



FILE NUMBER: A-2024-0438

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** KAMALJEET CHANA
Address 67 LAURAGLEN CRESCENT BRAMPTON ON, L6Y 5A6

Phone # 416-399-0375 **Fax #** _____
Email kamaljeet.chana062@hotmail.com

2. **Name of Agent** Pavlo Palagut
Address 369 WILLOWBROOK DR Welland, ON L3C 0G4

Phone # 416-528-3834 **Fax #** _____
Email palagut@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
 Requesting a minor variance to permit primary access to the basement ARU through the single-car garage, instead of a separate exterior entrance. The proposed door will be positioned at the garage corner, far from the roll-up door, maximizing separation for privacy and safety between the ARU and main dwelling.

4. **Why is it not possible to comply with the provisions of the by-law?**

1. Financial Feasibility: Constructing a below-grade walkout would impose a significant financial strain, making the basement ARU less viable.
2. Ontario Housing Crisis: ARUs help address housing shortages by providing affordable living spaces in established neighborhoods. The garage entry supports provincial housing goals without compromising safety.
3. Efficient Use of Existing Infrastructure: Utilizing the garage for entry leverages existing structures, minimizing construction waste and environmental impact.
4. Preservation of Property Layout: A garage entry maintains the backyard layout, avoiding major disruptions to landscaping and outdoor space usability.
5. Enhanced Safety and Privacy: The entry door's placement at the garage corner, away from the roll-up door, ensures safe, separate access for the ARU.

5. **Legal Description of the subject land:**
Lot Number PART BLOCK 178, Part 12
Plan Number/Concession Number PLAN M1160 PT BLK 178 RP 43R22231 PART 12
Municipal Address 67 LAURAGLEN CRESCENT, Brampton ON L6Y 5A6

6. **Dimension of subject land (in metric units)**

Frontage	<u>7.83</u>
Depth	<u>28.51</u>
Area	<u>266.78</u>

7. **Access to the subject land is by:**

Provincial Highway	Seasonal Road
Municipal Road Maintained All Year <input checked="" type="checkbox"/>	Other Public Road
Private Right-of-Way	Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

BUILDING AREA = 937.37 SF (87.11 SM)
EXISTING SECOND FLOOR AREA =735.01 SF (68.30 SM)
EXISTING MAIN FLOOR AREA =611.01 SF (56.78 SM)
PROPOSED BASEMENT AREA =588.51 SF (54.69 SM)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED BASEMENT AREA =588.51 SF (54.69 SM)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.99
Rear yard setback	8.8
Side yard setback	2.11
Side yard setback	NA

PROPOSED

Front yard setback	NA
Rear yard setback	NA
Side yard setback	NA
Side yard setback	NA

10. Date of Acquisition of subject land: August 29, 1997

11. Existing uses of subject property: SINGLE FAMILY DWELLING / RESIDENTIAL

12. Proposed uses of subject property: TWO UNIT DWELLING / RESIDENTIAL

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1997

15. Length of time the existing uses of the subject property have been continued: 27 years

16. (a) What water supply is existing/proposed?

Municipal Well Other (specify) _____

(b) What sewage disposal is/will be provided?

Municipal Septic Other (specify) _____

(c) What storm drainage system is existing/proposed?

Sewers Ditches Swales Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No X

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No X

19. Has the subject property ever been the subject of an application for minor variance?

Yes No X Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Kamaljeet Chana
~~PAVLO PALAGUT, P. ENG.~~

Signature of Applicant(s) or Authorized Agent

DATED AT THE ~~WELLAND~~ Brampton City OF ~~ONTARIO~~ Brampton
THIS 3RD 22 DAY OF NOVEMBER, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Kamaljeet Chana
~~PAVLO PALAGUT, P. ENG.~~, OF THE CITY OF WELLAND Brampton
IN THE Region OF ONTARIO OF CANADA Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 22 DAY OF
Nov, 2024

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027.

Kamaljeet Chana
~~PAVLO PALAGUT, P. ENG.~~

Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: R2B-2883

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Ross Campbell November 9, 2024
Zoning Officer Date

DATE RECEIVED Nov 22, 2024
✓

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 67 LAURAGLEN CRESCENT, BRAMPTON, ON L6Y 5A6

I/We, KAMALJEET CHANA

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

PAVLO PALAGUT, P.ENG.

