

K. SAMRA
 416-879-9379
 KAMALSAMRA17@GMAIL.COM



For Office Use Only
 (to be inserted by the Secretary-Treasurer
 after application is deemed complete)
 FILE NUMBER: A-2024-0449

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Wave Homes
Address 2332 - 23 Street NE, Calgary, Alberta T2E 8N3
Phone # 403-831-6643 **Fax #** _____
Email Pkalsara@wavehomes.ca

2. **Name of Agent** ARUP DATTA ARCHITECT LTD
Address 337 - 17 Avenue SW, Calgary, Alberta T2S 0A5
Phone # 403-244-8818 **Fax #** 403-244-8982
Email info@adal.ca

3. **Nature and extent of relief applied for (variances requested):**
 a) Minor variance from FSI 3.8 allowable to FSI 4.3.
 b) North side yard from 4.0m reduced to 3.9m.
 c) Hydro Transformer location to have 1.5m clearance from north and south property lines as originally located as per originally approve SPA.

4. **Why is it not possible to comply with the provisions of the by-law?**
 a) Since the density was reduced from 201 to 187 units, the FSI was increased as a result of the height increased to make the project commercially viable.
 b) North side yard is to give more leverage to have a facade articulation.
 c) It's the most ideal locations based on the proposed developments and the the adjacent properties.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 18
Plan Number/Concession Number Concession 1, East of Hurontario Street, Brampton
Municipal Address 12039 Hurontario Street, Brampton, Ontario L6Z 4P8

6. **Dimension of subject land (in metric units)**
Frontage 46.110m
Depth 85.330m & 84.214m
Area 3,929 sq m

7. **Access to the subject land is by:**
 Provincial Highway Seasonal Road
 Municipal Road Maintained All Year Other Public Road
 Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Small vinyl clad building and a shed

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Mid-Rise Residential Rental Apartment Building. 11 Storey in Height with Mechanical Penthouse.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback _____
Rear yard setback _____
Side yard setback _____
Side yard setback _____

PROPOSED

Front yard setback 3.0m - Same as previously approved
Rear yard setback 6.8m - Same as previously approved
Side yard setback 3.9m - North Side yard
Side yard setback 7.5m - Same as previously approved

10. Date of Acquisition of subject land: Land is closed in July 23, 2024
11. Existing uses of subject property: Single dwelling
12. Proposed uses of subject property: Residential Rental Apartments
13. Existing uses of abutting properties: 2 side residential, 1 side gas station and 1 highway
14. Date of construction of all buildings & structures on subject land: Tentative date of construction starts in February 1, 2025
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

Kanwaldeep Samra (Wave Homes)

DATED AT THE City _____ OF Calgary

THIS 07 DAY OF November, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Arup Datta, OF THE City _____ OF Calgary

IN THE Province _____ OF Alberta _____ SOLEMNLY DECLARE THAT

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 4th DAY OF Dec. 2024

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 26, 2026

Signature of Applicant or Authorized Agent

Kanwaldeep Samra (Wave Homes)

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R4A-3625

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist

Elizabeth Corazzola
Zoning Officer

November 13, 2024

Date

DATE RECEIVED Dec 4/2024

Date Application Deemed Complete by the Municipality _____

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: _____

I/We, SATWINDER KACER
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 7 day of NOVEMBER, 2024



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

SATWINDER KACER

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: _____

I/We, SATWINDER KALER
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

_____ please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 7 day of NOVEMBER, ~~OCTOBER~~, 2024.

[Signature]
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

SATWINDER KALER
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

In the matter of the required sign(s) to be posted on the property subject of application(s) to the Committee of Adjustment to meet the notice requirements of Ontario Regulation 197/96 amended by Ontario Regulation 505/98 and Ontario Regulation 200/96 amended by Ontario Regulation 508/98

(WAREHOUSES)

AFFIDAVIT

I, KANWALDEEP SAMRA of the CITY of BRAMPTON
(your name) (Name of city, town, village)

being the applicant authorized agent agent's rep. having made application(s) to the
(check appropriate box)

Committee of Adjustment of the Corporation of the City of Brampton, for the property located at: 12039 HURONTARIO ST.

Make oath and say as follows:

1. I hereby declare that I will post the required sign(s) **along each street frontage of the property, approximately 1.0m – 1.5m in height, either on the property line or not more than 1.0m back from the property line**, in a location clearly visible from the street and include on the face of the sign the following information:
 - a. Application number(s);
 - b. Date, time and location of the hearing;
 - c. The purpose and effect of the consent application and/or the minor variance(s).

2. I hereby declare that I will provide a photo of the posted sign via email to the Secretary Treasurer of the Committee of Adjustment at coa@brampton.ca no later than the date the sign is erected, and I will remove the sign **no later than the day after the meeting.**

Sworn before me at the City of Brampton in the Regional Municipality of Peel, this

4th day of Dec. 2023

A Commissioner, etc.

Kanwaldeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant/Authorized Agent

Note: Minor Variance Signs must be posted ten (10) calendar days prior to the meeting date, and Consent Signs must be posted no later than twenty (20) calendar days prior to the meeting date.

Failure to comply with the above noted posting requirements will result in your application being deferred to a future meeting date.



PROPOSED RESIDENTIAL DEVELOPMENT

12039 HURONTARIO STREET, BRAMPTON, ON L6Z 4P8

A0 00-R4	COVER SHEET
A0 01-R4	PROJECT STATISTICS
A1 00-R4	SITE PLAN
A3 00-R4	P3 PARKING LVL.
A3 01-R4	P2 PARKING LVL.
A3 02-R4	P1 PARKING LVL.
A3 03-R4	GROUND FLOOR / SITE PLAN
A3 04-R4	2ND FLOOR PLAN
A3 05-R4	3RD FLOOR PLAN
A3 06-R4	4TH FLOOR PLAN
A3 07-R4	5TH TO 6TH FLOOR PLAN
A3 08-R4	7TH TO 8TH FLOOR PLAN
A3 09-R4	8TH FLOOR PLAN
A3 10-R4	10TH TO 11TH FLOOR PLAN
A3 11-R4	MECH/PENTHOUSE FLOOR PLAN
A3 12-R4	ROOF PLAN
A5 00-R4	SOUTH ELEVATION
A5 01-R4	NORTH ELEVATION
A5 02-R4	EAST ELEVATION
A5 03-R4	WEST ELEVATION
A6 00-R4	SECTION A
A6 01-R4	SECTION B
A6 02-R4	SECTION C
A7 00-R4	3D VIEWS
A7 01-R4	3D VIEWS



SUBJECT SITE
(12039 Hurontario Street)

CONTEXT PLAN

SPA-2022-0106

REVISED (R4) SPA SUBMISSION

COA RESUBMISSION AND ZONING COMMENTS RESPONSE

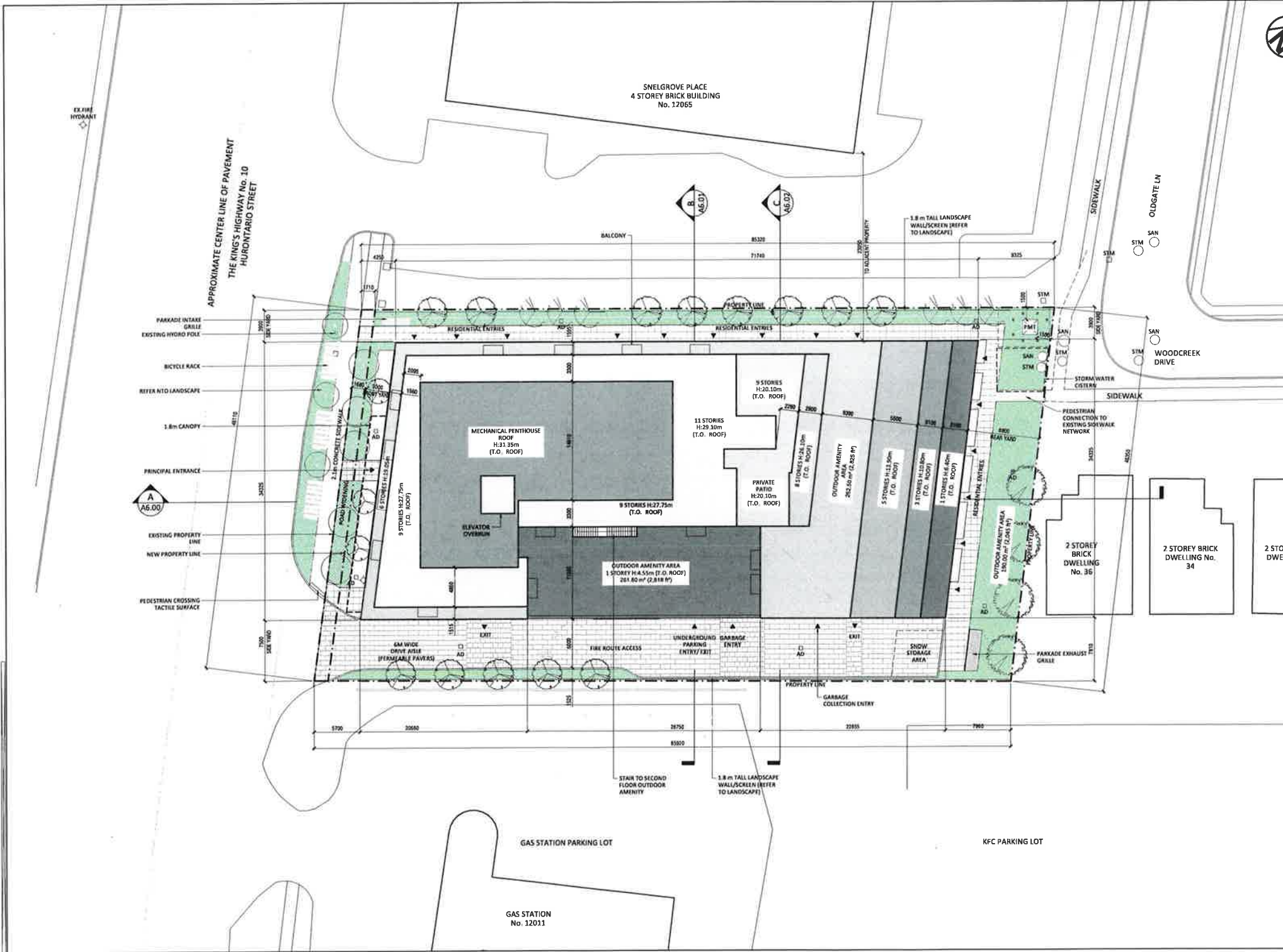
NOVEMBER 7, 2024



**ARUP DATTA
ARCHITECT LTD.**

357 - 176 AVENUE S.W., CALGARY, ALBERTA
T2S 0A5 Tel: (403) 244-8819 Fax: (403) 244-8882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN



DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT SHALL REMAIN TO THEM AND REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BEAT THE SCALE.

THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCEMENT WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 337, 1710 AVENUE, S.E.
 CALGARY, ALBERTA, T2B 3A8
 TEL: (403) 244-8888 FAX: (403) 244-8882
 E-MAIL: info@arup.com

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-01	ISSUED FOR PERMITTING
2	2022-01-15	REVISION 1: PERMITTING
3	2022-01-20	REVISION 2: PERMITTING
4	2022-01-25	REVISION 3: PERMITTING
5	2022-02-01	REVISION 4: PERMITTING
6	2022-02-05	REVISION 5: PERMITTING
7	2022-02-10	REVISION 6: PERMITTING
8	2022-02-15	REVISION 7: PERMITTING
9	2022-02-20	REVISION 8: PERMITTING
10	2022-02-25	REVISION 9: PERMITTING
11	2022-03-01	REVISION 10: PERMITTING
12	2022-03-05	REVISION 11: PERMITTING
13	2022-03-10	REVISION 12: PERMITTING
14	2022-03-15	REVISION 13: PERMITTING
15	2022-03-20	REVISION 14: PERMITTING
16	2022-03-25	REVISION 15: PERMITTING
17	2022-04-01	REVISION 16: PERMITTING
18	2022-04-05	REVISION 17: PERMITTING
19	2022-04-10	REVISION 18: PERMITTING
20	2022-04-15	REVISION 19: PERMITTING
21	2022-04-20	REVISION 20: PERMITTING
22	2022-04-25	REVISION 21: PERMITTING
23	2022-05-01	REVISION 22: PERMITTING
24	2022-05-05	REVISION 23: PERMITTING
25	2022-05-10	REVISION 24: PERMITTING
26	2022-05-15	REVISION 25: PERMITTING
27	2022-05-20	REVISION 26: PERMITTING
28	2022-05-25	REVISION 27: PERMITTING
29	2022-06-01	REVISION 28: PERMITTING
30	2022-06-05	REVISION 29: PERMITTING
31	2022-06-10	REVISION 30: PERMITTING
32	2022-06-15	REVISION 31: PERMITTING
33	2022-06-20	REVISION 32: PERMITTING
34	2022-06-25	REVISION 33: PERMITTING
35	2022-07-01	REVISION 34: PERMITTING
36	2022-07-05	REVISION 35: PERMITTING
37	2022-07-10	REVISION 36: PERMITTING
38	2022-07-15	REVISION 37: PERMITTING
39	2022-07-20	REVISION 38: PERMITTING
40	2022-07-25	REVISION 39: PERMITTING
41	2022-08-01	REVISION 40: PERMITTING
42	2022-08-05	REVISION 41: PERMITTING
43	2022-08-10	REVISION 42: PERMITTING
44	2022-08-15	REVISION 43: PERMITTING
45	2022-08-20	REVISION 44: PERMITTING
46	2022-08-25	REVISION 45: PERMITTING
47	2022-09-01	REVISION 46: PERMITTING
48	2022-09-05	REVISION 47: PERMITTING
49	2022-09-10	REVISION 48: PERMITTING
50	2022-09-15	REVISION 49: PERMITTING
51	2022-09-20	REVISION 50: PERMITTING
52	2022-09-25	REVISION 51: PERMITTING
53	2022-10-01	REVISION 52: PERMITTING
54	2022-10-05	REVISION 53: PERMITTING
55	2022-10-10	REVISION 54: PERMITTING
56	2022-10-15	REVISION 55: PERMITTING
57	2022-10-20	REVISION 56: PERMITTING
58	2022-10-25	REVISION 57: PERMITTING
59	2022-11-01	REVISION 58: PERMITTING
60	2022-11-05	REVISION 59: PERMITTING
61	2022-11-10	REVISION 60: PERMITTING
62	2022-11-15	REVISION 61: PERMITTING
63	2022-11-20	REVISION 62: PERMITTING
64	2022-11-25	REVISION 63: PERMITTING
65	2022-12-01	REVISION 64: PERMITTING
66	2022-12-05	REVISION 65: PERMITTING
67	2022-12-10	REVISION 66: PERMITTING
68	2022-12-15	REVISION 67: PERMITTING
69	2022-12-20	REVISION 68: PERMITTING
70	2022-12-25	REVISION 69: PERMITTING
71	2023-01-01	REVISION 70: PERMITTING
72	2023-01-05	REVISION 71: PERMITTING
73	2023-01-10	REVISION 72: PERMITTING
74	2023-01-15	REVISION 73: PERMITTING
75	2023-01-20	REVISION 74: PERMITTING
76	2023-01-25	REVISION 75: PERMITTING
77	2023-02-01	REVISION 76: PERMITTING
78	2023-02-05	REVISION 77: PERMITTING
79	2023-02-10	REVISION 78: PERMITTING
80	2023-02-15	REVISION 79: PERMITTING
81	2023-02-20	REVISION 80: PERMITTING
82	2023-02-25	REVISION 81: PERMITTING
83	2023-03-01	REVISION 82: PERMITTING
84	2023-03-05	REVISION 83: PERMITTING
85	2023-03-10	REVISION 84: PERMITTING
86	2023-03-15	REVISION 85: PERMITTING
87	2023-03-20	REVISION 86: PERMITTING
88	2023-03-25	REVISION 87: PERMITTING
89	2023-04-01	REVISION 88: PERMITTING
90	2023-04-05	REVISION 89: PERMITTING
91	2023-04-10	REVISION 90: PERMITTING
92	2023-04-15	REVISION 91: PERMITTING
93	2023-04-20	REVISION 92: PERMITTING
94	2023-04-25	REVISION 93: PERMITTING
95	2023-05-01	REVISION 94: PERMITTING
96	2023-05-05	REVISION 95: PERMITTING
97	2023-05-10	REVISION 96: PERMITTING
98	2023-05-15	REVISION 97: PERMITTING
99	2023-05-20	REVISION 98: PERMITTING
100	2023-05-25	REVISION 99: PERMITTING
101	2023-06-01	REVISION 100: PERMITTING

ARUP DATTA ARCHITECT LTD.
 337, 1710 AVENUE, S.E.
 CALGARY, ALBERTA, T2B 3A8
 TEL: (403) 244-8888 FAX: (403) 244-8882
 E-MAIL: info@arup.com

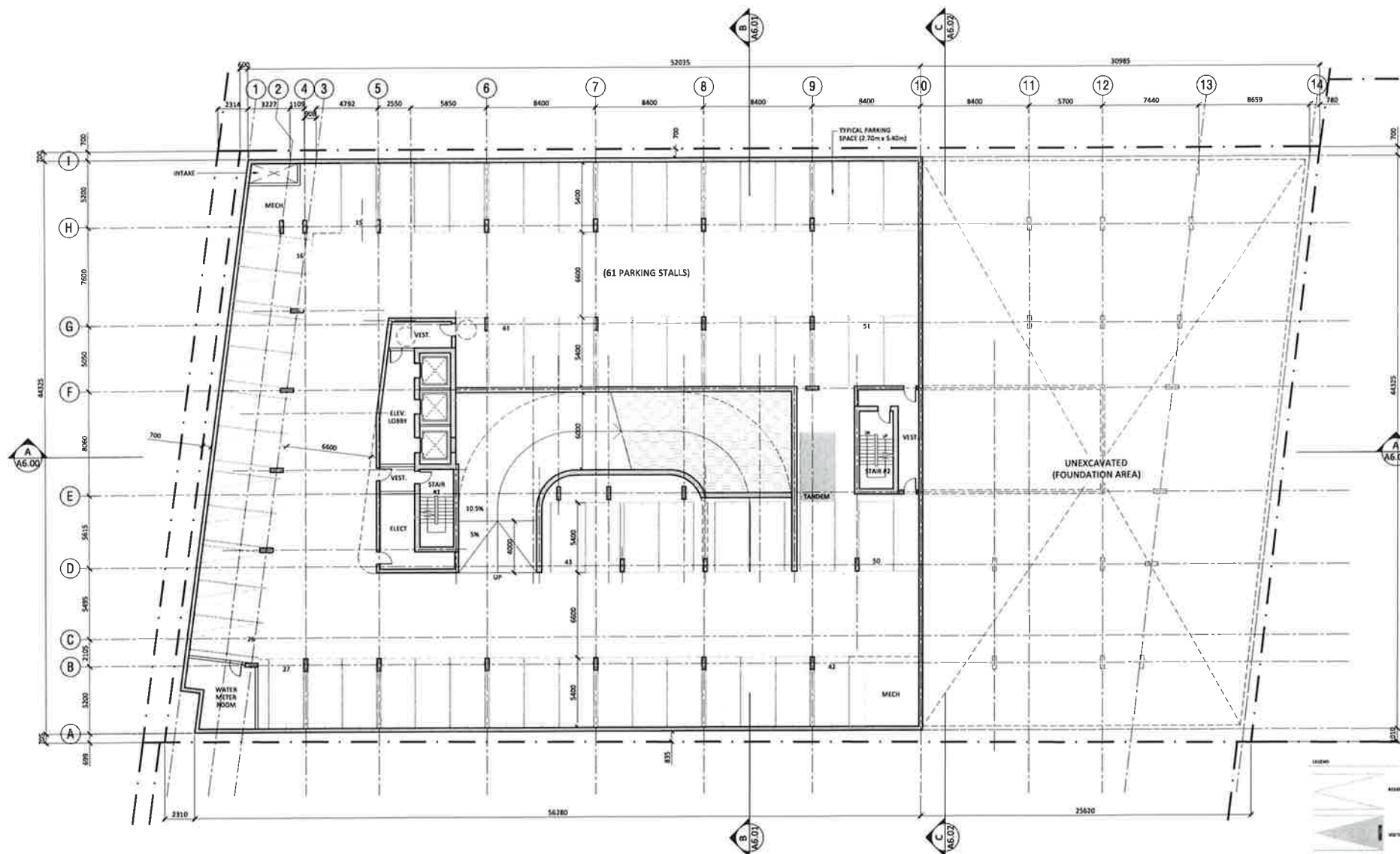
PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1708 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
SITE PLAN

DRAWING #:
A1.00-R4

SCALE: 1/8" = 1'-0"

DESIGN BY: AD DRAWN BY: BA CHECKED BY: AD



CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF WORK AND THE POSITION OF ALL UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS, AND REPORT DISCREPANCIES PRIOR TO COMMENCING WORK.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 2711 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 2S5
 TEL: (403) 244-8800 FAX: (403) 244-8802
 E-MAIL: info@arup.ca

LOCAL ARCHITECT
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (403) 999-9999 FAX: (403) 999-9999
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-11-01	ISSUED FOR PERMIT APPLICATION
2	2022-11-01	ISSUED FOR PERMIT APPLICATION
3	2022-11-01	ISSUED FOR PERMIT APPLICATION
4	2022-11-01	ISSUED FOR PERMIT APPLICATION
5	2022-11-01	ISSUED FOR PERMIT APPLICATION
6	2022-11-01	ISSUED FOR PERMIT APPLICATION
7	2022-11-01	ISSUED FOR PERMIT APPLICATION
8	2022-11-01	ISSUED FOR PERMIT APPLICATION
9	2022-11-01	ISSUED FOR PERMIT APPLICATION
10	2022-11-01	ISSUED FOR PERMIT APPLICATION
11	2022-11-01	ISSUED FOR PERMIT APPLICATION
12	2022-11-01	ISSUED FOR PERMIT APPLICATION
13	2022-11-01	ISSUED FOR PERMIT APPLICATION
14	2022-11-01	ISSUED FOR PERMIT APPLICATION

ISSUED FOR / REVISIONS

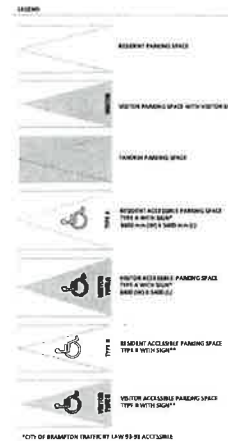


PROJECT # 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12029 Hurontario St, Brantford, ON L6E 4P9

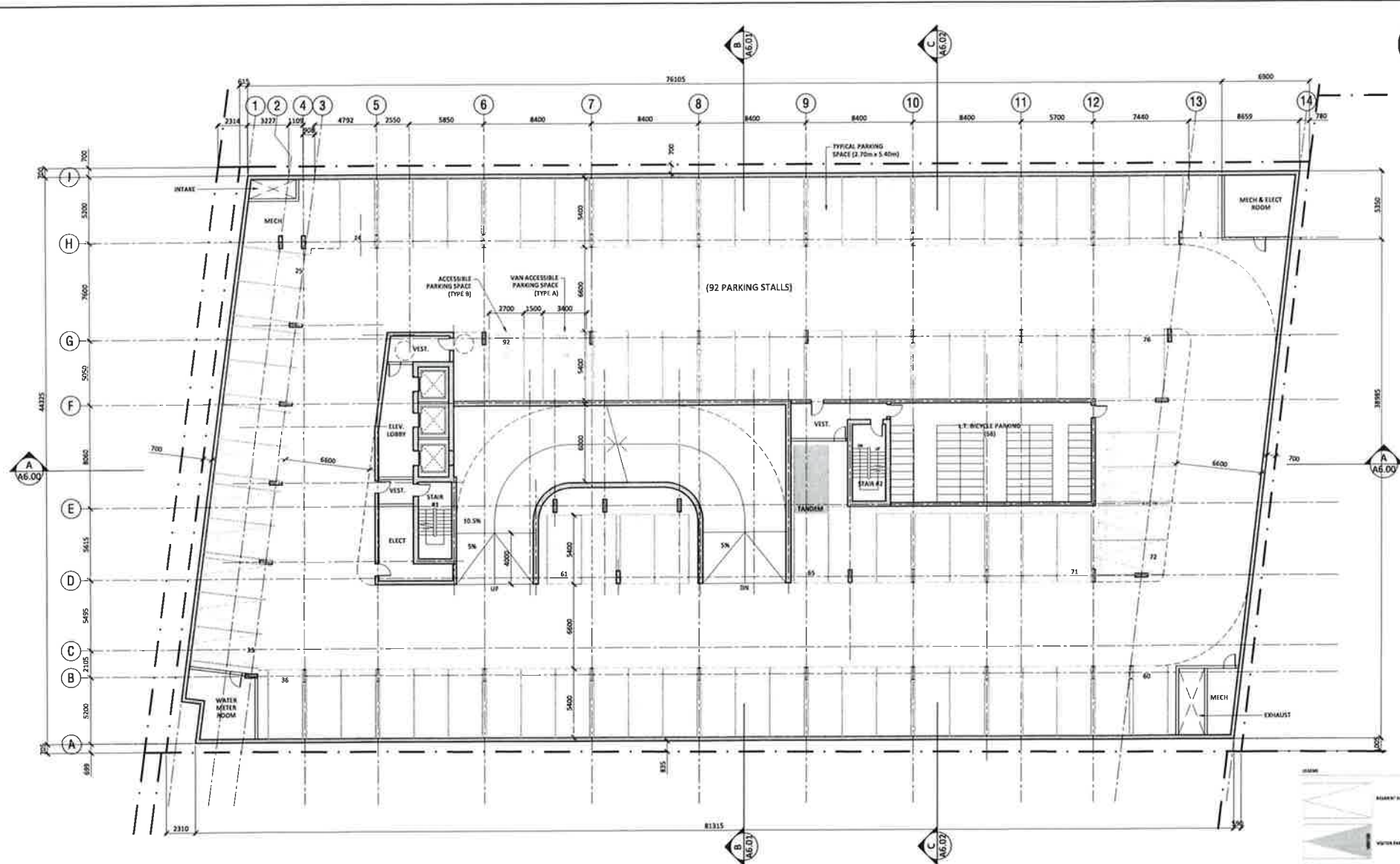
DRAWING:
 P3 PARKING LEVEL

DRAWING #:
 A3.00-R4

SCALE: 1:100
 DESIGN BY: DRAWN BY: CHECKED BY:
 AD EA AD



*CITY OF BRANTFORD TRAFFIC BY-LAW 99-99 ACCURATE PARKING SIGN TYPE A - 15M ACCESSIBLE
 **CITY OF BRANTFORD TRAFFIC BY-LAW 99-99 ACCURATE PARKING SIGN TYPE B



OWNER AND ARCHITECT ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER OR THE ARCHITECT'S CONSULTANTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER OR THE ARCHITECT'S CONSULTANTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER OR THE ARCHITECT'S CONSULTANTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER OR THE ARCHITECT'S CONSULTANTS.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 211-1111 AVENUE SW
 CALGARY, ALBERTA T2S 4S4
 TEL: 403-244-8814 FAX: (403) 244-8812
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

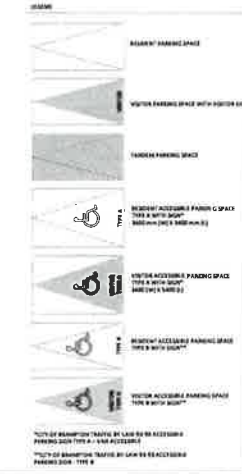
SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-11-01	ISSUED FOR PERMIT
2	2022-11-01	ISSUED FOR PERMIT
3	2022-11-01	ISSUED FOR PERMIT
4	2022-11-01	ISSUED FOR PERMIT
5	2022-11-01	ISSUED FOR PERMIT
6	2022-11-01	ISSUED FOR PERMIT
7	2022-11-01	ISSUED FOR PERMIT
8	2022-11-01	ISSUED FOR PERMIT
9	2022-11-01	ISSUED FOR PERMIT
10	2022-11-01	ISSUED FOR PERMIT
11	2022-11-01	ISSUED FOR PERMIT
12	2022-11-01	ISSUED FOR PERMIT
13	2022-11-01	ISSUED FOR PERMIT
14	2022-11-01	ISSUED FOR PERMIT
15	2022-11-01	ISSUED FOR PERMIT
16	2022-11-01	ISSUED FOR PERMIT
17	2022-11-01	ISSUED FOR PERMIT
18	2022-11-01	ISSUED FOR PERMIT
19	2022-11-01	ISSUED FOR PERMIT
20	2022-11-01	ISSUED FOR PERMIT

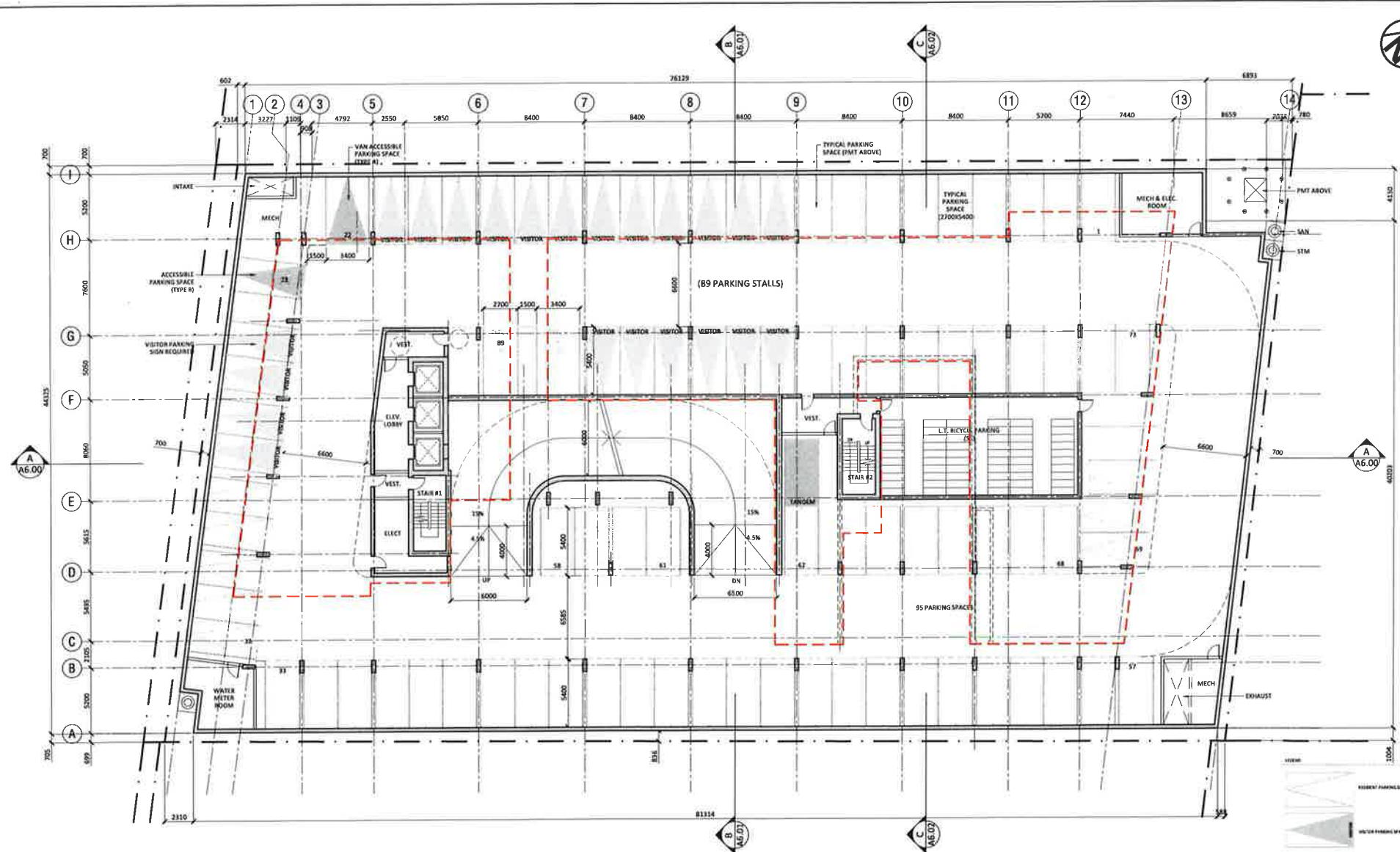
ISSUED FOR / REVISIONS



PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1008 Hurontario St, Brampton, ON L6Y 4P6
DRAWING: P2 PARKING LEVEL
DRAWING #: A3.01-R4
SCALE: 1:50
DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



NOT TO SCALE
 DIMENSIONS SHOWN IN METERS
 DIMENSIONS SHOWN IN METERS
 DIMENSIONS SHOWN IN METERS



THIS DRAWING IS THE PROPERTY OF ARUP DATTA ARCHITECT LTD. NO REPRODUCTION OR TRANSMISSION OF ANY PARTS OF THIS DRAWING IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF ARUP DATTA ARCHITECT LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ORDERED BY THE CONSULTANT.

THE CONSULTANT SHALL CHECK AND VERIFY ALL DIMENSIONS IN FIELD AND REPORT THEREON AND OBTAINING PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 307 - 117th Avenue S.E.
 CALGARY, ALBERTA T2B 3B8
 TEL: (403) 242-8888 FAX: (403) 244-8887
 E-MAIL: arup@arup.ca
LOCAL ARCHITECT:
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

STRUCTURAL CONSULTANTS:
STRUCTURAL
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

MECHANICAL CONSULTANTS:
MECHANICAL
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

ELECTRICAL CONSULTANTS:
ELECTRICAL
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

HVAC CONSULTANTS:
HVAC
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

CIVIL CONSULTANTS:
CIVIL
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

LANDSCAPE CONSULTANTS:
LANDSCAPE
 NAME: ADORIS
 ADDRESS: CITY, PROVINCE, POSTAL
 TEL: (905) 880-0888 FAX: (905) 880-0888
 E-MAIL: info@adoris.com

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR / REVISIONS
2	2022-01-11	ISSUED FOR / REVISIONS
3	2022-01-11	ISSUED FOR / REVISIONS
4	2022-01-11	ISSUED FOR / REVISIONS
5	2022-01-11	ISSUED FOR / REVISIONS
6	2022-01-11	ISSUED FOR / REVISIONS
7	2022-01-11	ISSUED FOR / REVISIONS
8	2022-01-11	ISSUED FOR / REVISIONS
9	2022-01-11	ISSUED FOR / REVISIONS
10	2022-01-11	ISSUED FOR / REVISIONS
11	2022-01-11	ISSUED FOR / REVISIONS
12	2022-01-11	ISSUED FOR / REVISIONS
13	2022-01-11	ISSUED FOR / REVISIONS
14	2022-01-11	ISSUED FOR / REVISIONS

ISSUED FOR / REVISIONS

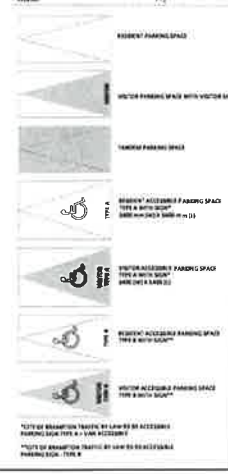
ARUP DATTA ARCHITECT LTD.
 307 - 117th Avenue S.E.
 CALGARY, ALBERTA T2B 3B8
 TEL: (403) 242-8888 FAX: (403) 244-8887
 E-MAIL: arup@arup.ca

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1508 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
 P1 PARKING LEVEL

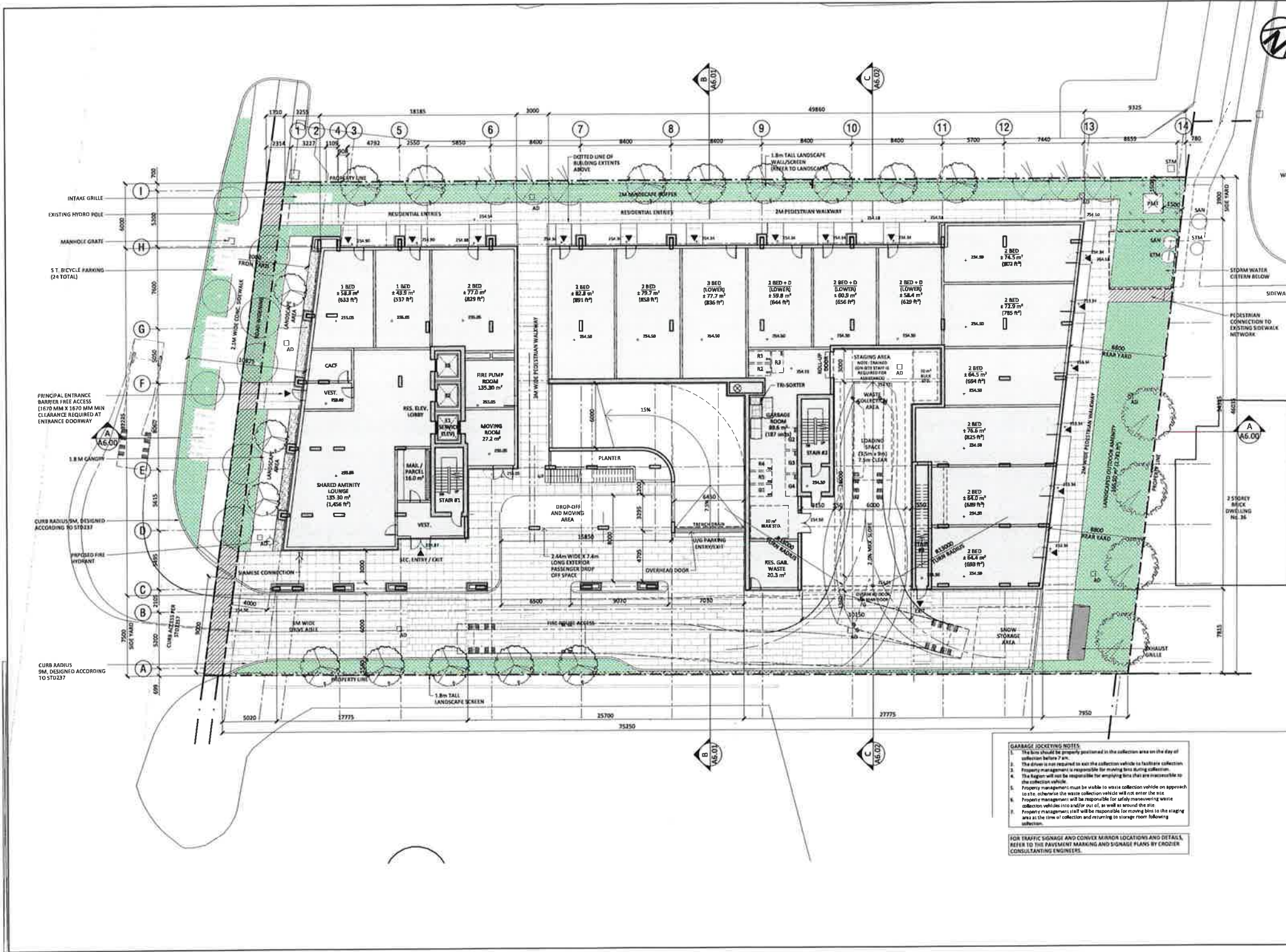
DRAWING #:
A3.02-R4

SCALE: 1:50
 DESIGN BY: AD
 DRAWN BY: ZA
 CHECKED BY: AD



*TYPE OF SIGNAGE TABLING BY LAW TO BE ACCESSIBLE
 PARKING SIGN FOR VAN ACCESSIBLE

*TYPE OF SIGNAGE TABLING BY LAW TO BE ACCESSIBLE
 PARKING SIGN FOR VAN ACCESSIBLE



DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT HAS BEEN RESERVED TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHERE MADE MUST BEAT ITS NAME.
THIS DRAWING IS NOT TO BE USED FOR CONTRACT PURPOSES UNLESS SPECIFICALLY NOTED OTHERWISE.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD
207 - 17TH AVENUE, S.W.
CALGARY, ALBERTA T2C 1S6
TEL: 403.263.8424 FAX: 403.263.9498
E MAIL: info@arup.com

STRUCTURAL

NAME: [BLANK]
ADDRESS: [BLANK]
CITY, PROVINCE, POSTAL: [BLANK]
TEL: 403.000-0000 FAX: 403.000-0000
E MAIL: [BLANK]

MECHANICAL

NAME: [BLANK]
ADDRESS: [BLANK]
CITY, PROVINCE, POSTAL: [BLANK]
TEL: 403.000-0000 FAX: 403.000-0000
E MAIL: [BLANK]

ELECTRICAL

NAME: [BLANK]
ADDRESS: [BLANK]
CITY, PROVINCE, POSTAL: [BLANK]
TEL: 403.000-0000 FAX: 403.000-0000
E MAIL: [BLANK]

HVAC

NAME: [BLANK]
ADDRESS: [BLANK]
CITY, PROVINCE, POSTAL: [BLANK]
TEL: 403.000-0000 FAX: 403.000-0000
E MAIL: [BLANK]

CIVIL

NAME: [BLANK]
ADDRESS: [BLANK]
CITY, PROVINCE, POSTAL: [BLANK]
TEL: 403.000-0000 FAX: 403.000-0000
E MAIL: [BLANK]

LANDSCAPE

NAME: [BLANK]
ADDRESS: [BLANK]
CITY, PROVINCE, POSTAL: [BLANK]
TEL: 403.000-0000 FAX: 403.000-0000
E MAIL: [BLANK]

SPA-2022-0106

1	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
2	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
3	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
4	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
5	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
6	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
7	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
8	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
9	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
10	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
11	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
12	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
13	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
14	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
15	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
16	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
17	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
18	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
19	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
20	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
21	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
22	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
23	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
24	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
25	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
26	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
27	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
28	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
29	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS
30	2022-11-27	FOR SUBMISSION TO CONSTRUCTION PERMITS

PROJECT #: 1701

PROJECT: HURONTARIO RESIDENTIAL BUILDING
1529 Hurontario St. Brampton, ON L6Z 4P8

DRAWING: GROUND FLOOR / SITE PLAN

DRAWING #: **A3.03-R4**

SCALE: 1:88
DESIGN BY: [BLANK] DRAWN BY: [BLANK] CHECKED BY: [BLANK]

GARAGE LOCKING NOTES

- The bins should be properly maintained in the collection area on the day of collection before 7 AM.
- The driver is not required to exit the collection vehicle to facilitate collection.
- Property management is responsible for moving bins during collection.
- The Region will not be responsible for emptying bins that are inaccessible to the collection vehicle.
- Property management must be visible to waste collection vehicles on approach to the site otherwise the waste collection vehicles will not enter the site.
- Property management will be responsible for safely maneuvering waste collection vehicles into and/or out of, as well as around the site.
- Property management will be responsible for moving bins to the staging area at the time of collection and returning to storage room following collection.

