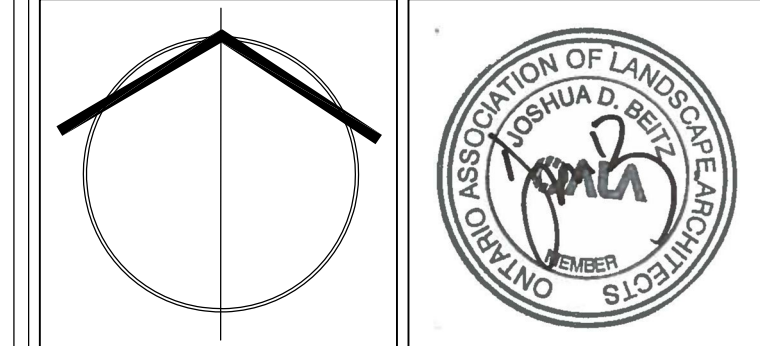
EASEMENT SCHEDULE

(REFER TO PLAN PREPARED BY SPEIGHT, VAN NOSTRAND & GIBSON LIMITED)

EASEMENT	PART OF LOT
1	INSTRUMENT PR3610594, PART 4 ON PLAN 43R-39288 ACCESS, PASSAGE, MAINTENANCE EASEMENT IN FAVOR OF 76 MAIN STREET SOUTH
2	INSTRUMENT PR3601065, PART 6 ON PLAN 43R-39288 SANITARY SEWER AND RELATED FACILITIES EASEMENT IN FAVOR OF THE REGION OF PEELE
3	INSTRUMENT PR3610594, PART 7 ON PLAN 43R-39288 SANITARY SEWER AND RELATED FACILITIES EASEMENT IN FAVOR OF 76 MAIN STREET SOUTH
4	INSTRUMENT PR3601026, PART 9 ON PLAN 43R-39288 SANITARY SEWER AND RELATED FACILITIES EASEMENT IN FAVOR OF 76 MAIN STREET SOUTH
5	INSTRUMENT R0648896, PART 11 ON PLAN 43R-15353 HYDRO EASEMENT IN FAVOR OF BRAMPTON HYDRO ELECTRIC COMMISSION
6	INSTRUMENT PR3610594, PART 4 ON PLAN 43R-39288 TEMPORARY DECK AND STAIRS EASEMENT IN FAVOR OF 76 MAIN STREET SOUTH
7	INSTRUMENT PR3610594, PART 12 ON PLAN 43R-39288 TEMPORARY ACCESS AND PARKING EASEMENT IN FAVOR OF 76 MAIN STREET SOUTH

No.	DATE	REVISION	BY
3	MAY 19, 2023	ISSUED FOR SUBMISSION	JOB
2	JAN 31, 2023	ISSUED FOR COORDINATION	JOB
1	JAN 16, 2023	ISSUED FOR CLIENT REVIEW	JOB