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 3RD day of NOVEMBER, 20²⁴.

KAMALJEET CHANA

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 67 LAURAGLEN CRESCENT, BRAMPTON, ON L6Y 5A6

I/We, KAMALJEET CHANA
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 3RD day of NOVEMBER, 2024.

KAMALJEET CHANA

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

COVER SHEET

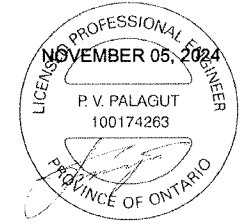
BUILDING PERMIT FOR BASEMENT ADDITIONAL RESIDENTIAL UNIT WITH EXISTING ABOVE GRADE PRINCIPAL ENTRANCE IN THE FRONT YARD THROUGH THE GARAGE

67 LAURAGLEN CRESCENT, BRAMPTON ONTARIO

- A-0 = COVER SHEET
- A-1 = SITE PLAN
- A-2 = EXISTING BASEMENT FLOOR PLAN
- A-3 = PROPOSED BASEMENT FLOOR PLAN
- A-4 = EXISTING MAIN FLOOR PLAN
- A-5 = EXISTING SECOND FLOOR PLAN
- N-1 = CONSTRUCTION NOTES

GENERAL NOTES:

- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWING.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

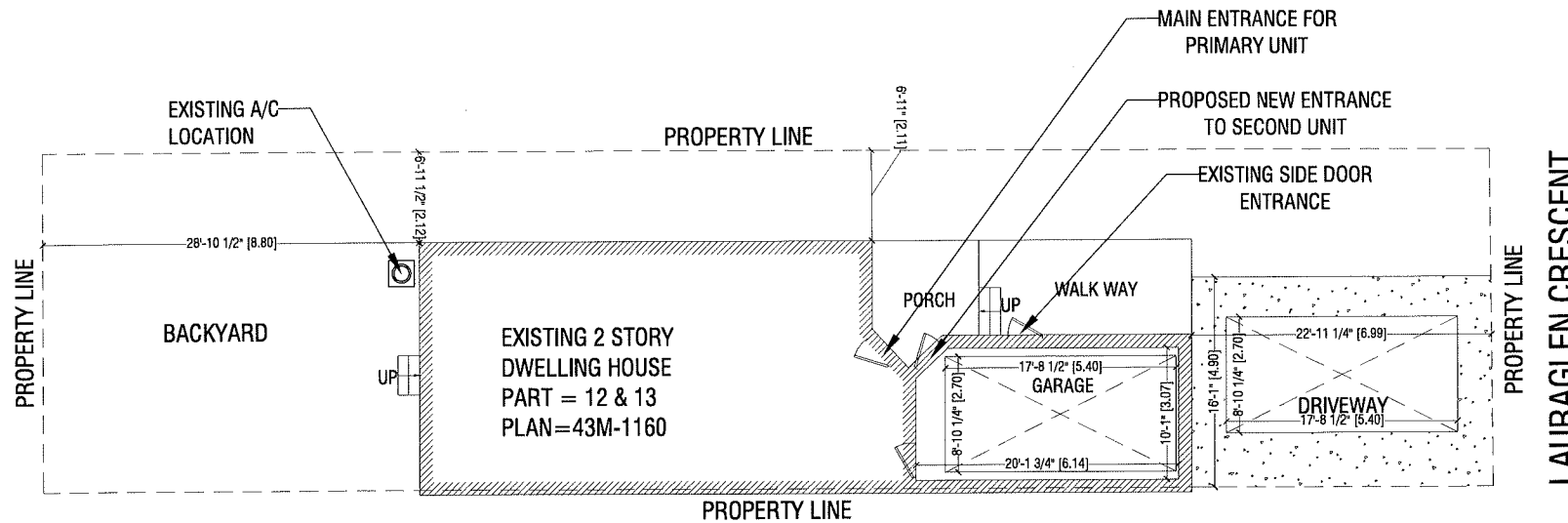
PROJECT:
67 LAURAGLEN CRESCENT
BRAMPTON ONTARIO