FOR TRAFFIC SIGNAGE AND CONVIEX MIRROR LOCATIONS AND DETAILS, REFER TO THE PAYMENT MARKING AND SIGNAGE PLANS BY CROZIER CONSULTING ENGINEERS.



DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BEAT ITS NAME.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS FORMED BY THE CONSULTANT.
 THE CONSULTANT SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT THEREON IMMEDIATELY UPON THE COMMENCEMENT OF WORK.
 PROJECT CONSULTANT:

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 801 - 1115 AVENUE, S.W.
 CALGARY, ALBERTA T2S 3A6
 TEL: (403) 243-8888 FAX: (403) 243-8887
 E.MAIL: arup@ad.ca
 LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

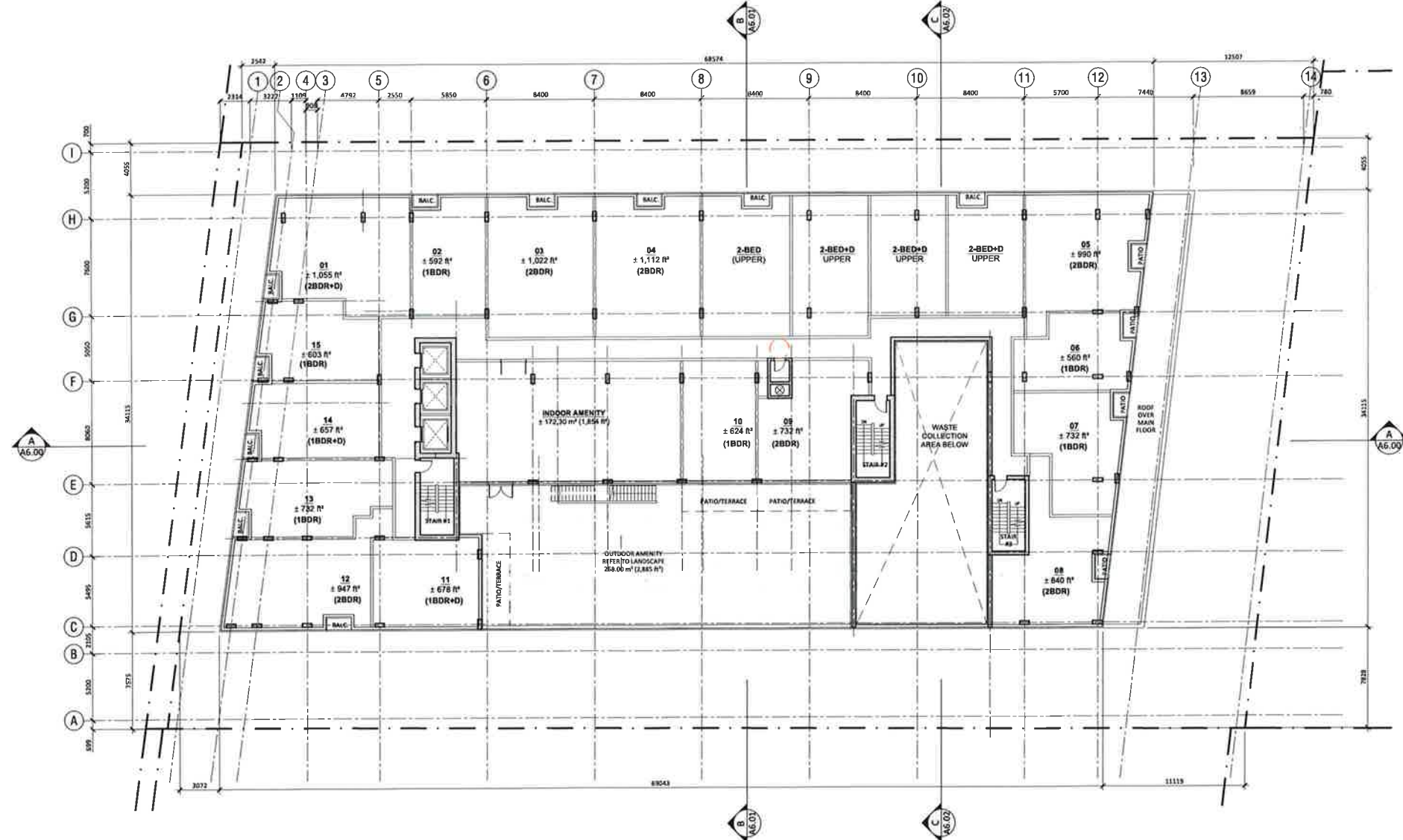
MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 243-8888
 E.MAIL:

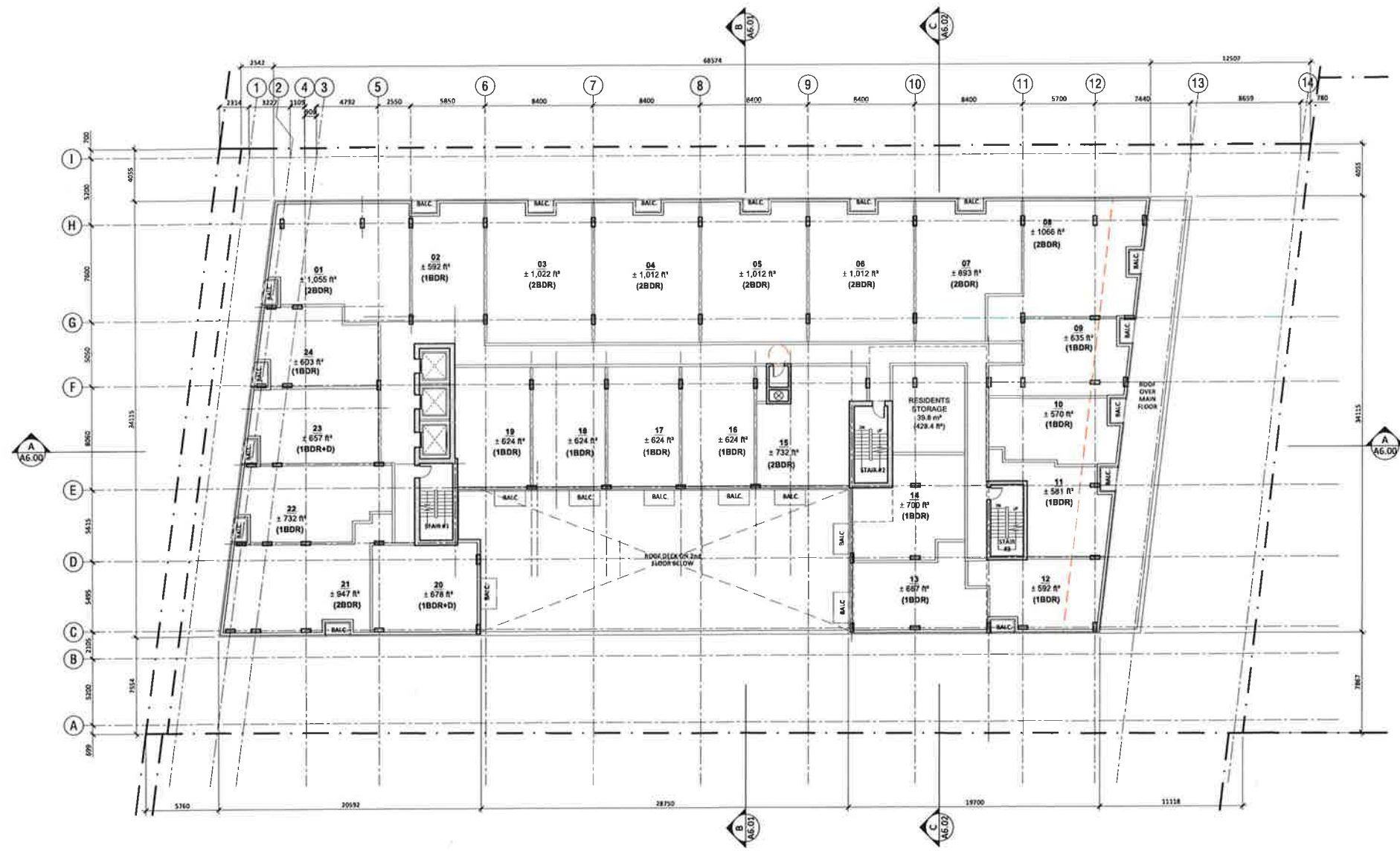


SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT SUBMISSION
2	2022-01-10	ISSUED FOR PERMIT SUBMISSION
3	2022-01-15	ISSUED FOR PERMIT SUBMISSION
4	2022-01-20	ISSUED FOR PERMIT SUBMISSION
5	2022-01-25	ISSUED FOR PERMIT SUBMISSION
6	2022-02-01	ISSUED FOR PERMIT SUBMISSION
7	2022-02-05	ISSUED FOR PERMIT SUBMISSION
8	2022-02-10	ISSUED FOR PERMIT SUBMISSION
9	2022-02-15	ISSUED FOR PERMIT SUBMISSION
10	2022-02-20	ISSUED FOR PERMIT SUBMISSION
11	2022-02-25	ISSUED FOR PERMIT SUBMISSION
12	2022-03-01	ISSUED FOR PERMIT SUBMISSION
13	2022-03-05	ISSUED FOR PERMIT SUBMISSION
14	2022-03-10	ISSUED FOR PERMIT SUBMISSION
15	2022-03-15	ISSUED FOR PERMIT SUBMISSION

ISSUED FOR / REVISIONS
 ARUP DATTA ARCHITECT LTD.
 801 - 1115 AVENUE, S.W.
 CALGARY, ALBERTA T2S 3A6
 TEL: (403) 243-8888 FAX: (403) 243-8887
 E.MAIL: arup@ad.ca

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 19029 Hurontario St, Brampton, ON L6Z 4P6
 DRAWING:
 2ND FLOOR PLAN
 DRAWING #:
A3.04-R4
 SCALE: 1/8" = 1'-0"
 DESIGN BY: ADJ
 DRAWN BY: EA
 CHECKED BY: AD



OWNER AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. ANY OTHER MARK MUST BE MADE ITS OWN.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS REVIEWED BY THE CONSULTANT.

THE CONSULTANT SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT THEREON AND OVERSEE PRIOR TO COMMENCEMENT WORK.

PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
327 - 1170 AVENUE, E.W.
CALGARY, ALBERTA T2S 0A5
TEL: (403) 243-8888 FAX: (403) 243-8889
E MAIL: info@arup.com

LOCAL ARCHITECT:

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

SUB-CONSULTANTS:

STRUCTURAL

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

MECHANICAL

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

ELECTRICAL

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

HVAC

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

CIVIL

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

LANDSCAPE

NAME: [REDACTED]
ADDRESS: [REDACTED]
CITY: [REDACTED] PROVINCE: [REDACTED]
TEL: [REDACTED] FAX: [REDACTED]
E MAIL: [REDACTED]

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMITTING
2	2022-01-10	ISSUED FOR PERMITTING
3	2022-01-15	ISSUED FOR PERMITTING
4	2022-01-20	ISSUED FOR PERMITTING
5	2022-01-25	ISSUED FOR PERMITTING
6	2022-02-01	ISSUED FOR PERMITTING
7	2022-02-05	ISSUED FOR PERMITTING
8	2022-02-10	ISSUED FOR PERMITTING
9	2022-02-15	ISSUED FOR PERMITTING
10	2022-02-20	ISSUED FOR PERMITTING
11	2022-02-25	ISSUED FOR PERMITTING
12	2022-03-01	ISSUED FOR PERMITTING
13	2022-03-05	ISSUED FOR PERMITTING
14	2022-03-10	ISSUED FOR PERMITTING
15	2022-03-15	ISSUED FOR PERMITTING
16	2022-03-20	ISSUED FOR PERMITTING
17	2022-03-25	ISSUED FOR PERMITTING
18	2022-04-01	ISSUED FOR PERMITTING
19	2022-04-05	ISSUED FOR PERMITTING
20	2022-04-10	ISSUED FOR PERMITTING
21	2022-04-15	ISSUED FOR PERMITTING
22	2022-04-20	ISSUED FOR PERMITTING
23	2022-04-25	ISSUED FOR PERMITTING
24	2022-05-01	ISSUED FOR PERMITTING

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.

1170 AVENUE, E.W. CALGARY, ALBERTA T2S 0A5
TEL: (403) 243-8888 FAX: (403) 243-8889
E MAIL: info@arup.com

PROJECT #: 1701

PROJECT: HURONTARIO RESIDENTIAL BUILDING
1200 Hurontario St, Brantford, ON N3A 4P6

DRAWING:

3RD FLOOR PLAN

DRAWING #: A3.05-R4

SCALE: 1/8" = 1'-0"

DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ARUP DATA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATA ARCHITECT LTD. AND ANY REUSE, ALTERATION OR MODIFICATION OF THIS DRAWING IS STRICTLY PROHIBITED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS REVIEWED BY THE ORIGINAL SET.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

PROJECT ARCHITECT:
ARCHITECTURAL
 ARUP DATA ARCHITECT LTD.
 207-1111 AVENUE, S.W.
 CALGARY, ALBERTA T2S 2A5
 TEL: 403-243-8400 FAX: (403) 244-8800
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8400 FAX: (403) 244-8800
 E-MAIL:

ISSUED FOR / REVISIONS

NO.	DATE	DESCRIPTION
1	2024-01-15	ISSUED FOR CONSTRUCTION
2	2024-01-15	ISSUED FOR CONSTRUCTION
3	2024-01-15	ISSUED FOR CONSTRUCTION
4	2024-01-15	ISSUED FOR CONSTRUCTION
5	2024-01-15	ISSUED FOR CONSTRUCTION
6	2024-01-15	ISSUED FOR CONSTRUCTION
7	2024-01-15	ISSUED FOR CONSTRUCTION
8	2024-01-15	ISSUED FOR CONSTRUCTION
9	2024-01-15	ISSUED FOR CONSTRUCTION
10	2024-01-15	ISSUED FOR CONSTRUCTION
11	2024-01-15	ISSUED FOR CONSTRUCTION
12	2024-01-15	ISSUED FOR CONSTRUCTION
13	2024-01-15	ISSUED FOR CONSTRUCTION
14	2024-01-15	ISSUED FOR CONSTRUCTION
15	2024-01-15	ISSUED FOR CONSTRUCTION
16	2024-01-15	ISSUED FOR CONSTRUCTION
17	2024-01-15	ISSUED FOR CONSTRUCTION
18	2024-01-15	ISSUED FOR CONSTRUCTION
19	2024-01-15	ISSUED FOR CONSTRUCTION
20	2024-01-15	ISSUED FOR CONSTRUCTION
21	2024-01-15	ISSUED FOR CONSTRUCTION
22	2024-01-15	ISSUED FOR CONSTRUCTION

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-01-15	ISSUED FOR CONSTRUCTION
2	2024-01-15	ISSUED FOR CONSTRUCTION
3	2024-01-15	ISSUED FOR CONSTRUCTION
4	2024-01-15	ISSUED FOR CONSTRUCTION
5	2024-01-15	ISSUED FOR CONSTRUCTION
6	2024-01-15	ISSUED FOR CONSTRUCTION
7	2024-01-15	ISSUED FOR CONSTRUCTION
8	2024-01-15	ISSUED FOR CONSTRUCTION
9	2024-01-15	ISSUED FOR CONSTRUCTION
10	2024-01-15	ISSUED FOR CONSTRUCTION
11	2024-01-15	ISSUED FOR CONSTRUCTION
12	2024-01-15	ISSUED FOR CONSTRUCTION
13	2024-01-15	ISSUED FOR CONSTRUCTION
14	2024-01-15	ISSUED FOR CONSTRUCTION
15	2024-01-15	ISSUED FOR CONSTRUCTION
16	2024-01-15	ISSUED FOR CONSTRUCTION
17	2024-01-15	ISSUED FOR CONSTRUCTION
18	2024-01-15	ISSUED FOR CONSTRUCTION
19	2024-01-15	ISSUED FOR CONSTRUCTION
20	2024-01-15	ISSUED FOR CONSTRUCTION
21	2024-01-15	ISSUED FOR CONSTRUCTION
22	2024-01-15	ISSUED FOR CONSTRUCTION

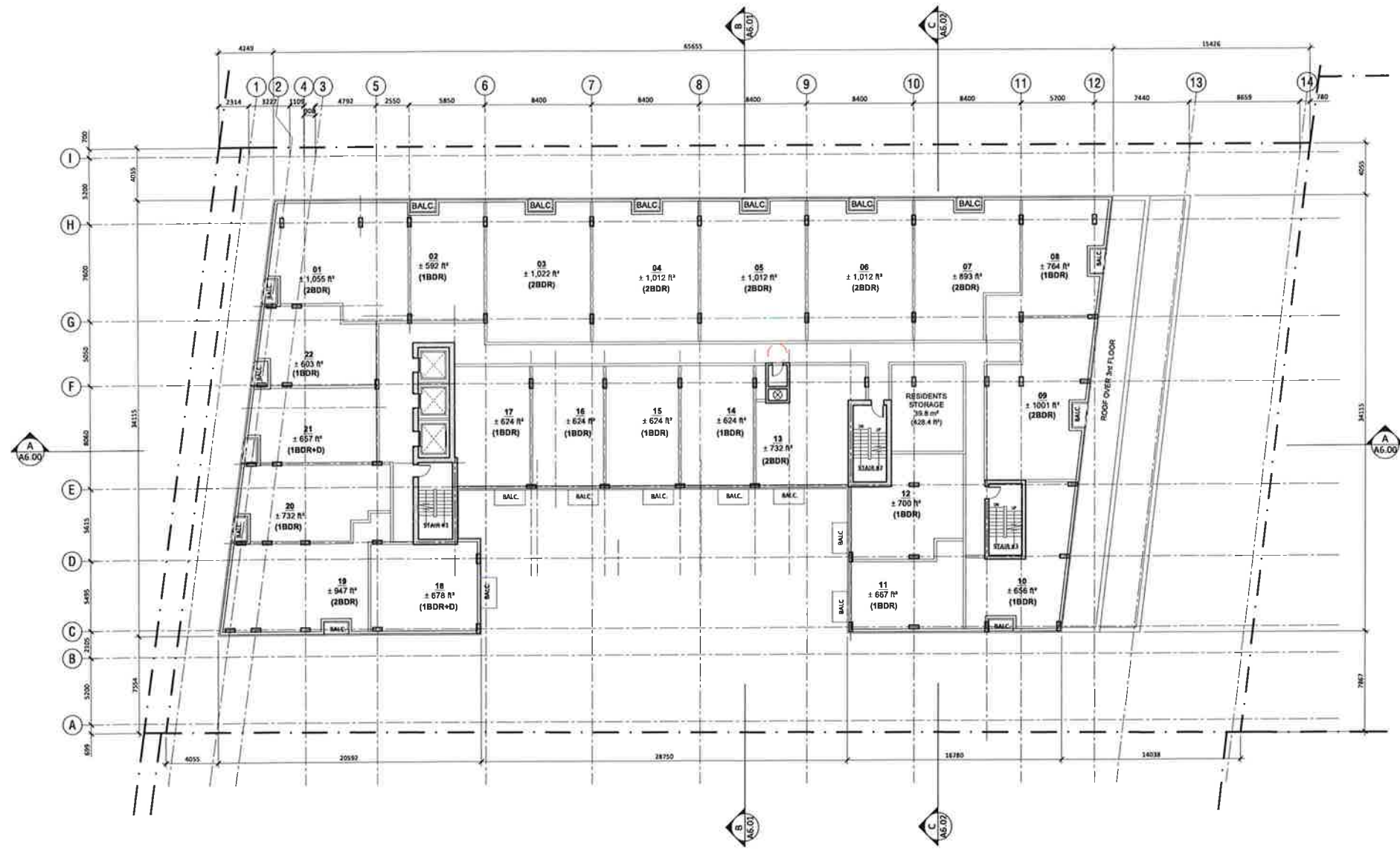
ARUP DATA ARCHITECT LTD.
 ARCHITECT

PROJECT # : 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1008 Hurontario St, Brampton, ON L6C 4P6

DRAWING:
 4TH FLOOR PLAN

DRAWING #:
A3.06-R4

SCALE: 1/8" = 1'-0"
 DESIGN BY: AD
 DRAWN BY: EA
 CHECKED BY: AD





DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION OR ALTERATION WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND THEIR MADE MUST BEAR ITS NAME.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
 THE CONSULTANT SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT THEREON AND DIMENSIONS PRIOR TO COMMENCING WORK.

PRINCIPAL CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
 807 17TH AVENUE, 8TH FLOOR
 CALGARY, ALBERTA T2E 2G8
 TEL: (403) 244-8800 FAX: (403) 244-8807
 E-MAIL: info@arupdattda.com

LOCAL ARCHITECT:

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

SUB CONSULTANTS:

STRUCTURAL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

MECHANICAL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

ELECTRICAL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

HVAC

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

CIVIL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

LANDSCAPE

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL, FAX, MOBILE:
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022.01.10	ISSUED FOR PERMIT SUBMISSION
2	2022.01.10	ISSUED FOR PERMIT SUBMISSION
3	2022.01.10	ISSUED FOR PERMIT SUBMISSION
4	2022.01.10	ISSUED FOR PERMIT SUBMISSION
5	2022.01.10	ISSUED FOR PERMIT SUBMISSION
6	2022.01.10	ISSUED FOR PERMIT SUBMISSION
7	2022.01.10	ISSUED FOR PERMIT SUBMISSION
8	2022.01.10	ISSUED FOR PERMIT SUBMISSION
9	2022.01.10	ISSUED FOR PERMIT SUBMISSION
10	2022.01.10	ISSUED FOR PERMIT SUBMISSION
11	2022.01.10	ISSUED FOR PERMIT SUBMISSION
12	2022.01.10	ISSUED FOR PERMIT SUBMISSION
13	2022.01.10	ISSUED FOR PERMIT SUBMISSION
14	2022.01.10	ISSUED FOR PERMIT SUBMISSION
15	2022.01.10	ISSUED FOR PERMIT SUBMISSION
16	2022.01.10	ISSUED FOR PERMIT SUBMISSION
17	2022.01.10	ISSUED FOR PERMIT SUBMISSION
18	2022.01.10	ISSUED FOR PERMIT SUBMISSION
19	2022.01.10	ISSUED FOR PERMIT SUBMISSION
20	2022.01.10	ISSUED FOR PERMIT SUBMISSION
21	2022.01.10	ISSUED FOR PERMIT SUBMISSION
22	2022.01.10	ISSUED FOR PERMIT SUBMISSION
23	2022.01.10	ISSUED FOR PERMIT SUBMISSION
24	2022.01.10	ISSUED FOR PERMIT SUBMISSION
25	2022.01.10	ISSUED FOR PERMIT SUBMISSION
26	2022.01.10	ISSUED FOR PERMIT SUBMISSION
27	2022.01.10	ISSUED FOR PERMIT SUBMISSION
28	2022.01.10	ISSUED FOR PERMIT SUBMISSION
29	2022.01.10	ISSUED FOR PERMIT SUBMISSION
30	2022.01.10	ISSUED FOR PERMIT SUBMISSION
31	2022.01.10	ISSUED FOR PERMIT SUBMISSION
32	2022.01.10	ISSUED FOR PERMIT SUBMISSION
33	2022.01.10	ISSUED FOR PERMIT SUBMISSION
34	2022.01.10	ISSUED FOR PERMIT SUBMISSION
35	2022.01.10	ISSUED FOR PERMIT SUBMISSION
36	2022.01.10	ISSUED FOR PERMIT SUBMISSION
37	2022.01.10	ISSUED FOR PERMIT SUBMISSION
38	2022.01.10	ISSUED FOR PERMIT SUBMISSION
39	2022.01.10	ISSUED FOR PERMIT SUBMISSION
40	2022.01.10	ISSUED FOR PERMIT SUBMISSION
41	2022.01.10	ISSUED FOR PERMIT SUBMISSION
42	2022.01.10	ISSUED FOR PERMIT SUBMISSION
43	2022.01.10	ISSUED FOR PERMIT SUBMISSION
44	2022.01.10	ISSUED FOR PERMIT SUBMISSION
45	2022.01.10	ISSUED FOR PERMIT SUBMISSION
46	2022.01.10	ISSUED FOR PERMIT SUBMISSION
47	2022.01.10	ISSUED FOR PERMIT SUBMISSION
48	2022.01.10	ISSUED FOR PERMIT SUBMISSION
49	2022.01.10	ISSUED FOR PERMIT SUBMISSION
50	2022.01.10	ISSUED FOR PERMIT SUBMISSION

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD
 807 17TH AVENUE, 8TH FLOOR
 CALGARY, ALBERTA T2E 2G8
 TEL: (403) 244-8800 FAX: (403) 244-8807
 E-MAIL: info@arupdattda.com

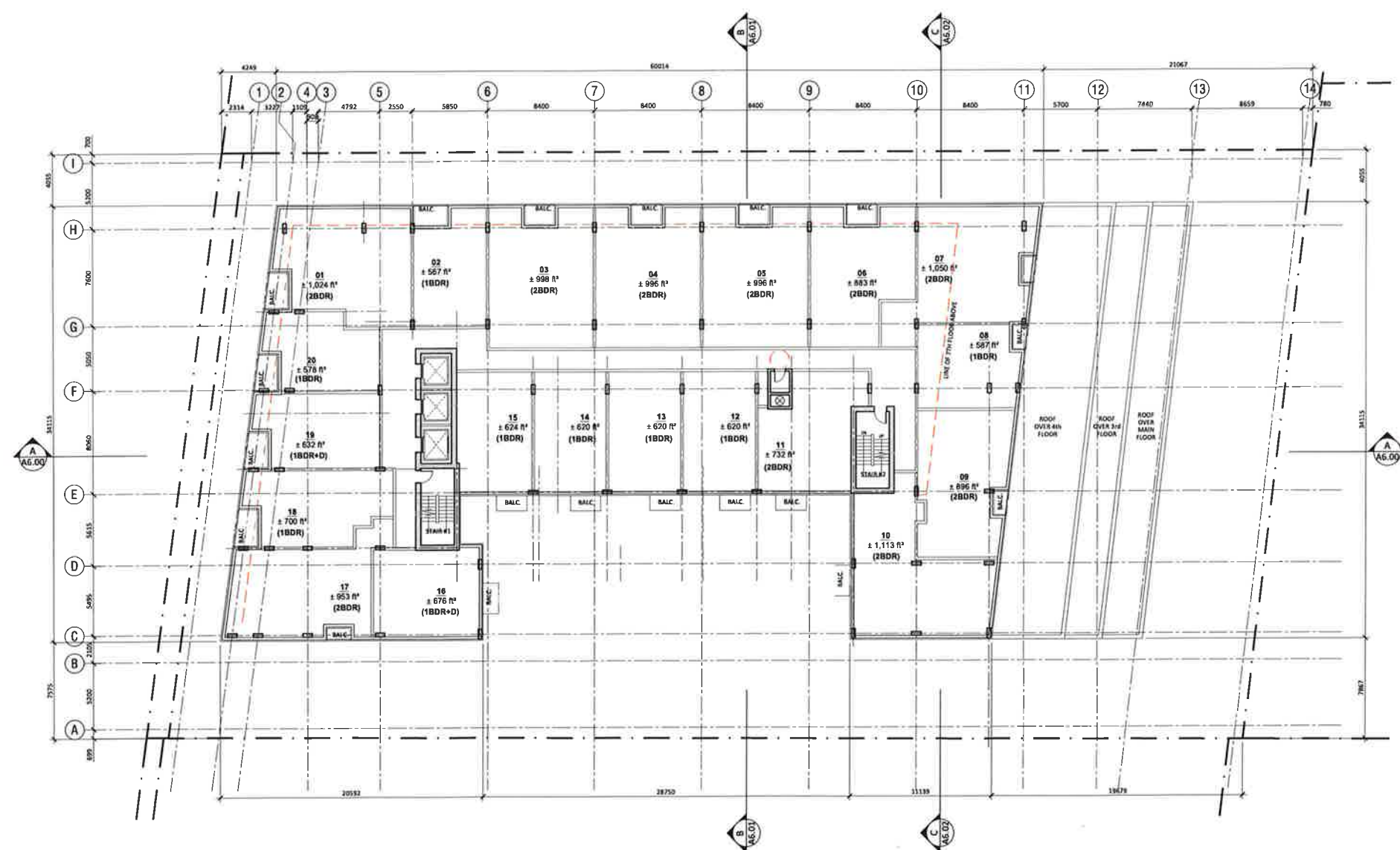
PROJECT #: 1701

PROJECT:
HURONTARIO RESIDENTIAL BUILDING
 1000 Hurontario St, Brampton, ON L6Z 4P9

DRAWING:
5TH & 6TH FLOOR PLAN

DRAWING #:
A3.07-R4

SCALE: 1/8" = 1'-0"
 DESIGN BY: AD
 DRAWN BY: EA
 CHECKED BY: AD





DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
NO REPRODUCTION OR DISSEMINATION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF ARUP DATA ARCHITECT LTD. AND WHEN MADE, MUST BEAR THE NAME OF THE DRAWING AND NOT BE SCALED.
THIS DRAWING IS NOT TO BE USED FOR CONTRACTUAL PURPOSES UNLESS SIGNED BY THE COMPLEYANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AS SHOWN ON THIS DRAWING PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
ARUP DATA ARCHITECT LTD
321, 17TH AVENUE, S.W.
CALGARY, ALBERTA T2S 0A5
TEL: 403.243.8100 FAX: (403) 244-4807
E MAIL: vrb@arup.ca

LOCAL ARCHITECT:
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

SUB-CONSULTANTS:
STRUCTURAL
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

MECHANICAL
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

ELECTRICAL
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

HVAC
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

CIVIL
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

LANDSCAPE
NAME:
ADDRESS:
CITY: PRINCE ALBERT
TEL: 306.866.0000 FAX: 306.866.0000
E MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR / REVISIONS
2	2022-01-06	ISSUED FOR / REVISIONS
3	2022-01-06	ISSUED FOR / REVISIONS
4	2022-01-06	ISSUED FOR / REVISIONS
5	2022-01-06	ISSUED FOR / REVISIONS
6	2022-01-06	ISSUED FOR / REVISIONS
7	2022-01-06	ISSUED FOR / REVISIONS
8	2022-01-06	ISSUED FOR / REVISIONS
9	2022-01-06	ISSUED FOR / REVISIONS
10	2022-01-06	ISSUED FOR / REVISIONS
11	2022-01-06	ISSUED FOR / REVISIONS
12	2022-01-06	ISSUED FOR / REVISIONS
13	2022-01-06	ISSUED FOR / REVISIONS
14	2022-01-06	ISSUED FOR / REVISIONS
15	2022-01-06	ISSUED FOR / REVISIONS
16	2022-01-06	ISSUED FOR / REVISIONS
17	2022-01-06	ISSUED FOR / REVISIONS
18	2022-01-06	ISSUED FOR / REVISIONS
19	2022-01-06	ISSUED FOR / REVISIONS
20	2022-01-06	ISSUED FOR / REVISIONS
21	2022-01-06	ISSUED FOR / REVISIONS
22	2022-01-06	ISSUED FOR / REVISIONS
23	2022-01-06	ISSUED FOR / REVISIONS
24	2022-01-06	ISSUED FOR / REVISIONS
25	2022-01-06	ISSUED FOR / REVISIONS
26	2022-01-06	ISSUED FOR / REVISIONS
27	2022-01-06	ISSUED FOR / REVISIONS
28	2022-01-06	ISSUED FOR / REVISIONS
29	2022-01-06	ISSUED FOR / REVISIONS
30	2022-01-06	ISSUED FOR / REVISIONS

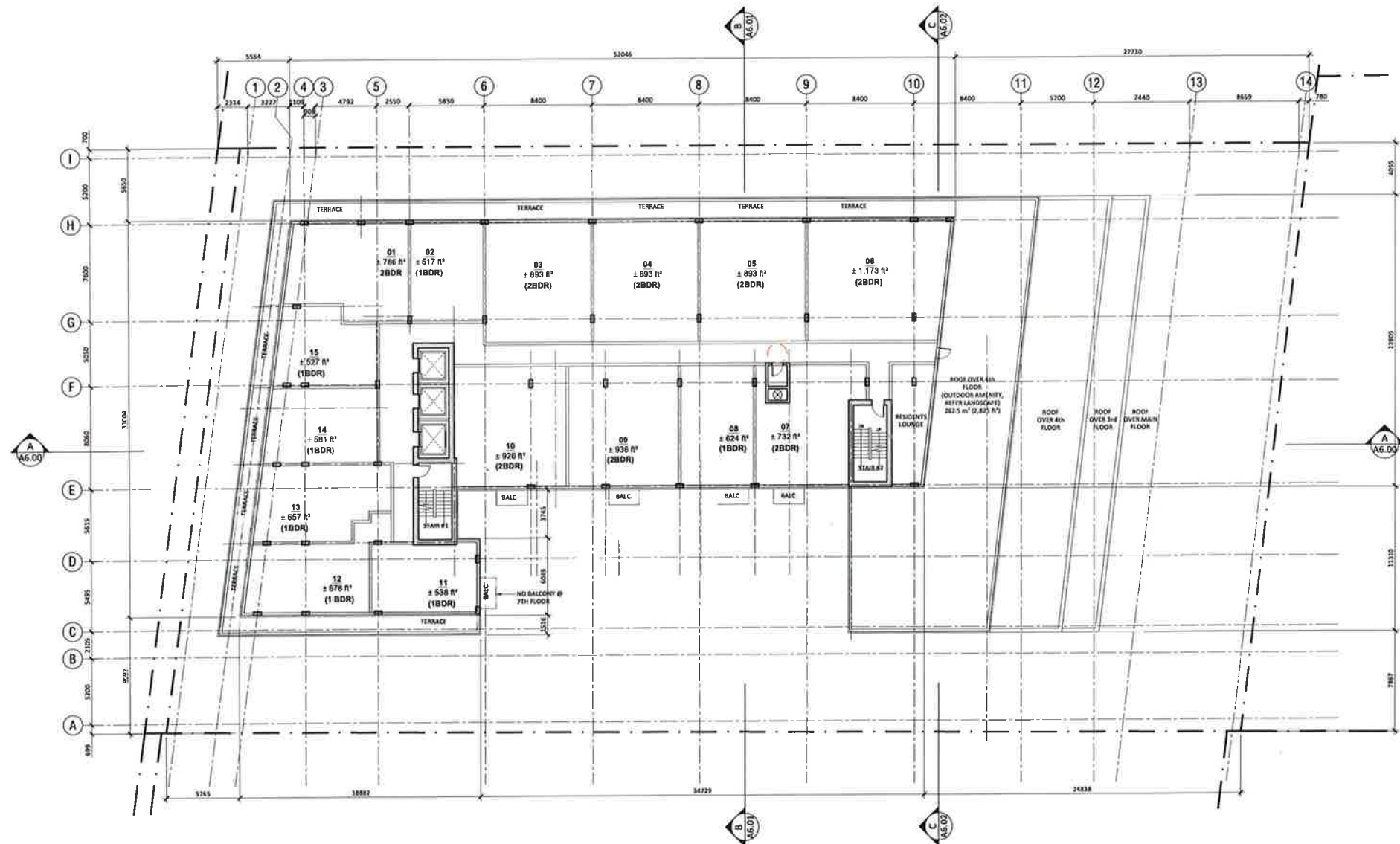
ARUP DATA ARCHITECT LTD.
ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1701
PROJECT:
HURONTARIO RESIDENTIAL BUILDING
1208 Hurontario St, Brampton, ON L6Z 4P3

DRAWING:
7TH & 8TH FLOOR PLAN

DRAWING #:
A3.08-R4

SCALE: 1/8" = 1'-0"
DESIGN BY: AD
DRAWN BY: EA
CHECKED BY: AD



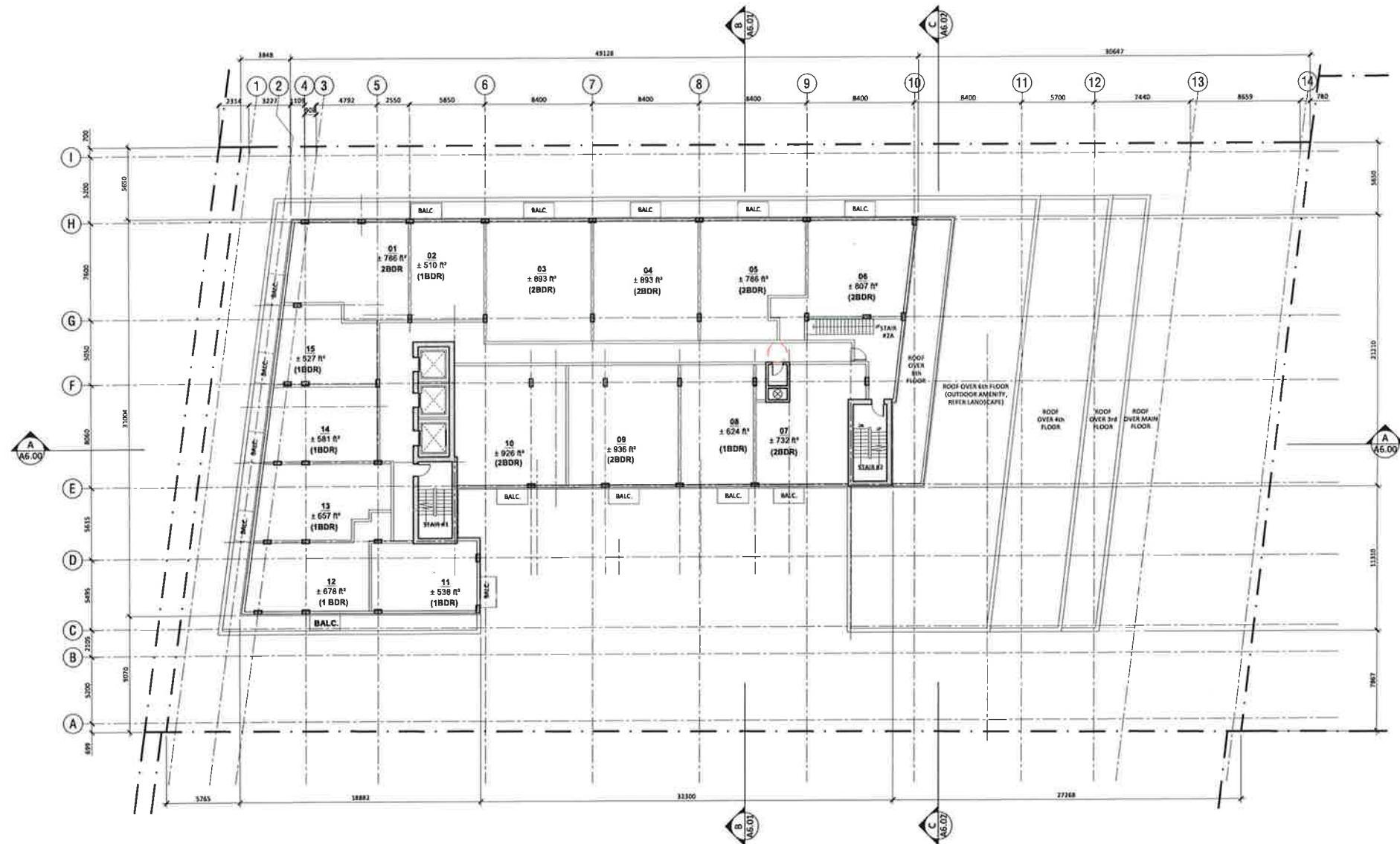


UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS INDICATED OTHERWISE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & LOCATIONS PRIOR TO COMMENCING WORK.

NO REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF ARUP DATTA ARCHITECT LTD. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS AT THE USER'S RISK.

THIS DRAWING IS TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONSULTANT SHALL CHECK AND VERIFY ALL DIMENSIONS & LOCATIONS PRIOR TO COMMENCING WORK.



ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
301 - CITY SQUARE, 8th FLOOR
CALGARY, ALBERTA T2P 3S6
TEL: 403.243.8888 FAX: 403.243.8888
E-MAIL: arup@ad.ca

LOCAL ARCHITECT:

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

SUB-CONSULTANTS:

STRUCTURAL

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

MECHANICAL

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

ELECTRICAL

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

HVAC

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

CIVIL

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

LANDSCAPE

NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT
2	2022-01-10	ISSUED FOR CONSTRUCTION
3	2022-01-15	ISSUED FOR AS-BUILT
4	2022-01-20	ISSUED FOR ARCHIVE
5	2022-01-25	ISSUED FOR REVIEW
6	2022-02-01	ISSUED FOR APPROVAL
7	2022-02-05	ISSUED FOR PERMIT
8	2022-02-10	ISSUED FOR CONSTRUCTION
9	2022-02-15	ISSUED FOR AS-BUILT
10	2022-02-20	ISSUED FOR ARCHIVE
11	2022-02-25	ISSUED FOR REVIEW
12	2022-03-01	ISSUED FOR APPROVAL
13	2022-03-05	ISSUED FOR PERMIT
14	2022-03-10	ISSUED FOR CONSTRUCTION
15	2022-03-15	ISSUED FOR AS-BUILT
16	2022-03-20	ISSUED FOR ARCHIVE
17	2022-03-25	ISSUED FOR REVIEW
18	2022-04-01	ISSUED FOR APPROVAL
19	2022-04-05	ISSUED FOR PERMIT
20	2022-04-10	ISSUED FOR CONSTRUCTION
21	2022-04-15	ISSUED FOR AS-BUILT
22	2022-04-20	ISSUED FOR ARCHIVE
23	2022-04-25	ISSUED FOR REVIEW
24	2022-05-01	ISSUED FOR APPROVAL
25	2022-05-05	ISSUED FOR PERMIT
26	2022-05-10	ISSUED FOR CONSTRUCTION
27	2022-05-15	ISSUED FOR AS-BUILT
28	2022-05-20	ISSUED FOR ARCHIVE
29	2022-05-25	ISSUED FOR REVIEW
30	2022-06-01	ISSUED FOR APPROVAL
31	2022-06-05	ISSUED FOR PERMIT
32	2022-06-10	ISSUED FOR CONSTRUCTION
33	2022-06-15	ISSUED FOR AS-BUILT
34	2022-06-20	ISSUED FOR ARCHIVE
35	2022-06-25	ISSUED FOR REVIEW
36	2022-07-01	ISSUED FOR APPROVAL
37	2022-07-05	ISSUED FOR PERMIT
38	2022-07-10	ISSUED FOR CONSTRUCTION
39	2022-07-15	ISSUED FOR AS-BUILT
40	2022-07-20	ISSUED FOR ARCHIVE
41	2022-07-25	ISSUED FOR REVIEW
42	2022-08-01	ISSUED FOR APPROVAL
43	2022-08-05	ISSUED FOR PERMIT
44	2022-08-10	ISSUED FOR CONSTRUCTION
45	2022-08-15	ISSUED FOR AS-BUILT
46	2022-08-20	ISSUED FOR ARCHIVE
47	2022-08-25	ISSUED FOR REVIEW
48	2022-09-01	ISSUED FOR APPROVAL
49	2022-09-05	ISSUED FOR PERMIT
50	2022-09-10	ISSUED FOR CONSTRUCTION
51	2022-09-15	ISSUED FOR AS-BUILT
52	2022-09-20	ISSUED FOR ARCHIVE
53	2022-09-25	ISSUED FOR REVIEW
54	2022-10-01	ISSUED FOR APPROVAL
55	2022-10-05	ISSUED FOR PERMIT
56	2022-10-10	ISSUED FOR CONSTRUCTION
57	2022-10-15	ISSUED FOR AS-BUILT
58	2022-10-20	ISSUED FOR ARCHIVE
59	2022-10-25	ISSUED FOR REVIEW
60	2022-11-01	ISSUED FOR APPROVAL
61	2022-11-05	ISSUED FOR PERMIT
62	2022-11-10	ISSUED FOR CONSTRUCTION
63	2022-11-15	ISSUED FOR AS-BUILT
64	2022-11-20	ISSUED FOR ARCHIVE
65	2022-11-25	ISSUED FOR REVIEW
66	2022-12-01	ISSUED FOR APPROVAL
67	2022-12-05	ISSUED FOR PERMIT
68	2022-12-10	ISSUED FOR CONSTRUCTION
69	2022-12-15	ISSUED FOR AS-BUILT
70	2022-12-20	ISSUED FOR ARCHIVE
71	2022-12-25	ISSUED FOR REVIEW
72	2023-01-01	ISSUED FOR APPROVAL
73	2023-01-05	ISSUED FOR PERMIT
74	2023-01-10	ISSUED FOR CONSTRUCTION
75	2023-01-15	ISSUED FOR AS-BUILT
76	2023-01-20	ISSUED FOR ARCHIVE
77	2023-01-25	ISSUED FOR REVIEW
78	2023-02-01	ISSUED FOR APPROVAL
79	2023-02-05	ISSUED FOR PERMIT
80	2023-02-10	ISSUED FOR CONSTRUCTION
81	2023-02-15	ISSUED FOR AS-BUILT
82	2023-02-20	ISSUED FOR ARCHIVE
83	2023-02-25	ISSUED FOR REVIEW
84	2023-03-01	ISSUED FOR APPROVAL
85	2023-03-05	ISSUED FOR PERMIT
86	2023-03-10	ISSUED FOR CONSTRUCTION
87	2023-03-15	ISSUED FOR AS-BUILT
88	2023-03-20	ISSUED FOR ARCHIVE
89	2023-03-25	ISSUED FOR REVIEW
90	2023-04-01	ISSUED FOR APPROVAL
91	2023-04-05	ISSUED FOR PERMIT
92	2023-04-10	ISSUED FOR CONSTRUCTION
93	2023-04-15	ISSUED FOR AS-BUILT
94	2023-04-20	ISSUED FOR ARCHIVE
95	2023-04-25	ISSUED FOR REVIEW
96	2023-05-01	ISSUED FOR APPROVAL
97	2023-05-05	ISSUED FOR PERMIT
98	2023-05-10	ISSUED FOR CONSTRUCTION
99	2023-05-15	ISSUED FOR AS-BUILT
100	2023-05-20	ISSUED FOR ARCHIVE

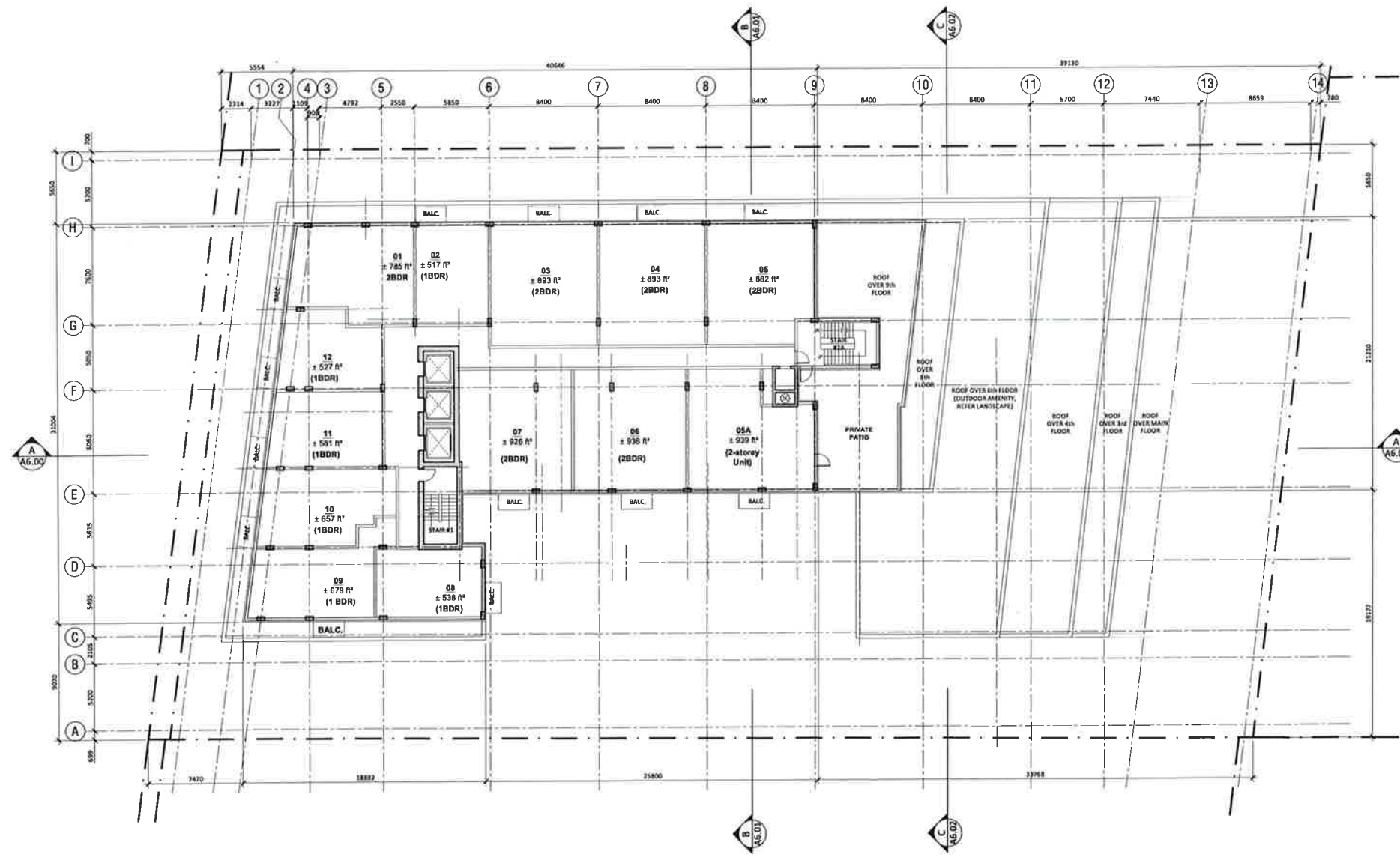
ARUP DATTA ARCHITECT LTD.

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
1208 Hurontario St, Brampton, ON L6Z 4P6

DRAWING: 5TH FLOOR PLAN
DRAWING #: A3.09-R4
SCALE: 1/8" = 1'-0"
DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD



DRAWINGS AND SPECIFICATIONS ARE PROVIDED AS INFORMATION ONLY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.



ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 221-1170 AVENUE 6, S.W.
 CALGARY, ALBERTA T2S 0A8
 TEL: 403.243.8888 FAX: 403.243.8889
 E-MAIL: info@arup-datta.com

LOCAL ARCHITECT:
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

SUB-CONSULTANTS:

STRUCTURAL
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

MECHANICAL
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

ELECTRICAL
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

HVAC
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

CIVIL
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

LANDSCAPE
 NAME: _____
 ADDRESS: _____
 CITY: _____ PROV: _____ TEL: _____ FAX: _____
 E-MAIL: _____

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
2	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
3	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
4	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
5	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
6	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
7	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
8	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
9	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
10	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
11	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
12	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
13	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE
14	2024-11-01	ISSUE FOR PERMITS & BUILDING DEPARTMENT RESPONSE

ISSUED FOR PERMITS / REVISIONS

ARUP DATTA ARCHITECT LTD
 221-1170 AVENUE 6, S.W.
 CALGARY, ALBERTA T2S 0A8
 TEL: 403.243.8888 FAX: 403.243.8889
 E-MAIL: info@arup-datta.com

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 16039 Hurontario St, Brantford, ON L6C 4P8

DRAWING:
 10TH & 11TH FLOOR PLAN

DRAWING #:
A3.10-R4

SCALE: 1/8" = 1'-0"

DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD



DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE WRITTEN PERMISSION OF ARUP DATTA ARCHITECT LTD. ANY OTHER MADE MUST BEAR ITS NAME.
 THIS DRAWING MUST NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AS SHOWN AND REPORT DISCREPANCIES PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 337, 17TH AVENUE S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 EMAIL: info@arupdatta.com
 LOCAL ARCHITECT
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com

SUB-CONSULTANTS:
STRUCTURAL
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com

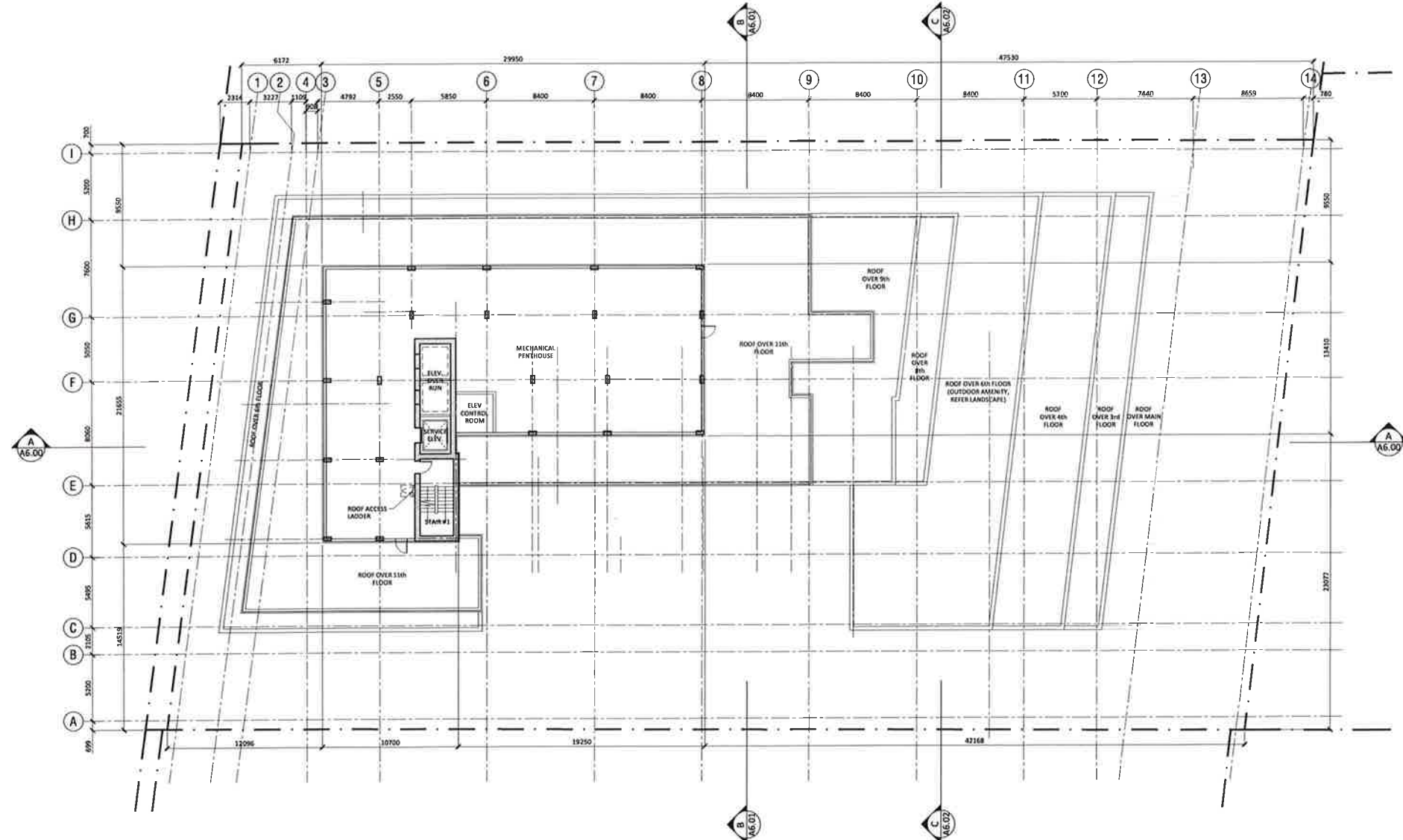
MECHANICAL
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com

ELECTRICAL
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com

HVAC
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com

CIVIL
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com

LANDSCAPE
 NAME: ARUP DATTA
 ADDRESS: 337, 17TH AVENUE S.W.
 CITY: CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 E-MAIL: info@arupdatta.com



SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMITS & DEVELOPMENT RESPONSE
2	2022-01-20	REVISED PER DEVELOPMENT RESPONSE
3	2022-02-01	REVISED PER DEVELOPMENT RESPONSE
4	2022-02-15	REVISED PER DEVELOPMENT RESPONSE
5	2022-02-28	REVISED PER DEVELOPMENT RESPONSE
6	2022-03-15	REVISED PER DEVELOPMENT RESPONSE
7	2022-03-28	REVISED PER DEVELOPMENT RESPONSE
8	2022-04-10	REVISED PER DEVELOPMENT RESPONSE
9	2022-04-25	REVISED PER DEVELOPMENT RESPONSE
10	2022-05-10	REVISED PER DEVELOPMENT RESPONSE
11	2022-05-25	REVISED PER DEVELOPMENT RESPONSE
12	2022-06-10	REVISED PER DEVELOPMENT RESPONSE
13	2022-06-25	REVISED PER DEVELOPMENT RESPONSE
14	2022-07-10	REVISED PER DEVELOPMENT RESPONSE
15	2022-07-25	REVISED PER DEVELOPMENT RESPONSE
16	2022-08-10	REVISED PER DEVELOPMENT RESPONSE
17	2022-08-25	REVISED PER DEVELOPMENT RESPONSE
18	2022-09-10	REVISED PER DEVELOPMENT RESPONSE
19	2022-09-25	REVISED PER DEVELOPMENT RESPONSE
20	2022-10-10	REVISED PER DEVELOPMENT RESPONSE
21	2022-10-25	REVISED PER DEVELOPMENT RESPONSE
22	2022-11-10	REVISED PER DEVELOPMENT RESPONSE
23	2022-11-25	REVISED PER DEVELOPMENT RESPONSE
24	2022-12-10	REVISED PER DEVELOPMENT RESPONSE
25	2022-12-25	REVISED PER DEVELOPMENT RESPONSE

ISSUED FOR / REVISIONS

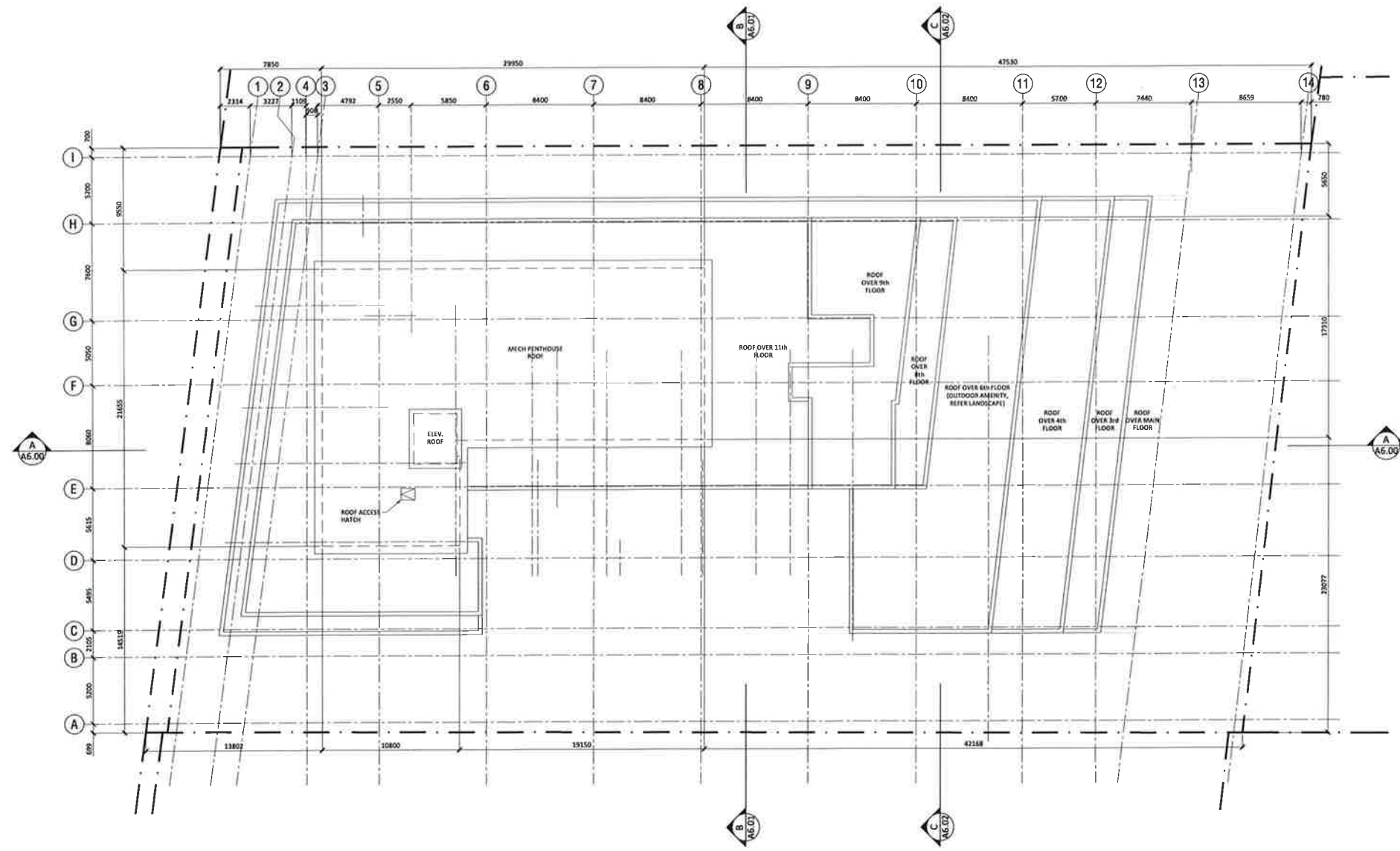
ARUP DATTA ARCHITECT LTD.
 337, 17TH AVENUE S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8822 FAX: (403) 244-8822
 EMAIL: info@arupdatta.com

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1208 Hurontario St, Mississauga, ON L4Z 1R4
DRAWING: PENTHOUSE PLAN
DRAWING #: A3.11-R4
SCALE: 1:50
DESIGN BY: AD **DRAWN BY:** SA **CHECKED BY:** AD



DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. ANY OTHER MADE MUST BEAR ITS NAME.
 THIS DRAWING MUST NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS, AND HEIGHTS BEFORE AND DURING PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 871 17TH AVENUE SW
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 242-8218 FAX: (403) 244-8887
 E-MAIL: info@arup.ca
 LOCAL ARCHITECT
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:
SUB-CONSULTANTS:
STRUCTURAL
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:
MECHANICAL
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:
ELECTRICAL
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:
HVAC
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:
CIVIL
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:
LANDSCAPE
 NAME: ADWORTH
 CITY: PROVOYCE PORTAL
 TEL: (505) 266-0200 FAX: (505) 266-0200
 E-MAIL:



SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022.01.06	ISSUED FOR PERMIT SUBMISSION
2	2022.01.15	ISSUED FOR PERMIT SUBMISSION
3	2022.01.25	ISSUED FOR PERMIT SUBMISSION
4	2022.02.05	ISSUED FOR PERMIT SUBMISSION
5	2022.02.15	ISSUED FOR PERMIT SUBMISSION
6	2022.02.25	ISSUED FOR PERMIT SUBMISSION
7	2022.03.05	ISSUED FOR PERMIT SUBMISSION
8	2022.03.15	ISSUED FOR PERMIT SUBMISSION
9	2022.03.25	ISSUED FOR PERMIT SUBMISSION
10	2022.04.05	ISSUED FOR PERMIT SUBMISSION
11	2022.04.15	ISSUED FOR PERMIT SUBMISSION
12	2022.04.25	ISSUED FOR PERMIT SUBMISSION
13	2022.05.05	ISSUED FOR PERMIT SUBMISSION
14	2022.05.15	ISSUED FOR PERMIT SUBMISSION
15	2022.05.25	ISSUED FOR PERMIT SUBMISSION
16	2022.06.05	ISSUED FOR PERMIT SUBMISSION
17	2022.06.15	ISSUED FOR PERMIT SUBMISSION
18	2022.06.25	ISSUED FOR PERMIT SUBMISSION
19	2022.07.05	ISSUED FOR PERMIT SUBMISSION
20	2022.07.15	ISSUED FOR PERMIT SUBMISSION
21	2022.07.25	ISSUED FOR PERMIT SUBMISSION
22	2022.08.05	ISSUED FOR PERMIT SUBMISSION
23	2022.08.15	ISSUED FOR PERMIT SUBMISSION
24	2022.08.25	ISSUED FOR PERMIT SUBMISSION
25	2022.09.05	ISSUED FOR PERMIT SUBMISSION
26	2022.09.15	ISSUED FOR PERMIT SUBMISSION
27	2022.09.25	ISSUED FOR PERMIT SUBMISSION
28	2022.10.05	ISSUED FOR PERMIT SUBMISSION
29	2022.10.15	ISSUED FOR PERMIT SUBMISSION
30	2022.10.25	ISSUED FOR PERMIT SUBMISSION
31	2022.11.05	ISSUED FOR PERMIT SUBMISSION
32	2022.11.15	ISSUED FOR PERMIT SUBMISSION
33	2022.11.25	ISSUED FOR PERMIT SUBMISSION
34	2022.12.05	ISSUED FOR PERMIT SUBMISSION
35	2022.12.15	ISSUED FOR PERMIT SUBMISSION
36	2022.12.25	ISSUED FOR PERMIT SUBMISSION
37	2023.01.05	ISSUED FOR PERMIT SUBMISSION
38	2023.01.15	ISSUED FOR PERMIT SUBMISSION
39	2023.01.25	ISSUED FOR PERMIT SUBMISSION
40	2023.02.05	ISSUED FOR PERMIT SUBMISSION
41	2023.02.15	ISSUED FOR PERMIT SUBMISSION
42	2023.02.25	ISSUED FOR PERMIT SUBMISSION
43	2023.03.05	ISSUED FOR PERMIT SUBMISSION
44	2023.03.15	ISSUED FOR PERMIT SUBMISSION
45	2023.03.25	ISSUED FOR PERMIT SUBMISSION
46	2023.04.05	ISSUED FOR PERMIT SUBMISSION
47	2023.04.15	ISSUED FOR PERMIT SUBMISSION
48	2023.04.25	ISSUED FOR PERMIT SUBMISSION
49	2023.05.05	ISSUED FOR PERMIT SUBMISSION
50	2023.05.15	ISSUED FOR PERMIT SUBMISSION
51	2023.05.25	ISSUED FOR PERMIT SUBMISSION
52	2023.06.05	ISSUED FOR PERMIT SUBMISSION
53	2023.06.15	ISSUED FOR PERMIT SUBMISSION
54	2023.06.25	ISSUED FOR PERMIT SUBMISSION
55	2023.07.05	ISSUED FOR PERMIT SUBMISSION
56	2023.07.15	ISSUED FOR PERMIT SUBMISSION
57	2023.07.25	ISSUED FOR PERMIT SUBMISSION
58	2023.08.05	ISSUED FOR PERMIT SUBMISSION
59	2023.08.15	ISSUED FOR PERMIT SUBMISSION
60	2023.08.25	ISSUED FOR PERMIT SUBMISSION
61	2023.09.05	ISSUED FOR PERMIT SUBMISSION
62	2023.09.15	ISSUED FOR PERMIT SUBMISSION
63	2023.09.25	ISSUED FOR PERMIT SUBMISSION
64	2023.10.05	ISSUED FOR PERMIT SUBMISSION
65	2023.10.15	ISSUED FOR PERMIT SUBMISSION
66	2023.10.25	ISSUED FOR PERMIT SUBMISSION
67	2023.11.05	ISSUED FOR PERMIT SUBMISSION
68	2023.11.15	ISSUED FOR PERMIT SUBMISSION
69	2023.11.25	ISSUED FOR PERMIT SUBMISSION
70	2023.12.05	ISSUED FOR PERMIT SUBMISSION
71	2023.12.15	ISSUED FOR PERMIT SUBMISSION
72	2023.12.25	ISSUED FOR PERMIT SUBMISSION
73	2024.01.05	ISSUED FOR PERMIT SUBMISSION
74	2024.01.15	ISSUED FOR PERMIT SUBMISSION
75	2024.01.25	ISSUED FOR PERMIT SUBMISSION
76	2024.02.05	ISSUED FOR PERMIT SUBMISSION
77	2024.02.15	ISSUED FOR PERMIT SUBMISSION
78	2024.02.25	ISSUED FOR PERMIT SUBMISSION
79	2024.03.05	ISSUED FOR PERMIT SUBMISSION
80	2024.03.15	ISSUED FOR PERMIT SUBMISSION
81	2024.03.25	ISSUED FOR PERMIT SUBMISSION
82	2024.04.05	ISSUED FOR PERMIT SUBMISSION
83	2024.04.15	ISSUED FOR PERMIT SUBMISSION
84	2024.04.25	ISSUED FOR PERMIT SUBMISSION
85	2024.05.05	ISSUED FOR PERMIT SUBMISSION
86	2024.05.15	ISSUED FOR PERMIT SUBMISSION
87	2024.05.25	ISSUED FOR PERMIT SUBMISSION
88	2024.06.05	ISSUED FOR PERMIT SUBMISSION
89	2024.06.15	ISSUED FOR PERMIT SUBMISSION
90	2024.06.25	ISSUED FOR PERMIT SUBMISSION
91	2024.07.05	ISSUED FOR PERMIT SUBMISSION
92	2024.07.15	ISSUED FOR PERMIT SUBMISSION
93	2024.07.25	ISSUED FOR PERMIT SUBMISSION
94	2024.08.05	ISSUED FOR PERMIT SUBMISSION
95	2024.08.15	ISSUED FOR PERMIT SUBMISSION
96	2024.08.25	ISSUED FOR PERMIT SUBMISSION
97	2024.09.05	ISSUED FOR PERMIT SUBMISSION
98	2024.09.15	ISSUED FOR PERMIT SUBMISSION
99	2024.09.25	ISSUED FOR PERMIT SUBMISSION
100	2024.10.05	ISSUED FOR PERMIT SUBMISSION

TABLED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1508 Hurontario St, Brampton, ON L6Z 4P8
DRAWING:
ROOF PLAN
DRAWING #: A3.12-R4
SCALE: 1/8" = 1'-0"
DESIGN BY: AD **DRAWN BY:** FA **CHECKED BY:** AD

SHOWN AND SPECIFICATIONS AND INSTRUMENTS OF SERVICE ARE THE PROPERTY OF ARUP DATA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATA ARCHITECT LTD. ANY WORK MADE MUST BEAT ITS NAME.
 THIS DRAWING MUST NOT BE SCALE.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
 THE CONSULTANT SHALL BE RESPONSIBLE FOR ALL DIMENSIONS & DATA AND REPORT ERRORS AND OMISSIONS FROM THE COMMERCIAL WORK.

PRINCIPAL CONSULTANT:
ARCHITECTURAL
 ARUP DATA ARCHITECT LTD.
 221 - 11TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A9
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL: arup@arup.com

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

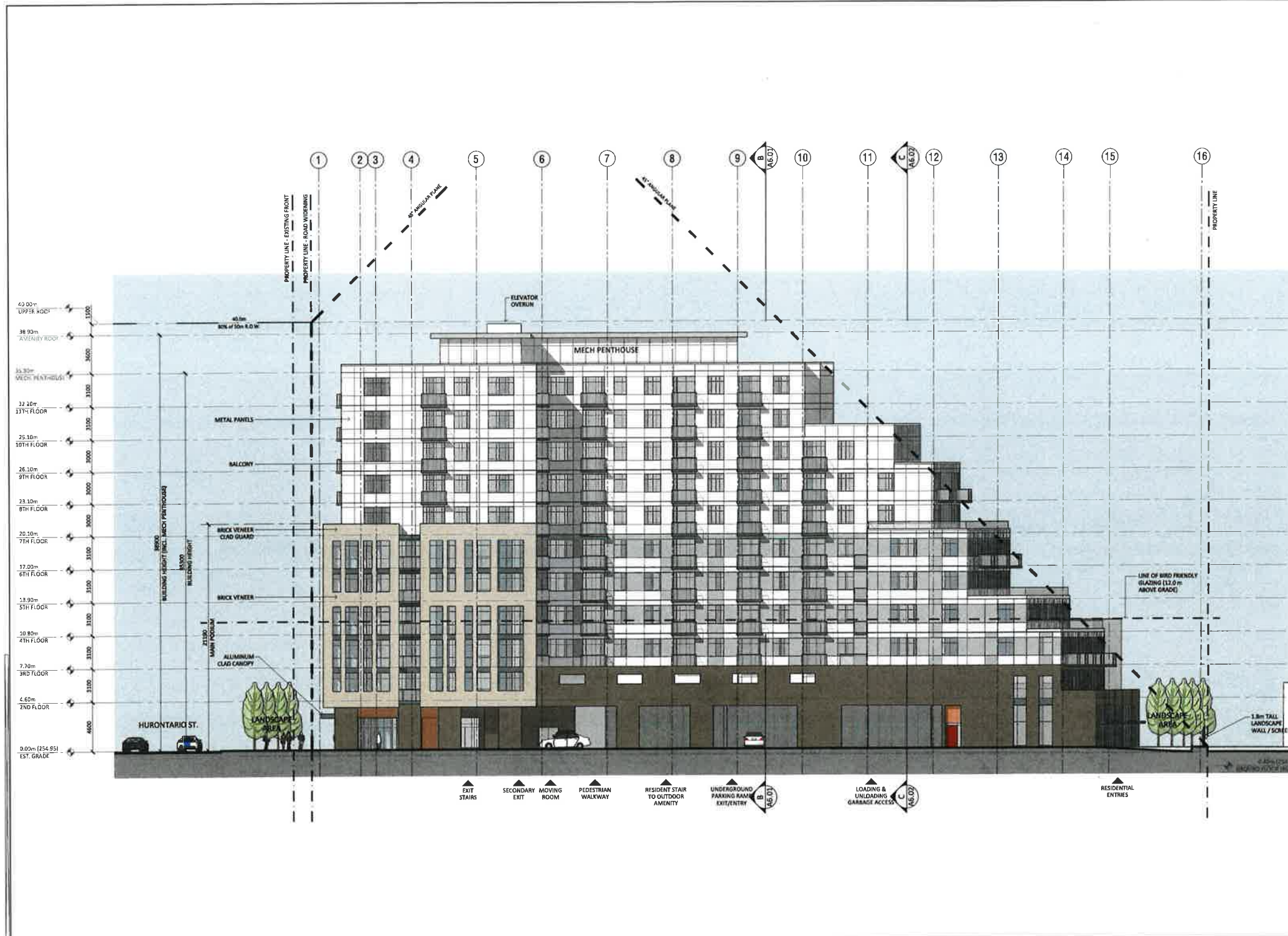
LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8888
 E MAIL:



SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-10	ISSUED FOR PERMITS
2	2022-01-15	ISSUED FOR PERMITS
3	2022-01-20	ISSUED FOR PERMITS
4	2022-01-25	ISSUED FOR PERMITS
5	2022-02-01	ISSUED FOR PERMITS
6	2022-02-05	ISSUED FOR PERMITS
7	2022-02-10	ISSUED FOR PERMITS
8	2022-02-15	ISSUED FOR PERMITS
9	2022-02-20	ISSUED FOR PERMITS
10	2022-02-25	ISSUED FOR PERMITS
11	2022-03-01	ISSUED FOR PERMITS
12	2022-03-05	ISSUED FOR PERMITS
13	2022-03-10	ISSUED FOR PERMITS
14	2022-03-15	ISSUED FOR PERMITS
15	2022-03-20	ISSUED FOR PERMITS
16	2022-03-25	ISSUED FOR PERMITS

ISSUED FOR PERMITS

ARUP DATA ARCHITECT LTD.

PROJECT #: 1701

PROJECT: HURONTARIO RESIDENTIAL BUILDING

13020 Hurontario St., Burlington, ON L7R 4K4

DRAWING: SOUTH ELEVATION

DRAWING #: A5.00-R4

SCALE: 1:50

DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD

DESIGNED AND SPECIFIED AS INSTRUMENT OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT REMAINS RESERVED TO THEM.
 NO REPRODUCTION OR ALTERATION WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WORK MADE MUST BE AT ITS RISK.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT SAME WITH DETAILED PRIOR TO COMMENCEMENT WORK.

PRINCIPAL CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 201 - CITY AVENUE, 8/F
 CALGARY, ALBERTA T2S 0A8
 TEL: (403) 244-8842 FAX: (403) 244-8842
 E MAIL: info@ada.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

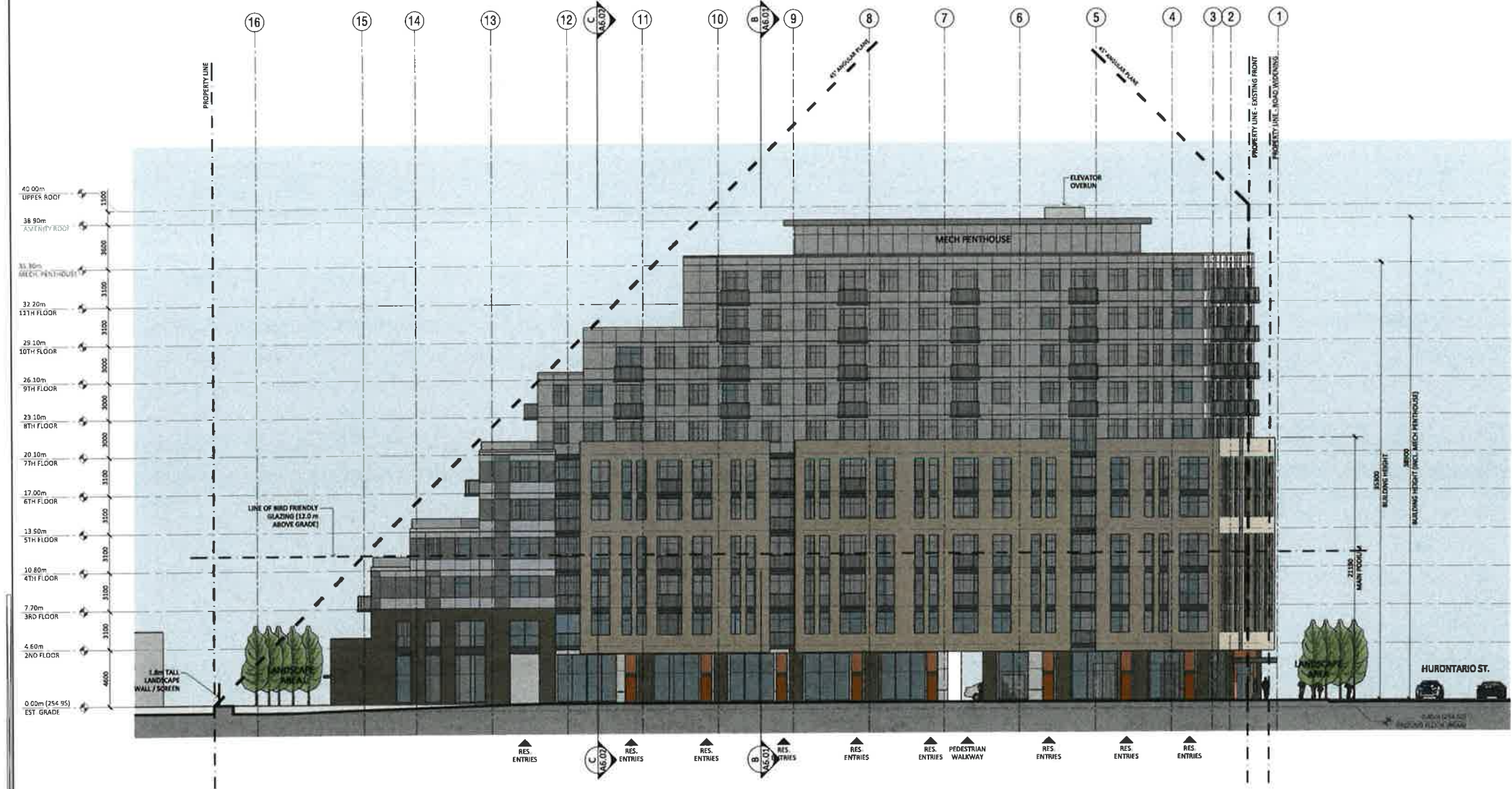
LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX, PHONE NO:
 E MAIL:

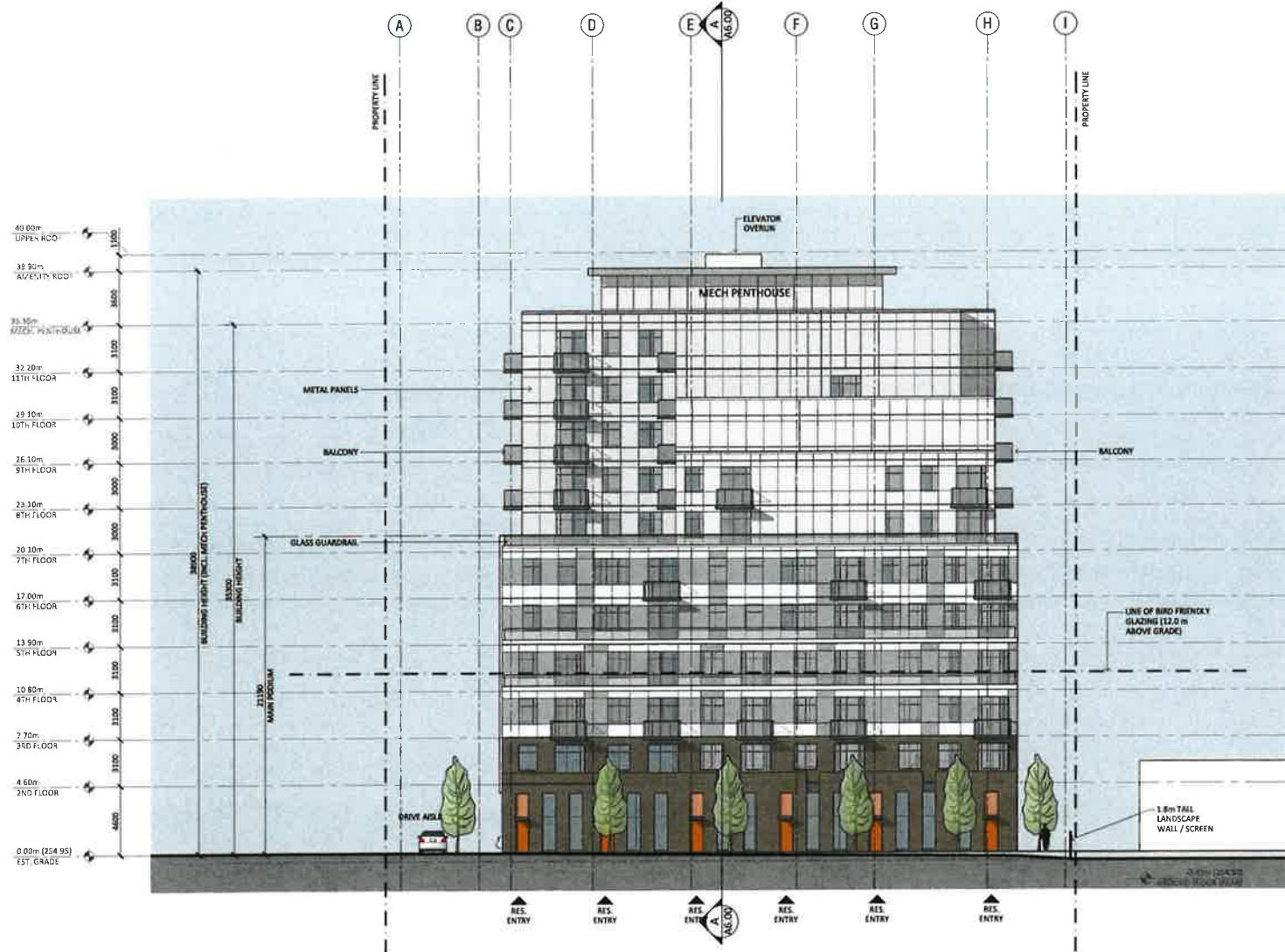
SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMITS
2	2022-01-06	ISSUED FOR PERMITS
3	2022-01-06	ISSUED FOR PERMITS
4	2022-01-06	ISSUED FOR PERMITS
5	2022-01-06	ISSUED FOR PERMITS
6	2022-01-06	ISSUED FOR PERMITS
7	2022-01-06	ISSUED FOR PERMITS
8	2022-01-06	ISSUED FOR PERMITS
9	2022-01-06	ISSUED FOR PERMITS
10	2022-01-06	ISSUED FOR PERMITS
11	2022-01-06	ISSUED FOR PERMITS
12	2022-01-06	ISSUED FOR PERMITS
13	2022-01-06	ISSUED FOR PERMITS
14	2022-01-06	ISSUED FOR PERMITS
15	2022-01-06	ISSUED FOR PERMITS
16	2022-01-06	ISSUED FOR PERMITS

ISSUED FOR PERMITS
 ARUP DATTA ARCHITECT LTD.
 201 - CITY AVENUE, 8/F
 CALGARY, ALBERTA T2S 0A8
 TEL: (403) 244-8842 FAX: (403) 244-8842
 E MAIL: info@ada.ca

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1200 Hurontario St, Mississauga, ON L5E 4P8
 DRAWING:
 NORTH ELEVATION
 DRAWING #:
A5.01-R4
 SCALE: 1/8"=1'-0"
 DESIGNED BY: AD DRAWN BY: FA CHECKED BY: AD





DESIGNER AND ARCHITECTURE AS WELL AS THE
 OF SERVICE AND THE PROPERTY OF ARUP DATTA
 ARCHITECT LTD. THE CONTRACTOR SHALL VERIFY
 TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE
 PERMISSION OF ARUP DATTA ARCHITECT LTD. AND
 WHERE NECESSARY MUST BEAR THE NAME
 OF THE ARCHITECT.
 THIS DRAWING IS NOT TO BE USED FOR
 CONSTRUCTION PURPOSES UNLESS ORDERED BY THE
 CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL
 DIMENSIONS, LEVELS, AND SPACINGS BEFORE ANY
 CONSTRUCTION PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 301 - 1704 AVENUE S.W.
 CALGARY, ALBERTA T2S 0A8
 TEL: (403) 243-8811 FAX: (403) 243-8817
 E MAIL: pm@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

MECH CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: AND FAX: FAX: AND E MAIL:

SPA-2022-0106

#	DATE	DESCRIPTION
1	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
2	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
3	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
4	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
5	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
6	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
7	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
8	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
9	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
10	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
11	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
12	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
13	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
14	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
15	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
16	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
17	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
18	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
19	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE
20	2024-11-27	ISSUE FOR PERMITS & ZONING COMMENTS RESPONSE

ISSUED FOR PERMITS & ZONING COMMENTS RESPONSE

ARUP DATTA ARCHITECT LTD.