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STRYBOS BARRON KING
LANDSCAPE ARCHITECTURE

PROJECT:
PROPOSED NEW DWELLING
76A MAIN STREET SOUTH
(SOUTH PARCEL)
BRAMPTON, ONTARIO
PULIS INVESTMENT GROUP

DRAWING TITLE:
LANDSCAPE PLAN

SCALE: AS SHOWN	PROJECT No. 19-5367
DATE: AUGUST 26, 2019	DRAWING No. L100
DRAWN BY: SS	CHECKED BY: JB

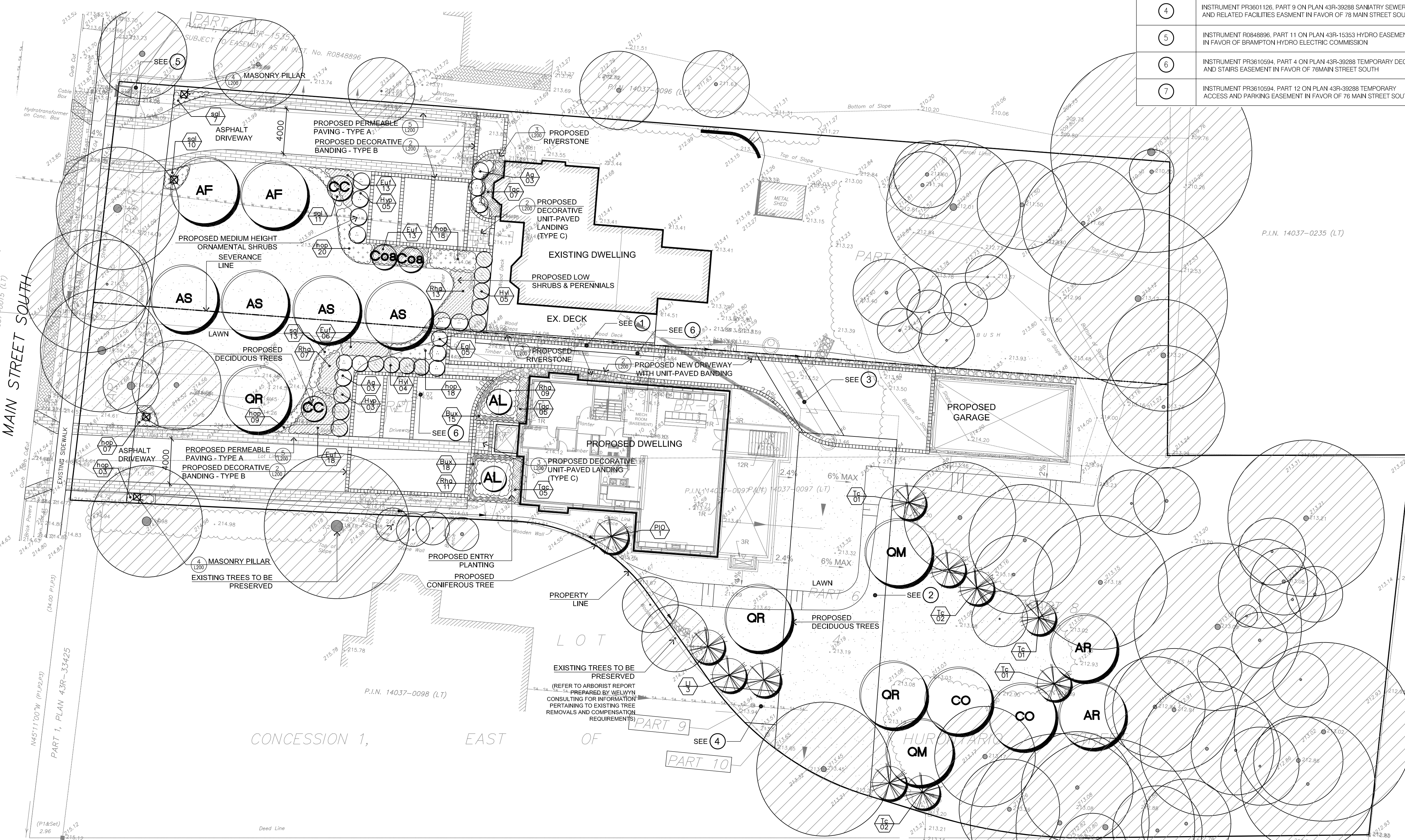
LANDSCAPE GENERAL NOTES

PAVING SCHEDULE BY UNLOCK OR APPROVED EQUAL

TYPE 'A'	DRIVEWAY EDGE BY UNLOCK
FIELD TOWN HALL TYPICAL DRIVEWAY (100x20x75mm) COLOUR: BASALT	
TYPE 'B'	DRIVEWAY BANDING BY UNLOCK
SOLDER COURSE: THORNBURY STONE SIDE: MEDIUM RECTANGLE (20x17x70mm) COLOUR: GRANITE	
TYPE 'C'	FRONT ENTRY LANDING BY UNLOCK
FIELD TOWN HALL TYPICAL ENTRY LANDING (100x17x70mm) COLOUR: BASALT	
BANDING: THORNBURY SOLDER COURSE SIDE: MEDIUM RECTANGLE (21x17x70mm) COLOUR: GRANITE	

NOTE: DETAILED PLANTING LOCATIONS FOR TREES WITHIN THE VICINITY OF THE WOODLOT DRIPLINE TO BE COORDINATED ON SITE WITH LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE RECOMMENDATIONS OUTLINED IN THE ARBORIST REPORT PREPARED BY WELWYN CONSULTING