TITLE:
COVER SHEET

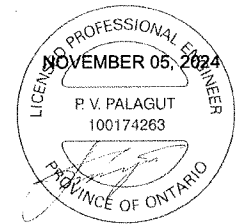
CONSULTANT:
PAVLO PALAGUT
(416 528 3834)
palagut@gmail.com

DRAWN BY: A.B.K	CHECKED BY: P.P
DATE: 06.11.2024	DRAWING NO:
SCALE: N.T.S.	A-0

LOT AREA = 2870.57 SF (266.78 SM)
 BUILDING AREA = 937.37 SF (87.11 SM)
 EXISTING SECOND FLOOR AREA = 735.01 SF (68.30 SM)
 EXISTING MAIN FLOOR AREA = 611.01 SF (56.78 SM)
 PROPOSED BASEMENT AREA = 588.51 SF (54.69 SM)



GENERAL NOTES:
 - ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
 - DO NOT SCALE THE DRAWING.
 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

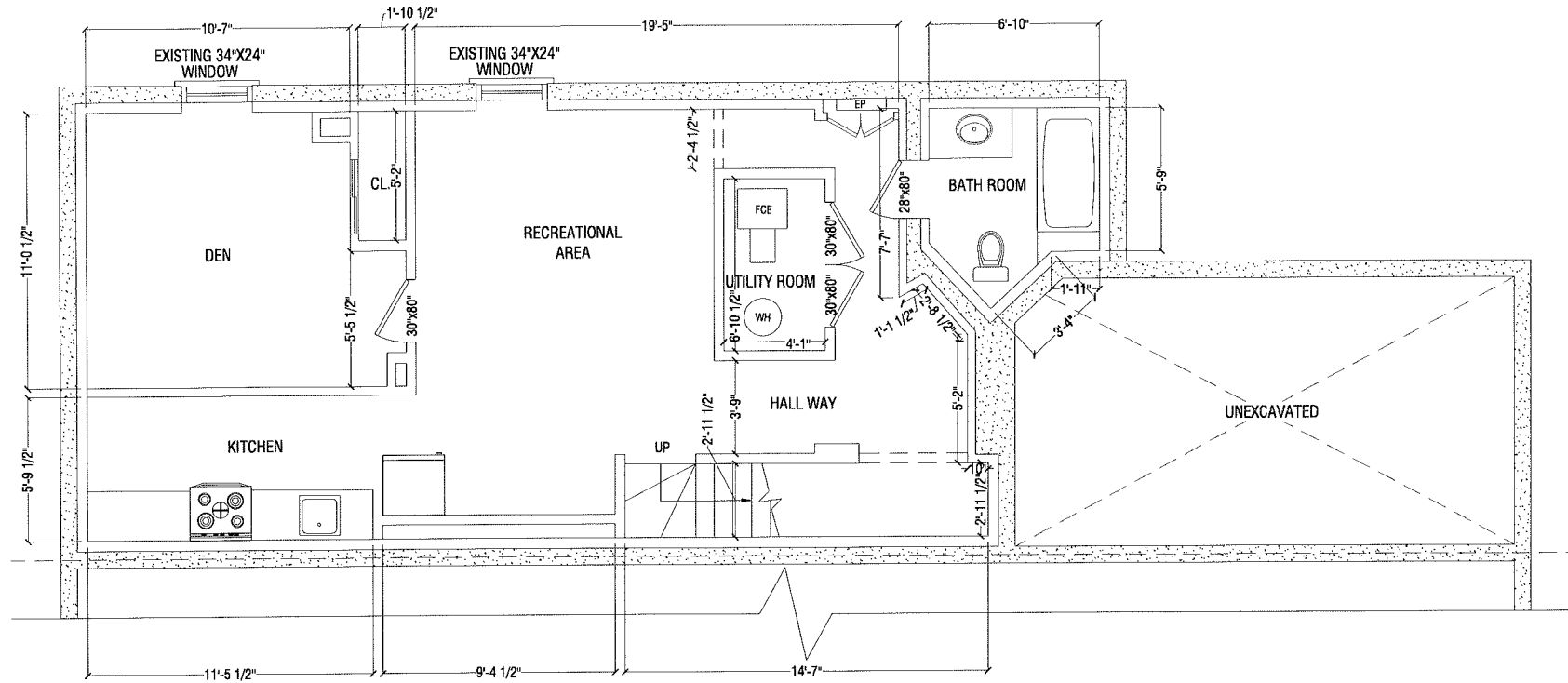
PROJECT:
67 LAURAGLEN CRESCENT
BRAMPTON ONTARIO