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1702 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
 EAST ELEVATION

DRAWING #:
 A5.02-R4

SCALE: 1/8" = 1'-0"

DESIGNED BY: AD
 DRAWN BY: EA
 CHECKED BY: AD

DRAWING AND SPECIFICATIONS ARE PREPARED BY ARCHITECTS AND ENGINEERS AT THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BEAT ITS NAME.
 THIS DRAWING SHOULD NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK ALL DIMENSIONS & CALLS AND REPORT DISCREPANCIES PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 201 - 10TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 2S3
 TEL: 403.243.8888 FAX: 403.243.8887
 E MAIL: info@adarch.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

MECHANICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

ELECTRICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

HVAC
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

CIVIL
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/STATE:
 TEL: (AREA) (PHONE) FAX: (AREA) (PHONE) P. (AREA)

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-10	ISSUED FOR PERMITS
2	2022-01-15	ISSUED FOR PERMITS
3	2022-01-20	ISSUED FOR PERMITS
4	2022-01-25	ISSUED FOR PERMITS
5	2022-02-01	ISSUED FOR PERMITS
6	2022-02-05	ISSUED FOR PERMITS
7	2022-02-10	ISSUED FOR PERMITS
8	2022-02-15	ISSUED FOR PERMITS
9	2022-02-20	ISSUED FOR PERMITS
10	2022-02-25	ISSUED FOR PERMITS
11	2022-03-01	ISSUED FOR PERMITS
12	2022-03-05	ISSUED FOR PERMITS
13	2022-03-10	ISSUED FOR PERMITS
14	2022-03-15	ISSUED FOR PERMITS
15	2022-03-20	ISSUED FOR PERMITS
16	2022-03-25	ISSUED FOR PERMITS
17	2022-04-01	ISSUED FOR PERMITS
18	2022-04-05	ISSUED FOR PERMITS
19	2022-04-10	ISSUED FOR PERMITS
20	2022-04-15	ISSUED FOR PERMITS
21	2022-04-20	ISSUED FOR PERMITS
22	2022-04-25	ISSUED FOR PERMITS
23	2022-05-01	ISSUED FOR PERMITS
24	2022-05-05	ISSUED FOR PERMITS
25	2022-05-10	ISSUED FOR PERMITS
26	2022-05-15	ISSUED FOR PERMITS
27	2022-05-20	ISSUED FOR PERMITS
28	2022-05-25	ISSUED FOR PERMITS
29	2022-06-01	ISSUED FOR PERMITS
30	2022-06-05	ISSUED FOR PERMITS
31	2022-06-10	ISSUED FOR PERMITS
32	2022-06-15	ISSUED FOR PERMITS
33	2022-06-20	ISSUED FOR PERMITS
34	2022-06-25	ISSUED FOR PERMITS
35	2022-07-01	ISSUED FOR PERMITS
36	2022-07-05	ISSUED FOR PERMITS
37	2022-07-10	ISSUED FOR PERMITS
38	2022-07-15	ISSUED FOR PERMITS
39	2022-07-20	ISSUED FOR PERMITS
40	2022-07-25	ISSUED FOR PERMITS
41	2022-08-01	ISSUED FOR PERMITS
42	2022-08-05	ISSUED FOR PERMITS
43	2022-08-10	ISSUED FOR PERMITS
44	2022-08-15	ISSUED FOR PERMITS
45	2022-08-20	ISSUED FOR PERMITS
46	2022-08-25	ISSUED FOR PERMITS
47	2022-09-01	ISSUED FOR PERMITS
48	2022-09-05	ISSUED FOR PERMITS
49	2022-09-10	ISSUED FOR PERMITS
50	2022-09-15	ISSUED FOR PERMITS
51	2022-09-20	ISSUED FOR PERMITS
52	2022-09-25	ISSUED FOR PERMITS
53	2022-10-01	ISSUED FOR PERMITS
54	2022-10-05	ISSUED FOR PERMITS
55	2022-10-10	ISSUED FOR PERMITS
56	2022-10-15	ISSUED FOR PERMITS
57	2022-10-20	ISSUED FOR PERMITS
58	2022-10-25	ISSUED FOR PERMITS
59	2022-11-01	ISSUED FOR PERMITS
60	2022-11-05	ISSUED FOR PERMITS
61	2022-11-10	ISSUED FOR PERMITS
62	2022-11-15	ISSUED FOR PERMITS
63	2022-11-20	ISSUED FOR PERMITS
64	2022-11-25	ISSUED FOR PERMITS
65	2022-12-01	ISSUED FOR PERMITS
66	2022-12-05	ISSUED FOR PERMITS
67	2022-12-10	ISSUED FOR PERMITS
68	2022-12-15	ISSUED FOR PERMITS
69	2022-12-20	ISSUED FOR PERMITS
70	2022-12-25	ISSUED FOR PERMITS
71	2023-01-01	ISSUED FOR PERMITS
72	2023-01-05	ISSUED FOR PERMITS
73	2023-01-10	ISSUED FOR PERMITS
74	2023-01-15	ISSUED FOR PERMITS
75	2023-01-20	ISSUED FOR PERMITS
76	2023-01-25	ISSUED FOR PERMITS
77	2023-02-01	ISSUED FOR PERMITS
78	2023-02-05	ISSUED FOR PERMITS
79	2023-02-10	ISSUED FOR PERMITS
80	2023-02-15	ISSUED FOR PERMITS
81	2023-02-20	ISSUED FOR PERMITS
82	2023-02-25	ISSUED FOR PERMITS
83	2023-03-01	ISSUED FOR PERMITS
84	2023-03-05	ISSUED FOR PERMITS
85	2023-03-10	ISSUED FOR PERMITS
86	2023-03-15	ISSUED FOR PERMITS
87	2023-03-20	ISSUED FOR PERMITS
88	2023-03-25	ISSUED FOR PERMITS
89	2023-04-01	ISSUED FOR PERMITS
90	2023-04-05	ISSUED FOR PERMITS
91	2023-04-10	ISSUED FOR PERMITS
92	2023-04-15	ISSUED FOR PERMITS
93	2023-04-20	ISSUED FOR PERMITS
94	2023-04-25	ISSUED FOR PERMITS
95	2023-05-01	ISSUED FOR PERMITS
96	2023-05-05	ISSUED FOR PERMITS
97	2023-05-10	ISSUED FOR PERMITS
98	2023-05-15	ISSUED FOR PERMITS
99	2023-05-20	ISSUED FOR PERMITS
100	2023-05-25	ISSUED FOR PERMITS

ISSUED FOR PERMITS
 ARUP DATTA ARCHITECT LTD.
 201 - 10TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 2S3
 TEL: 403.243.8888 FAX: 403.243.8887
 E MAIL: info@adarch.ca

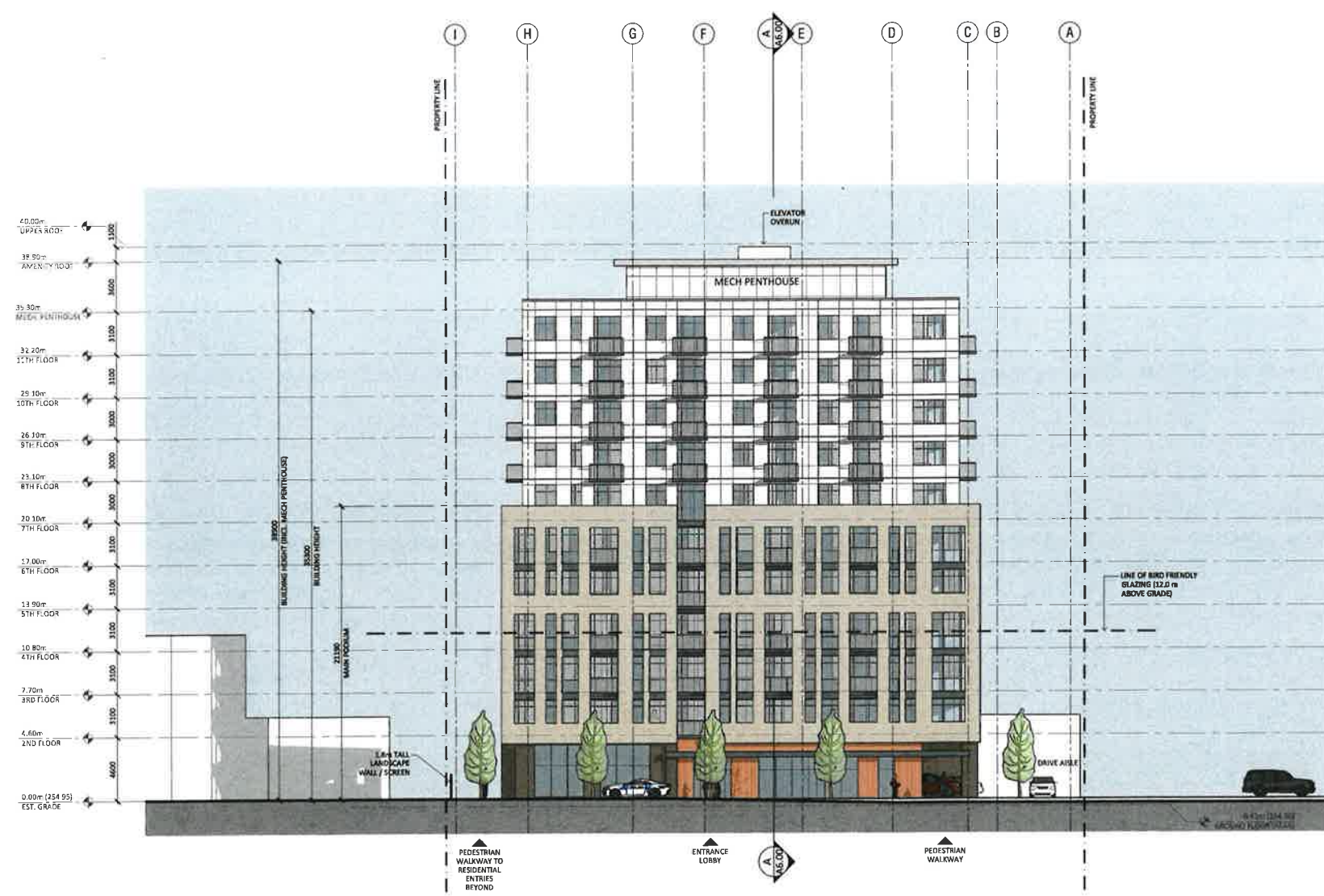
PROJECT # 1701

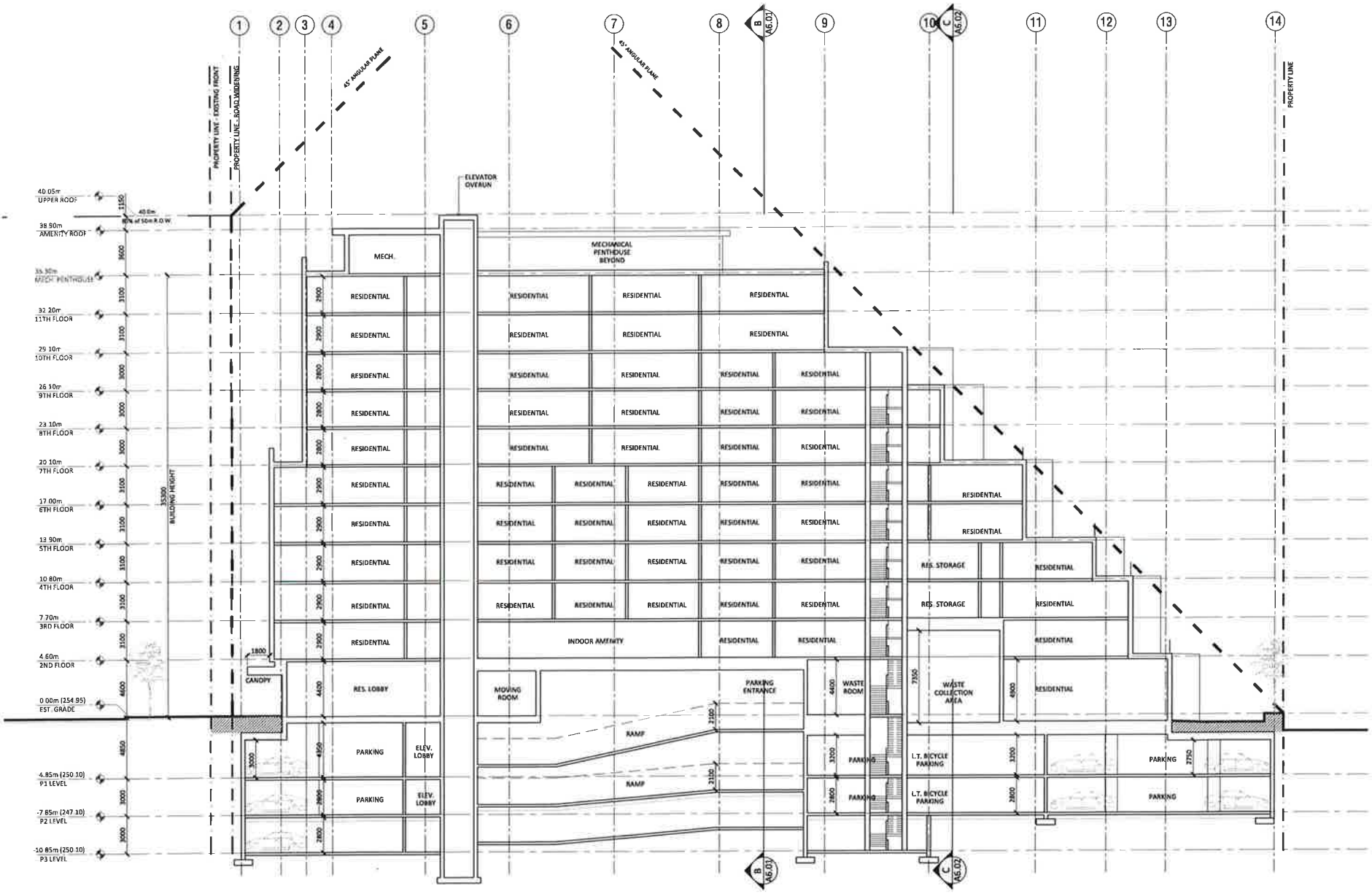
PROJECT
 HURONTARIO RESIDENTIAL BUILDING
 1701 Hurontario St. Brampton, ON L6Z 4P6

DRAWING
 WEST ELEVATION

DRAWING #
A5.03-R4

SCALE: 1/8"=1'-0"
 DESIGNED BY: AD DRAWN BY: EA CHECKED BY: AD





40.05m UPPER ROOF
 36.90m AMENITY ROOF
 35.50m MECH. PENTHOUSE
 32.26m 11TH FLOOR
 29.10m 10TH FLOOR
 26.10m 9TH FLOOR
 23.10m 8TH FLOOR
 20.10m 7TH FLOOR
 17.00m 6TH FLOOR
 13.90m 5TH FLOOR
 10.80m 4TH FLOOR
 7.70m 3RD FLOOR
 4.60m 2ND FLOOR
 0.00m (254.95) EST. GRADE
 4.85m (250.10) P3 LEVEL
 -7.85m (247.10) P2 LEVEL
 -10.85m (250.10) P3 LEVEL

BUILDING HEIGHT

PROPERTY LINE - EXISTING FRONT
 PROPERTY LINE - BOUNDARY

45° ANGLE PLANE

45° ANGLE PLANE

ELEVATOR OVERLAY

MECH.

MECHANICAL PENTHOUSE BEYOND

MOVING ROOM

PARKING ENTRANCE

WASTE ROOM

WASTE COLLECTION AREA

RES. LOBBY

RES. STORAGE

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BEAR ITS NAME.
 THE DRAWINGS MUST NOT BE SCALE.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND DATA AND REPORT THEREON TO THE ARCHITECT PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 801 - 1170 AVENUE, S.W.
 CALGARY, ALBERTA T2P 3A5
 TEL: (403) 244-8888 FAX: (403) 244-8887
 E-MAIL: PRIMAL@AD.AE
LOCAL ARCHITECT
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:
SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:
MECHANICAL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:
ELECTRICAL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:
HVAC
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:
CIVIL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:
LANDSCAPE
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8889
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-11-01	ISSUED FOR PERMITS
2	2022-11-01	ISSUED FOR PERMITS
3	2022-11-01	ISSUED FOR PERMITS
4	2022-11-01	ISSUED FOR PERMITS
5	2022-11-01	ISSUED FOR PERMITS
6	2022-11-01	ISSUED FOR PERMITS
7	2022-11-01	ISSUED FOR PERMITS
8	2022-11-01	ISSUED FOR PERMITS
9	2022-11-01	ISSUED FOR PERMITS
10	2022-11-01	ISSUED FOR PERMITS
11	2022-11-01	ISSUED FOR PERMITS
12	2022-11-01	ISSUED FOR PERMITS
13	2022-11-01	ISSUED FOR PERMITS
14	2022-11-01	ISSUED FOR PERMITS
15	2022-11-01	ISSUED FOR PERMITS
16	2022-11-01	ISSUED FOR PERMITS
17	2022-11-01	ISSUED FOR PERMITS
18	2022-11-01	ISSUED FOR PERMITS
19	2022-11-01	ISSUED FOR PERMITS
20	2022-11-01	ISSUED FOR PERMITS

ISSUED FOR PERMITS
 ARUP DATTA ARCHITECT LTD

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1808 Hurontario St, Brampton, ON L6R 4P6
 DRAWING:
SECTION A
 DRAWING #:
A6.00-R4
 SCALE: 1/50
 DESIGN BY: [Signature] CHECKED BY: AD
 DATE: [Date] FA

APRUP DATTA ARCHITECTURE AND ASSOCIATES AS THE NUMBER OF SHEETS AND THE PROJECT OR ARCHITECT TO THE COPYRIGHT BEING RELEASED TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF APRUP DATTA ARCHITECTURE AND ASSOCIATES. ANY REPRODUCTION WITHOUT THEIR WRITTEN PERMISSION IS STRICTLY PROHIBITED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & MATERIALS BEFORE CONSTRUCTION AND CHECKS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 APRUP DATTA ARCHITECT LTD
 301 - 1170 AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 243-8888 FAX: (403) 244-8887
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-01-18	ISSUED FOR CONSTRUCTION
2	2024-01-18	ISSUED FOR CONSTRUCTION
3	2024-01-18	ISSUED FOR CONSTRUCTION
4	2024-01-18	ISSUED FOR CONSTRUCTION
5	2024-01-18	ISSUED FOR CONSTRUCTION
6	2024-01-18	ISSUED FOR CONSTRUCTION
7	2024-01-18	ISSUED FOR CONSTRUCTION
8	2024-01-18	ISSUED FOR CONSTRUCTION
9	2024-01-18	ISSUED FOR CONSTRUCTION
10	2024-01-18	ISSUED FOR CONSTRUCTION

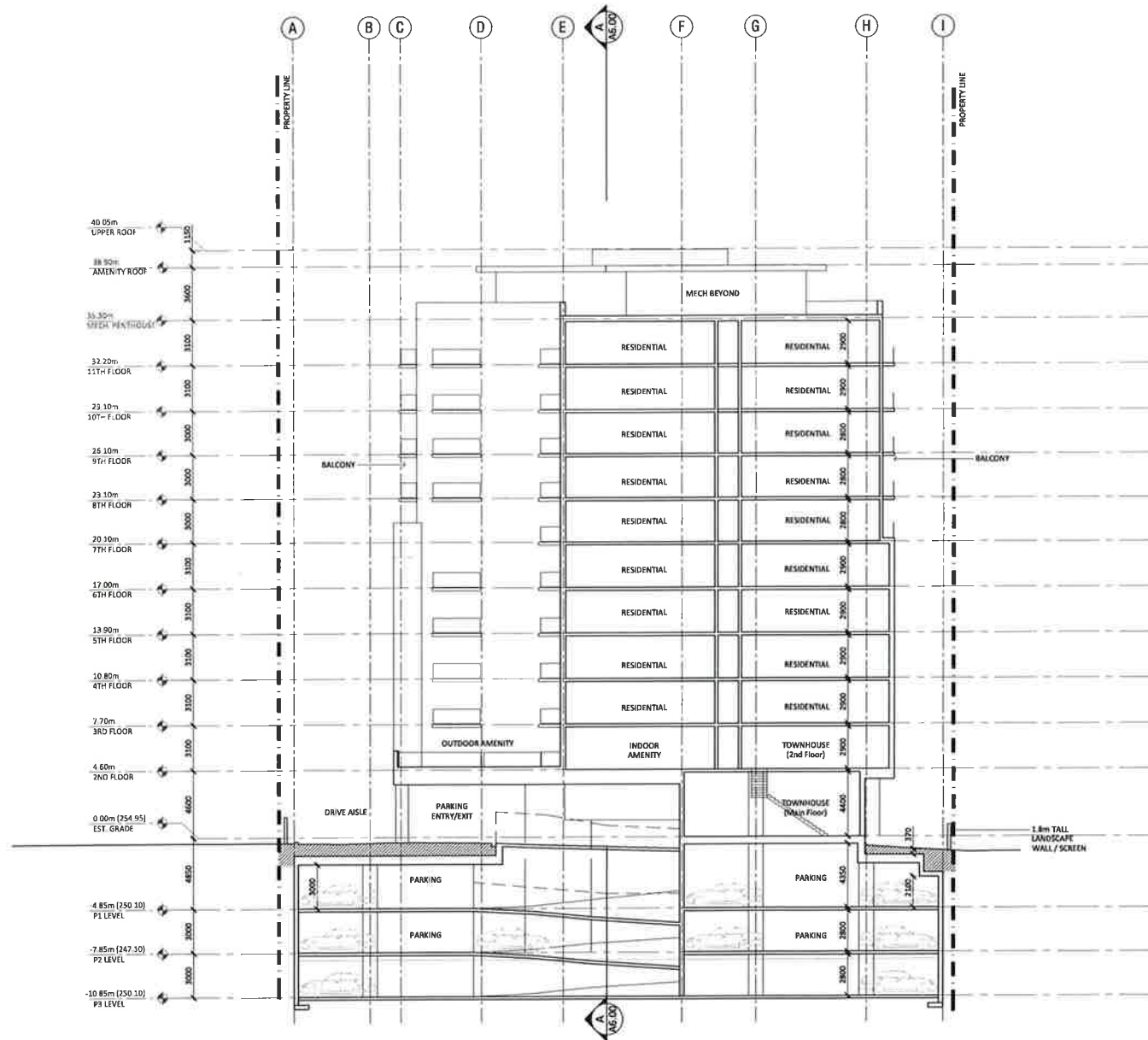


PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1700 Hurontario St, Brampton, ON L6Z 4P4

DRAWING:
SECTION B

DRAWING #:
A6.01-R4

SCALE: 1/8" = 1'-0"
 DESIGNED BY: AD DRAWN BY: RA CHECKED BY: AD



DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT MARK RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAT ITS NAME.
 THIS DRAWING MUST NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM ARUP DATTA ARCHITECT LTD.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 237-17TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8818 FAX: (403) 244-8827
 E-MAIL: rda@arup.ca

LEGAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMITTING & CONSTRUCTION
2	2022-01-10	ISSUED FOR PERMITTING & CONSTRUCTION
3	2022-01-15	ISSUED FOR PERMITTING & CONSTRUCTION
4	2022-01-20	ISSUED FOR PERMITTING & CONSTRUCTION
5	2022-01-25	ISSUED FOR PERMITTING & CONSTRUCTION
6	2022-02-01	ISSUED FOR PERMITTING & CONSTRUCTION
7	2022-02-05	ISSUED FOR PERMITTING & CONSTRUCTION
8	2022-02-10	ISSUED FOR PERMITTING & CONSTRUCTION
9	2022-02-15	ISSUED FOR PERMITTING & CONSTRUCTION
10	2022-02-20	ISSUED FOR PERMITTING & CONSTRUCTION
11	2022-02-25	ISSUED FOR PERMITTING & CONSTRUCTION
12	2022-03-01	ISSUED FOR PERMITTING & CONSTRUCTION
13	2022-03-05	ISSUED FOR PERMITTING & CONSTRUCTION
14	2022-03-10	ISSUED FOR PERMITTING & CONSTRUCTION
15	2022-03-15	ISSUED FOR PERMITTING & CONSTRUCTION
16	2022-03-20	ISSUED FOR PERMITTING & CONSTRUCTION
17	2022-03-25	ISSUED FOR PERMITTING & CONSTRUCTION
18	2022-04-01	ISSUED FOR PERMITTING & CONSTRUCTION
19	2022-04-05	ISSUED FOR PERMITTING & CONSTRUCTION
20	2022-04-10	ISSUED FOR PERMITTING & CONSTRUCTION
21	2022-04-15	ISSUED FOR PERMITTING & CONSTRUCTION
22	2022-04-20	ISSUED FOR PERMITTING & CONSTRUCTION
23	2022-04-25	ISSUED FOR PERMITTING & CONSTRUCTION
24	2022-05-01	ISSUED FOR PERMITTING & CONSTRUCTION
25	2022-05-05	ISSUED FOR PERMITTING & CONSTRUCTION
26	2022-05-10	ISSUED FOR PERMITTING & CONSTRUCTION
27	2022-05-15	ISSUED FOR PERMITTING & CONSTRUCTION
28	2022-05-20	ISSUED FOR PERMITTING & CONSTRUCTION
29	2022-05-25	ISSUED FOR PERMITTING & CONSTRUCTION
30	2022-06-01	ISSUED FOR PERMITTING & CONSTRUCTION
31	2022-06-05	ISSUED FOR PERMITTING & CONSTRUCTION
32	2022-06-10	ISSUED FOR PERMITTING & CONSTRUCTION
33	2022-06-15	ISSUED FOR PERMITTING & CONSTRUCTION
34	2022-06-20	ISSUED FOR PERMITTING & CONSTRUCTION
35	2022-06-25	ISSUED FOR PERMITTING & CONSTRUCTION
36	2022-07-01	ISSUED FOR PERMITTING & CONSTRUCTION
37	2022-07-05	ISSUED FOR PERMITTING & CONSTRUCTION
38	2022-07-10	ISSUED FOR PERMITTING & CONSTRUCTION
39	2022-07-15	ISSUED FOR PERMITTING & CONSTRUCTION
40	2022-07-20	ISSUED FOR PERMITTING & CONSTRUCTION
41	2022-07-25	ISSUED FOR PERMITTING & CONSTRUCTION
42	2022-08-01	ISSUED FOR PERMITTING & CONSTRUCTION
43	2022-08-05	ISSUED FOR PERMITTING & CONSTRUCTION
44	2022-08-10	ISSUED FOR PERMITTING & CONSTRUCTION
45	2022-08-15	ISSUED FOR PERMITTING & CONSTRUCTION
46	2022-08-20	ISSUED FOR PERMITTING & CONSTRUCTION
47	2022-08-25	ISSUED FOR PERMITTING & CONSTRUCTION
48	2022-09-01	ISSUED FOR PERMITTING & CONSTRUCTION
49	2022-09-05	ISSUED FOR PERMITTING & CONSTRUCTION
50	2022-09-10	ISSUED FOR PERMITTING & CONSTRUCTION
51	2022-09-15	ISSUED FOR PERMITTING & CONSTRUCTION
52	2022-09-20	ISSUED FOR PERMITTING & CONSTRUCTION
53	2022-09-25	ISSUED FOR PERMITTING & CONSTRUCTION
54	2022-10-01	ISSUED FOR PERMITTING & CONSTRUCTION
55	2022-10-05	ISSUED FOR PERMITTING & CONSTRUCTION
56	2022-10-10	ISSUED FOR PERMITTING & CONSTRUCTION
57	2022-10-15	ISSUED FOR PERMITTING & CONSTRUCTION
58	2022-10-20	ISSUED FOR PERMITTING & CONSTRUCTION
59	2022-10-25	ISSUED FOR PERMITTING & CONSTRUCTION
60	2022-11-01	ISSUED FOR PERMITTING & CONSTRUCTION
61	2022-11-05	ISSUED FOR PERMITTING & CONSTRUCTION
62	2022-11-10	ISSUED FOR PERMITTING & CONSTRUCTION
63	2022-11-15	ISSUED FOR PERMITTING & CONSTRUCTION
64	2022-11-20	ISSUED FOR PERMITTING & CONSTRUCTION
65	2022-11-25	ISSUED FOR PERMITTING & CONSTRUCTION
66	2022-12-01	ISSUED FOR PERMITTING & CONSTRUCTION
67	2022-12-05	ISSUED FOR PERMITTING & CONSTRUCTION
68	2022-12-10	ISSUED FOR PERMITTING & CONSTRUCTION
69	2022-12-15	ISSUED FOR PERMITTING & CONSTRUCTION
70	2022-12-20	ISSUED FOR PERMITTING & CONSTRUCTION
71	2022-12-25	ISSUED FOR PERMITTING & CONSTRUCTION
72	2023-01-01	ISSUED FOR PERMITTING & CONSTRUCTION
73	2023-01-05	ISSUED FOR PERMITTING & CONSTRUCTION
74	2023-01-10	ISSUED FOR PERMITTING & CONSTRUCTION
75	2023-01-15	ISSUED FOR PERMITTING & CONSTRUCTION
76	2023-01-20	ISSUED FOR PERMITTING & CONSTRUCTION
77	2023-01-25	ISSUED FOR PERMITTING & CONSTRUCTION
78	2023-02-01	ISSUED FOR PERMITTING & CONSTRUCTION
79	2023-02-05	ISSUED FOR PERMITTING & CONSTRUCTION
80	2023-02-10	ISSUED FOR PERMITTING & CONSTRUCTION
81	2023-02-15	ISSUED FOR PERMITTING & CONSTRUCTION
82	2023-02-20	ISSUED FOR PERMITTING & CONSTRUCTION
83	2023-02-25	ISSUED FOR PERMITTING & CONSTRUCTION
84	2023-03-01	ISSUED FOR PERMITTING & CONSTRUCTION
85	2023-03-05	ISSUED FOR PERMITTING & CONSTRUCTION
86	2023-03-10	ISSUED FOR PERMITTING & CONSTRUCTION
87	2023-03-15	ISSUED FOR PERMITTING & CONSTRUCTION
88	2023-03-20	ISSUED FOR PERMITTING & CONSTRUCTION
89	2023-03-25	ISSUED FOR PERMITTING & CONSTRUCTION
90	2023-04-01	ISSUED FOR PERMITTING & CONSTRUCTION
91	2023-04-05	ISSUED FOR PERMITTING & CONSTRUCTION
92	2023-04-10	ISSUED FOR PERMITTING & CONSTRUCTION
93	2023-04-15	ISSUED FOR PERMITTING & CONSTRUCTION
94	2023-04-20	ISSUED FOR PERMITTING & CONSTRUCTION
95	2023-04-25	ISSUED FOR PERMITTING & CONSTRUCTION
96	2023-05-01	ISSUED FOR PERMITTING & CONSTRUCTION
97	2023-05-05	ISSUED FOR PERMITTING & CONSTRUCTION
98	2023-05-10	ISSUED FOR PERMITTING & CONSTRUCTION
99	2023-05-15	ISSUED FOR PERMITTING & CONSTRUCTION
100	2023-05-20	ISSUED FOR PERMITTING & CONSTRUCTION

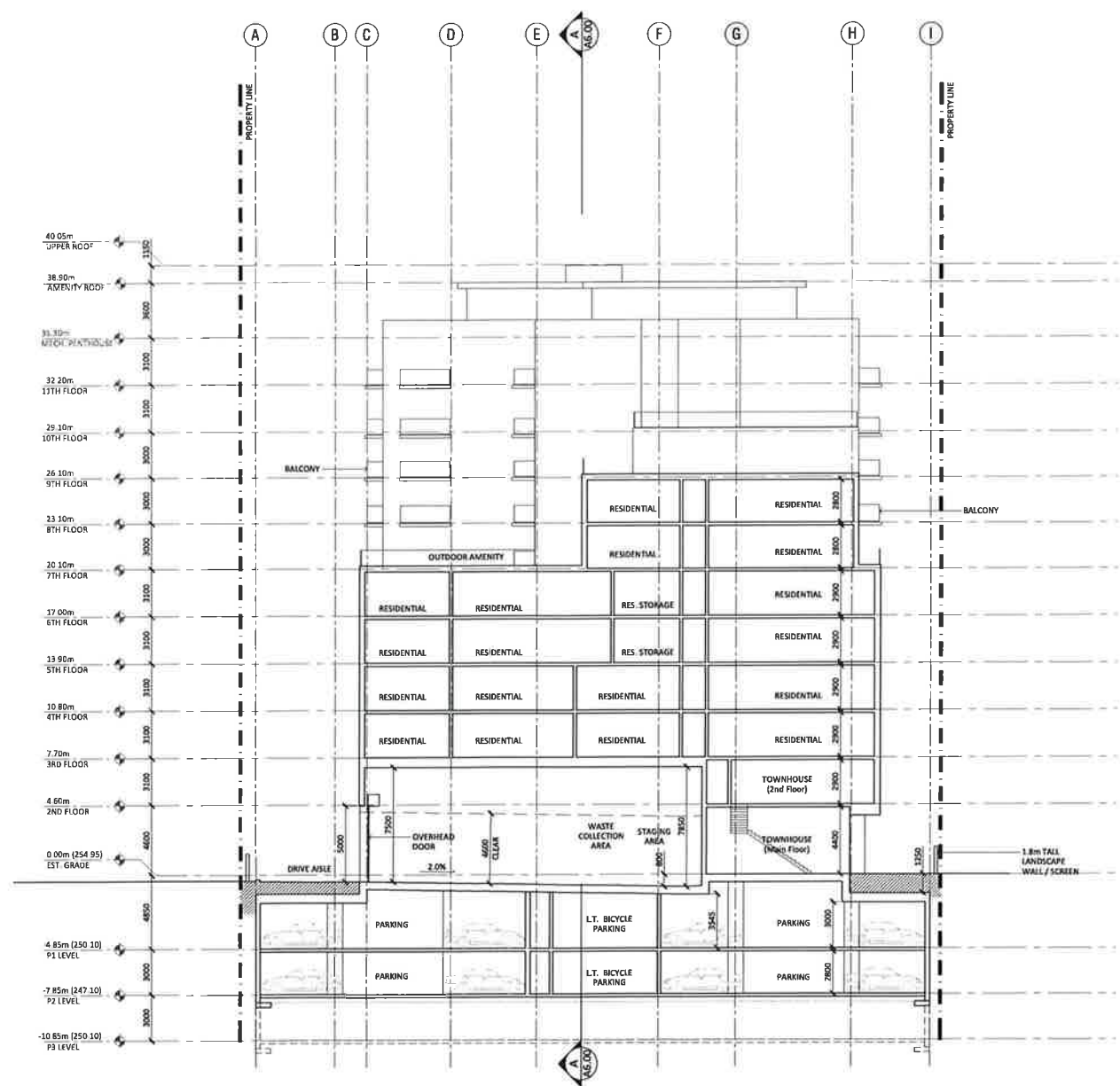
ISSUED FOR / REVISIONS
 ARUP DATTA ARCHITECT LTD
 1701 HURONTARIO ST. BRAMPTON, ON L6L 4P6

PROJECT #: 1701
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1701 HURONTARIO ST. BRAMPTON, ON L6L 4P6

DRAWING:
 SECTION C

DRAWING #:
 A6.02-R4

SCALE: 1:150
DESIGN BY: EA
DRAWN BY: AD
CHECKED BY: AD





HURONTARIO ST WEST VIEW



HURONTARIO ST SOUTH VIEW



HURONTARIO ST SOUTH WEST VIEW



OLDGATE LANE ELEVATION (REAR)

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT SHALL REMAIN SOLELY TO THEM.
NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAT ITS MARK.
THESE DRAWINGS MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCEMENT WORK.

PRIME CONSULTANT:
ARCHITECTURAL
ARUP DATTA ARCHITECT LTD.
207 - 11TH AVENUE, S.W.
CALGARY, ALBERTA T2S 1A5
TEL: 403 243-8811 FAX: (403) 244-8802
E-MAIL: info@ad.ca

LOCAL ARCHITECT:
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

SUB-CONSULTANTS
STRUCTURAL
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

MECHANICAL
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

ELECTRICAL
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

HVAC
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

CIVIL
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

LANDSCAPE
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 880-0000 FAX: (905) 880-0000
E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
2	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
3	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
4	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
5	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
6	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
7	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
8	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
9	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS
10	2024-11-01	ISSUE FOR SUBMISSION & BOARD COMMENTS

ISSUES FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
207 - 11TH AVENUE, S.W.
CALGARY, ALBERTA T2S 1A5
TEL: 403 243-8811 FAX: (403) 244-8802
E-MAIL: info@ad.ca

PROJECT #: 1701
PROJECT:
HURONTARIO RESIDENTIAL BUILDING
12008 Hurontario St, Brampton, ON L6Y 4P8
DRAWING:
PERSPECTIVE VIEWS
DRAWING #:
A7-00-R4
SCALE: N.T.S.
DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD



AERIAL VIEW - SOUTH WEST



AERIAL VIEW - SOUTH EAST



AERIAL VIEW - NORTH WEST



AERIAL VIEW - NORTH EAST

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM. NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BEAR ITS NAME. THIS DRAWING MUST NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARUP DATTA ARCHITECT LTD.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 257, 17th Avenue, SW
 CALGARY, ALBERTA T2S 0A9
 TEL: (403) 242-8118 FAX: (403) 244-8882
 E MAIL: info@ardatta.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL, FAX:
 E MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-10	ISSUE FOR PERMITTING
2	2022-01-10	ISSUE FOR PERMITTING
3	2022-01-10	ISSUE FOR PERMITTING
4	2022-01-10	ISSUE FOR PERMITTING
5	2022-01-10	ISSUE FOR PERMITTING
6	2022-01-10	ISSUE FOR PERMITTING
7	2022-01-10	ISSUE FOR PERMITTING
8	2022-01-10	ISSUE FOR PERMITTING
9	2022-01-10	ISSUE FOR PERMITTING
10	2022-01-10	ISSUE FOR PERMITTING

ISSUED FOR PERMITTING
 ARUP DATTA ARCHITECT LTD.
 ARCHITECTURE - DESIGN - CONSTRUCTION - PLANNING - URBAN DESIGN

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1508 Hurontario St, Brampton, ON L6Z 4P6

DRAWING:
 PERSPECTIVE VIEWS

DRAWING #:
A7.01-R4

SCALE: N.T.S.
 DESIGN BY: DRAWN BY: CHECKED BY:
 AD RA AD

**SITE PLAN REVIEW
ZONING ISSUES**

(Contact Elizabeth Corazzola at elizabeth.corazzola@brampton.ca)

File No.: SPA-2022-0106
Date Reviewed: October 29, 2024
Plans Dated: June 10, 2024
Site Address: 12035 Hurontario
By-Law Number: 270-2004, as amended
Zone: R4A-3625
C of A: A-2024-0072

Category	Proposal	By-Law Requirement	By-Law Conformity
Use	An Apartment Dwelling	Uses in the 3625 zone, including an apartment dwelling	Yes
Lot Coverage	64%	Maximum 65%	Yes
Front Yard Depth	3 m	Min. 3 m	Yes
Side Yard Width	North: 3.995 South: 7.525	North: Min. 4 m South: Min. 7.5 m	No – See Note 1
Rear Yard Depth	8.8m to first storey Setback to other storeys not dimensioned	Min. 8.5 m to 1 st storey Min. 8.8 m to 2 nd storey Min. 11.9 m 3 rd storey Min. 14.8 m to 4 th storey Min. 17.7 m to 5 th storey Min. 20.6 m to 6 th storey Min. 29.3 m to 7 th , 8 th and 9 th storeys Min. 33.8 m to the mechanical penthouse	Unknown – See Note 2
Number of Dwelling Units	187 units	Maximum. 205 units	Yes
Building Height	35.3 m	Max. 38.9 m per variance A-2024-0072	Yes
Mechanical Penthouse/Rooftop elements	4.7m height about roof level	Max. Height of 5.5m	Yes
Hydro Transformer	Setbacks not dimensioned but does not meet the minimum setback requirements in location proposed	Must meet all building setbacks	No – See Note 3
Floor Space Index	4.3	Max. 3.8	No – See Note 4
Landscaped Open Space	16% of the lot area	Min. 15% of the lot area	
Parking Space Qty.	218 Resident Spaces 24 Visitor Spaces	Min. 0.86 spaces per unit for residents: 161 Resident Spaces Min. 0.10 space per unit for visitors: 19 Visitor Spaces Accessible Parking in accordance with By-Law 93-93	Yes

Category	Proposal	By-Law Requirement	By-Law Conformity
Parking Space Dim. - Angled Parking - Barrier-Free	2.7m x 5.4m	Minimum 2.7 x 5.4 metres (minimum) <u>Type A:</u> 3.4 x 5.4m (minimum) with an accessible aisle that is 1.5 metres wide (minimum) <u>Type B:</u> 2.4 x 5.4m (minimum) with an accessible aisle that is 1.5 metres wide (minimum)	Yes
Parking Aisles Driveways	6.6 m wide parking aisles 6m for two-way traffic	6.6 metres – for 90° stalls 6 metres – for two-way traffic 3 metres – for one-way traffic	Yes Yes

NOTES:

1. The by-law requires a minimum setback of 4 m between the building and the north side lot line, whereas a setback of 3.995m is proposed.
2. Please revise drawings to include building setbacks to the rear lot line measured at each storey of the building as well as the mechanical penthouse. Varying setback requirements apply as set out in Section 3625. Please refer to the Zoning Comments Chart for details.
3. Please revise drawings to include setbacks to the hydro transformer measured from the north side and rear lot lines. Hydro transformer location must meet all building setback requirements set out in Section 3625 whereas it appears that the transformer location will not comply with the rear of north interior side yard requirements.
4. Maximum FSI is 3.8 whereas an FSI of 4.3 is proposed.
5. Please revise plans/drawings to conform to all Zoning requirements or seek advice from Development Planning staff on options to resolve the Zoning compliance issue(s) identified.
6. Please refer to Zoning Comments Chart for details.
7. Any changes made to the plans/drawings will require further Zoning review.