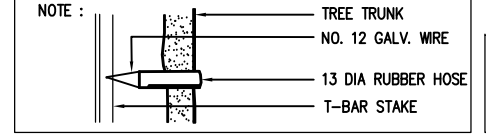
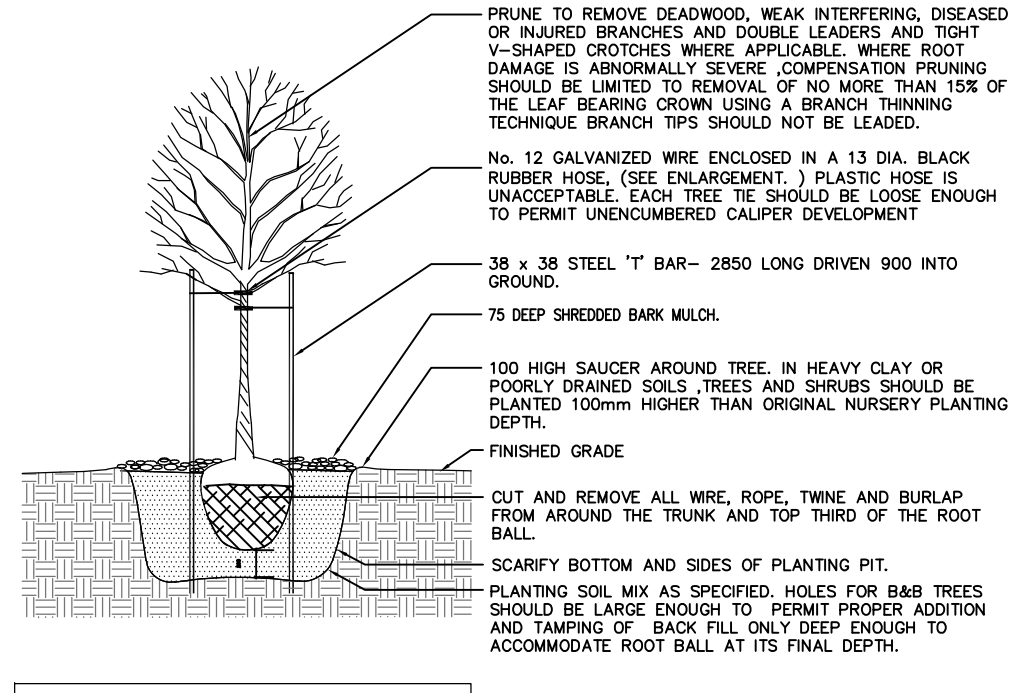
NOTE: REFER TO ARBORIST REPORT PREPARED BY WELWYN CONSULTING FOR BOTH GENERAL RECOMMENDATIONS RELATED TO TREE PRESERVATION AND DETAILED REQUIREMENTS PERTAINING TO SITE PREPARATION, TREE PROTECTION AND MITIGATION MEASURES AS OUTLINED FOR SPECIFIC TREES TO BE PRESERVED THAT ARE WITHIN PROXIMITY TO PROPOSED DRIVEWAY WORKS



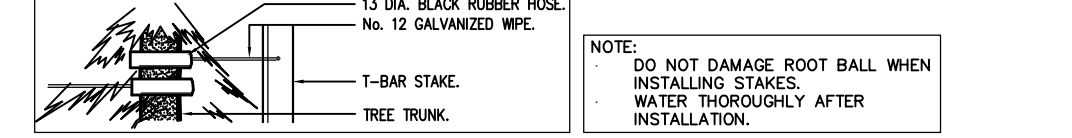
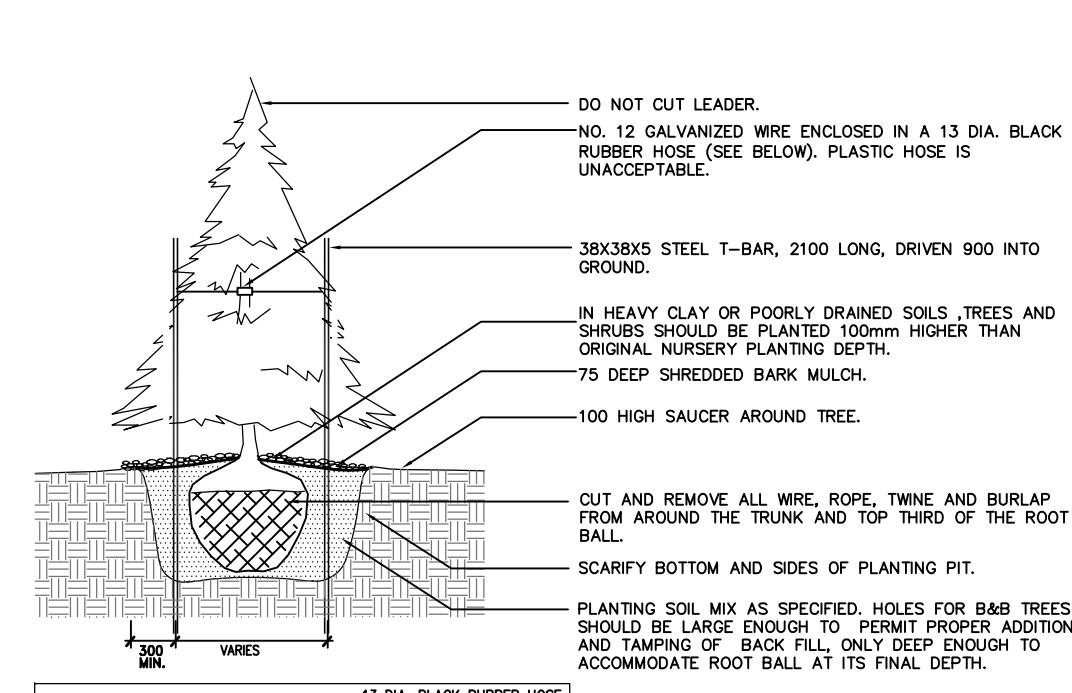
LANDSCAPE PLAN