TITLE:
SITE PLAN

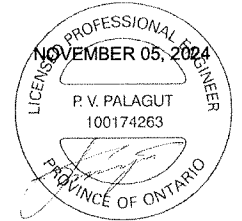
CONSULTANT:
PAVLO PALAGUT
 (416 528 3834)
 palagut@gmail.com

DRAWN BY: A.B.K	CHECKED BY: P.P
DATE: 06.11.2024	DRAWING NO.:
SCALE: 3/32" = 1'	A-1

CEILING HEIGHT = 7'-7"



- GENERAL NOTES:
- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
 - DO NOT SCALE THE DRAWING.
 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

PROJECT:
**67 LAURAGLEN CRESCENT
 BRAMPTON ONTARIO**

TITLE:
**EXISTING BASEMENT
 FLOOR PLAN**

CONSULTANT:
PAVLO PALAGUT
 (416 528 3834)
 palagut@gmail.com

DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	06.11.2024	DRAWING NO.:	A-2
SCALE:	3/16" = 1'-0"		

NOTES:
 -FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

ROOMS	REQD. WINDOW AREA	AVAILABLE WINDOW AREA
BEDROOM	2.5% OF 126.13 SF=3.15 SF	5.10 SF
LIVING/DINING	5% OF 184.65 SF= 9.23 SF	9.45 SF

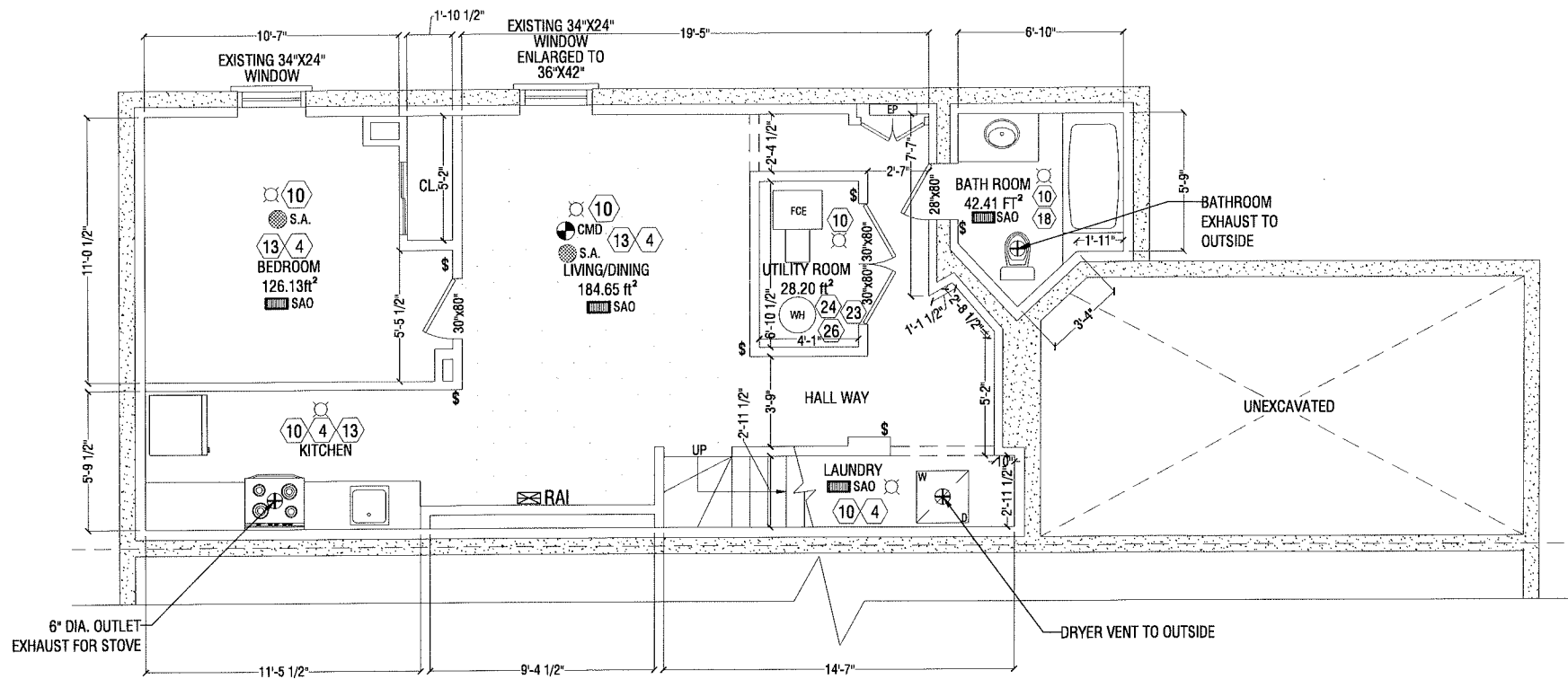
CEILING HEIGHT = 7'-7"