ARCHITECTURE
INTERIOR DESIGN
MASTER PLANNING
URBAN PLANNING

ARUP DATTA ARCHITECT LTD.

November 7, 2024
Project #1701

Attn: Clara Vani
Committee of Adjustments (COA)
City of Brampton, ON

Dear Madam,

RE: EXPLANATIONS FOR MINOR VARIANCE OF PREVIOUSLY APPROVED SPA-2022-0106 FOR 12039 HURONTARIO ST., BRAMPTON, ON

We are submitting the application & the required documentation for the minor variance of the above project for the following reasons.

- A. The previously approved SPA-2022-0106 project was sold to our client and upon due diligence they found out that the 2-bedroom units in the approved project is unworkable from the marketing point of view and the cost to build was expensive unless major costly structural design changes are made to mitigate the angular 45° plane required by the City's guidelines from the east side.
- B. Hence, we have redesigned the project internally, while keeping the exterior of all the sides the same and the stepped east side has been adjusted slightly while fully complying with the 45° angular plane. Please refer to the proposed set of drawings and the previously approved set of drawings for full clarity.
- C. In the proposed design the 2-bedroom units are designed to be larger for better marketability hence our proposed total number of units is 187 compared to 201. However, the GFA has been increased to mitigate the loss of units and hence the increase in height of 2-levels. These additional 2 levels are designed with the 45° angular plan and the overall building still stays within the 12-story height of mid-rise building guidelines for Brampton.

In relation to the above previously identified items A-C, additional minor variance that were discussed with the City Planning Staff where they have indicated in support of are as follows

- D. Minor adjustment to the parking ratios and the GFA slightly, and with the following minor variances:
 1. The proposed FSI is increased to 4.3 from maximum 3.8 allowable.
 2. The north side yard will be 3.9m from 4.0m to give more leverage for the articulation of the façade.


3. The location of the Hydro Transformer as originally shown under the approved SPA, on corner NE which has 1.5m to north and east property lines, which is the ideal location for the development and the adjacent properties.
4. We are submitting a full package for the proposed design including the 45° angular plane section as well as the final SPA fully approved drawings & the OPA/ZBA approval package for your easy reference.

We would greatly appreciate your expedited review and look forward to your approval. Please advise us of the associated application fees so that we can have our client arrange the payment to your office from Calgary.

If you require anything else, please call or let me know and we can address it right away.

Yours very truly,

ARUP DATTA ARCHITECT LTD.



Arup Datta, FRAIC, Architect, AAA Life Member, FIIA,
MOAA, MSAA, MAIBC, COA, Project Management (Harvard)
President/Principal



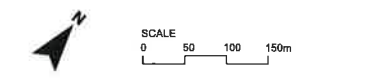
LEGEND

- Study Area
- Brampton Transit**
- Bus Routes
- Bus Stops
- Parks & Conservation Areas**
- ① Summer Valley Parkette & Pond
- ② Cunnington Parkette
- ③ Conservation Drive Park [Conservation Area]
- ④ Snelgrove Recreation Centre Park
- ⑤ Chinguacousy Lions Club Water Tower Park
- ⑥ Inder Heights Park
- ⑦ Chesham Parkette
- ⑧ Iceland Park
- ⑨ Cresthaven Park
- Schools & Child Care**
- ① St. Rita Elementary School & PLASP Child Care
- ② Rocket Academy & Early Learning Centre
- ③ Peel Adventist Elementary School & Angelic Treasures Christian Daycare
- ④ Little Stars Daycare
- Basic Amenities**
- ① RBC Royal Bank
- ② Snelgrove Village Centre (Health Care, Convenience Store, Pharmacy)
- ③ Shoppers Drug Mart
- ④ Sobeys Grocery (BMO Bank ATM)
- ⑤ Canada Post
- ⑥ Guardian - Brinkley Pharmacy
- ⑦ Brinkley Dental Group
- ⑧ Daisy Mart Convenience Store
- Lifestyle Amenities & Recreation**
- ① Snelgrove Village Centre (Restaurants)
- ② Mayfield Plaza (ATM; Canada Post; Tim Horton's)
- ③ Snelgrove Community Centre
- ④ 11670 Hurontario Plaza (Restaurants; Pharmacy)
- Places of Worship**
- ① Coptic Orthodox Church of Archangel Michael St. Tekla
- ② Immanuel Christian Reformed Church

DRAWN / REVISED

03 MAR 2022	First Draft

SUSTAINABILITY MAP
 12089 HURONTARIO STREET
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL



File Number: 5948-1
 Date: 2022-03-03
 Drawn By: AL
 Planner: MV/KW
 CAD: 5948-1/schedule1/5948-1_Sustainability Map_2021-03-03.dgn

Drawing
SM

Note:
 - Property boundary is approximate based on available mapping and subject to confirmation by survey.
 - All photos from First Base (Brampton, Inc., 2019) image.



WESTON CONSULTING

planning + urban design

SUSTAINABILITY METRICS SUMMARY

12035 Hurontario St, City of Brampton

Date: December 21, 2022

City File: SPA-2022-0106

Sustainability Declaration:

- 20 out of 20 Mandatory Metrics have been satisfied.
- 42 out of 76 Minimum Targets have been satisfied.
- 29 out of 93 Aspirational Targets have been satisfied.

Results	Points Achieved	Percentage (%)
OVERALL (Application):	62 of 157	38%
OVERALL (Community):	71 of 169	42%
Final Sustainability Score:	60 (Silver)	

Built Environment

The proposed revised development contemplates a floor space index of 3.75, which allows for greater development density and the utilization of existing municipal services and facilities and is in proximity of many basic and lifestyle community amenities. The proposed development is within 400 metres of a grocery store and pharmacy, which are key community amenities. Other lifestyle amenities that are within 400 metres of the subject property include: coffee shop, bank, place of worship, and a restaurant. Located within 800 metres of the proposed development are also a community/recreation centre, convenience store, hair salon, and a daycare. The site is within 400 metres of a Catholic elementary school and is within 1,600 metres of a private Christian elementary school and an additional Catholic elementary school.

There are existing trees on site and an Arborist Report and Tree Preservation Plan have been prepared to accompany the development application. Less than 75% of the healthy mature trees are able to be preserved on site. The current reduction in points is due to the provision of minimum soil area of 30 m² at proper planting depth of unobstructed growing medium per tree. This will be determined in the later stages and is anticipated to be met. It is also anticipated that approximately 50% of sidewalks will have shade provided by trees within 10 years of planting.

Approximately 10% of multi-residential units have been designed to provide a barrier-free path of travel from suite entrance door to the doorway of at least one bedroom at the same level,

and at least one bathroom in accordance with Ontario Building Code. Additionally, approximately 20% of buildings are designed in accordance with Universal Design and Accessibility Guidelines. 100% of the primary entrances are universally accessible, while not all emergency exits are universally accessible.

100% of the proposed development is considered mid-rise and 100 percent of the units will be market-based. All parking to service the development is located within the underground parking structure. Therefore, 0% of the total development area will be dedicated to new off-street surface parking facilities and more than 100% of the required parking has been consolidated to be located within structured, underground parking. All Municipal Standards for bicycle parking have been satisfied. A minimum of 0.6 biking stalls per unit has been provided, with 10% of the bike parking located at grade.

Mobility

The proposed development is connected to off-site pedestrian paths, such as a sidewalk on Hurontario Street. Pedestrian paths connect directly to surface transit stops located on Hurontario Street and Mayfield Road. Outdoor waiting areas, amenities and street furniture will be provided on site, details of which will be available at the Site Plan application stage.

The site is within 400 metres walking distance from three bus routes, including a frequent service route, located on Hurontario Street and Mayfield Road. The building's main entrance provides direct access to these stops.

All sidewalks are at least 1.5 metres in width, in accordance with Municipal Standards. 100% of streets have continuous sidewalks, or equivalent provisions, provided on both sides of streets where not required by Municipal standards. Pedestrian amenities will be provided to further encourage walkable streets, such as pedestrian oriented lighting, wide sidewalks, and shaded areas, details of which will be provided during the Site Plan application stage.

Natural Environment and Open Space

Flood control management has been provided in accordance with applicable municipal and conservation authority requirements. The site has been designed to retain 5 millimetres of runoff from an intense rainwater event. Rainwater is collected on site and will be used for low-grade functions, such as irrigation. 80% of the Total Suspended Solids will be removed from run-off leaving the site through downstream mechanisms, as confirmed by the updated Functional Servicing and Stormwater Management Report prepared by Crozier Consulting Engineers.

Infrastructure and Buildings

The proposed development has been designed in accordance with the Ontario Building Code and the building has been designed for solar readiness, as required. At this stage of the development application, the total expected energy savings or the applicable EnerGuide rating are not yet determined, but further detail will be provided at the Building Permit stage. The proposed development will be commissioned, and electricity sub-metres will be required for all residential suites.

Similarly, an energy management strategy or a district energy feasibility study has not yet been prepared for the development application but will be contemplated during the detailed Building Permit review process.

The applicable municipal standards regarding potable water are intended to be satisfied. It is anticipated that 50 percent of potable water for irrigation will be reduced as compared to a mid-summer baseline, to be determined during detailed planning stages. The applicable flow rates for water consuming fixtures include a baseline of 6 for toilets, 8.3 baseline for private faucets, 9.5 baseline for public faucets, and a 5 percent reduction rate.

The applicable municipal standards regarding lighting are intended to be satisfied. A minimum illumination of 50 lux will be implemented in all parking garages and occupancy sensors will be installed in two-thirds of lighting fixtures, while always maintaining a minimum level of illumination of 10 lux. Uplighting will not be included in the design and all exterior lighting fixtures > 1,000 lumens will be shielded to prevent night sky lighting. Lighting controls will be implemented to reduce light spillage from buildings by 50 percent and will shut off from 11 pm and 5 am. Additionally, LEDs and/or photocells will be used on all lighting fixtures exposed to the exterior. These details will be confirmed further into the site plan review process and as part of the Building Permit review.

Bird Safe Design strategies have been applied to 85 percent of the exterior glazing located within the first 12 metres of the building, and visual markers on the glass will have spacing equal to or less than 10 centimetres by 10 centimetres. Additionally, glass will be treated with Bird Friendly Design strategies on glass surfaces within 12 metres above the green roof surface.

The applicable Municipal Standards regarding solid waste management have been satisfied. Storage and waste collection areas for recycling and organic waste have been provided within the building, and deep collection recycling and organic waste storage facilities are provided. Also, there is a three-chute system provided on each floor of the proposed development.

It is anticipated that the proposed development will use 5 percent of building materials and/or landscaping materials from reused contents, and that 10 percent of landscaping or construction materials will be from recycled content.

It is anticipated that 50% of the site's hardscape will use municipally approved heat island reduction techniques. 75% of the roof has been designed with a "cool" roof surface and 25% of the roof area will be vegetated.

The proposed development meets all Mandatory Metrics and is an example of a sustainable development, achieving a final score of 60 (Silver). The final score is slightly lower than approved as part of the OPA/ZBA application as certain scores have been omitted for confirmation as part of the building permit review process.

Score Verification:

- To verify the points regarding the *Land use Diversity Mix: Proximity to Basic Amenities* section, please refer to the Sustainability Map, prepared by Weston Consulting dated March 2, 2022.
- To verify the points regarding the *Land use Diversity Mix: Proximity to Lifestyle Amenities*, section, please refer to the Sustainability Map, prepared by Weston Consulting dated March 2, 2022.
- To verify the points regarding the *Landscape and Street Tree Planting/Preservation – Maintain Existing Healthy Trees* section, please refer to the Arborist Report dated June 6, 2022 and Landscape Plan prepared by Landscape Planning dated September 15, 2022.
- In regards to the *Green Building* section, no buildings are proposed to be designated LEED or enrolled in a third-party Green Standards program at this time.
- To verify the points regarding the *Site Accessibility - Universal Design* section, please refer to Site Plan and Architectural Set, prepared by Studio JCI dated September 9, 2022.
- In regards to *Site Accessibility - Number of Universally Accessible Points of Entry to Buildings and Sites*, please refer to the Architectural Set, prepared by Studio JCI dated September 9, 2022 to confirm accessibility of access points.
- In regards to *Housing Unit Mix - Design for Life Cycle Housing - Site Plan*, the proposed development is not anticipated to provide 'affordable' units at this time and the proposed development is a mid-rise building.
- To verify the points regarding the *Landscape and Street Tree Planting/Preservation - % Tree Canopy Within Proximity to Building/Pedestrian Infrastructure* section, please refer to Arborist Report dated June 6, 2022 and Landscape Plan prepared by Landscape Planning dated September 15, 2022.
- To verify the points regarding the *Parking - Bicycle Parking - Multi-Family Buildings* section, please refer to the Transportation Impact Study Addendum Letter, prepared by Crozier & Associates dated September 9, 2022. Please note that it is anticipated that bicycle supply may be revised as part of a forthcoming Site Plan submission.
- To verify the points regarding the *Parking – Off-Street Parking* section, please refer to the Transportation Impact Study Addendum Letter, prepared by Crozier & Associates dated September 9, 2022 and Architectural Set, prepared by Studio JCI dated September 9, 2022.
- To verify the points regarding the *Parking – Surface Parking* section, please refer to the Transportation Impact Study Addendum, prepared by Crozier & Associates dated December 2021 and Architectural Set, prepared by Studio JCI dated September 9, 2022. Surface parking is minimized due to the proposed underground parking

structure.

- In regards to *Pedestrian Connections - Traffic Calming*, no new roads are being provided within the proposed development.
- To verify the points regarding the *Pedestrian Connections - Proximity to School* section, please refer to the Sustainability Map, prepared by Weston Consulting dated on March 2, 2022.
- In regards to *Cultural Heritage Resources - Cultural Heritage Conservation*, this section is not applicable as the site is not located within a Cultural Heritage District.
- To verify the points regarding the *Site Permeability - Connectivity* section, please refer to the civil engineering materials and plans prepared by Croziers & Associates and Landscape Plan prepared by Landscape Planning dated September 15, 2022.
- To verify the points regarding the *Transit Supportive - Distance to Public Transit - Site Plans* section, please refer to the Sustainability Map, prepared by Weston Consulting dated March 3, 2022.
- In regards to *Active Transportation - Proximity to Cycle Network*, the proposed development does not provide any trails or cycling networks.
- To verify the points regarding the *Walkability - Promote Walkable Streets* section, please refer to Architectural Set, prepared by Studio JCI dated September 9, 2022. Details regarding pedestrian amenities will be provided as part of a future Site Plan application.
- In regards to *Parks - Park Accessibility*, no parks are contemplated as part of the proposed development. There are municipal recreational opportunities located to the west.
- In order to verify the points regarding the *Stormwater - Stormwater Management Quality and Quantity* section, please refer to Functional Servicing & Stormwater Management Report prepared by Croziers & Associated dated, September 2022.
- In order to verify the points regarding the *Stormwater - Rainwater Re-Use* section, please refer to Functional Servicing & Stormwater Management Report prepared by Croziers & Associates dated, September 2022.
- In regards to *Stormwater - Stormwater Architecture/Features*, no stormwater amenities that provide aesthetic benefits have been provided, beyond open landscaped areas.
- In regard to the *Energy Conservation - Solar Readiness* section, please note that 100% of the buildings have been designed for solar readiness.
- In regard to the *Energy Conservation - Building Energy Efficiency - Single Family* section, an EnerGuide rating has not been established at this time and will be detailed as part of the marketing and sales for the building. The buildings have been designed in accordance with the Ontario Building Code.
- In regard to the *Energy Conservation - Building Energy Efficiency - Multi Family, Commercial, Residential, Institutional* section, please note that this information has not been determined at this time. The buildings have been designed in accordance with the Ontario Building Code.
- To verify the points regarding the *Potable Water - Reduce Potable Water Used for Irrigation* section, please refer to Functional Servicing & Stormwater Management Report prepared by Croziers & Associated dated, September 2022.
- In regards to *Potable Water – Water Conserving Fixtures*, this information will be provided at part of future building permit and construction details. The municipal standards will be met.
- In regards to the *Lighting - Parking Garage Lighting* section, please note that Lighting

- information was not requested as part of the applications.
- In regard to the *Lighting - Reduce Light Pollution* section, please note that Lighting information was not requested as part of the applications and will be detailed as part of the building permit review process.
 - In regard to the *Lighting - Energy Conserving Lighting* section, please note that Lighting information was not requested as part of the applications and will be detailed as part of the building permit review process.
 - To verify the points regarding the *Bird Friendly Design* section, please refer to the Elevation drawings and Architectural Set, prepared by Studio JCI dated September 9, 2022
 - To verify the points regarding the *Materials and Solid Waste Management - Solid Waste* section, please refer to the ground floor plan and Architectural set prepared by Studio JCI dated September 9, 2022.
 - In regards to *Materials and Solid Waste Management - Material Re-used and Recycled Content* section, the percentage of reused content will be determined at the construction phase.
 - In regards to the *Materials and Solid Waste Management - Recycled/Reclaimed Materials* section, municipal standards will be met and it is anticipated that 25% of materials will be from recycled sources. This will be confirmed at the construction phase.
 - In order to verify the points regarding the *Heat Island - Reduce Heat Island Effect From the Built Form – Non Roof* section, please refer to Site Plan and Architectural Set, prepared by Studio JCI dated September 9, 2022. Materials to be confirmed as part of the building permit review.
 - In order to verify the points regarding the *Heat Island - Reduce Heat Island Effect From the Built Form – Roof* section, please refer to Site Plan and Architectural Set, prepared by Studio JCI dated September 9, 2022. Materials to be confirmed as part of the building permit review.

Mandatory Targets:

The application has met all 20 mandatory requirements as described in the Sustainability Declaration and Sustainability Metrics Assessment Tool.

Conclusion:

In conclusion, the proposed development meets all Mandatory Metrics and is an example of a sustainable development, achieving a final score of 60 (Silver).



ARBORIST REPORT

**PROPOSED RESIDENTIAL DEVELOPMENT
12089 HURONTARIO STREET,
BRAMPTON, ON
L6Z 4P8**

**PREPARED BY:
LANDSCAPE PLANNING LIMITED
95 MURAL STREET, SUITE 207
RICHMOND HILL, ON L4B 3G2**

**ISA CERTIFIED ARBORIST
ANDREA SHOTLANDER ON- 2621A
LPL PROJECT NO. 2020 – 123**

June 6, 2022

ARBORIST REPORT
12089 Hurontario Street,
Brampton, ON



TABLE OF CONTENTS

Introduction	1
Site Context	1
Plans Utilized	1
Tree Inventory	1
Tree Inventory List	2
Observations	3
Tree Removals	3
Table 1- Tree Protection Zones	3
Private Tree Bylaw	4
Compensation Planting	4
Table 2 – Diameter Replacement Method	4
Conclusion	5
Appendix A – Tree Inventory, Preservation and Removals Plan	6
Appendix B – Site Photographs	7

Introduction

Landscape Planning Limited was retained to prepare an Arborist Report for the subject property in accordance with the City of Brampton Tree bylaw requirements.

Site Context

The subject site (12089 Hurontario Street) is located northwest of the intersection of Hurontario Street and Mayfield Road. The site currently houses a residential home and shed. The property owner is proposing a residential condo development in its place.

Plans Utilized

A site plan, prepared by Studio JCI, and survey prepared by Wahba Surveying were used as a reference to determine the location of the existing trees within and adjacent to the subject site in relation to the proposed limits of construction.

Tree Inventory

The trees are described in terms of species and diameter at breast height (DBH – measured at 1.4m from grade). They have been assessed in terms of their general health from poor to good; **GOOD** – trees in good overall health and condition with desirable structure, **FAIR** – trees in moderate health and condition with less desirable structure, and **POOR** – trees displaying prominent health issues such as decay and disease and/or poor form and structure. (Refer to *TP-1 – Tree Inventory and Preservation Plan for locations of and information pertaining to specific trees*)

Tree Inventory Table Descriptions

Tag#	This number refers to inventory number assigned to the tree on the plan.	
Species	The common and botanical names are provided for each tree.	
Diameter at Breast Height (cm)	This refers to diameter (in centimeters) at breast height and is measured at 1.4m above the ground for each tree.	
Crown	Canopy Width	An estimation of the average diameter of the tree canopy, in metres.
Health	The general assessed health of the tree.	
Structure	This is an assessment of the trees overall form.	
Notes	A general description of each tree’s condition and/or pertinent characteristics is provided.	
Recommendations based on Site Plan	This indicates either preservation or removal of the tree (as noted on the plan)	
Min. TPZ	Recommended Tree Preservation Zone (in metres).	
Replacement Ratio	Number of trees required to replace tree to be removed.	

Tree Inventory – 12089 Hurontario Street, Brampton ON												
Tree #	Common Name	Botanical Name	Diameter at Breast Height (cm)				Health	Structure	Notes	Recommendations Based on Site Plan	# of Replacement Trees Required	
120	Norway Spruce	Picea abies	30					P	P	Codominant stems,	Tree to be Removed; Within Development Limit	2
121	Norway Spruce	Picea abies	20					VP	VP	Dead	Tree to be Removed; Within Development Limit	1
122	Crack Willow	Salix fragilis	42					P	P	Overcrowding in understory canopy	Tree to be Removed; Within Development Limit	3
123	Manitoba Maple	Acer negundo	20	15	18			P	P	Overcrowding, growing into adjacent branches	Tree to be Removed; Within Development Limit	1
124	Hawthorn	Crataegus sp.	30					F	F	Naturalized, crowded branching, multiple leaders	Tree to be Removed; Within Development Limit	2
125	Hawthorn	Crataegus sp.	33					F	F	Naturalized, Cavity at base,	Tree to be Removed; Within Development Limit	2
126	Serbian Spruce	Ulmus pumila	58					P	P	Deadwood in upper canopy, significant lean in trunk	Tree to be Removed; Within Development Limit	4
127	Crack Willow	Salix fragilis	52					P	P	Structural failure within canopy, deadwood, suckering from wounds	Tree to be Removed; Within Development Limit	4
128	Crack Willow	Salix fragilis	45					P	P	Codominant stems, deadwood, dieback in upper canopy	Tree to be Removed; Within Development Limit	3
129	American Beech	Fagus grandifolia	40					P	P	Structural failure, basal decay	Tree to be Removed; Within Development Limit	3
130	Locust	Robina sp.	58					F	F	Codominant stems	Tree to be Removed; Within Development Limit	4
131	Locust	Robina sp.	36					F	F	Overcrowding in upper canopy; growing into adjacent tree	Tree to be Removed; Within Development Limit	3
132	Locust	Robina sp.	48					F	F	Overcrowding in upper canopy; growing into adjacent tree	Tree to be Removed; Within Development Limit	3
133	Locust	Robina sp.	31					F	F	Overcrowding in upper canopy; growing into adjacent tree	Tree to be Removed; Within Development Limit	2
134	Locust	Robina sp.	32					F	F	Overcrowding in upper canopy; growing into adjacent tree	Tree to be Removed; Within Development Limit	2
135	Siberian Elm	Ulmus pumila	80					P	P	Overcrowding in upper canopy, growing into adjacent tree	Tree to be Removed; Within Development Limit	5
136	Siberian Elm	Ulmus pumila	22					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
137	Siberian Elm	Ulmus pumila	21					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
138	Siberian Elm	Ulmus pumila	20					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	1
139	Siberian Elm	Ulmus pumila	20					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	1
140	Siberian Elm	Ulmus pumila	21					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
141	Siberian Elm	Ulmus pumila	22					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
142	Siberian Elm	Ulmus pumila	32					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
143	Siberian Elm	Ulmus pumila	25					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
144	Norway Maple	Acer platanoides	41					F	F	Severe pruning wounds	Tree to be Removed; Within Development Limit	3
145	Norway Maple	Acer platanoides	46					F	P	Codominant stems	Tree to be Removed; Within Development Limit	3
146	Austrian Pine	Pinus nigra	56					F	F	Severe trunk lean	Tree to be Removed; Within Development Limit	4
147	Siberian Elm	Ulmus pumila	43					F	F	Growing into adjacent tree and hydroline	Tree to be Removed; Within Development Limit	3
148	Siberian Elm	Ulmus pumila	55					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	4
149	Siberian Elm	Ulmus pumila	35					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	2
150	Siberian Elm	Ulmus pumila	36					F	F	Growing into adjacent tree	Tree to be Removed; Within Development Limit	3
151	Norway Maple	Acer platanoides	25					F	F	On opposite side of adjacent property masonry wall	Tree to Remain; not affected	
152	Norway Maple	Acer platanoides	20					F	F	On opposite side of adjacent property masonry wall	Tree to Remain; not affected	
153	Norway Maple	Acer platanoides	25					F	F	On opposite side of adjacent property masonry wall	Tree to Remain; not affected	
154	Norway Maple	Acer platanoides	25					F	F	On opposite side of adjacent property masonry wall	Tree to Remain; not affected	
155	Austrian Pine	Pinus nigra	15					F	F	On opposite side of adjacent property masonry wall	Tree to Remain; not affected	
156	Siberian Elm	Ulmus pumila	22	20				F	F	On opposite side of adjacent property masonry wall	Tree to Remain; not affected	
157	Norway Maple	Acer platanoides	35					F	F	On adjacent property	Tree to be Removed; consent from neighbouring owner will be provided	
										Total Replacement Trees Required	80	

Observations

A Site Inspection was conducted on December 22, 2020 to inventory all existing trees and photograph their condition. The tree inventoried within and immediately adjacent to the site are described as naturalized groupings and semi-mature and mature landscape accent trees and buffer trees most likely planted as part of the lot's landscaping. The naturalized groupings are primarily composed of Crack Willow and Siberian Elm trees. The mature landscape trees include Norway Spruces, Locusts, and Hawthorn species. Most of the trees are in poor – fair condition growing into one another.

A supplemental site inspection was conducted on February 09, 2022 to inventory additional vegetation located on adjacent properties in close proximity to the property line. Tree specimens 151 through 157 were identified and included in the report. Specimens 151-156 are located on the adjacent side of a 1.8m height masonry wall and concrete footing. This footing acts as a barrier separating the existing trees from the proposed development. Specimen 157 is not anticipated to be adversely effected by construction; the limit of excavation is not required encroach upon the 2.4m tree protection Zone (refer to table 1 below). However, in discussions with the neighbouring property owner, Specimen 157 is to be removed. Consent from the neighbouring property owner will be provided prior to removal, subsequent to this report.

Tree Removals

In determining the tree preservation recommendations for the site, the criteria noted below were considered:

- Overall tree health, form, size, species and predicated longevity.
- Anticipated impact from construction of buildings and proposed landscape features, road works, site servicing and grading.

Each tree was assigned a minimum Tree Preservation Zone (TPZ) as per standard requirements used by municipal by-laws (*Refer to Table 1-Tree Protection Zones*).

Table 1 - Tree Protection Zones

Trunk Diameter (DBH)	Minimum Protection Zone
<10 cm	1.2m
10-29 cm	1.8 m
30-40 cm	2.4 m
41-50 cm	3.0 m
51-60 cm	3.6 m
61-70 cm	4.2 m
71-80 cm	4.8 m
81-90 cm	5.4 m
91-100 cm	6.0 m
< 100 cm	6cm per 1cm DBH

Trees are recommended for preservation or removal based on proximity of the TPZ to the limit of construction, in conjunction with the overall tree health, size and anticipated ability to withstand root or crown impacts.

Private Tree By-Law

The City of Brampton's Private Tree Bylaw protects trees found on private property that are 30cm DBH (Diameter at Breast Height) or greater.

The By-law states that:

- A permit is required to remove **any private tree** with a diameter of 30cm (12 in) or greater.
- A permit is required to remove **any City owned tree**.

Tree removal will be necessary to facilitate the proposed works. Recommendations for tree removal are based upon consideration of the anticipated impacts upon trees due to implementation of the proposed works, the immediate and forecasted health and structural condition of the tree. Due to the constraints of the proposed construction, all thirty-one (31) trees are required for removal. 23 trees to be removed will require a permit for removal. Eight trees are exempt from the Private Tree by-law.

Compensation Planting

In accordance with the City of Brampton policies, for every tableland tree that is removed, replacement plantings must be installed to compensate for the lost canopy. The following table outlines the required replacement ratios:

Table 2 - Diameter Replacement Method

Tree Size	Tree Replacement Ratio
15-20cm DBH	1:1
21-35cm DBH	2:1
36-50cm DBH	3:1
51-65cm DBH	4:1
> 65cm DBH	5:1

Compensation trees are to be a minimum of 70mm unless otherwise approved by the City. In the event that the appropriate planting area cannot accommodate the required number of compensation trees, cash-in-lieu planting can be paid to the City at the current 2021 rate.

It is proposed that a total of 80 replacement trees would be required to be planted on-site or paid cash in lieu planting.

ARBORIST REPORT
12089 Hurontario Street,
Brampton, ON



Conclusion

Landscape Planning Limited was retained to prepare an Arborist Report for the subject property in accordance with the City of Brampton Tree Bylaw requirements. The report summarizes the trees inventoried within and immediately adjacent to the site and provides recommendations for removals. The *TP-1 – Tree Inventory, Preservation and Removals Plan* should be used as a reference with this report for detailed information pertaining to trees to be removed.

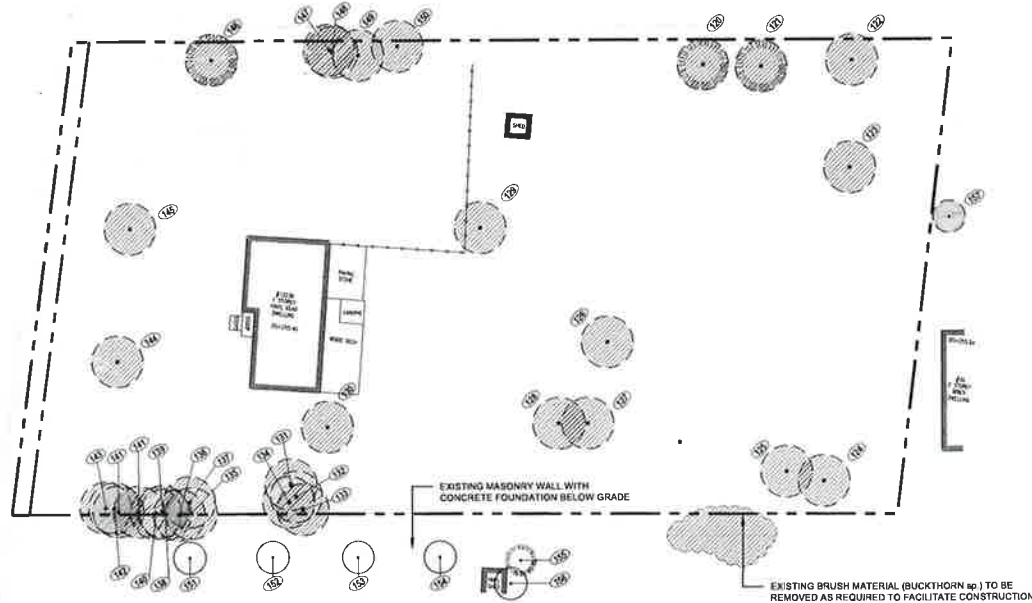
The owner is proposing to demolish the existing residential home, shed and driveway. Due to the constraints of the proposed limits of construction, 31 trees are to be removed. 23 of the trees are subject to the City's private tree Bylaw and will therefore require a permit for their removal. A total of 80 replacement trees are required for compensation planted on-site or paid cash in lieu planting.

Prepared By:
Landscape Planning Limited

A handwritten signature in black ink that reads "A Shotlander".

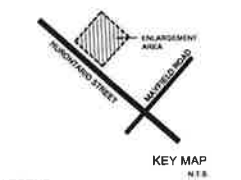
Andrea Shotlander
U.S.A. Certified Arborist ON-2621A
Landscape Architectural Designer
ISA Certified Arborist, ON-2621A

Client: 12089 Hurontario Street, Brampton, ON. File Path: P:\12089_Hurontario_Site\12089_Hurontario_Site.dwg. User: J. P. [unreadable]. Date: 2022-06-01. Scale: 1:250



EXISTING CONDITIONS PLAN

Tag #	Common Name	Botanical Name	Height (m)	DBH (cm)	Species	Notes	Recommendation	Work Item #
101	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	1
102	White Birch	Betula picea	10	8	1	Healthy tree	Retain	2
103	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	3
104	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	4
105	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	5
106	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	6
107	White Birch	Betula picea	10	8	1	Healthy tree	Retain	7
108	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	8
109	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	9
110	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	10
111	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	11
112	White Birch	Betula picea	10	8	1	Healthy tree	Retain	12
113	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	13
114	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	14
115	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	15
116	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	16
117	White Birch	Betula picea	10	8	1	Healthy tree	Retain	17
118	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	18
119	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	19
120	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	20
121	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	21
122	White Birch	Betula picea	10	8	1	Healthy tree	Retain	22
123	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	23
124	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	24
125	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	25
126	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	26
127	White Birch	Betula picea	10	8	1	Healthy tree	Retain	27
128	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	28
129	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	29
130	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	30
131	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	31
132	White Birch	Betula picea	10	8	1	Healthy tree	Retain	32
133	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	33
134	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	34
135	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	35
136	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	36
137	White Birch	Betula picea	10	8	1	Healthy tree	Retain	37
138	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	38
139	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	39
140	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	40
141	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	41
142	White Birch	Betula picea	10	8	1	Healthy tree	Retain	42
143	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	43
144	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	44
145	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	45
146	Red Maple	Acer rubrum	15	12	1	Healthy tree	Retain	46
147	White Birch	Betula picea	10	8	1	Healthy tree	Retain	47
148	Box Elder	Achras glabra	12	10	2	Healthy tree	Remove	48
149	Small-leaved Linden	Tilia cordata	8	6	1	Healthy tree	Retain	49
150	Black Birch	Betula nigra	15	12	1	Healthy tree	Remove	50



- LEGEND:**
- 1 D-0 DETAIL SHEET
 - PROPERTY LINE
 - EXISTING TREES TO REMAIN
 - ⊗ EXISTING TREES TO BE REMOVED
 - TREE TAG
 - TREE PRESERVATION FENCE

NO.	DESCRIPTION	DATE	BY
1	PREPARED FOR SET-UP	2022-06-01	JS
2	REVISION ON CLIENT REVIEW	2022-06-01	JS
3	REVISION ON BRAMPTON	2022-06-01	JS
4	REVISION ON BRAMPTON	2022-06-01	JS

THESE DRAWINGS ARE THE PROPERTY OF LANDSCAPE PLANNING LIMITED AND SHALL NOT BE ALTERED, MODIFIED, REVISED, OR CHANGED WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED. SEAL IS NOT VALID WITHOUT SIGNATURE OF THE LANDSCAPE ARCHITECT. DRAWING CANNOT BE USED FOR TENDER/CONSTRUCTION UNTIL SIGNED BY LANDSCAPE ARCHITECT.

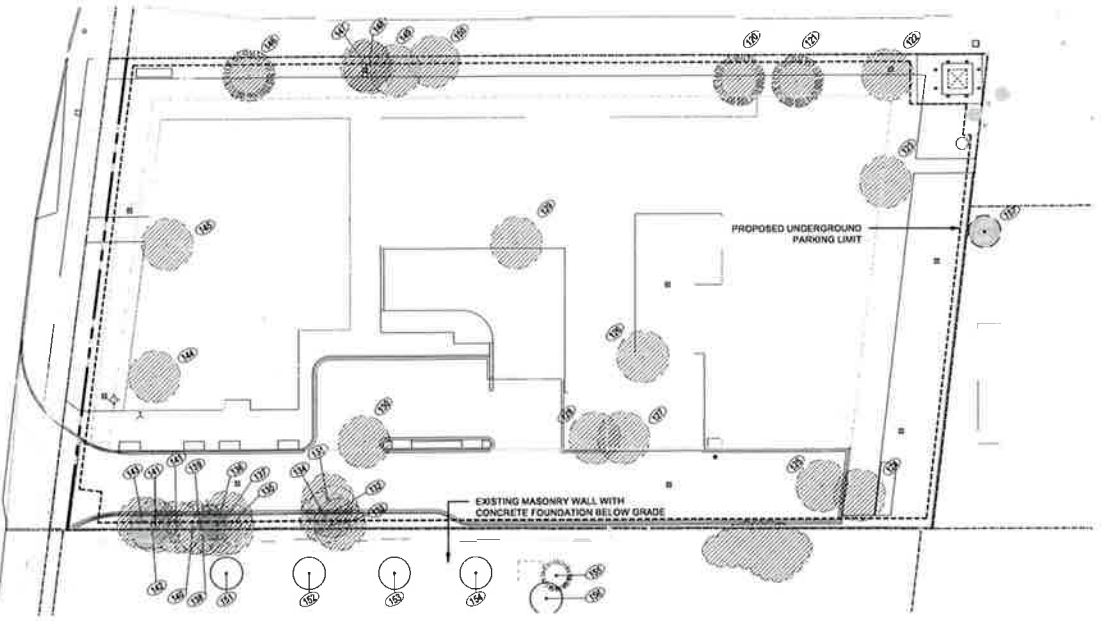


project number
2020-123



project title
12089 HURONTARIO STREET, BRAMPTON ON

city file:		
municipality: BRAMPTON		
drawing title TREE INVENTORY, PRESERVATION & REMOVALS PLAN		
drawn by SS	reviewed by JS	drawing number: TP-1
date JUNE 2022	scale 1:250	



TREE PRESERVATION AND REMOVALS PLAN

Appendix B – Site Photographs



120



121



122



123



124



125



126



127



128



129

Appendix B – Site Photographs



130



131-134



135-137



138-140



141-143



144



145



146



147-150

**FUNCTIONAL SERVICING & STORMWATER
MANAGEMENT REPORT**

12035 HURONTARIO STREET

**CITY OF BRAMPTON
REGION OF PEEL**

PREPARED FOR:

BLACK CREEK GROUP

PREPARED BY:

**C.F. CROZIER & ASSOCIATES INC.
211 YONGE STREET, SUITE 600
TORONTO, ON M5B 1M4**

SEPTEMBER 2022

CFCA FILE NO. 1942-5702

CITY FILE NO. OZS-2021-0017

The material in this report reflects best judgment in light of the information available at the time of preparation. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the responsibilities of such third parties. C.F. Crozier & Associates Inc. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.



Revision Number	Date	Comments
Rev.0	March 25, 2021	Issued for First Submission
Rev.1	December 13, 2021	Issued for Second Submission
Rev.2	June 01, 2022	Issued for Third Submission
Rev.3	September 09, 2022	Issued for Fourth Submission

TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	SITE DESCRIPTION	1
3.0	WATER SERVICING.....	1
3.1	Existing Water Servicing.....	1
3.2	Domestic Water Demand.....	2
3.3	Fire Flow Demand.....	2
3.4	Proposed Water Servicing.....	3
4.0	SANITARY SERVICING	3
4.1	Existing Sanitary Servicing.....	3
4.2	Design Sanitary Demand.....	3
4.3	Proposed Sanitary Servicing.....	4
5.0	STORM DRAINAGE.....	4
5.1	Existing Drainage.....	4
5.2	Proposed Drainage.....	4
6.0	STORMWATER MANAGEMENT.....	4
6.1	Stormwater Quantity Control.....	5
6.2	Water Balance.....	6
6.3	Stormwater Quality Control.....	6
7.0	EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION.....	6
8.0	CONCLUSIONS & RECOMMENDATIONS.....	7

LIST OF TABLES

Table 1:	Domestic Water Demand
Table 2:	Estimated Fire Demand Flows
Table 3:	Sanitary Design Flow
Table 4:	Target Release Rate
Table 5:	Post-Development Flow Rates and Required Storage Volumes

LIST OF APPENDICES

Appendix A:	Water Demand Calculations
Appendix B:	Sanitary Calculations
Appendix C:	Stormwater Management Calculations
Appendix D:	Background Information

LIST OF DRAWINGS

Drawing C101:	Removals Plan – Erosion & Sediment Control Plan
Drawing C102:	Servicing Plan
Drawing C103:	Grading Plan

LIST OF FIGURES

Figure 1:	Pre-Development Drainage Plan
Figure 2:	Post-Development Drainage Plan

1.0 Introduction

C. F. Crozier & Associates Inc. (Crozier) was retained by Black Creek Group (the Owner) to prepare this Functional Servicing and Stormwater Management Report in support of a Site Plan Application (SPA) for the property located at 12035 Hurontario Street.