SCALE 1:200

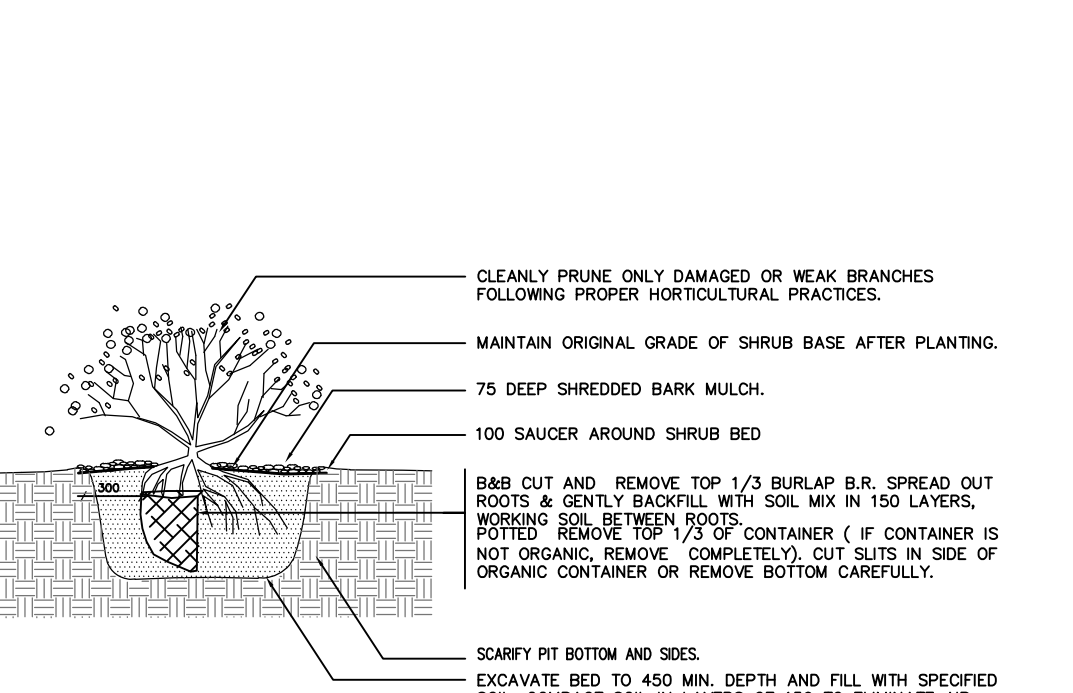
- NOTE:
- DO NOT DAMAGE ROOT BALL WHEN INSTALLING STAKES.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - W/TPROOF IN NURSERY BEFORE DELIVERY.
- SOIL DEPTH FOR PLANTING OVER SLAB SHALL BE AS FOLLOWS:
- DECIDUOUS TREE 1000 + 50 DRAINAGE COURSE
 - CONIFEROUS TREE 800 + 50 DRAINAGE COURSE
 - PLANTING SHRUB 800 + 50 DRAINAGE COURSE
 - SHRUB 700 + 50 DRAINAGE COURSE
 - LAWN 400 + 50 DRAINAGE COURSE.