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"

GENERAL NOTES:
 - ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
 - DO NOT SCALE THE DRAWING.
 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.

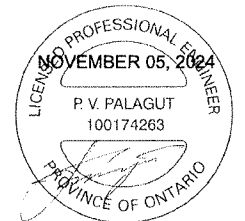
PROPOSED BASEMENT AREA =588.51 SF (54.69 SM)
 PROPOSED BASEMENT AREA (SECOND UNIT) =588.51 SF (54.69 SM)



LEGEND :

- EXISTING WALL TO BE DEMOLISHED
- EXISTING EXTERIOR WALLS
- PROPOSED INTERIOR WALLS
- FIRE RATED WALLS REFER TO N-01 FOR DETAILS

NOTES:
 -FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

PROJECT:
**67 LAURAGLEN CRESCENT
 BRAMPTON ONTARIO**

TITLE:
**PROPOSED BASEMENT
 FLOOR PLAN**

CONSULTANT:
PAVLO PALAGUT
 (416 528 3834)
 palagut@gmail.com

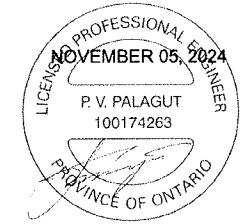
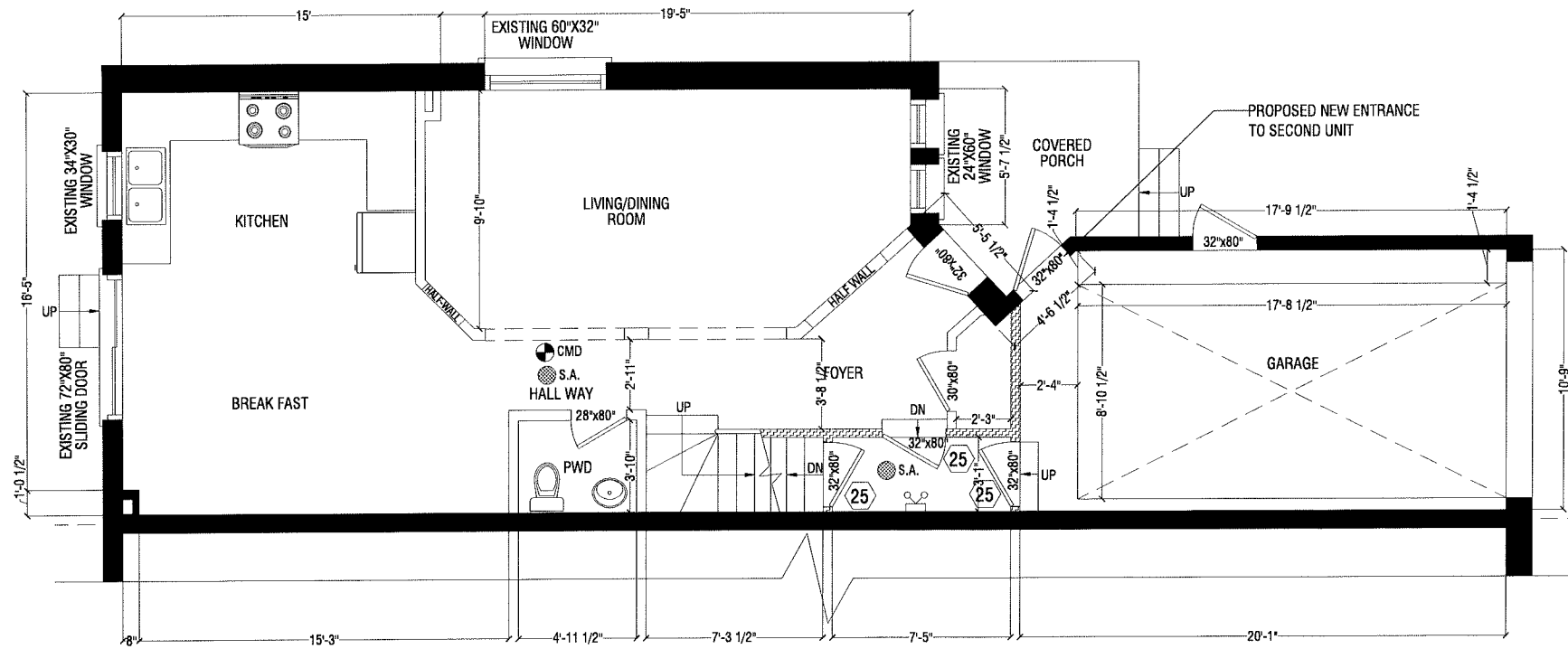
DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	06.11.2024	DRAWING NO.:	A-3
SCALE:	3/16" = 1'-0"		