This report demonstrates how the proposed development's servicing and stormwater management will integrate with the area's existing water, sanitary, and stormwater infrastructure in accordance with the City of Brampton and Region of Peel guidelines.

The following design standards and as-constructed drawings were referenced during the preparation of this report:

- City of Brampton Subdivision Design Manual (December 2008)
- Region of Peel Public Works Design Criteria Manual (July 2006)
- The Creek's Edge Subdivision prepared by Schaeffers Consulting Engineers (June 2002)
- Region of Peel Development Charges (DC) Background Study – Consolidated Report dated November 26, 2020

2.0 Site Description

The 0.39 ha subject property is located in the City of Brampton and is currently occupied by a vacant single-detached home, grassed areas, and a gravel driveway with access to Hurontario Street. The site lies within a mixed commercial and residential neighbourhood. The subject lands were previously assumed as part of the Creek's Edge Subdivision as future cul-de-sac and single-detached lots. The site is bound by:

- Existing retirement building to the north;
- Hurontario Road to the west;
- Existing Single-Detached homes to the east; and
- Commercial properties to the south.

According to the Site Plan prepared by JCI Studio Inc. dated May 2022, the proposed development consists of one mid-rise residential building with a total Gross Floor Area (GFA) of approximately 14,432.5 m². The site will be accessed via an entrance to Hurontario Street and will be surrounded by landscaping features.

3.0 Water Servicing

The Region of Peel is responsible for the operation and maintenance of the public water system in the City of Brampton, and any local system connecting to this public system. The following sections outline the existing and proposed design of water servicing for the proposed development.

3.1 Existing Water Servicing

A review of City of Brampton and Region of Peel as-built drawings 36641-D and 29716-D indicates that the following existing municipal water infrastructure exists in the proximity of the subject property:

- A 300 mm diameter watermain on the west side of Hurontario Street
- A 150-200 mm diameter watermain on Woodcreek Drive

The site is currently serviced by a water service connected to the existing 300 mm diameter watermain on Hurontario Street. An existing 150 mm diameter watermain stub is located on Woodcreek Drive, as part of the Creek's Edge water servicing design. Existing hydrants are located on the west side of Hurontario Street and within the Woodcreek Drive right-of-way. Refer to **Drawing C 102** for additional details on the location of the existing watermains and hydrants.

3.2 Domestic Water Demand

Region of Peel Development Charges (DC) Background Study – Consolidated Report dated November 26, 2020 was used to establish the population estimates and the resulting domestic water demand for the site. A person per unit of 3.0 for apartments larger than 750 square feet and a person per unit of 1.6 for apartments equal to or less than 750 square feet was applied. **Table 1** summarizes the water demands as per the Region of Peel DC Background Study requirements. Included in **Appendix A** is the detailed water demand calculations.

Table 1: Domestic Water Demand

Site Area (ha)	Population	Average Day (L/s)	Maximum Day (L/s)	Peak Hour (L/s)
0.39	366.81	1.15	2.06	3.44

As shown in **Table 1**, the estimated average daily water demand for the proposed development is approximately 1.15 L/s. Refer to **Appendix A** for domestic water demand details.

3.3 Fire Flow Demand

The Fire Underwriters Survey method was used to estimate the fire flow requirements for the proposed development. **Table 2** summarizes the required fire flow to meet fire protection requirements for the proposed development.

Table 2: Estimated Fire Demand Flows

Method	Demand Flow (L/s)
Fire Underwriters Survey	316.7

The proposed fire service is required to convey a fire flow demand of approximately 316.7 L/s (5019 USGPM). Fire flow requirements were calculated based on the building's largest floor area combined with the two adjoining floor areas as per the Fire Underwriters Survey guidelines. Refer to **Appendix A** for the supporting fire flow calculations.

Note that the Fire Underwriters Survey value is a conservative estimate for comparison purposes only. The mechanical engineer for this development will complete the required analyses for fire protection and the architect will design fire separation methods per the determined fire flow rate, to meet municipally available flows and pressures.

An on-site hydrant is proposed to be serviced through the building's mechanical system to provide hydrant coverage for the building.

A hydrant flow test was performed by Hydrant Testing Ontario (HTO) on May 18, 2022 on the existing 300 mm diameter watermain located on Hurontario Street. Based on the hydrant flow test results, it is anticipated that at 20 psi residual pressure in the existing watermain, a minimum of 325 L/s (5,144 USGPM) projected flow is available within the existing water system. The determined required fire flow for the Site is 316.7 L/s (5,019 USGPM). Based on the HTO's hydrant testing results, the existing watermain can support the site's fire flow requirements.

3.4 Proposed Water Servicing

The site is proposed to be serviced by a 100 mm diameter watermain for domestic flows and a 150 mm diameter watermain for fire flows. The development is proposed to be serviced using the existing 300 mm diameter watermain on Hurontario Street. Connection to the existing regional watermain will be completed using Region of Peel standards.

A Water service stub will be provided to the mechanical rooms located within the underground parking levels with internal connections designed by the mechanical engineer.

4.0 Sanitary Servicing

The City of Brampton is serviced by a network of local and trunk sanitary sewers. The Region of Peel is responsible for the operation and maintenance of the public sewage collection and treatment systems in the City of Brampton, and any local sewage system that connects to this public system.

4.1 Existing Sanitary Servicing

A review of City of Brampton as-built drawing 29716-D indicates that there is an existing 250 mm diameter sanitary sewer flowing north on Woodcreek Drive. There is an existing 250 mm diameter sanitary sewer stub on Woodcreek Drive, as part of the Creek's Edge Subdivision sanitary servicing strategy for the subject site. The locations of the existing sanitary sewers are shown on **Drawing C102**.

4.2 Design Sanitary Demand

To estimate the sanitary design flows from the proposed development, the Region of Peel DC Background Study was used to establish the population estimates and the resulting sanitary flow for the site. A person per unit of 3.05 for apartments larger than 750 square feet and a person per unit of 1.61 for apartments equal to or less than 750 square feet was applied. **Table 3** summarizes the sanitary flow as per the Region of Peel DC Background Study requirements. A summary of the calculated design flows is shown in **Table 3** and detailed calculations are provided in **Appendix B**.

Table 3: Sanitary Design Flow

Population	Average Day (L/s)	Peak Daily Flow (L/s)	Infiltration (L/s)	Total Sanitary Flow (Peak Flow + Infiltration) (L/s)
366.81	1.21	4.89	0.08	4.97

As summarized above in **Table 3**, the proposed total peak sanitary flow rate is calculated at 4.97 L/s.

4.3 Proposed Sanitary Servicing

Sanitary servicing for the subject site will be achieved via a 250 mm diameter sanitary sewer connection that conveys sanitary flows to the Woodcreek Drive sewer system. Refer to **Drawing C102** for the proposed sanitary servicing design.

5.0 Storm Drainage

5.1 Existing Drainage

Under existing conditions, Catchments 101 and EXT-1 are conveyed overland towards the western portion of the site. Catchment 100 is conveyed through an existing culvert and discharged into an existing ditch along Hurontario, before entering the municipal system. As shown within the Creek's Edge as-constructed drawings, an existing emergency overland flow route is provided through the Woodcreek Drive right-of-way and ultimately directed to the downstream creek system.

A portion of external drainage from the adjacent development to the west, conveys stormwater overland and into the site. A depiction of the existing drainage conditions presented in **Figure 1**.

5.2 Proposed Drainage

The proposed grading and stormwater management system for the site has been designed in accordance with the City of Brampton's Subdivision Design Criteria and with reference to the overall stormwater drainage plan and overland flow drawing (Sheet No. 26) prepared by Schaeffers Consulting Engineers. Refer to **Appendix C** for the overall stormwater Catchment Plan provided by the City of Brampton showing the subject lands as future development.

The majority of the site's minor and major flows (Catchment 201) will be collected by area drains. Collected stormwater is conveyed through the building's mechanical system and directed to the proposed stormwater management underground cistern. The site's emergency overland route will convey drainage through the proposed laneway and to Hurontario Street. A small portion of paved surface and landscape areas along the west and north property limits will use the Woodcreek right-of-way as the emergency overland flow route.

To capture the external drainage entering the site under pre-development conditions (Catchment EXT-1), a ditch inlet catch basin is proposed to be connected to the existing storm sewers on Woodcreek Drive. A culvert extension is proposed to maintain the upstream drainage of Hurontario street to convey flows below the proposed site entrance and maintain pre-development drainage patterns along the site frontage. Refer to **Figure 2** for the site under post-development drainage conditions and **Drawing C102** for the proposed storm servicing strategy.

6.0 STORMWATER MANAGEMENT

Stormwater management design criteria was established through a detailed review of the City of Brampton Subdivision Design Manual. The stormwater management criteria include:

Quantity Control

City of Brampton: Control 100-year post-development peak flows to the 10-year storm sewer design capacity as per the overall Stormwater Drainage Plan (Storm Drainage Plan and Overland Flow) dated June 2002, prepared by Schaeffers Consulting Engineers.

Quality Control

Quality Control: 80% Total Suspended Solids (TSS) removal on an annual loading basis of the stormwater runoff leaving the development per the MECP Enhanced Water Quality Control Criteria.

Water Balance

Retain first 5 mm of rainfall across the site.

6.1 Stormwater Quantity Control

The pre-development target release rate is based on the overall stormwater Catchment Plan for the Woodcreek Drive Storm Sewer design, refer to **Appendix C** for the Woodcreek Drive storm sewer design. A runoff coefficient of 0.50 was used to establish the site's pre-development target release rate as previously assumed for the design of the Creek's Edge Subdivision.

The Modified Rational Method was used to calculate the 10-year and 100-year post-development flow rates and resulting storage requirements. City of Brampton Intensity-Duration-Frequency (IDF) Parameters and a pre-development runoff coefficient of 0.50 were used in the calculation. Refer to **Table 4** below which summarizes the parameters used and the resulting post-development target release rates.

Table 4: Target Release Rate

Storm	Weighted Runoff Coefficient	Area (m ²)	Time of Concentration (min.)	Intensity (mm/hr)	Target Release Rate (L/s)
10-year	0.50	0.39	10	121.93	65.49

The proposed stormwater quantity control requirement for the site will be achieved by an underground stormwater cistern located within the underground levels of the building. A 100 mm diameter orifice tube is proposed to attenuate post-development peak flows to meet the target release rate. The proposed concrete cistern is sized to provide a total of 78.90 m³ of storage within the system. Refer to **Table 5** for a summary of the 2 through 100-year post-development peak flows and resulting storage requirements. Refer to **Appendix C** for detailed stormwater quantity control calculations and the stage storage discharge summary.

Table 5: Post-Development Flow Rates and Required Storage Volumes

Storm	Target Release Rate (L/s)	Post-Development Controlled Flow Rate (Catchment 201) (L/s)	Storage Volume Required (m ³)	Storage Volume Provided (m ³)
2-year	65.49	29.19	22.71	23.67
5-year		31.73	34.12	34.19
10-year		35.20	40.62	42.08
25-year		39.36	49.04	52.60
50-year		44.00	54.37	65.75
100-year		48.20	59.87	78.90

As summarized above in **Table 6**, the proposed underground stormwater cistern has been sized to provide a total storage volume of 78.90 m³.

6.2 Water Balance

Water balance volume retention will be achieved by an underground concrete water re-use chamber, located below the outlet of the concrete stormwater cistern. Retained rainwater is proposed to be re-used for landscaping irrigation purposes. The water balance objective for the site was established based on provided 5 mm retention across all impervious area. The minimum resulting water balance volume for the site is 15.8 m³. A retention storage volume of 19.7 m³ is provided within the sump of the concrete stormwater cistern. Refer to **Appendix C** for detailed water balance calculations.

6.3 Stormwater Quality Control

Stormwater quality control for the subject site will be accomplished by an existing stormwater management pond as part of the Creek's Edge Stormwater Drainage design. Refer to **Appendix C** for the supporting as-constructed drawings prepared by Shaeffer's Engineers, dated June 2002.

7.0 Erosion and Sediment Control During Construction

Erosion and sediment controls will be installed prior to the commencement of any construction activities and will be maintained until the site is stabilized or as directed by the Site Engineer and/or the City of Brampton. The Erosion & Sediment Control Plan (**Drawing C100**) identifies the location of the recommended control features. Controls will be inspected after each significant rainfall event and maintained in proper working condition. The following erosion and sediment controls will be provided during construction:

Silt Fencing

Silt fencing will be installed on the perimeter of the site to intercept sheet flow. Additional silt fence may be added based on field decisions by the Site Engineer and Owner, prior to, during and following construction.

Rock Mud Mat

A rock mud mat will be installed at the entrance of the construction zone in order to prevent mud tracking from the site onto the surrounding lands and perimeter roadway network. All construction traffic will be restricted to this access only.

Sediment Control Devices

A silt sack will be installed in all existing nearby storm sewer catch basins within the Right-of-Way. The silt sack will provide sediment control to prevent silt and sediment from entering the stormwater system.

8.0 Conclusions & Recommendations

Based on the information contained within this summary report, we offer the following conclusions:

1. Water servicing is proposed via a 150 mm fire line and a 100 mm diameter domestic water connection to the existing 300 mm diameter watermain on Hurontario Street. The domestic demand in accordance with the 2020 Region of Peel DC study is estimated to be 1.15 L/s (Average Daily Demand) & 3.44 L/s (Maximum Hourly Demand)
2. A fire flow demand of 316.7 L/s is required, a hydrant flow test conducted on the existing 300 mm diameter Hurontario watermain confirms available supply within the existing regional water system.
3. The Site will be serviced by a proposed sanitary 200 mm diameter sanitary sewer connected to the existing 250 mm diameter sanitary sewer on Woodcreek Drive. The sanitary flow in accordance with the 2020 Region of Peel DC study is estimated to be 1.21 L/s (Average Daily Flow) & 4.89 L/s (Total Peak Flow)
4. Peak flow control for the post-development 2 through 100-year storm events to the 10-year sewer design capacity will be achieved through a 100 mm orifice tube and will provide approximately 78.9 m³ of active storage within the underground concrete stormwater cistern.
5. Approximately 19.7 m³ of stormwater retention is provided within the sump of the underground concrete stormwater cistern, water re-use is proposed for landscaping irrigation purposes.
6. The water quality requirement of 80% TSS removal from the site is provided by the existing downstream stormwater management pond.

Based on the previously presented information and conclusions, we request consideration for approval of the Site Plan Application from the perspective of servicing and stormwater management.

Respectfully submitted,

C.F. CROZIER & ASSOCIATES INC.



Andrew Farina, P.Eng.
Project Manager

C.F. CROZIER & ASSOCIATES INC.

A handwritten signature in black ink, appearing to read 'Jakob Matanowitsch'.

Jakob Matanowitsch
Student

N:\1900\1942-Black Creek Group\5702-12039 Hurontario St\Reports\5702_FSR&SWM.docx

APPENDIX A

Water Demand Calculations



Project: 12035 Hurontario Street
Project No.: 1942-5702

Design: JM
Check: ADF

Date: 2020-12-21
Updated: 2022-08-09

Water Demand			
Site Area:	0.39	ha	
Population Density:	3.05	persons/unit (Apartments greater than 750 sq.ft)	
	1.61	persons/unit (Apartments equal to or less than 750 sq.ft)	
Units Larger than 750 sq.ft:	30.00		
Units Less than 750 sq.ft:	171.00		
Total Units	201.00		
Population	366.81	persons	
Design Criteria:			
	Average Daily Demand:	270	L/cap.day
	Maximum Daily Demand Peaking Factor:	1.80	-
	Maximum Hourly Demand Peaking Factor:	3.00	-
Based on Region of Peel 2020 DC Background Study - Page 3-7			
Domestic Water Demand:			
Average Daily Demand:	99039 L/day		
	1.15 L/s		
Maximum Daily Demand (LT):	178270 L/day		
	2.06 L/s		
Maximum Hourly Demand:	297116 L/day		
	3.44 L/s		



Water Supply for Public Fire Protection - 2020
Fire Underwriters Survey - Building 1

Part II - Guide for Determination of Required Fire Flow

1. An estimate of fire flow required for a given area may be determined by the formula:

$$F = 220 * C * \text{sqrt } A$$

where

F = the required fire flow in litres per minute

C = coefficient related to the type of construction:

- = 1.5 for wood frame construction (structure essentially all combustible)
- = 1.0 for ordinary construction (brick or other masonry walls, combustible floor and interior)
- = 0.8 for non-combustible construction (unprotected metal structural components)
- = 0.6 for fire-resistive construction (fully protected frame, floors, roof)

A = The total floor area in square metres (including all storeys, but excluding basements at least 50 percent below grade) in the building considered.

Floor	Area (sq.m)	
2	1875.9	
3	1908.5	Floor with the largest area
4	1787.8	
5	1693.8	
6	1604.8	
7	1168.3	
8	1168.3	
	1168.3	
Building Area =	7495.9	sq.m

C = 0.8

Therefore F = 15,238 L/min

Fire flow determined above shall not exceed:

- 30,000 L/min for wood frame construction
- 30,000 L/min for ordinary construction
- 25,000 L/min for non-combustible construction or 416.667 L/s
- 25,000 L/min for fire-resistive construction

2. Values obtained in No. 1 may be reduced by as much as 25% for occupancies having low contents fire hazard or may be increased by up to 25% surcharge for occupancies having a high fire hazard.

Non-Combustible	-25%	Free Burning	15%
Limited Combustible	-15%	Rapid Burning	25%
Combustible	0% (No Change)		

Limited Combustible -15% reduction

-2,286 L/min reduction
12,952 L/min

Note: Flow determined shall not be less than 2,000 L/min

3. Sprinklers - The value obtained in No. 2 above maybe reduced by up to 50% for complete automatic sprinkler protection. The credit for the system will be a maximum of 30% for an adequately designed system conforming to NFPA 13 and other NFPA sprinkler standards.

As part of this analysis, building is assumed to have a sprinkler system conforming to NFPA 13 (30% reduction).

3,886 L/min reduction

**Water Supply for Public Fire Protection - 1999
 Fire Underwriters Survey - Building 1**

Part II - Guide for Determination of Required Fire Flow

4. Exposure - To the value obtained in No. 2, a percentage should be added for structures exposed within 45 metres by the fire area under consideration. The percentage shall depend upon the height, area, and construction of the building(s) being exposed, the separation, openings in the exposed building(s), the length and height of exposure, the provision of automatic sprinklers and/or outside sprinklers in the building(s) exposed, the occupancy of the exposed building(s) and the effect of hillside locations on the possible spread of fire.

Separation	Charge	Separation	Charge
0 to 3 m	25%	20.1 to 30 m	10%
3.1 to 10 m	20%	30.1 to 45 m	5%
10.1 to 20 m	15%		

Exposed buildings

Name		Distance (m)	Charge (%)	Surcharge (L/s)
North	Adjacent Dwelling	23	10%	1295.2
South	Adjacent Dwelling	30	10%	1752.4
East	Adjacent Dwelling	10	20%	2590.4
West	Adjacent Dwelling	>45	0%	0.0
				5,638 L/min Surcharge

Determine Required Fire Flow

No. 1	15,238	
No. 2	2,286 reduction	
No. 3	-3,886 reduction	
No. 4	<u>5,638</u> surcharge	
Required Flow:	19,276 L/min	
Rounded to nearest 1000 L/min:	19,000 L/min	or 316.7 L/s 5,019 USGPM



Tel: 289-354-1942
Info@HTOntario.ca

Date: May 18, 2022

To: 411 – 100 Saghalie Road
Victoria, BC
V9A 0A1

RE: Watermain Capacity Testing at 12089 Hurontario Street Brampton.

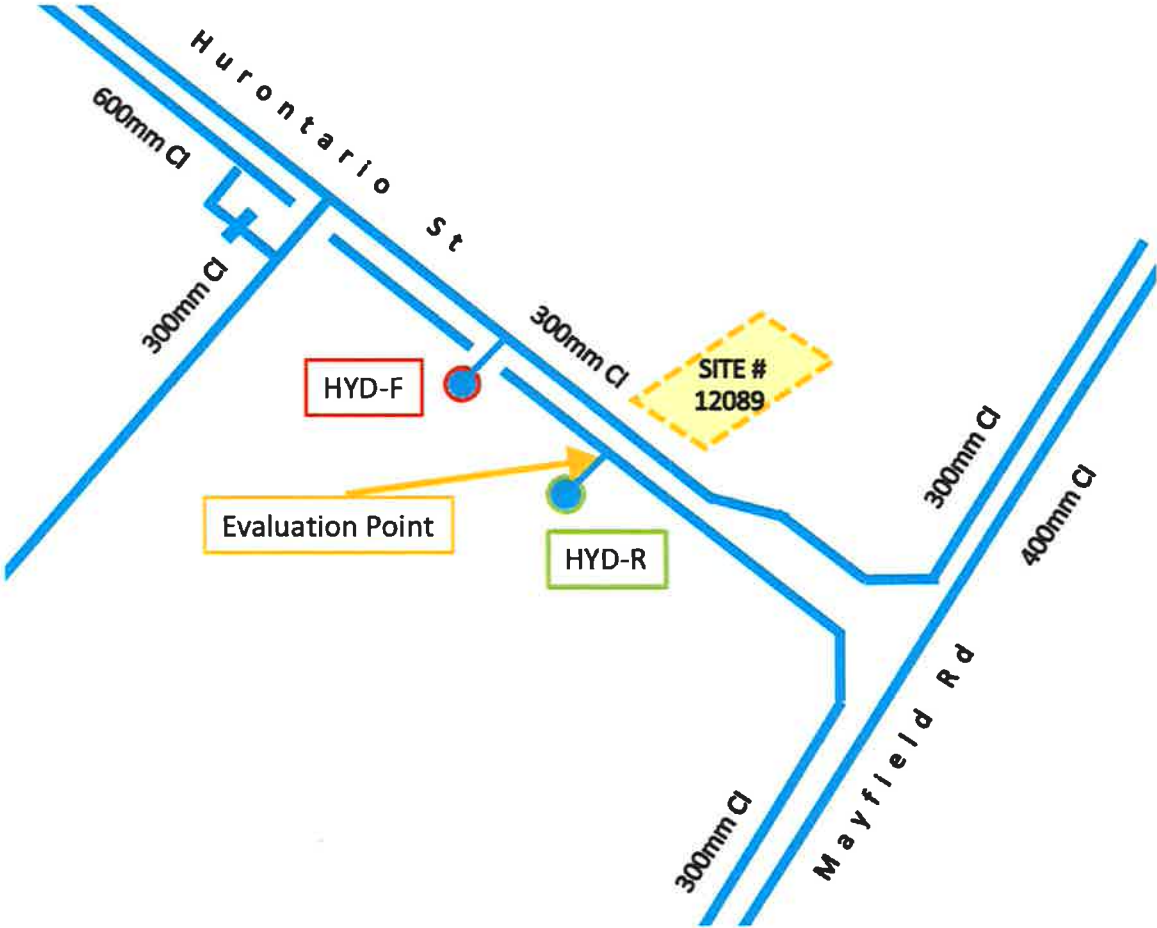
To whom It may concern,

Please find Watermain Capacity Test reports for 12089 Hurontario Street Brampton conducted on May 18, 2022.

Hydrant Location Plan



Watermain Schematic (NTS)



HYDRANT TEST REPORT



Zone ID CITY OF BRAMPTON **TEST #** 1

DATE: 18-May-22 TIME: 1:34 PM OPERATOR: ROB GAMACHE

R - TEST HYDRANT 12089 HUNRONTATIO STREET HYDRANT No. N/A

HYDRANT MODEL: AVK COLOUR: RED

STATIC PRESSURE: 95.3
RESIDUAL PRESSURE: 86.7 AWWA 9.02%

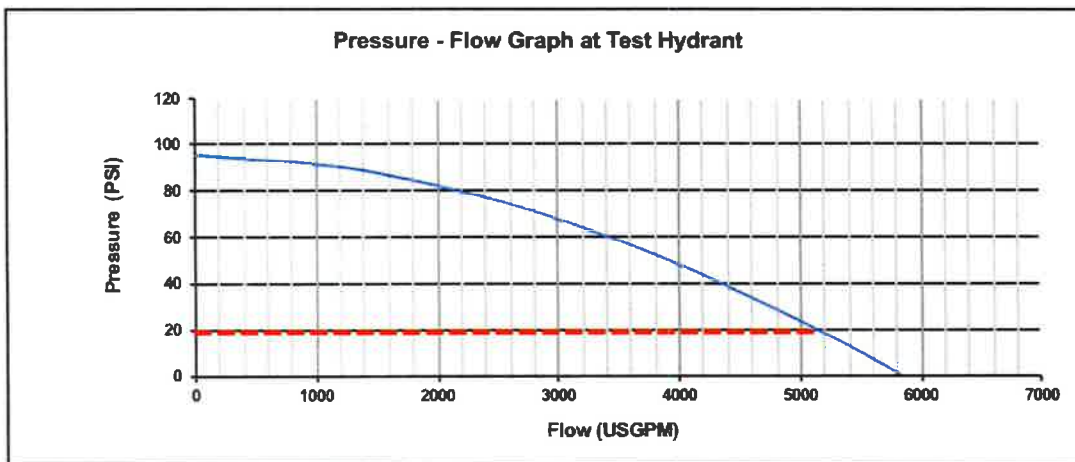
Q - FLOW HYDRANT 12091 HUNRONTARIO STREET HYDRANT No. N/A

HYDRANT MODEL: AVK COLOUR: RED

Logger Type	Outlet Dia. (in.)	Coefficient (-0.9)	Pitot Gauge Reading (psi)	Flow (USGPM)
Hose Monster Little Boy	2	1.31	26	797
Hose Monster Little Boy	2	1.31	26	797
Total Flow (USGPM)				1594

PROJECTED Flow @ 20 psi 5144 USGPM 4252 IGPM
325 L/s

NFPA Rating: CLASS AA - BLUE



Test Conclusion

All Flow Hydrant ports 1 and 2 were allowed to flow continuously at full bore as per NFPA291 / AWWA M17 guidelines.

Hydrants are classified in accordance with their rated capacities as per NFPA291.

Colour	Class	Available Flow@20psi residual
BLUE	AA	1500 GPM or more
GREEN	A	1000 - 1499 GPM
ORANGE	B	500 - 999 GPM
RED	C	Below 500 GPM

We strongly feel that all attempts have been made to ensure that the required data as stipulated was captured, stored and presented in an accurate, efficient and timely manner for the required period.

We look forward to working with you in the future.

Please feel free to contact undersigned should you require any further information.

Best Regards,



Rob Gamache E.P
Operations Manager
HTO
(289) 354-1942

APPENDIX B

Sanitary Calculations



Project: 12035 Hurontario Street
Project No.: 1942-5702

Design: JM
Check: ADF

Date: 2020-12-21
Updated: 2022-08-09

Sanitary Design Flow	
Site Area:	0.39 ha
Population Density:	3.05 persons/unit (Apartments greater than 750 sq.ft) 1.61 persons/unit (Apartments equal to or less than 750 sq.ft)
Units Larger than 750 sq.ft:	30.00
Units Less than 750 sq.ft:	171.00
Total Units	201.00
Population	366.81 persons
Design Criteria	
Total Peak Flow = Average Daily Flow + Infiltration Allowance	
Peak Factor =	4.04 Harmon Peaking Factor
Average Flow =	285.00 L/cap/d
Infiltration =	0.20 L/s/ha
Sanitary Design Flow - Unit Sewage Flow Rate:	
Average Daily Flow =	1.21 L/s
Peak Factor =	4.04
Peak Daily Flow =	4.89 L/s
Infiltration Flow =	0.08 L/s
Total Peak Flow =	4.97 L/s

Based on Region of Peel 2020 DC
Background Study - Page 3-7

APPENDIX C

Stormwater Management Calculations



Project: 12035 Hurontario Street
Project No.: 1942-5702
Created By: JM
Checked By: ADF
Date: 2021-02-10
Updated: 2022-09-09

Modified Rational Calculations - Input Parameters

Storm Data: City of Brampton

Time of Concentration: $T_c = 10.00$ mins

Return Period	A	B	I (mm/hr)
2 yr	22.1	-0.714	79.4
5 yr	29.9	-0.701	105.0
10 yr	35.1	-0.695	121.9
25 yr	41.6	-0.691	143.5
50 yr	46.5	-0.688	159.5
100 yr	51.3	-0.686	175.4

References

City of Brampton Site Plan Review User Guide, February 2018. Section C.14.14., including City of Brampton Standard Drawing #343, April 1992.

$$I(T_d) = A \times (T)^AC$$

External - EXT -1

Land Use	Area (ha)	Area (m ²)	C	Weighted Average C
Pervious	0.03	311	0.25	0.25
Impervious	0.00	0	0.90	0.00
Total Sub catchment	0.03	311	-	0.25

Pre-Development Conditions

Land Use	Area (ha)	Area (m ²)	C	Weighted Average C
Catchment 100 - Hurontario Street				
Pervious	0.09	860	0.25	0.22
Impervious	0.01	103	0.90	0.09
Total Sub catchment	0.10	981	-	0.31
Catchment 101 - Woodcreek Drive				
Pervious	0.27	2694	0.25	0.23
Impervious	0.02	189	0.90	0.06
Total Sub catchment	0.29	2883	-	0.29
Entire Site				
Total Site	0.39	3864	-	0.30

Post-Development Conditions

Land Use	Area (ha)	Area (m ²)	C	Weighted Average C
Catchment 201 - Woodcreek Drive (Controlled)				
Pervious	0.07	713	0.25	0.05
Impervious	0.32	3151	0.90	0.73
Total Sub catchment	0.39	3864	-	0.78
Entire Site				
Total Site	0.39	3864	-	0.78



Project: 12035 Hurontario Street
 Project No.: 1942-5702
 Created By: JM
 Checked By: ADF
 Date: 2021-02-10
 Updated: 2022-09-09

Rational Calculations - Peak Flow Summary

External Catchment

Ext-1 to Woodcreek Drive

Storm Event	C	I (mm/hr)	A (ha)	Q (m ³ /s)	Q (L/s)
2 yr	0.25	79.43	0.03	0.002	1.72
5 yr		104.99		0.002	2.27
10 yr		121.93		0.003	2.64
25 yr		143.48		0.003	3.11
50 yr		159.52		0.003	3.45
100 yr		175.36		0.004	3.80

Pre-Development

Catchment 100 - Hurontario Street

Storm Event	C	I (mm/hr)	A (ha)	Q (m ³ /s)	Q (L/s)
2 yr	0.31	79.43	0.10	0.007	6.79
5 yr		104.99		0.009	8.98
10 yr		121.93		0.010	10.43
25 yr		143.48		0.012	12.27
50 yr		159.52		0.014	13.65
100 yr		175.36		0.015	15.00

Catchment 101 - Woodcreek Drive

Storm Event	C	I (mm/hr)	A (ha)	Q (m ³ /s)	Q (L/s)
2 yr	0.29	79.43	0.29	0.019	18.63
5 yr		104.99		0.025	24.62
10 yr		121.93		0.029	28.60
25 yr		143.48		0.034	33.65
50 yr		159.52		0.037	37.41
100 yr		175.36		0.041	41.13

Post-Development

Catchment 201 - Woodcreek Drive (Controlled)

Storm Event	C	I (mm/hr)	A (ha)	Q (m ³ /s)	Q (L/s)
2 yr	0.78	79.43	0.39	0.067	66.6
5 yr		104.99		0.088	88.0
10 yr		121.93		0.102	102.17
25 yr		143.48		0.120	120.22
50 yr		159.52		0.134	133.67
100 yr		175.36		0.147	146.94

***Allowable Release Rate to Woodcreek Drive**

Storm Event	C	I (mm/hr)	A (ha)	Q (m ³ /s)	Q (L/s)
10 yr	0.50	121.93	0.39	0.065	65.49

*Allowable release rate runoff coefficient is based on The Creek's Edge Subdivision As Constructed Drainage Plan and Overland Flow (Part B) prepared by Shaeffers Consulting Engineers, dated June 2002. City of Brampton File #21T-90017

$$Q_{post} = 0.0028 \cdot C_{post} \cdot I(T_d) \cdot A$$



Project: 12035 Hurontario Street
Project No.: 1942-5702
Created By: JM
Checked By: ADF
Date: 2021-02-10
Updated: 2022-09-09

Modified Rational Calculations - 2-Year Storm Event

Control Criteria

2 yr: Control Post-Development Peak Flows to the 10 yr Allowable Release Rate for Woodcreek Drive

2 yr: Allowable Release Rate:

$$Q_{\text{Allowable}} = 0.065 \text{ m}^3/\text{s}$$

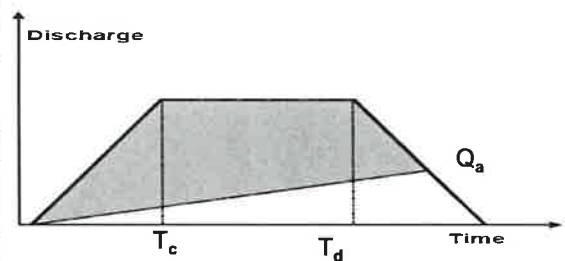
2 yr: Target Release Rate:

$$Q_{\text{Target}} = 0.065 \text{ m}^3/\text{s}$$

2 yr: Post-Development Flow Controlled:

$$Q_{\text{Controlled}} = 0.029 \text{ m}^3/\text{s}$$

Storage Volume Determination				
T_d (min)	i (mm/hr)	T_d (sec)	Q_{Uncont} (m^3/s)	S_d (m^3)
10	79.43	600	0.07	22.71
15	59.47	900	0.05	18.90
20	48.42	1200	0.04	14.01
25	41.29	1500	0.03	8.49
30	36.25	1800	0.03	2.53
35	32.47	2100	0.03	-3.75
Required Storage Volume:				22.71



Peak Flow $Q_{\text{post}} = 0.0028 \cdot C_{\text{post}} \cdot i(T_d) \cdot A$
--

Storage $S_d = Q_{\text{post}} \cdot T_d - Q_{\text{target}} (T_d + T_c) / 2$
--



Project: 12035 Hurontario Street
Project No.: 1942-5702
Created By: JM
Checked By: ADF
Date: 2021-02-10
Updated: 2022-09-09

Modified Rational Calculations - 5-Year Storm Event

Control Criteria

5 yr: Control Post-Development Peak Flows to the 10 yr Allowable Release Rate for Woodcreek Drive

5 yr: Allowable Release Rate:

$$Q_{\text{Allowable}} = 0.065 \text{ m}^3/\text{s}$$

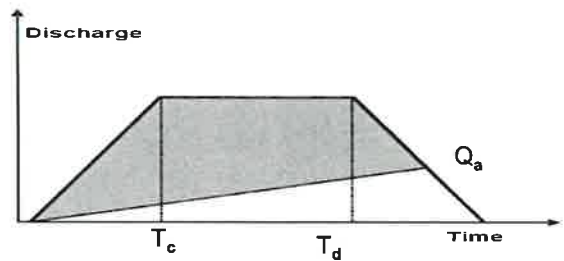
5 yr: Target Release Rate:

$$Q_{\text{Target}} = 0.065 \text{ m}^3/\text{s}$$

5 yr: Post-Development Flow Controlled:

$$Q_{\text{Controlled}} = 0.034 \text{ m}^3/\text{s}$$

Storage Volume Determination				
T_d (min)	i (mm/hr)	T_d (sec)	Q_{Uncont} (m^3/s)	S_d (m^3)
10	104.99	600	0.09	32.71
15	79.02	900	0.07	29.34
20	64.59	1200	0.05	24.50
25	55.23	1500	0.05	18.79
30	48.61	1800	0.04	12.48
35	43.63	2100	0.04	5.74
40	39.73	2400	0.03	-1.34
45	36.58	2700	0.03	-8.68
Required Storage Volume:				32.71



Peak Flow

$$Q_{\text{post}} = 0.0028 \cdot C_{\text{post}} \cdot i(T_d) \cdot A$$

Storage

$$S_d = Q_{\text{post}} \cdot T_d - Q_{\text{target}} (T_d + T_c) / 2$$



Project: 12035 Hurontario Street
Project No.: 1942-5702
Created By: JM
Checked By: ADF
Date: 2021-02-10
Updated: 2022-09-09

Modified Rational Calculations - 10-Year Storm Event

Control Criteria

10 yr: Control Post-Development Peak Flows to the 10 yr Allowable Release Rate for Woodcreek Drive

10 yr: Allowable Release Rate:

$$Q_{\text{Allowable}} = 0.065 \text{ m}^3/\text{s}$$

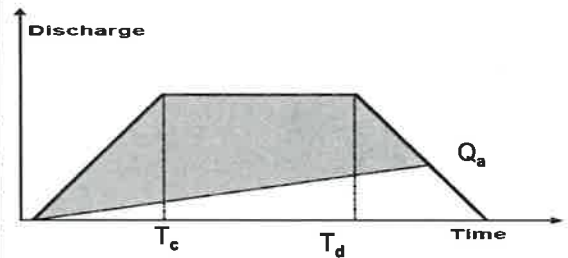
10 yr: Target Release Rate:

$$Q_{\text{Target}} = 0.065 \text{ m}^3/\text{s}$$

10 yr: Post-Development Flow Controlled:

$$Q_{\text{controlled}} = 0.037 \text{ m}^3/\text{s}$$

Storage Volume Determination				
T_d (min)	i (mm/hr)	T_d (sec)	Q_{Uncont} (m^3/s)	S_d (m^3)
10	121.93	600	0.10	39.34
15	91.99	900	0.08	36.27
20	75.32	1200	0.06	31.47
25	64.50	1500	0.05	25.64
30	56.82	1800	0.05	19.11
35	51.05	2100	0.04	12.06
40	46.53	2400	0.04	4.62
45	42.87	2700	0.04	-3.13
50	39.84	3000	0.03	-11.15
Required Storage Volume:				39.34



Peak Flow $Q_{\text{post}} = 0.0028 \cdot C_{\text{post}} \cdot i(T_d) \cdot A$
--

Storage $S_d = Q_{\text{post}} \cdot T_d - Q_{\text{target}} (T_d + T_c) / 2$
--



Project: 12035 Hurontario Street
Project No.: 1942-5702
Created By: JM
Checked By: ADF
Date: 2021-02-10
Updated: 2022-09-09

Modified Rational Calculations - 25-Year Storm Event

Control Criteria

25 yr: Control Post-Development Peak Flows to the 100 yr Pre-Development

25 yr: Allowable Release Rate:

$$Q_{\text{Allowable}} = 0.065 \text{ m}^3/\text{s}$$

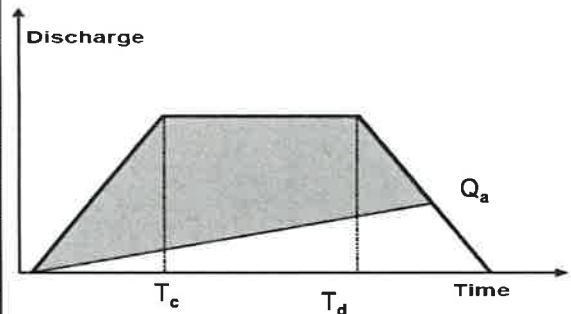
25 yr: Target Release Rate:

$$Q_{\text{Target}} = 0.065 \text{ m}^3/\text{s}$$

25 yr: Post-Development Flow Controlled:

$$Q_{\text{Controlled}} = 0.041 \text{ m}^3/\text{s}$$

Storage Volume Determination				
T_d (min)	i (mm/hr)	T_d (sec)	Q_{Uncont} (m^3/s)	S_d (m^3)
10	143.48	600	0.12	47.89
15	108.42	900	0.09	45.20
20	88.88	1200	0.08	40.47
25	76.18	1500	0.06	34.51
30	67.16	1800	0.06	27.72
35	60.37	2100	0.05	20.31
40	55.05	2400	0.05	12.43
45	50.75	2700	0.04	4.18
50	47.19	3000	0.04	-4.38
55	44.18	3300	0.04	-13.19
Required Storage Volume:				47.89



Peak Flow

$$Q_{\text{post}} = 0.0028 \cdot C_{\text{post}} \cdot i(T_d) \cdot A$$

Storage

$$S_d = Q_{\text{post}} \cdot T_d - Q_{\text{target}} (T_d + T_c) / 2$$



Project: 12035 Hurontario Street
Project No.: 1942-5702
Created By: JM
Checked By: ADF
Date: 2021-02-10
Updated: 2022-09-09

Modified Rational Calculations - 50-Year Storm Event

Control Criteria

50 yr: Control Post-Development Peak Flows to the 100 yr Pre-Development

50 yr: Allowable Release Rate:

$$Q_{\text{Allowable}} = 0.065 \text{ m}^3/\text{s}$$

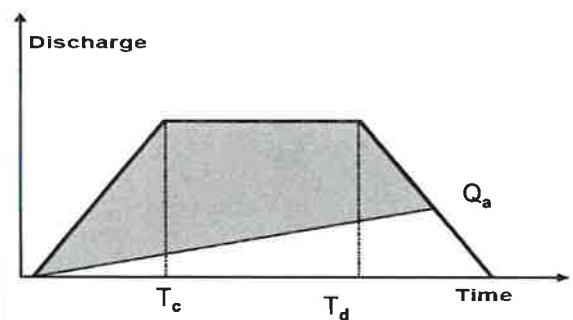
50 yr: Target Release Rate:

$$Q_{\text{Target}} = 0.065 \text{ m}^3/\text{s}$$

50 yr: Post-Development Flow Controlled:

$$Q_{\text{Controlled}} = 0.046 \text{ m}^3/\text{s}$$

Storage Volume Determination				
T_d (min)	i (mm/hr)	T_d (sec)	Q_{Uncont} (m^3/s)	S_d (m^3)
10	159.52	600	0.13	53.34
15	120.69	900	0.10	50.51
20	99.02	1200	0.08	45.40
25	84.93	1500	0.07	38.91
30	74.91	1800	0.06	31.49
35	67.38	2100	0.06	23.37
40	61.46	2400	0.05	14.73
45	56.68	2700	0.05	5.67
50	52.71	3000	0.04	-3.73
55	49.37	3300	0.04	-13.42
Required Storage Volume:				53.34