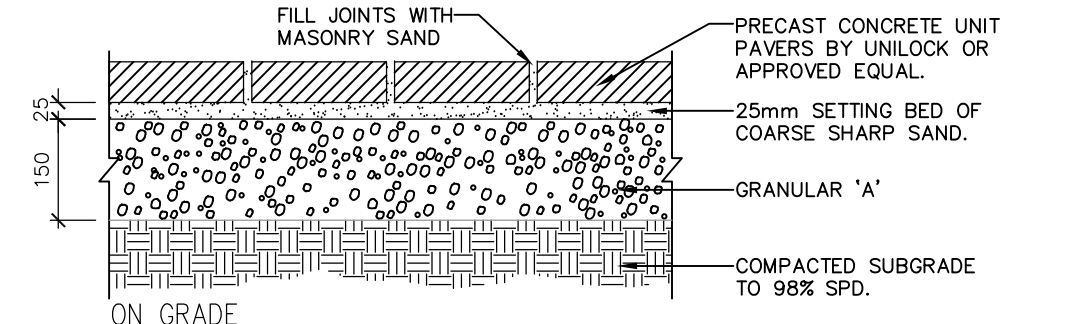
1 LANDSCAPE PLANTING DETAILS



2 CONIFEROUS TREE PLANTING DETAIL

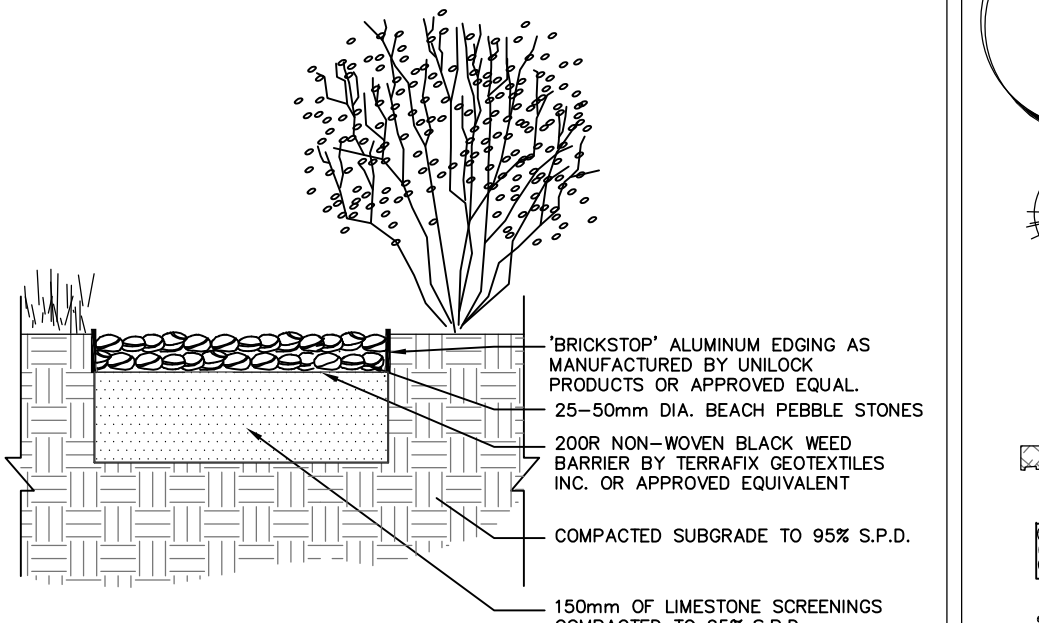


3 SHRUB PLANTING DETAIL

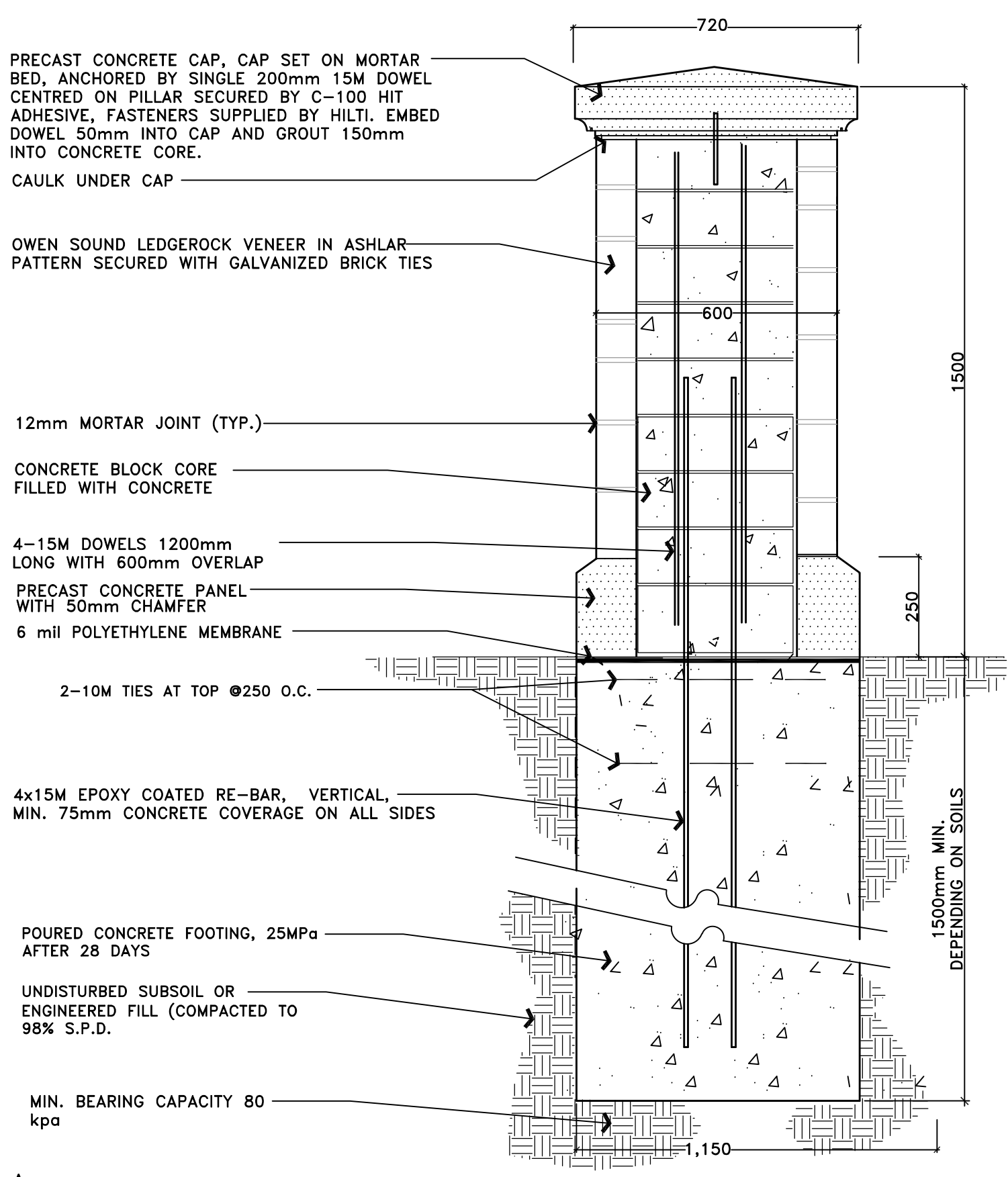


- NOTES:
- PRECAST CONCRETE UNIT PAVERS BY UNILOCK LTD. OR APPROVED EQUAL.
 - COLOURS TO BE SELECTED BY LANDSCAPE ARCHITECT ON SITE.
 - FOR PAVING LOCATIONS AND SPECIFICATIONS REFER TO PAVING SCHEDULE.