CEILING HEIGHT = 7'-10"

WOOD LINTEL	OPENINGS	SIZE	STEEL LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"	L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
WB2	UPTO 66" OPENINGS	2-2"x10"	L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"

GENERAL NOTES:

- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWING.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

PROJECT:
67 LAURAGLEN CRESCENT
BRAMPTON ONTARIO

TITLE:
EXISTING MAIN FLOOR PLAN

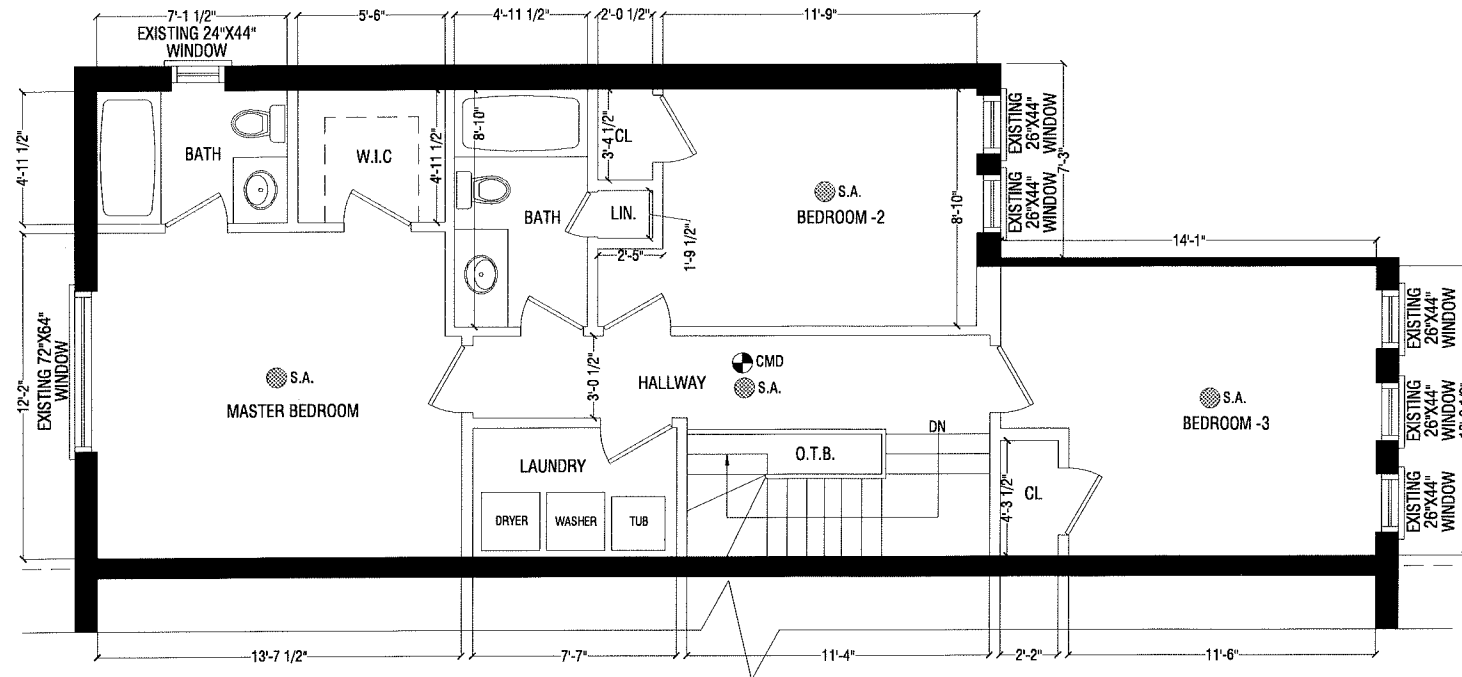
CONSULTANT:
PAVLO PALAGUT
 (416 528 3834)
 palagut@gmail.com

DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	06.11.2024	DRAWING NO.:	A-4
SCALE:	3/16" = 1'-0"		

LEGEND :
 FIRE RATED WALLS REFER TO N-01 FOR DETAILS

NOTES:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

CEILING HEIGHT = 8'-0"



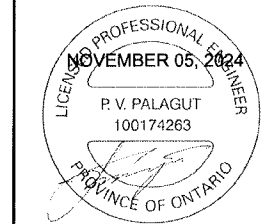
LEGEND :

- EXISTING EXTERIOR WALLS
- PROPOSED INTERIOR WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS

NOTES:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

GENERAL NOTES:

- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWING.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

PROJECT:
**67 LAURAGLEN CRESCENT
 BRAMPTON ONTARIO**

TITLE:
**EXISTING SECOND
 FLOOR PLAN**

CONSULTANT:
PAVLO PALAGUT
 (416 528 3834)
 palagut@gmail.com

DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	06.11.2024	DRAWING NO.:	A-5
SCALE:	3/16" = 1'-0"		

CONSTRUCTION NOTES:

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.

- 1 EXTERIOR WALL CONSTRUCTION
1/2" DRYWALL FINISH
2"x4" WOOD STUD @ 16" O.C.
1" AIR SPACE
EXISTING ROLLED BATT INSULATION
EXISTING VAPOUR BARRIER
EXISTING 8" CONCRETE WALL
EXISTING DAMP PROOFING PAPER
- 2 INTERIOR WALL CONSTRUCTION
1/2" DRYWALL
2"x4" WOOD STUD @ 16" O.C.
1/2" DRYWALL FINISH
- 3 INTERIOR WALL CONSTRUCTION 30 MIN FRR
1/2" DRYWALL FINISH
2"x4" WOOD STUD @ 16" O.C.
3 1/2" ROXULL SAFE 'N' SOUND INSULATION
1/2" DRYWALL FINISH
- 4 CEILING: 1/2" GYPSUM BOARD
PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.14.(1) and (3);)
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,
(i)smoke alarm are installed in every dwelling unit, sleeping rooms and in common areas in conformance with Subsection 9.10.19., and
(ii)smoke alarms are interconnected.
- 5 PART 11 COMPLIANCE ALTERNATIVE C95 (6.2.4.7.10);
In a building containing not more than four dwelling units or residential suits, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite and provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.
- 6 PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.15(1));
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fireresistance rating of the fire separation is waived where the building is sprinklered.
- 7 As per the requirements of OBC 9.10.19. Smoke alarms. All smoke alarms shall be interconnected with Audio and Visual Signal.
- 8 As per the requirements of OBC 9.33.4
A Carbon Monoxide Alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances.
- 9 EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF-CLOSING DEVICE.
20 MIN FIRE PROTECTION RATING OF CLOSURE IS REQUIRED FOR 30 OR 45 MIN FRR OF FIRE SEPARATION.