Peak Flow

$$Q_{\text{post}} = 0.0028 \cdot C_{\text{post}} \cdot i(T_d) \cdot A$$

Storage

$$S_d = Q_{\text{post}} \cdot T_d - Q_{\text{target}} (T_d + T_c) / 2$$



Project: 12035 Hurontario Street
 Project No.: 1942-5702
 Created By: JM
 Checked By: ADF
 Date: 2021-02-10
 Updated: 2022-09-09

Modified Rational Calculations - 100-Year Storm Event

Control Criteria

100 yr: Control Post-Development Peak Flows to the 100 yr Pre-Development

100 yr: Allowable Release Rate:

$$Q_{\text{Allowable}} = 0.065 \text{ m}^3/\text{s}$$

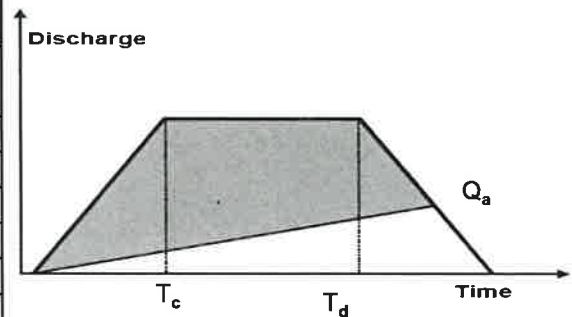
100 yr: Target Release Rate:

$$Q_{\text{Target}} = 0.065 \text{ m}^3/\text{s}$$

100 yr: Post-Development Flow Controlled:

$$Q_{\text{Controlled}} = 0.050 \text{ m}^3/\text{s}$$

Storage Volume Determination				
T_d (min)	i (mm/hr)	T_d (sec)	Q_{Uncont} (m^3/s)	S_d (m^3)
10	175.36	600	0.15	58.92
15	132.78	900	0.11	56.04
20	109.00	1200	0.09	50.64
25	93.53	1500	0.08	43.72
30	82.53	1800	0.07	35.76
35	74.25	2100	0.06	27.04
40	67.75	2400	0.06	17.74
45	62.49	2700	0.05	7.98
50	58.13	3000	0.05	-2.17
55	54.46	3300	0.05	-12.63
Required Storage Volume:				58.92



Peak Flow

$$Q_{\text{post}} = 0.0028 \cdot C_{\text{post}} \cdot i(T_d) \cdot A$$

Storage

$$S_d = Q_{\text{post}} \cdot T_d - Q_{\text{target}} (T_d + T_c) / 2$$



Project: 12035 Hurontario Street
 Project No.: 1942-5702
 Designed By: JM
 Checked By: ADF
 Date: 2021-02-10
 Date Updated: 2022-09-09

Orifice & Detention Tank Design

Orifice: $Q=CA(2gH)^{0.5}$	
Discharge Coef., Cd=	0.80
Orifice Diameter (mm) =	100
Area of Orifice (m ²) =	0.0079
Orifice (Side/Bottom) =	Side
Invert (m) =	250.65

TANK SIZING

Storage Requirements		
Required Active Storage	58.92	m ³
Required Dead Storage	15.75	m ³
Tank Parameters and Dimensions		
Outlet Invert	250.80	masl
Bottom of Tank	250.05	masl
Sump Depth	0.75	m
Area	26.30	m ²
Provided Dead Storage	19.73	m ³
Max Provided Active Storage	78.90	m ³

Active Stage Storage Discharge

Storm Event	Water Elev. (m)	Depth (m)	Design Head (m)	Volume (m ³)	Orifice Flow (Side) L/s
	250.80	0.00	0.00	0.0	0.00
	250.90	0.10	0.30	2.6	15.24
	251.00	0.20	0.40	5.3	17.60
	251.10	0.30	0.50	7.9	19.68
	251.20	0.40	0.60	10.5	21.56
	251.30	0.50	0.70	13.1	23.29
	251.40	0.60	0.80	15.8	24.89
	251.50	0.70	0.90	18.4	26.40
	251.60	0.80	1.00	21.0	27.83
2-year	251.70	0.90	1.10	23.7	29.19
	251.80	1.00	1.20	26.3	30.49
	251.90	1.10	1.30	28.9	31.73
	252.00	1.20	1.40	31.6	32.93
5-year	252.10	1.30	1.50	34.2	34.09
	252.20	1.40	1.60	36.8	35.20
	252.30	1.50	1.70	39.4	36.29
10-year	252.40	1.60	1.80	42.1	37.34
	252.50	1.70	1.90	44.7	38.36
	252.60	1.80	2.00	47.3	39.36
	252.70	1.90	2.10	50.0	40.33
25-year	252.80	2.00	2.20	52.6	41.28
	252.90	2.10	2.30	55.2	42.21
	253.00	2.20	2.40	57.9	43.12
	253.10	2.30	2.50	60.5	44.00
	253.20	2.40	2.60	63.1	44.88
50-year	253.30	2.50	2.70	65.7	45.73
	253.40	2.60	2.80	68.4	46.57
	253.50	2.70	2.90	71.0	47.39
	253.60	2.80	3.00	73.6	48.20
	253.70	2.90	3.10	76.3	49.00
100-year	253.80	3.00	3.20	78.9	49.79
	253.90	3.10	3.30	81.5	50.56
	254.00	3.20	3.40	84.2	51.32
LOWEST AREA DRAIN (253.85)	254.10	3.30	3.50	86.8	52.07
	254.20	3.40	3.60	89.4	52.81
EMERGENCY OVER FLOW	254.30	3.50	3.70	92.0	53.53

Modified Rational Design Summary

Storm Event	Post-Development Controlled Flow Rate L/s	Volume Required m ³	Volume Provided m ³
2	29.19	22.71	23.67
5	34.09	32.71	34.19
10	37.34	39.34	42.08
25	41.28	47.89	52.60
50	45.73	53.34	65.75
100	49.79	58.92	78.90



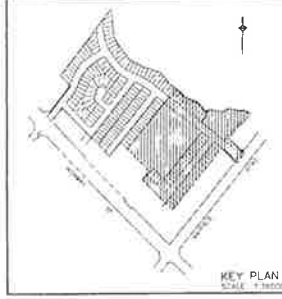
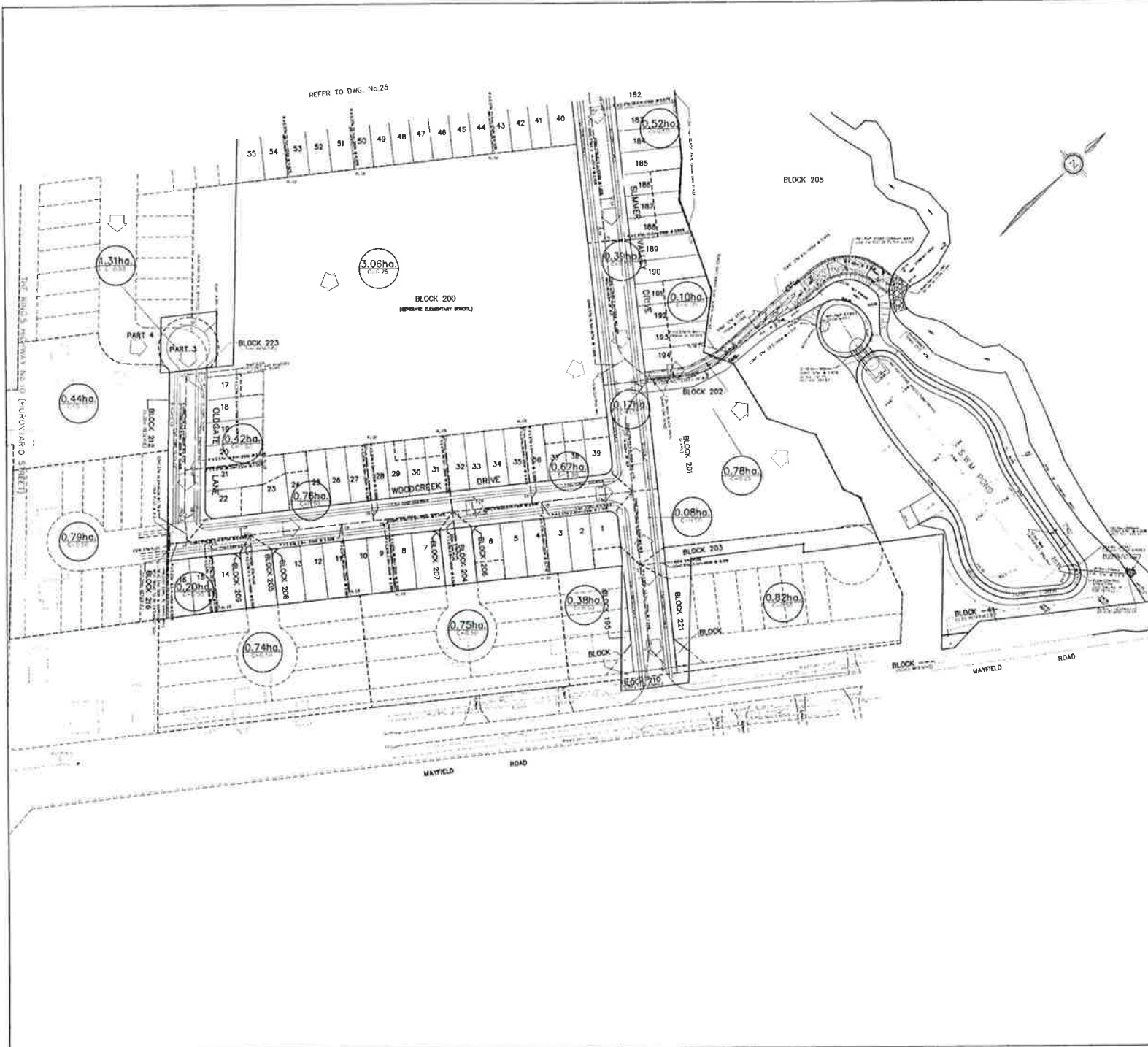
PROJECT: 12035 Hurontario Street
PROJECT No.: 1942-5702

CREATED BY: JM
CHECK: ADF

DATE: 2021-02-10
UPDATED: 2022-09-09

WATER BALANCE CALCULATIONS

Catchment	Land Use	Controlled?	Area (m ²)	Abstraction Deficit (mm)	Water Balance Deficit (m ³)
Catchment 201	Impervious	Yes	3,151	5	15.8
	Pervious	Yes	713	0	0.0
Site Total			3,864	-	15.8



LEGEND

0.36ha (1.44 ac) FLOOD AREA IN HEIGHTS
DENOTES RUN-OFF COEFFICIENT

0.36ha (1.44 ac) DENOTES OVERLAND FLOW POINT

RPBM No. 57
ON THE NORTH AT THE WEST CORNER OF NORTH END OF CONCRETE BRIDGE ACROSS
CIVIL SERVICE ROAD (REGIONAL ROAD NO. 14), APPROXIMATELY 183m (599') OF VALLEYVIEW RD.
ELEVATION: 243.632

AS CONSTRUCTED—JUNE 2002

DATE	BY	REVISION
JUNE 2002	AS CONSTRUCTED	

CITY OF BRAMPTON
WORKS AND TRANSPORTATION DEPARTMENT
COUNCILORS OF WORKS AND TRANSPORTATION: S. J. MOORE, P. ENG.

SCHAEFFERS
Consulting Engineers
Professional Engineer
No. 10000
REGISTERED PROFESSIONAL

APPROVED
SEP 11 1997
CITY OF BRAMPTON
ENGINEERING DEPT.

Project: 97-1-1944 DWG. No.

21T-90017

**THE CREEK'S EDGE SUBDIVISION
STORM DRAINAGE PLAN
AND
OVERLAND FLOW
(PART 1)**

Drawn By: M.F.S.	Checked By: J.S.	Contract No.	Sheet No.
Date: 1/10/00	Date: JUL 1997		26

CITY OF BRAMPTON

PUBLIC WORKS DEPARTMENT
STORM DESIGN SHEET (AS CONSTRUCTED)



G:\MICHAEL\design sheets\1944\1944-stm_Design.xls\ST4

STREET	UPSTREAM		DOWNSTREAM		NO. OF HECTARES			AREA x STORM CO-EFF.					TIME		I _{10yr}	Q=2.78 x CIA / 1000 (m ³ /s)	Length (m)	SIZE		GRADE	TYPE OF PIPE	CAPACITY (m ³ /s)	VELOCITY (m/s)							
	MH	INV	MH	INV	IN AREA	CONTRI.	TOTAL	0.25	0.50	0.75	0.90	TOTAL A x C	IN AREA	TOT				NOM (mm)	ACT (mm)											
	PIPE																													
EXTERNAL AREA FROM SWEET BRIAR LN. - W OLDGATE LANE			30		1.31		1.31		1.31			0.655		11.33			T _c =10+160/(2x60)=11.33min.													
	30		29		0.86		0.86		0.42	0.44		1.195	0.81	11.33	111.80	0.371	73.50	600	610	0.47	CONC.	0.4399	1.51							
	29		28									1.195	0.14	12.14	106.54	0.354	16.00	600	610	0.79	CONC.	0.5703	1.95							
												1.195		12.28																
FUT. STREET	PLUG		28		0.79		0.79		0.79			0.395	0.12	10.00	121.93	0.134	9.50	450	457	0.50	CONC.	0.2101	1.28							
												0.395		10.12																
FROM FUT. STREET			28									0.395		10.12																
FROM OLDGATE LANE			28									1.195		12.28																
WOODCREEK DRIVE	28		27		0.20		0.20		0.20			1.690	0.28	12.28	105.71	0.497	33.00	675	686	0.68	CONC.	0.7237	1.96							
												1.690		12.56																
FUT. STREET	PLUG		27		0.74		0.74		0.74			0.370	0.12	10.00	121.93	0.125	9.00	450	457	0.50	CONC.	0.2101	1.28							
												0.370		10.12																
FROM FUT. STREET			27									0.37		10.12																
FROM WOODCREEK DR.	WEST		27									1.690		12.56																
WOODCREEK DRIVE	27		26		0.76		0.76		0.76			2.440	1.03	12.56	104.06	0.706	110.00	750	762	0.49	CONC.	0.8130	1.78							
												2.440		13.59																
FUT. STREET	PLUG		26		0.75		0.75		0.75			0.375	0.12	10.00	121.93	0.127	9.00	450	457	0.50	CONC.	0.2101	1.28							
												0.375		10.12																
FROM FUT. STREET			26									0.38		10.12																
FROM WOODCREEK DR.	WEST		26									2.440		13.59																
WOODCREEK DRIVE	26		23		0.67		0.67		0.67			3.150	0.67	13.59	98.52	0.863	99.50	750	762	0.94	CONC.	1.1260	2.47							
												3.150		14.26																

M. Ninkovic
M. NINKOVIC
June 4, 2002

I_{10yr}=35.1(T)^{0.695}, T in hours
Inlet Time = 10 min

Proj#: 97-E-1944
The Creek's Edge Subdivision

CALC. BY: Z.C.
CHECKED BY: H.T.
DATE: JUNE.4.2002 (Prev. Ann.1997)

DRAWINGS



LEGEND

- PROPERTY LINE
- EXISTING DITCH
- HP- EXISTING HYDRO POLE
- EXISTING FENCE
- EXISTING GRADE
- EXISTING OVERLAND FLOW DIRECTION
- [Pattern] MUD-MAT; SEE DETAIL
- [Pattern] SILT FENCE; SEE DETAIL



No.	ISSUE / REVISION	DATE
3	ISSUED FOR FOURTH SUBMISSION	2022/SEP/09
2	ISSUED FOR THIRD SUBMISSION	2022/AMR/01
1	ISSUED FOR SECOND SUBMISSION	2021/OCT/13
0	ISSUED FOR FIRST SUBMISSION	2021/MAR/25

BENCHMARK NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND ARE REFERRED TO A LOCAL BENCHMARK CUTTY IN CONCRETE SIOBALK ALONG SOUTHWESTERN CORNER OF WOODCREEK DRIVE HAVING AN ELEVATION OF 234.20 METRES.

SURVEY NOTES:
SURVEY COMPLETED BY WAHBA SURVEYING (2020/NOV/23)
REFERENCE NO: 20-078
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B BY REAL TIME NETWORK (RTN), UTM ZONE 17, NAD 83 (CSRS)2010.0

DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.99947

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN PREPARED BY SUDICO (2022/SEP/09)

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

SPR-2022-0108
12035 HURONTARIO STREET
CITY OF BRAMPTON

REMOVALS PLAN
EROSION & SEDIMENT CONTROL PLAN

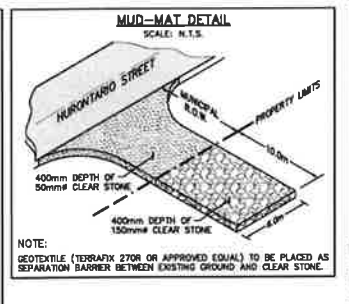
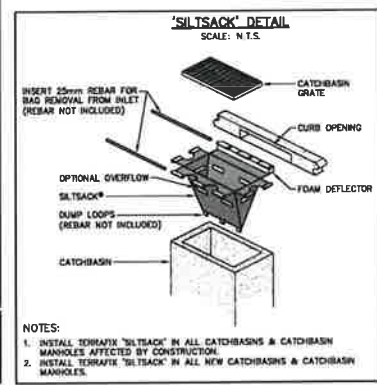
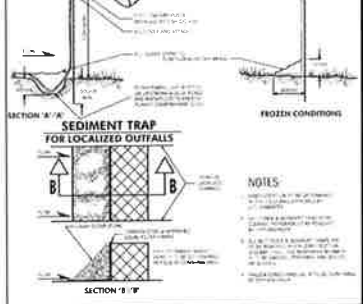
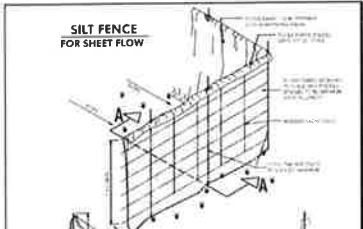
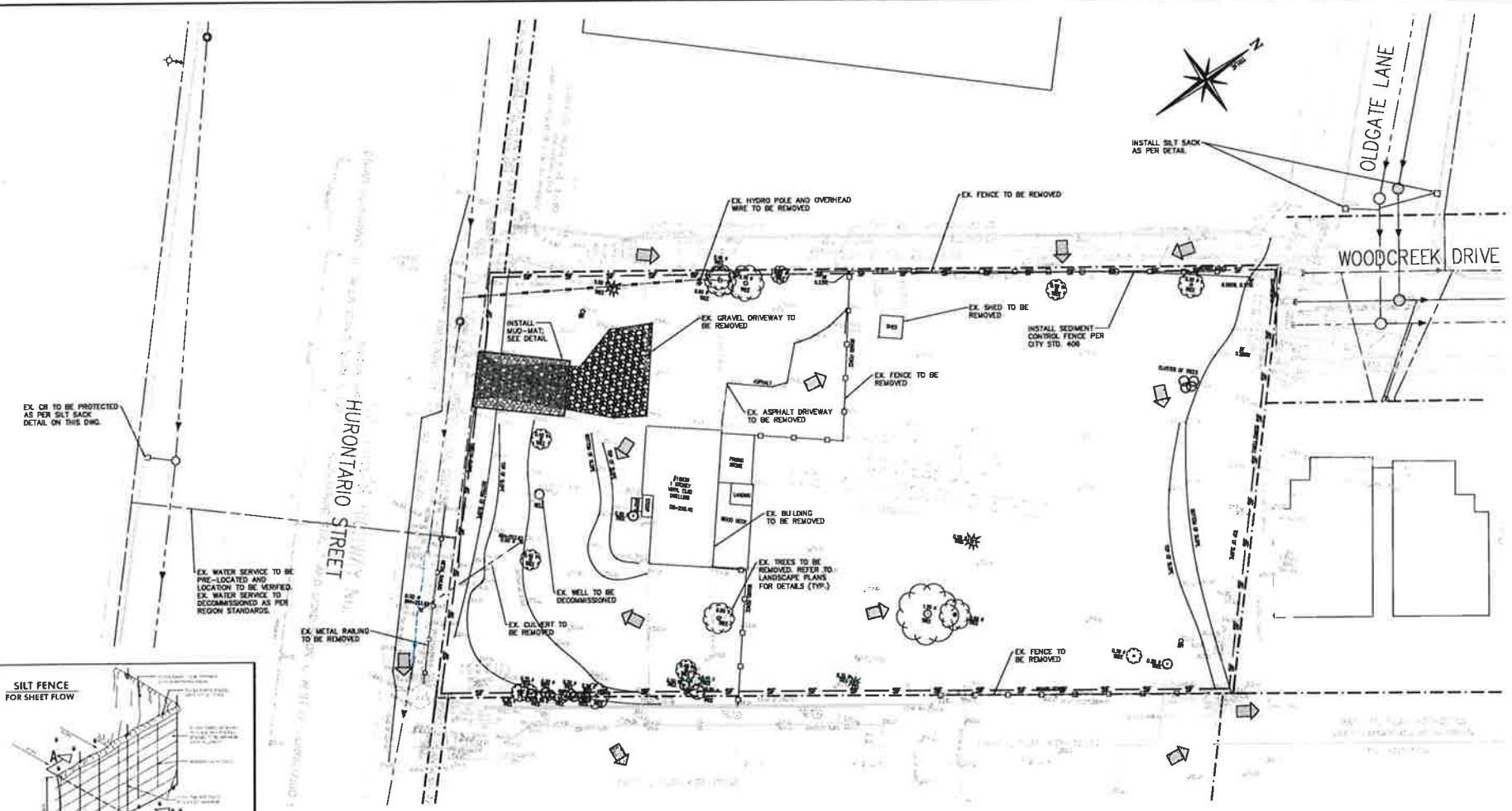
CROZIER CONSULTING ENGINEERS

211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392
WWW.CFCROZIER.CA

NOT FOR CONSTRUCTION



Drawn	J.P.	Checked	J.P./J.M.	Project No.	1942-5702
Date	A.D.F./A.S.	Date	A.O.F./A.S.	Scale	1:250
				Sheet	C101



EXISTING UTILITIES AND SERVICES
CONTRACTOR SHALL NOTE THAT THE CONSTRUCTION ZONE HAS NUMEROUS EXISTING UNDERGROUND UTILITIES AND SERVICES, SOME OF WHICH ARE TO BE ABANDONED OR REMOVED, AND OTHERS WHICH ARE TO BE PROTECTED AND MAINTAINED IN SERVICE.
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL RETAIN THE SERVICES OF A COMPANY, WHICH SPECIALIZES IN SUBSURFACE UTILITY ENGINEERING FOR THE PURPOSES OF LOCATING, MARKING AND SURVEYING ALL UNDERGROUND UTILITIES AND SERVICES. ALL CURRENT METHODS SHALL BE USED FOR THESE LOCATIONS INCLUDING ELECTRONIC METHODS, VACUUM EXCAVATIONS, SURVEYING MANHOLES AND CHAMBERS ETC.
THE UTILITIES AND SERVICES SHALL BE SURVEYED AND REID INTO THE PROJECT COORDINATE SYSTEM, A COPY OF THE SURVEY SHALL BE PROVIDED TO THE ENGINEER FOR RECORD PURPOSES.
ANY CONFLICT WITH THE PROPOSED WORKS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOCATIONS FOR PROTECTION AND TEMPORARY REDUCTION OF UNDERGROUND UTILITIES AND SERVICES AS REQUIRED FOR THE COMPLETE INSTALLATION OF THE PROPOSED WORKS.
ALL DISTURBED AREAS TO BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AND REGION OF P.E.I.
ALL REMOVED MATERIALS TO BE DISPOSED OF OFF-SITE.
THE REMOVAL/RELOCATION OF ELECTRICAL AND COMMUNICATION DUCTS, CABLES, ELECTRICAL POLES, LIGHT STANDARDS, GAS PIPES AND OTHER EX. UTILITIES TO BE COMPLETED PER ELECTRICAL DESIGN AND UTILITIES COMPANIES DECISION.

EROSION & SEDIMENT CONTROL NOTES:

- EROSION & SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE WORKS.
- EROSION & SEDIMENT CONTROLS MUST BE INSPECTED ON A REGULAR BASIS AND AFTER EVERY RAIN FALL EVENT, AND MUST BE MAINTAINED AND REPAIRED IN A TIMELY MANNER TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- EXISTING AND PROPOSED CATCHBASINS ARE TO BE PROTECTED WITH FILTER CLOTH AND 150mm OF 50mm STONE COVER DURING CONSTRUCTION.
- IT IS REQUIRED TO STABILIZE ALL AREAS THAT WILL REMAIN DISTURBED FOR MORE THAN 30 DAYS.
- MUD MAT, SILT FENCE, AND CATCHBASIN PROTECTION ARE NOT TO BE REMOVED UNTIL COMPLETION OF CONSTRUCTION.

NOTE:
ALL DISTURBED AREAS WITHIN MUNICIPAL RIGHT-OF-WAYS ARE TO BE RESTORED TO EXISTING CONDITIONS OR BETTER

BRAMPTON Flower City

SILT FENCE
SEDIMENT TRAP

APPROVED CONTRACTOR ORIGINAL N.T.S.

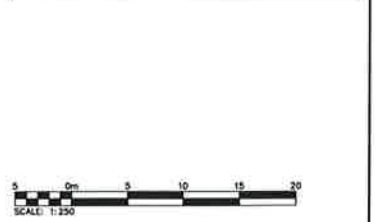
REV. 1
406

- NOTES:**
- INSTALL TERRAFIX 'SILTSACK' IN ALL CATCHBASINS & CATCHBASIN MANHOLES AFFECTED BY CONSTRUCTION.
 - INSTALL TERRAFIX 'SILTSACK' IN ALL NEW CATCHBASINS & CATCHBASIN MANHOLES.



LEGEND

- PROPERTY LINE
- EXISTING WATERMAIN & GATE VALVE
- EXISTING STORM SEWER & MANHOLE
- / □ EXISTING SINGLE / DOUBLE CATCH-BASIN
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED WATERMAIN & GATE VALVE
- ◇ PROPOSED FIRE HYDRANT
- PROPOSED SIAMOSE CONNECTION
- PROPOSED STORM SEWER & MANHOLE
- / □ PROPOSED SINGLE / DOUBLE CATCH-BASIN
- PROPOSED SANITARY SEWER & MANHOLE
- PROPOSED AREA DRAIN



3	ISSUED FOR FOURTH SUBMISSION	2022/SEP/09
2	ISSUED FOR THIRD SUBMISSION	2022/JUN/01
1	ISSUED FOR SECOND SUBMISSION	2021/OCT/13
0	ISSUED FOR FIRST SUBMISSION	2021/MAR/25
No.	ISSUE / REVISION	YYYY/MM/DD

BENCHMARK NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE BENCHMARK AND ARE REFERRED TO A LOCAL BENCHMARK "CUT" IN CONCRETE SIDEWALK ALONG SOUTHWESTERN LIMIT OF WOODCREEK DRIVE HAVING AN ELEVATION OF 254.20 METRES.

SURVEY NOTES:
SURVEY COMPLETED BY W&B SURVEYING (2020/NOV/23)
REFERENCE No.: 20-076

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B BY REAL TIME NETWORK (RTN), UTM ZONE 17, NAD 83 (CSRS)2010.0.

DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.99987


SITE PLAN NOTES:
SCALE ELEMENTS ARE BASED ON SITE PLAN PREPARED JOI STUDIOS (2022/SEP/09)

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED AS SHOWN IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

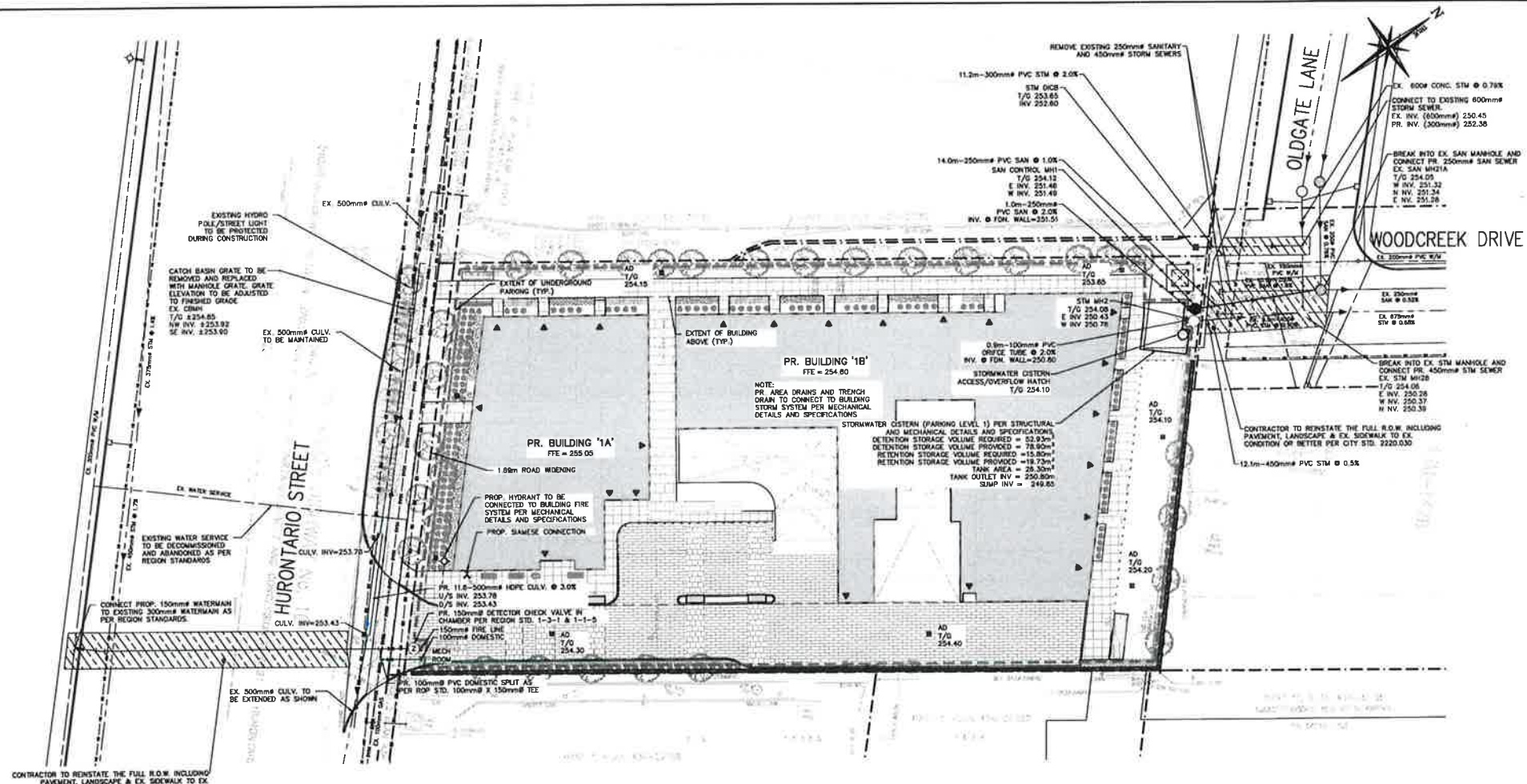
Project: SPA-2022-0106
12035 HURONTARIO STREET
CITY OF BRAMPTON

SITE SERVICING PLAN



Drawn: J.D. ADP/AS
Checked: J.P./JM
Scale: 1:250
Project No.: 1942-5702
Sheet No.: C102

NOT FOR CONSTRUCTION

REGION OF PEEL NOTES:

- ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- WATERMAIN AND/OR WATER SERVICE MATERIALS 100mm AND LARGER MUST BE PVC DR-18 ANNA C800-18, SIZE 50mm AND SMALLER MUST BE COPPER TYPE "K" ASTM 888-49 STD. DWG 1-7-1.
- WATERMANS AND/OR SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m WITH A MINIMUM HORIZONTAL SPACING OF 1.2m FROM THEMSELVES AND ALL OTHER SERVICES.
- PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC., MUST BE PROVIDED WITH AT LEAST A 50mm OUTLET OR 100mm AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPES TO ALLOW WATER TO DRAIN ONTO A PARKING LOT OR SOAK-A-DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100mm MINIMUM ON A HYDRANT.
- ALL CURB STOPS TO BE 3.0m OFF THE FACE OF THE BUILDING UNLESS NOTED OTHERWISE.
- HYDRANT AND VALVE SET TO REGION STANDARD 1-8-1 DIMENSION "A" (0.7m) & "B" (0.8m) AND TO HAVE PUMPER HOZZE.
- WATERMANS TO BE INSTALLED TO GRADES SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHEN REQUESTED BY INSPECTOR.
- WATERMANS MUST HAVE A VERTICAL CLEARANCE OF 0.3m OVER AND 0.9m UNDER SERVICES.
- ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CALIBRATING FROM EXISTING SYSTEMS.
- ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED, OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
- LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND/OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HRS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
- ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

SERVICE CONNECTIONS WITHIN PUBLIC R.O.W.

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY / REGION DESIGN STANDARDS. ALL PAVED AREAS SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES ON THE SITE AND MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB, REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY DAMAGES CAUSED TO EXISTING SERVICES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- PAVEMENT MUST BE SAW CUT.
- TRENCH MUST BE DONE BY BOX TYPE OR CLOSE SHORE METHOD.
- CONTRACTOR TO SUPPLY AND PLACE TACK COAT OVER THE BASE ASPHALT. TACK COAT SHALL CONSIST OF SS-1 EMULSIFIED ASPHALT DILUTED WITH AN EQUAL VOLUME OF WATER. THE UNDULATED MATERIAL SHALL BE ACCORDING TO QCS 1103.
- WHERE PROPOSED ASPHALT MATCH EXISTING ASPHALT, GRIND EXISTING ASPHALT MINIMUM 500MM WIDE AND 40MM DEEP FOR KEYING. APPLY HOT RUBBER SEALING COMPOUND IN ACCORDANCE WITH OPSS 1212. ALL SURFACE TO TACK COATED WITH SS-1.
- ROAD TO BE RESTORED AS PER THE FOLLOWING:
 - ALL TRENCHES SHALL BE BACKFILLED WITH GRAN B.
 - PAVEMENT SHALL BE RESTORED TO THE ORIGINAL STATE AS PER THE CURRENT CITY / REGION SPECIFICATIONS.
 - ALL EXCESS EARTH AND MATERIALS SHALL BE REMOVED FROM THE ROAD ALLOWANCES AND SHALL BE HAULED AWAY WITH NO EXPENSE TO THE MUNICIPALITY OR OWNER.
 - ALL SURFACE FEATURES SUCH AS CURBS AND SIDEWALKS DISTURBED, DAMAGED OR REMOVED DURING THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED TO ITS ORIGINAL CONDITIONS.
 - ALL EXISTING FEATURES TO REMAIN, I.E. MANHOLE LIDS, CATCH BASINS, VALVE CHAMBER LIDS, VALVE BOXES, ETC. SHALL BE ADJUSTED TO SUIT THE FINISHED ELEVATIONS.

WATERMAIN NOTES:

- MECHANICAL ENGINEER SHALL ENSURE DESIGN OF INTERNAL WATERMAIN LOADING & LOOPING WITHIN U/O PARKING STRUCTURE.
- CONTRACTOR TO COORDINATE THE EXACT LOCATION OF WATER CONNECTION TO THE INTERNAL WATER SYSTEM PER MECHANICAL DESIGN.
- PROPOSED WATER MAIN AND BACKFLOW PREVENTER TO BE INSTALLED INSIDE OF MECHANICAL ROOM PER MECHANICAL DESIGN AND SPECIFICATIONS AND IN ACCORDANCE WITH REGION STANDARDS.
- PROPOSED HYDRANTS TO BE CONNECTED TO THE INTERNAL WATER SYSTEM, LOCATED IN THE UNDERGROUND PARKING GARAGE STRUCTURE, PER MECHANICAL DESIGN AND SPECIFICATIONS.

NOTE:
DISTURBED AREAS WITHIN QUEEN STREET WEST R.O.W. DUE TO SERVICE CONNECTION INSTALLATION ARE TO BE REINSTATED TO MATCH EXISTING CONDITIONS OR BETTER, (INCLUDING PAVEMENT STRUCTURE) PAVED AREAS ARE TO BE REINSTATED C/W LAP JOINT; REFER TO DETAIL.

STORM SEWER NOTE:
MAIN SEWERS LESS THAN 450mm SHALL BE PVC PIPE SDR 35 (OPSS 410). MIN. PIPE STIFFNESS SHALL BE 320kPa. MAIN SEWERS 450mm OR GREATER SHALL BE CONCRETE CLASS-450 UNLESS NOTED OTHERWISE. ALL PIPE TO BE JOINED WITH A GASKETTED BELL AND SPIGOT SYSTEM.

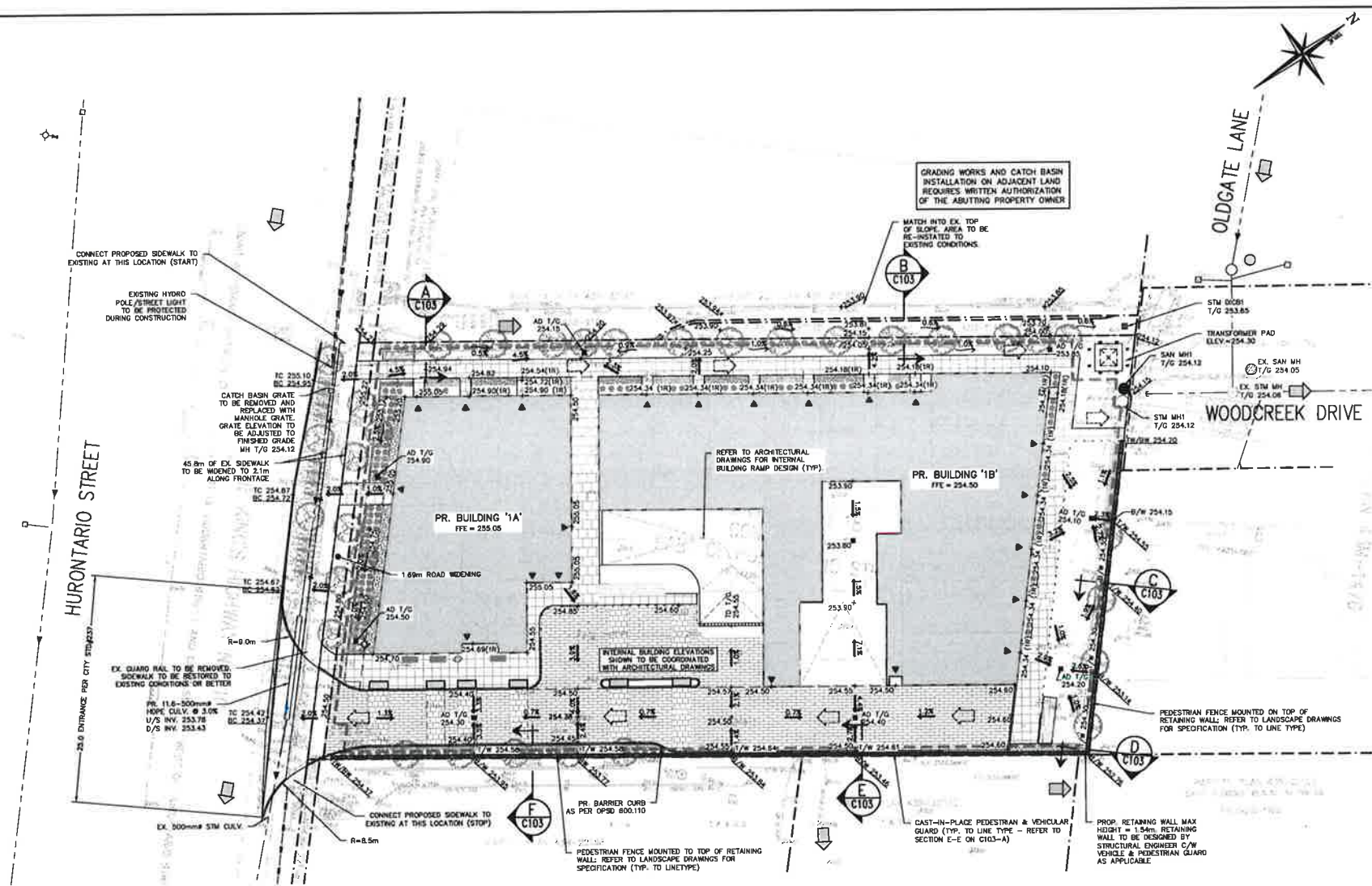
STORMWATER QUALITY CONTROL:
THE SITE AREA IS INCLUDED IN THE STORMWATER QUALITY FUND FOR THE CREEK'S EDGE SUBDIVISION, CITY OF BRAMPTON FILE #011-90017. ON-SITE QUALITY CONTROLS ARE NOT REQUIRED.

SANITARY SEWER NOTE:
SANITARY SEWER - SDR 35 PVC WITH MINIMUM PIPE STIFFNESS OF 320kPa - MANUFACTURED TO C.S.A. STANDARD B182.2 (A.S.T.M. SPECIFICATION D 3034) WITH RUBBER GASKETED BELL AND SPIGOT JOINTS.