2 PRECAST CONCRETE UNIT PAVERS

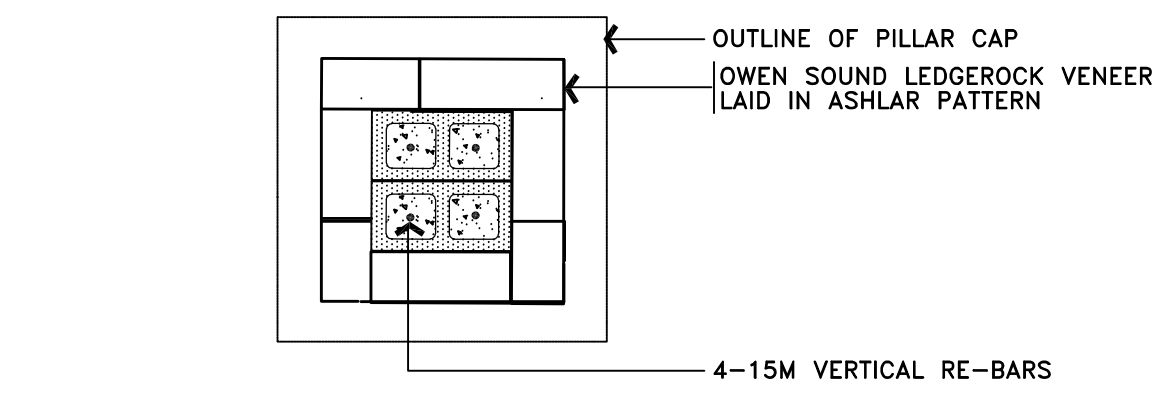


3 RIVERSTONE MAINTENANCE STRIP

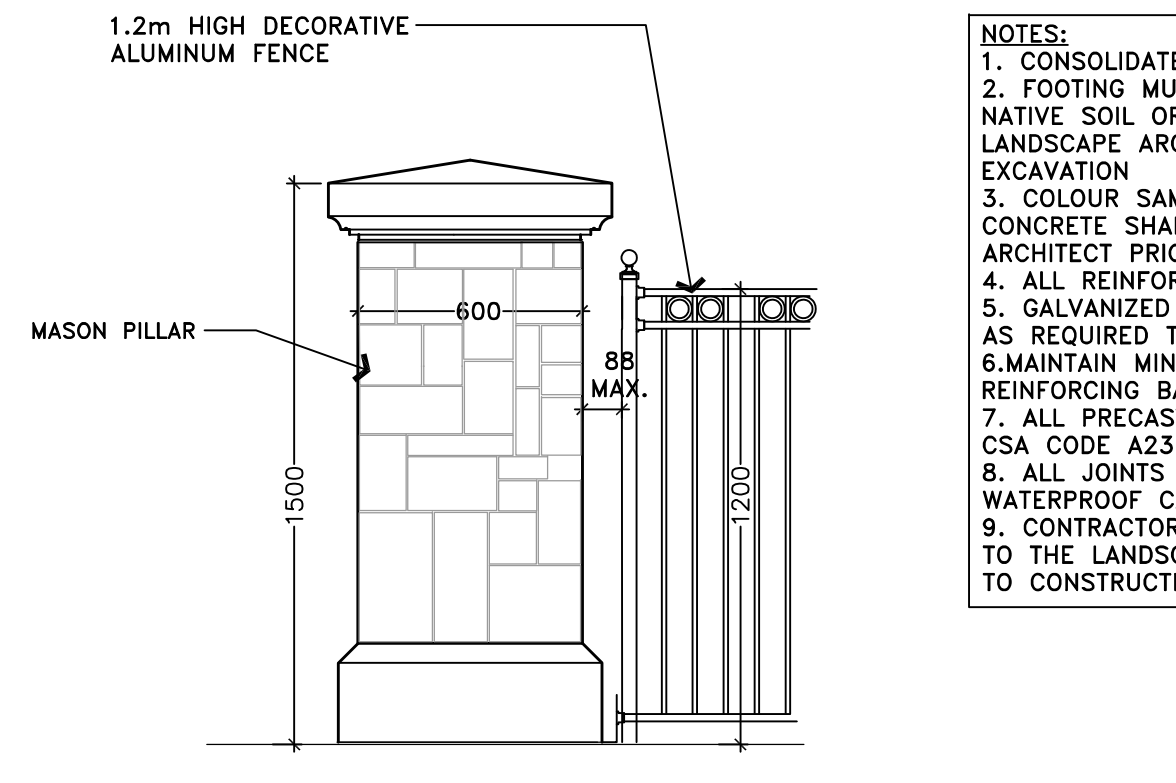


4 ELEVATION OF PILLAR CONSTRUCTION

4 MASONRY PILLAR



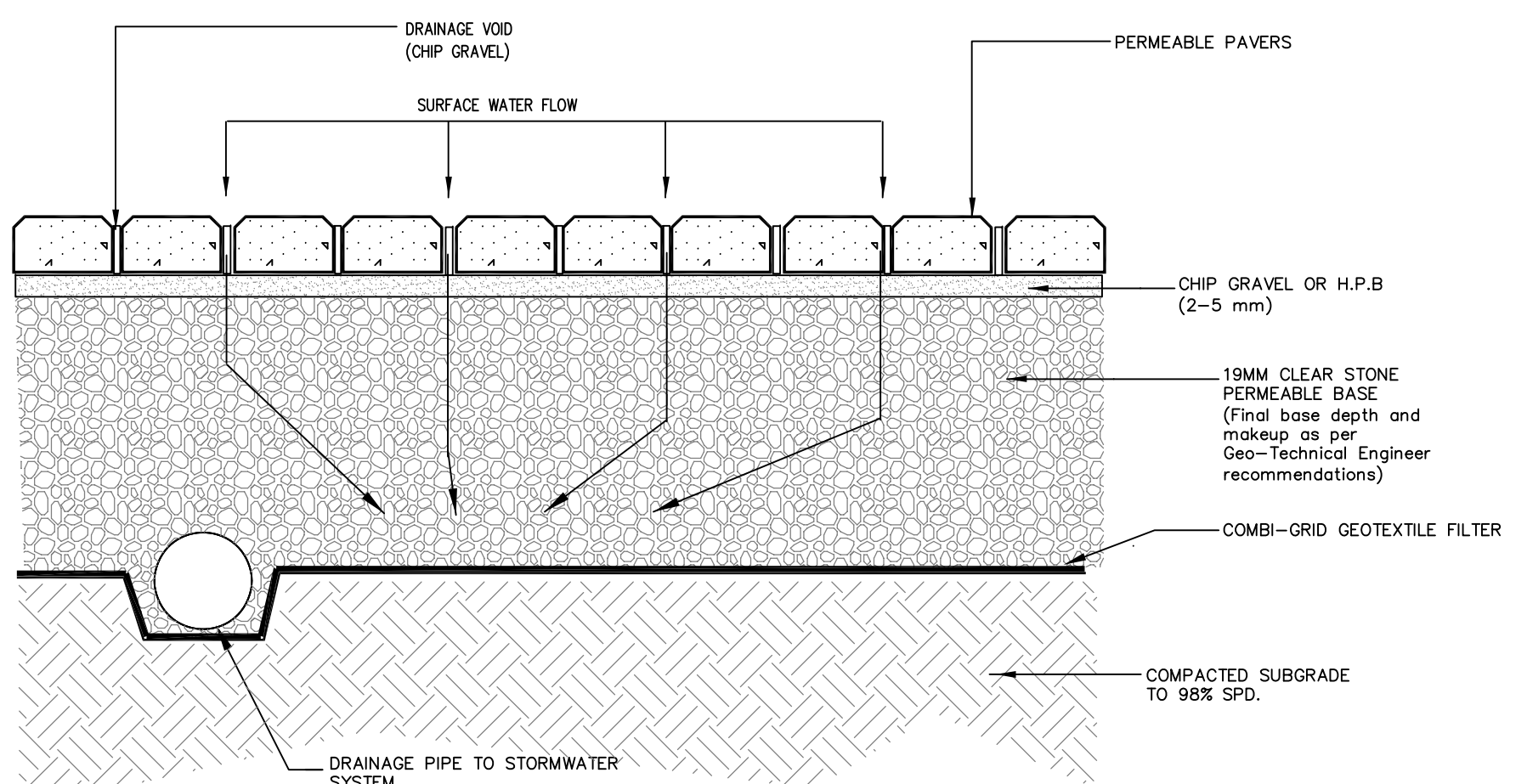
C PLAN VIEW OF PILLAR



B MASONRY PILLAR & METAL FENCE

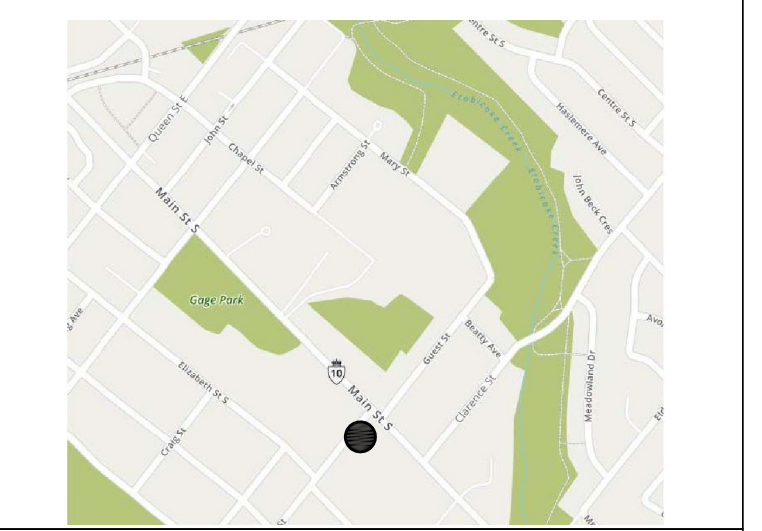
SCALE 1:12.5

- NOTES:
1. CONSOLIDATE BACKFILL TO 98% S.P.D.
 2. FOOTING MUST BE FOUND ON UNDISTURBED NATIVE SOIL OR ENGINEERED FILL. NOTIFY LANDSCAPE ARCHITECT PRIOR TO COMMENCING EXCAVATION
 3. COLOUR SAMPLES OF ALL STONE AND PRECAST CONCRETE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 4. ALL REINFORCING STEEL TO BE EPOXY COATED