- 10 A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- 11 PART 11 COMPLIANCE ALTERNATIVE C136 (9.9.9)
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists:

(a.) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,

(b.) an exit that is accessible to more than one dwelling unit, and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19 and are interconnected,
- 12 ALL FRAMING LUMBER WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING.
- 13 PART 11 COMPLIANCE ALTERNATIVE C102 (9.5.3.1)
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units,
(a.) minimum room height shall not be less than 1950mm over the required floor area and in any location that would normally be used as a means of egress, or
(b.) minimum room height shall not be less than 2030mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1400mm shall no be considered in computing the required floor area.
- 14 AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.
- 15 THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER AND SHALL HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.
- 16 AIR SUPPLY REGISTERS AT CEILING.
- 17 AIR RETURN REGISTERS AT FLOOR LEVEL.
- 18 EXHAUST FAN TO DIRECTLY DISCHARGE OUTSIDE.
- 19 UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILL.
- 20 BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO. 141 "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN ANY COMMON MEANS OF EGRESS

- 21 2"x6" STUD 16" O.C.(2"x6") SIL PLATE ON DAMP PROOFING MATERIAL (1/2") DIA. ANCHOR BOLTS 8" LONG EMBEDDED MIN. (4") INTO CONCRETE 7"-10" O.C. (4") HIGH CONCRETE CURB ON (14"x6") CONCRETE FOOTING ADD HORIZONTAL BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED
- 22 INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"
1/2" DRYWALL FINISH
2"x6" WOOD STUD @ 16" O.C.
5 1/2" ROXULL SAFE 'N' SOUND INSULATION
1/2" DRYWALL FINISH
- 23 PROVIDE SMOKE DETECTOR IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SMOKE DETECTOR. SEE NOTE 5.
- 24 PROVIDE SPRINKLERS IN AREAS WITH UNFINISHED CEILING. NEW SPRINKLER SYSTEM TO BE PROVIDED. SEE NOTE 15
GAS PROOF ALL CEILING VOIDS.
- 25 20 MIN RATED DOOR AND FRAME WITH SELF CLOSING DEVICE.
- 26 Shut-off valves shall be installed in every suite in a building of residential occupancy as may be necessary to ensure that when the supply to one suite is shut off the supply to the remainder of the building is not interrupted.

LEGEND

☼ CMD	CARBON MONOXIDE DETECTOR
⊗ S.A.	SMOKE ALARM INTERCONNECTED
▣ SAO	WARM AIR REGISTER
✉ RAI	RETURN AIR REGISTER
☾	EXHAUST FAN
CL	CLOSET
EP	ELECTRICAL PANEL
⊗ FD	
⊙	LIGHT FIXTURE
\$	SWITCH
\$3	THREE WAY SWITCH
⊕	SPRINKLERS

GENERAL SPECIFICATIONS:

ALL DRAWING TO BE USED FOR CONSTRUCTION ONLY WHEN APPROVED BY MUNICIPALITY ACCOMPANIED WITH THE BUILDING PERMIT. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH WORK.
MANUFACTURED ITEMS MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA MORTGAGE AND HOUSING CORPORATIONS (C.M.H.C.) AND CANADIAN STANDARDS ASSOCIATION (C.S.A).
DESIGNER SHALL TAKE NO RESPONSIBILITY FOR THE CONSTRUCTION OF THE PROJECT.

THE DRAWINGS ARE NOT TO BE SCALED

GENERAL NOTES:
- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWING.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	06.11.2024
No.	DESCRIPTION	DATE

PROJECT:
**67 LAURAGLEN CRESCENT
BRAMPTON ONTARIO**

TITLE:
**CONSTRUCTION
NOTES**

CONSULTANT:
PAVLO PALAGUT
(416 528 3834)
palagut@gmail.com

DRAWN BY: A.B.K	CHECKED BY: P.P
DATE: 06.11.2024	DRAWING NO: N-1
SCALE: 3/16" = 1'-0"	

Zoning Non-compliance Checklist

File No.
A-2024-0438

Owner: Kamaljeet Chana
 Address: 67 LAURAGLEN CRES
 Zoning: R2B-2883
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			
OTHER	To permit 1 (one) parking space for a single detached dwelling containing 1 (one) additional residential unit.	whereas the by-law requires a minimum of 2 (two) parking spaces for a single detached dwelling containing 1 (one) additional residential unit.	10.9.1.A

Ross Campbell
Reviewed by Zoning

Nov 09, 2024
Date