 5. GALVANIZED BRICK TIES TO BE USED RANDOMLY AS REQUIRED TO SECURE VENEER
 6. MAINTAIN MINIMUM 75mm CONCRETE COVER OVER REINFORCING BARS
 7. ALL PRECAST CONCRETE SHALL CONFORM TO CSA CODE A23.4-04
 8. ALL JOINTS WILL BE CAULKED WITH FLEXIBLE WATERPROOF CAULKING
 9. CONTRACTOR IS TO PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTING THE COLUMNS.



5 PERMEABLE PAVING

- GENERAL NOTES
- VERIFY ALL DIMENSIONS.
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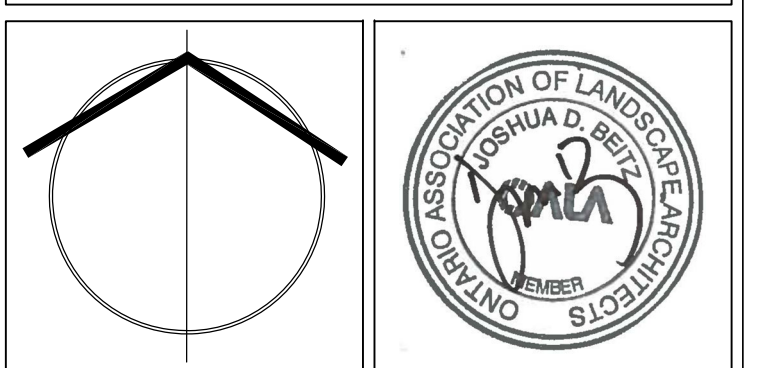


KEY PLAN

- LEGEND
- EXISTING TREE TO BE PRESERVED
 - PROPOSED DECIDUOUS TREE
 - PROPOSED CONIFEROUS TREE
 - PROPOSED MULTI-STEMMED ACCENT SHRUB
 - PROPOSED ORNAMENTAL SHRUB (MEDIUM HEIGHT)
 - PROPOSED FORMAL HEDGING
 - PROPOSED LOW SHRUBS & PERENNIALS
 - PROPOSED PLANT KEY AND QUANTITY

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LANDSCAPE ARCHITECTURE

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76A MAIN STREET SOUTH (SOUTH PARCEL)
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PULIS INVESTMENT GROUP

DRAWING TITLE: LANDSCAPE DETAILS

SCALE: AS SHOWN	PROJECT No. 19-5367
DATE: AUGUST 26, 2019	
DRAWN BY: SS	DRAWING No. L200
CHECKED BY: JB	