NOTE:
WATERMAIN & WATER SERVICES SHALL HAVE A MINIMUM DEPTH OF 1.7m AND SHALL HAVE A MINIMUM OUTSIDE BARREL VERTICAL SEPARATION OF 0.5m & HORIZONTAL SEPARATION OF 3.0m.

THE EXISTING MUNICIPAL SERVICE AND UTILITIES ARE SHOWN FOR COORDINATION PURPOSE ONLY. CONTRACTOR TO VERIFY ON SITE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING MUNICIPAL SERVICES USING A LOCATES COMPANY, AND ADVISE THE ENGINEER REGARDING ANY DISCREPANCIES PRIOR TO CONSTRUCTION START.

NOTE:
DAYLIGHTING IS REQUIRED FOR ALL UTILITY CROSSINGS PRIOR TO AND DURING CONSTRUCTION AND UNDER REGION OF PEEL INSPECTION SUPERVISION.



LEGEND

- PROPERTY LINE
- EXISTING DITCH
- EXISTING FENCE
- PROPOSED FENCE
- LIMIT OF UNDERGROUND
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED GRADE (TO MATCH EXISTING)
- PROPOSED MINOR FLOW DIRECTION
- PROPOSED GRASSED SWALE
- PROPOSED RETAINING WALL
- PROPOSED SLOPE (3:1 MAX.)
- BUILDING ENTRANCE (PERSONNEL DOOR)
- EXISTING OVERLAND FLOW DIRECTION
- PROPOSED MAJOR OVERLAND FLOW DIRECTION
- PROPOSED FIRE HYDRANT & GATE VALVE

REFER TO DRAWING C103A FOR GENERAL NOTES, DETAILS AND RETAINING WALL STRUCTURAL DESIGN DETAILS

ALL CURB ELEVATIONS SHOWN ARE MINIMUM 0.15m HIGH UNLESS OTHERWISE NOTED.

REFER TO DRAWING C101 FOR PROPOSED 1.8M FENCING AROUND SITE BOUNDARY

SCALE: 1:250

3	ISSUED FOR FOURTH SUBMISSION	2022/SEP/05
2	ISSUED FOR THIRD SUBMISSION	2022/JUN/20
1	ISSUED FOR SECOND SUBMISSION	2021/DEC/13
0	ISSUED FOR FIRST SUBMISSION	2021/MAR/23
NA	ISSUE / REVISION	YYYY/MM/DD

BENCHMARK NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND ARE REFERRED TO A LOCAL BENCHMARK CUT IN CONCRETE SIDEWALK ALONG SOUTHWESTERN LIMIT OF WOODCREEK DRIVE HAVING AN ELEVATION OF 254.20 METRES.

SURVEY NOTES:
SURVEY COMPLETED BY W&B SURVEYING (2020/NOV/23)
REFERENCE: NO. 20-078

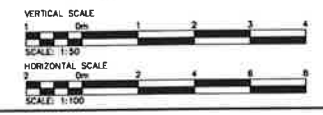
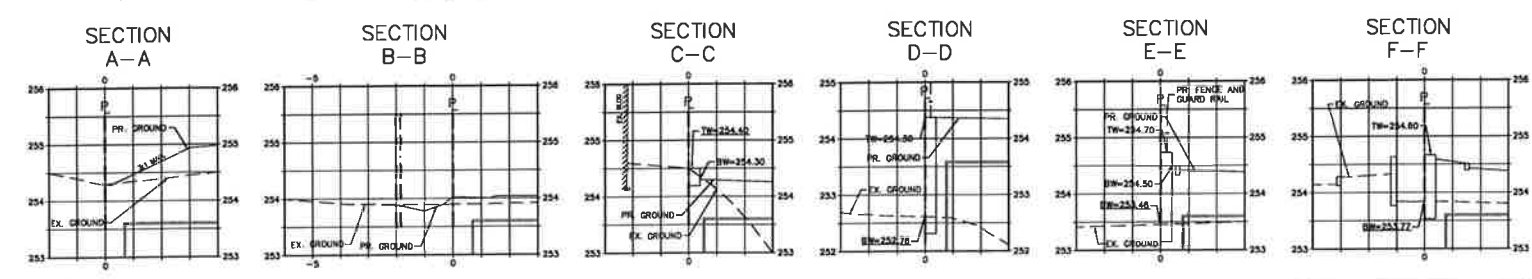
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B BY REAL TIME NETWORK (RTN) UTM ZONE 17, NAD 83 (CSRS)2010.0

DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.99987

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN PREPARED BY JC STUDIO (2022/SEP/09)

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE WORKED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



REFER TO DRAWING C103A FOR RETAINING WALL STRUCTURAL DETAIL ON SECTIONS D, E & F.

NOT FOR CONSTRUCTION



CROZIER CONSULTING ENGINEERS

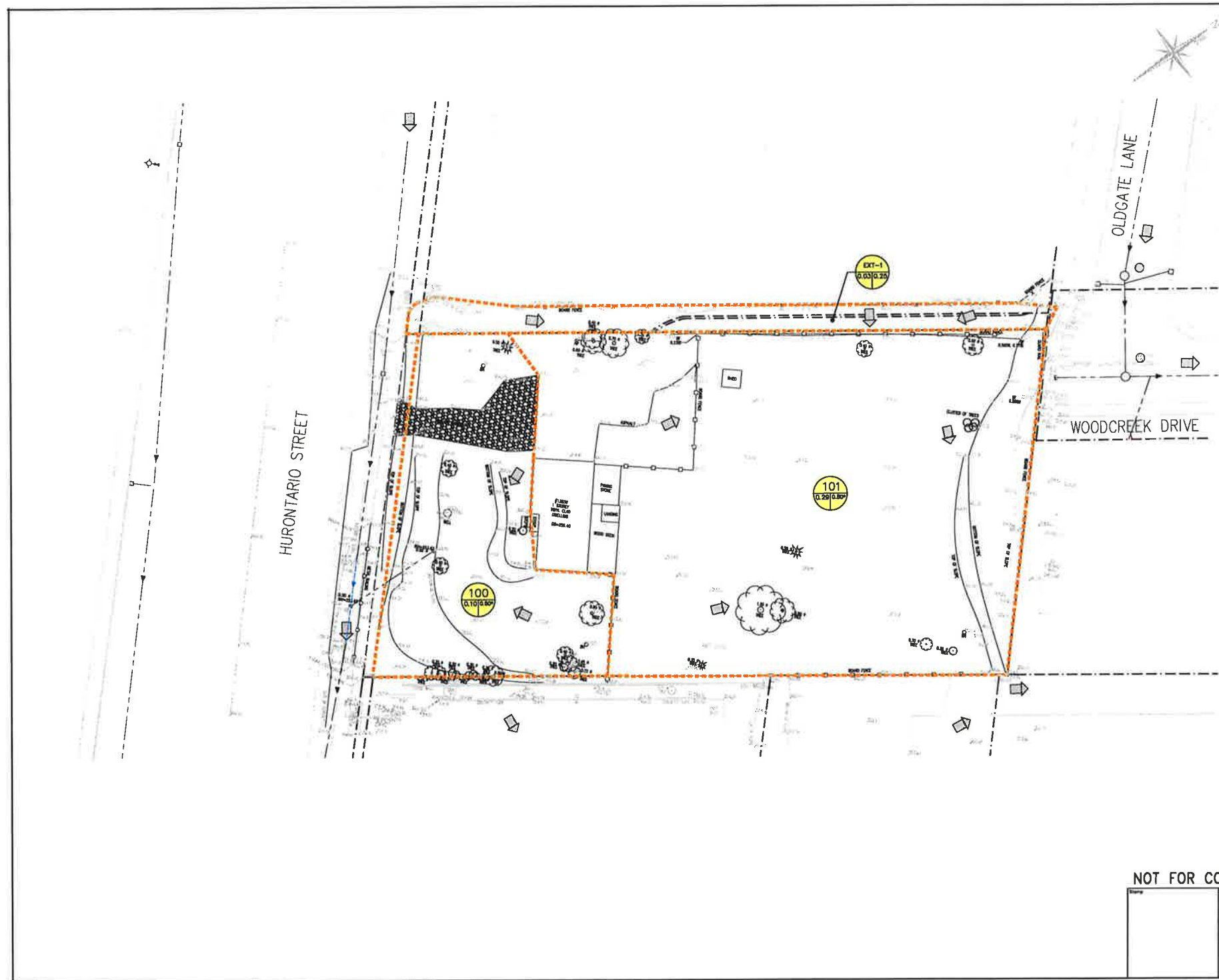
2115 YONGE STREET
SUITE 602
TORONTO, ONT. M5B 1M4
416-872-5300 T
WWW.CROZIER-CA

Project: SPA-2022-0106
12035 HURONTARIO STREET
CITY OF BRAMPTON

Drawing: GRADING PLAN

Drawn: JP	Design: J.P./J.M.	Project No: 1942-5702
Check: A.D./A.S.	Date: 1:250	Sheet: C103

FIGURES



LEGEND

- PROPERTY LINE
- EXISTING DITCH
- EXISTING GRADE
- EXISTING OVERLAND FLOW DIRECTION
- STORM DRAINAGE CATCHMENT
- CATCHMENT I.D.

AREA (ha) | RUNOFF COEFFICIENT

*PRE-DEVELOPMENT RUNOFF COEFFICIENT AS PER THE CREEK'S EDGE SUBDIVISION AS CONSTRUCTED DRAINAGE PLAN AND OVERLAND FLOW (PART B) PREPARED BY SCHAEFFER CONSULTING ENGINEERS JUNE 2002, CITY OF BRAMPTON FILE #211-80017



3	ISSUED FOR FOURTH SUBMISSION	2022/SEP/09
2	ISSUED FOR THIRD SUBMISSION	2022/JUN/01
1	ISSUED FOR SECOND SUBMISSION	2021/DEC/13
0	ISSUED FOR FIRST SUBMISSION	2021/MAR/25
No.	ISSUE / REVISION	YYYY/MM/DD

BENCHMARK NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND ARE REFERRED TO A LOCAL BENCHMARK "CUTTY" IN CONCRETE SIDEWALK ALONG SOUTHWESTERN LIMIT OF WOODCREEK DRIVE HAVING AN ELEVATION OF 254.25 METRES.

SURVEY NOTES:
SURVEY COMPLETED BY WAKHA SURVEYING (2020/NOV/23)
REFERENCE No.: 20-078
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B BY REAL TIME NETWORK (RTN), UTM ZONE 17, NAD 83 (CSRS)2010.0

DISTANCES SHOWN HEREIN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.99987

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN PREPARED JED STUDIO, (2022/SEP/09)

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Project
SPA-2022-0106
12035 HURONTARIO STREET
CITY OF BRAMPTON

Drawing
PRE-DEVELOPMENT DRAINAGE

NOT FOR CONSTRUCTION

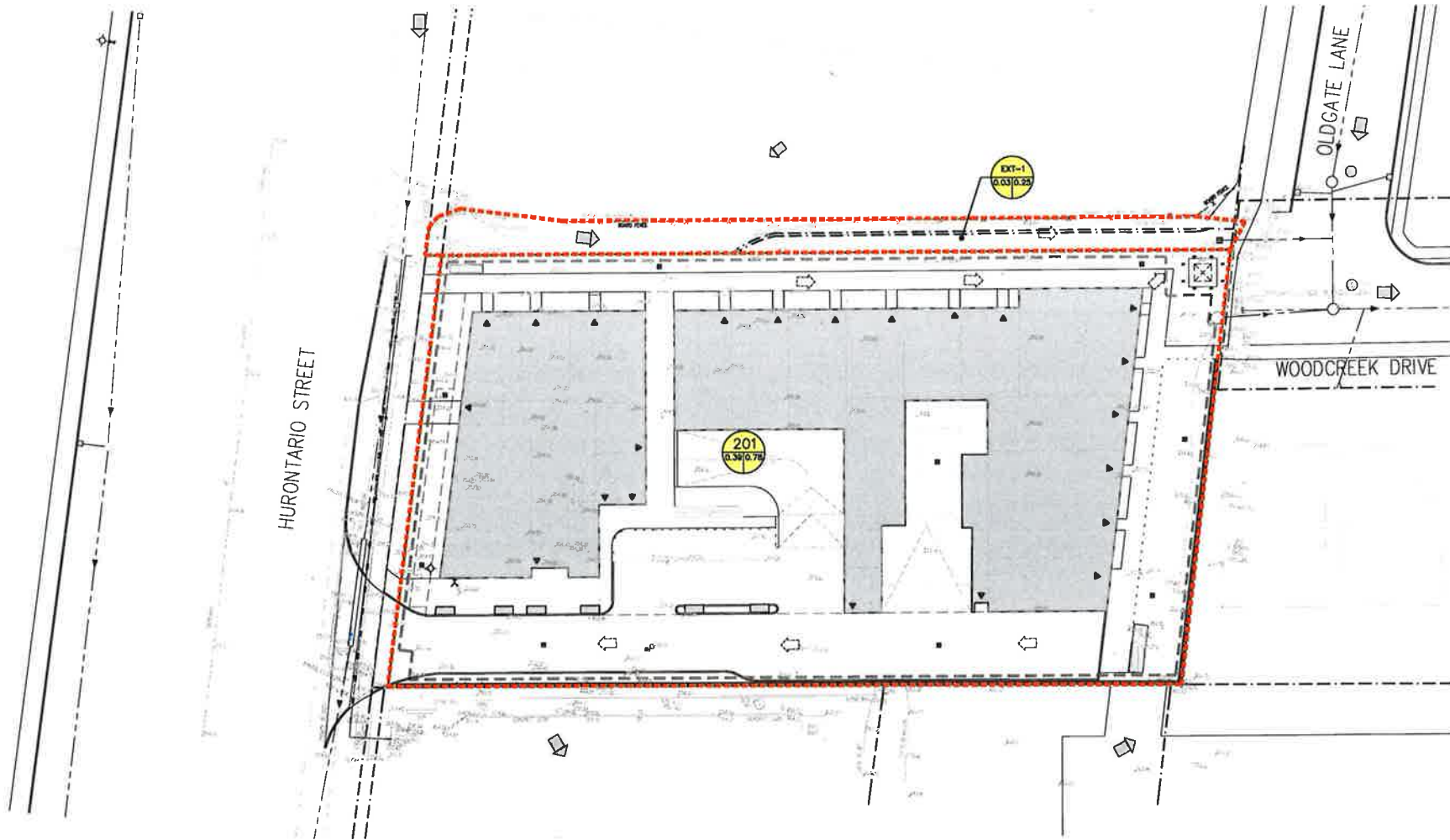
Drawn: [Blank] Date: [Blank]
Checked: A.D.F./A.S. Date: [Blank]



CROZIER CONSULTING ENGINEERS

211 YONGE STREET SUITE 600
TORONTO, ON M5B 1M4
+1 (416) 773-3922 T
WWW.CROZIERENGINEERS.COM

Project No. **1942-5702**
Scale: 1:250
Page: **FIG-1**



LEGEND

	PROPERTY LINE
	EXISTING DITCH
	EXISTING GRADE
	PROPOSED MAJOR OVERLAND FLOW DIRECTION
	STORM DRAINAGE CATCHMENT
	CATCHMENT I.D.
	AREA (ha) RUNOFF COEFFICIENT



3	ISSUED FOR FOURTH SUBMISSION	2022/SEP/08
2	ISSUED FOR THIRD SUBMISSION	2022/JUN/01
1	ISSUED FOR SECOND SUBMISSION	2021/DEC/13
0	ISSUED FOR FIRST SUBMISSION	2021/MAR/25
No.	ISSUE / REVISION	YYYY/MM/DD

BENCHMARK NOTE
ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND ARE REFERRED TO A LOCAL BENCHMARK CUTTING IN CONCRETE SIDEWALK ALONG SOUTHWESTERN CORNER OF WOODCREEK DRIVE HAVING AN ELEVATION OF 254.20 METRES.

SURVEY NOTES
SURVEY COMPLETED BY WANBA SURVEYING (2020/NOV/23)
REFERENCE: NAD 83

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B BY REAL TIME NETWORK (RTN), UTM ZONE 17, NAD 83 (CRS832011.0)
DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.99987

SITE PLAN NOTES
DESIGN ELEMENTS ARE BASED ON SITE PLAN PREPARED JO 57600 (2022/SEP/08)

DRAWING NOTES
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Project: SPA-2022-0106
12035 HURONTARIO STREET
CITY OF BRAMPTON

Drawing: POST-DEVELOPMENT DRAINAGE

NOT FOR CONSTRUCTION

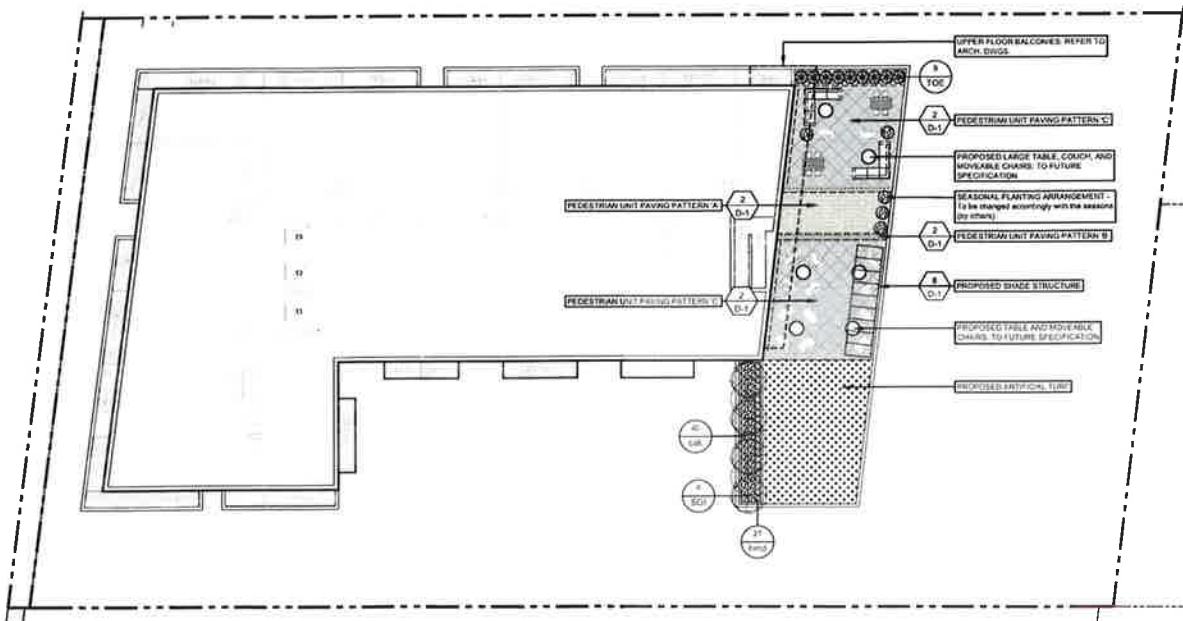


CROZIER CONSULTING ENGINEERS
211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
T 164-77-5592 F
WWW.CROZIER.CA

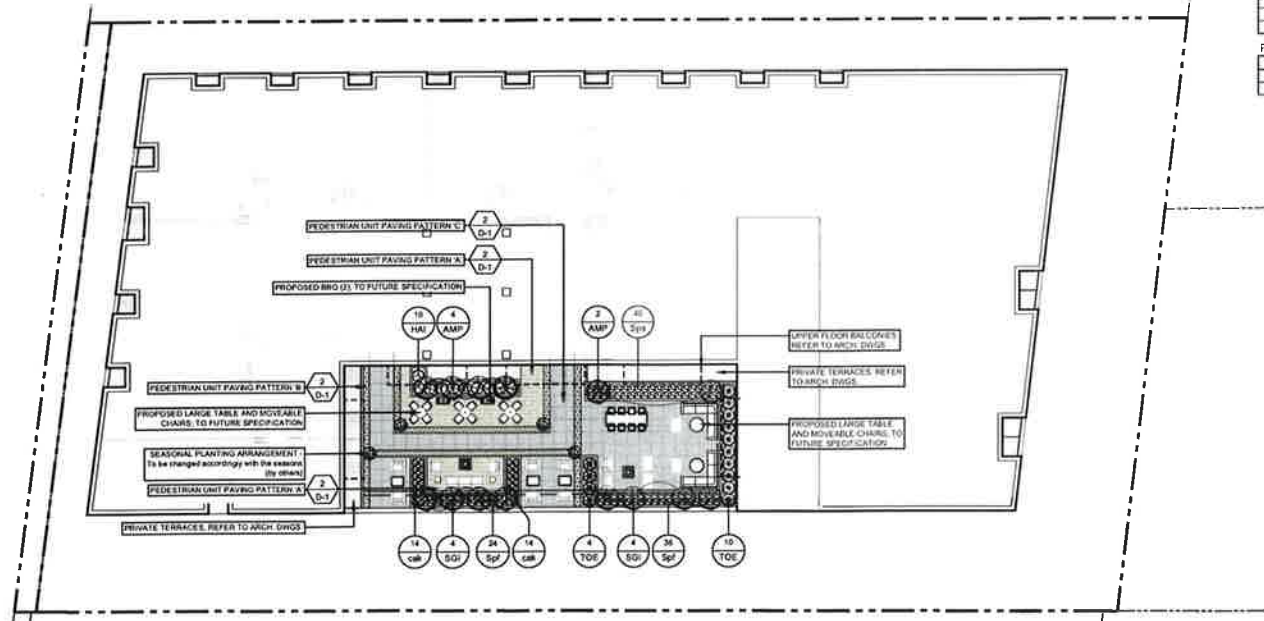
Drawn: J.P.	Check: J.P./J.W.	Project No. 1942-5702
Drawn: A.D.F./A.S.	Check: A.D.F./A.S.	Scale: 1:250

FIG-2

User: jessie_wu, L:\Projects\2020\2020-123 - 12035 Hurontario Street Development 1.0 Site Plan - Phase 2\2020-123 - 2020-08 - SPA-2022-0106 - 2020-11 - 2022 - 3.2.dwg
 User: jessie_wu, L:\Projects\2020\2020-123 - 12035 Hurontario Street Development 1.0 Site Plan - Phase 2\2020-123 - 2020-08 - SPA-2022-0106 - 2020-11 - 2022 - 3.2.dwg



7TH FLOOR ROOFTOP PATIO



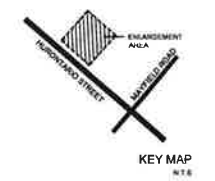
2ND FLOOR ROOFTOP PATIO

PLANT LIST

Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
8	AMP	Araliacae: a generalist Phloxes Group	Phloxes Group Semiprostrata	20cm	-	-	1.0m	-
12	SOI	"Spring version 'Long Spine'"	Long Spine Tree Lark	20cm	-	-	-	-
21	TOE	Thymus praecox subsp. 'Emerald'	Emerald Cedar	-	300cm	-	-	-

Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
13	HAU	Hydrangea arborescens 'Inchikissal'	Common Hydrangea	-	-	-	-	-
50	Sp1	Spirea japonica 'Goldflame'	Goldflame Spirea	-	-	-	-	-
40	Sp2	Spirea japonica 'Anthony Waterer'	Anthony Waterer Spirea	-	-	-	-	-

Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
68	ssp	Calandrinia caerulea 'Walt Fennell'	Walt Fennell Heather Reed Grass	-	-	-	-	-
21	sp2	Hemerocallis 'Min Starry Ocean'	Min Starry Ocean Daylily	-	-	-	-	-



1
D-0
DETAIL #
SHEET #

- PROPERTY LINE
- LIMIT OF CONTRACT
- ASPHALT PAVING - LIGHT DUTY
- CONCRETE PAVING
- PEDESTRIAN UNIT PAVING 'A'
- PEDESTRIAN UNIT PAVING 'B'
- PEDESTRIAN UNIT PAVING 'C'
- ARTIFICIAL TURF
- BLACK VINYL CHAIN LINK FENCE
- PRIVACY FENCE
- BOULDERS
- CONCRETE WALL
- BENCH
- RECEPTACLE
- BIKE RACK
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO REMAIN
- PROPOSED DECIDUOUS TREE
- PROPOSED PLANTING

Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
11	TOE	Thymus praecox subsp. 'Emerald'	Emerald Cedar	-	300cm	-	-	-
13	HAU	Hydrangea arborescens 'Inchikissal'	Common Hydrangea	-	-	-	-	-
50	Sp1	Spirea japonica 'Goldflame'	Goldflame Spirea	-	-	-	-	-
40	Sp2	Spirea japonica 'Anthony Waterer'	Anthony Waterer Spirea	-	-	-	-	-

THESE SPECIFICATIONS ARE THE PROPERTY OF LANDSCAPE PLANNING LIMITED AND SHALL NOT BE ALTERED, MODIFIED, REPRODUCED OR CHANGED WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED. REAL IS NOT VALID WITHOUT SIGNATURE OF THE LANDSCAPE ARCHITECT. DRAWINGS CANNOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED.



Project number
2020-123



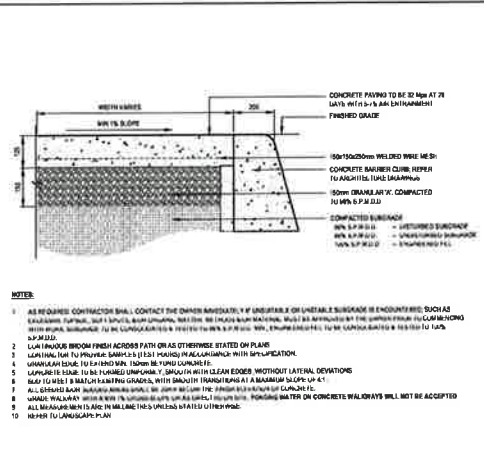
Project title
12035 HURONTARIO STREET, BRAMPTON ON

City file: SPA-2022-0106
Municipality: BRAMPTON

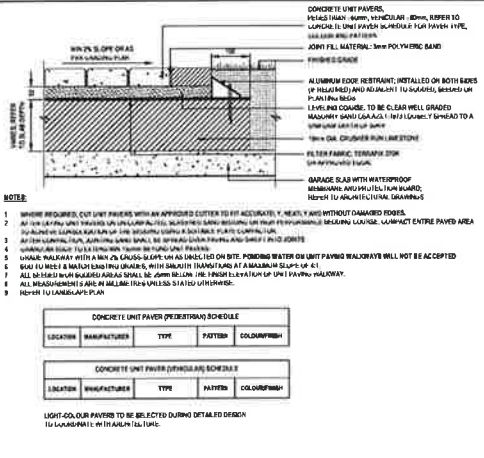
Drawing title
SURFACE MATERIALS & LANDSCAPE PLAN - ROOFTOPS

drawn by SS	reviewed by JS	drawing number: L2
date SEPT 2022	scale 1:200	

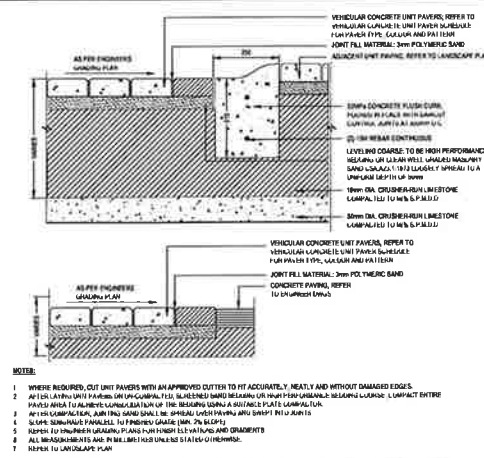
CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This ___ Day of _____
Allan Parsons
Director, Development Services



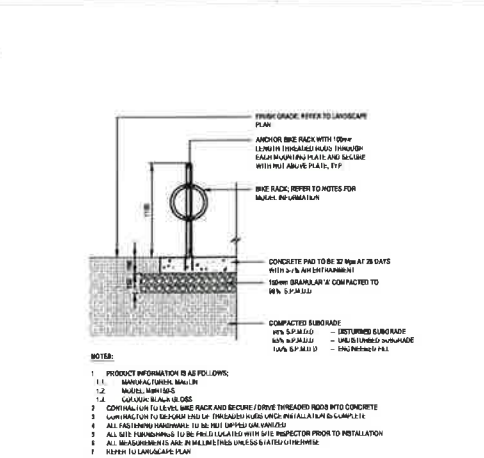
CONCRETE PAVING



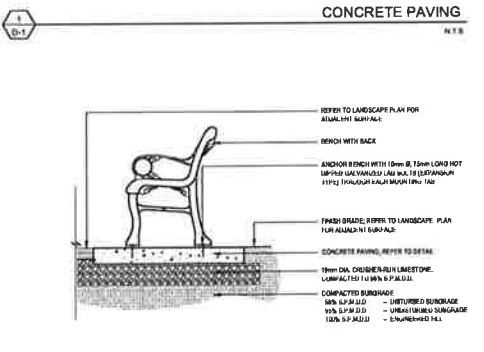
CONCRETE UNIT PAVING (PEDESTRIAN)



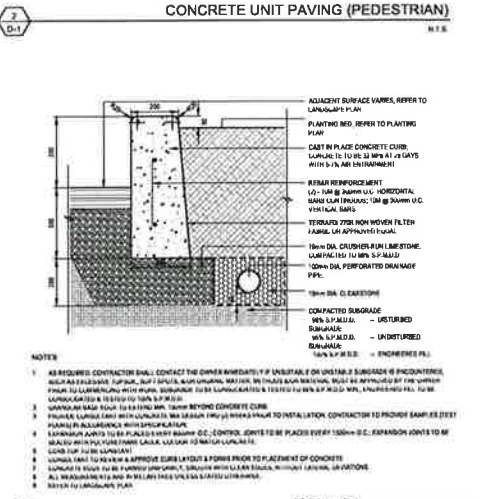
CONCRETE UNIT PAVING (VEHICULAR)



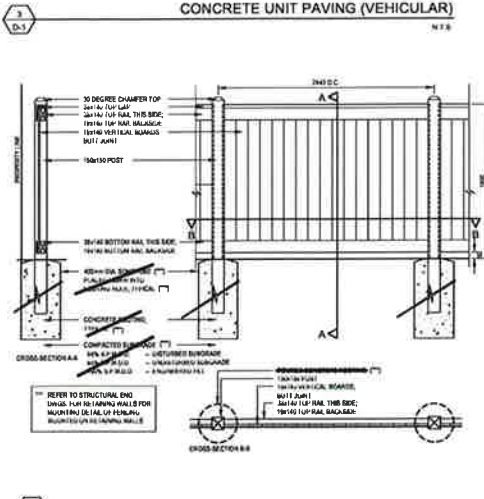
BIKE RING



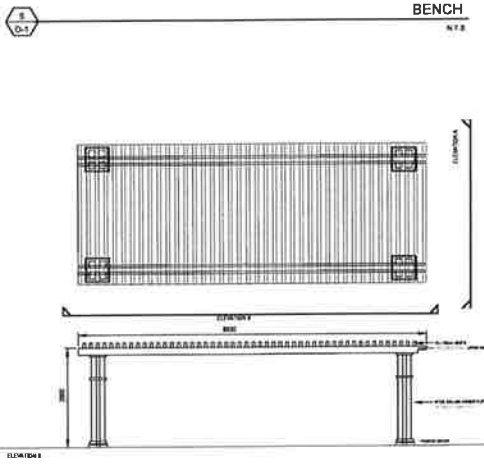
BENCH



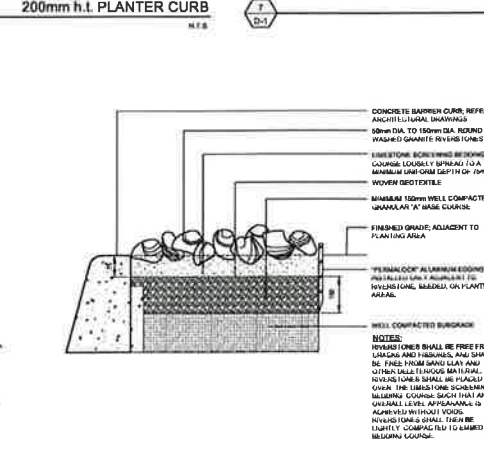
200mm h.t. PLANTER CURB



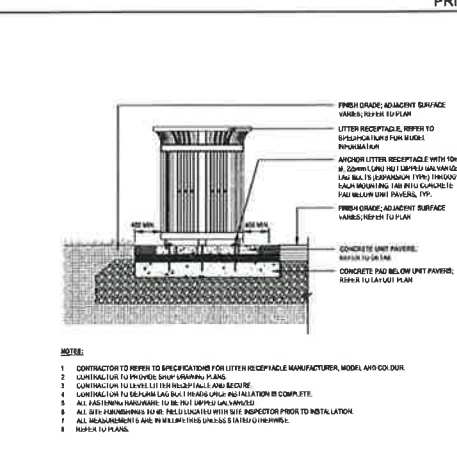
PRIVACY FENCE - CEDAR 1.8m h.t.



SHADE STRUCTURE



BEACHSTONE



LITTER RECEPTACLE - SURFACE MOUNT ON UNIT PAVER

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This ___ Day of ___

Attest:
Allan Parsons
Director, Development Services

NO.	REVISION	DATE	BY	APP. BY
1	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
2	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
3	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
4	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
5	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
6	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
7	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
8	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
9	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS
10	ISSUED FOR PERMITS SUBMISSION	2022-09-15	SS	JS

THESE DRAWINGS ARE THE PROPERTY OF LANDSCAPE PLANNING LIMITED AND SHALL NOT BE ALTERED, MODIFIED, REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED. SCALE IS NOT VALID WITHOUT A SIGNATURE FROM THE LANDSCAPE ARCHITECT. DRAWINGS CANNOT BE USED FOR TENDERING UNLESS THEY ARE SIGNED BY THE LANDSCAPE ARCHITECT.

ASSOCIATION OF LANDSCAPE ARCHITECTS OF ONTARIO
OALA
EST. 1972

project number
2020-123

landscape planning
LANDSCAPE ARCHITECTS
205 Hurontario Street, Brampton, ON L6Y 4R3
Tel: 800 889 0838, www.landscaping.ca

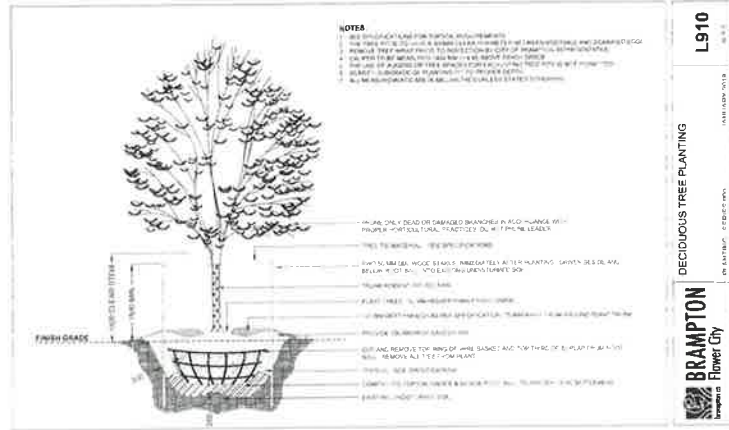
project title
12035 HURONTARIO STREET, BRAMPTON ON

city file: SPA-2022-0106
municipality: BRAMPTON
drawing title

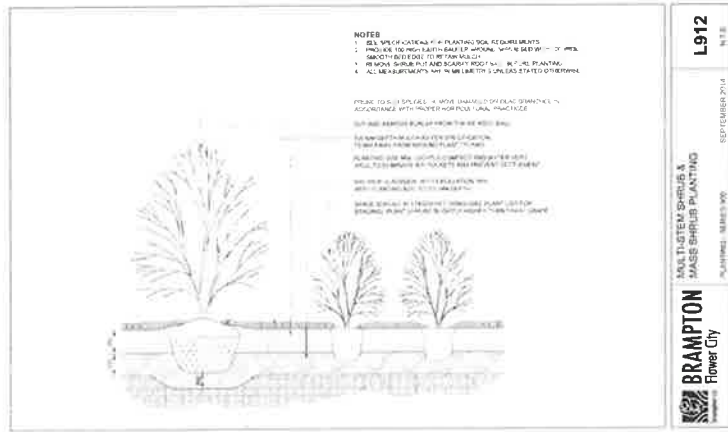
DETAILS

drawn by	reviewed by	drawing number:
SS	JS	D1
date	scale	
SEPT. 2022	NTS	

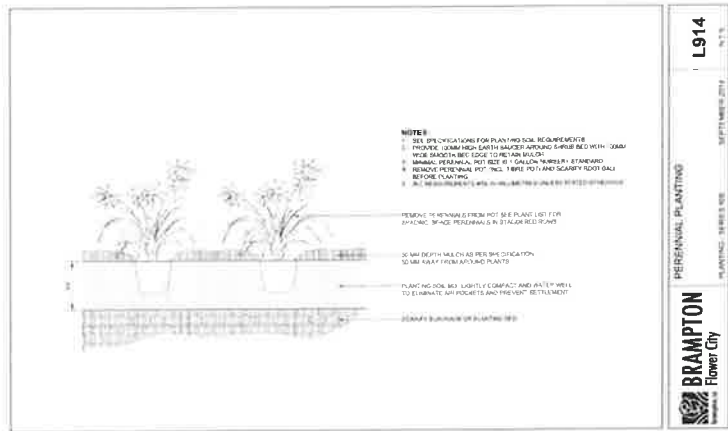
Scale: 1:50
Project: 12035 Hurontario Street, Brampton, ON
Date: 15/09/2022



DECIDUOUS TREE
N.T.S.



DECIDUOUS SHRUB
N.T.S.



PERENNIAL PLANTING
N.T.S.

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This ___ Day of _____

Allan Parsons
Director, Development Services

REV.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	15/09/2022	SS
2	ISSUED FOR PERMIT	15/09/2022	SS
3	ISSUED FOR PERMIT	15/09/2022	SS

THESE DRAWINGS ARE THE PROPERTY OF LANDSCAPE PLANNING LIMITED AND SHALL NOT BE REPRODUCED, COPIED, MODIFIED, OR CHANGED WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED. SEALS ARE NOT VALID WITHOUT SIGNATURE OF THE LANDSCAPE ARCHITECT. DRAWINGS CANNOT BE USED FOR TENDER/CONSTRUCTION UNTIL SIGNED BY LANDSCAPE ARCHITECT.



project number
2020-123

landscape planning
LANDSCAPE ARCHITECTS
Suite 207, 95 Mural Street, Richmond Hill, Ontario L4B 3D2,
Tel: 905 889 8838, www.landscapeplan.ca

project title
12035 HURONTARIO STREET, BRAMPTON ON

city file SPA-2022-0106
municipality: BRAMPTON

DETAILS

drawn by	reviewed by	drawing number:
SS	JS	D2
date	scale	
SEPT. 2022	NTS	

SEPTEMBER 9, 2022
PROJECT NO: 1942-5702
SENT VIA: EMAIL

City of Brampton
2 Wellington Street West
Brampton ON, L6Y 4R2

Attention: Adam Davidson
Transportation Planning, City of Brampton

RE: TRANSPORTATION UPDATE LETTER
12035 HURONTARIO STREET
RESIDENTIAL MID-RISE DEVELOPMENT
CITY OF BRAMPTON, REGION OF PEEL
FILE NUMBER: SPA-2022-0106

Dear Adam,

C.F. Crozier & Associates Inc. (Crozier) was retained by Black Creek Group to undertake a Transportation Impact Study (TIS) in support of a Site Plan Application (SPA) for a proposed residential development located at 12035 Hurontario Street (previously referred as 12089 Hurontario Street), in the City of Brampton, Regional Municipality of Peel.

The following submissions were previously prepared in support of the development's Official Plan Amendment (OPA), Zoning By-Law Amendment (ZBA), and Site Plan Application (SPA).

- Transportation Impact Study (Crozier, March 2021)
- Transportation Impact Study Addendum (Crozier, December 2021)
- Transportation Update Letter (Crozier, May 2022)

The Transportation Update Letter (TUL) herein, accompanies the aforementioned studies and addresses the City of Brampton's comments dated July 22, 2022.

1.0 Development Proposal

Table 1 below outlines the breakdown of the development proposal, as well as changes in the site statistics when compared to the previously submitted studies.

Table 1
Proposed Development Breakdown (Comparison)

Site Plan	Building / Land Use	Residential Units	Parking Spaces
March 2021	Residential Mid-rise Apartment	201 units	197 spaces
December 2021		205 units	198 spaces ¹
May 2022		201 units	196 spaces ¹
September 2022		201 units	196 spaces ¹

Note 1: Four (4) tandem resident parking spaces are proposed out of the 196 parking spaces.

As shown in **Table 1**, the most recent Site Plan proposes an unchanged 9-storey mid-rise residential apartment with 201 units.

The development also proposes 196 parking spaces, with a full moves site access at Hurontario Street. The full moves access will be converted to a Left-in/Right-in/Right-out (LIRIRO) access once the concrete median extension along Hurontario Street is constructed.

The most recent Site Plan has been updated since the previous submission, however, the site statistics remain unchanged. Thus, the findings of the previously prepared TIS Addendum (Crozier, December 2021) and TUL (Crozier, May 2022) remain valid and are not updated herein. The most recent Site Plan by Studio JCI is attached in **Attachment 1**.

2.0 Vehicle Circulation Review

Updated Vehicle Turning Diagrams indicate that there is sufficient space for standard Region of Peel waste collection vehicles and delivery trucks (i.e., Medium Single Unit Truck) to maneuver in and out of the provided loading space and site access.

The fire route is proposed along the drive aisle (east-west) at the south end of the Subject Site and ending near the eastern limits of the site. As the fire route is less than 90 metres long, a fire truck can enter and egress the site by reversing onto Hurontario Street as required.

The Vehicle Turning Diagrams also demonstrate that passenger vehicles can access the parking ramp, parking area, and pick-up and drop-off area without conflicts.

Based on the vehicle circulation review using the key design vehicles noted above, the Site Plan is supportable from a vehicle circulation perspective.

The updated Vehicle Turning Diagrams are included as **Attachment 2**.

3.0 Comment Response

The following comment response addresses the City of Brampton's transportation related comments, dated July 22, 2022 (also included as **Attachment 4**). Region of Peel comments are still outstanding and will be addressed at a later date.

Traffic Services Review

- 4) *Conduct a swept path analysis to/from garbage entry/ waste collection entry. Ensure vehicles do not reverse into the site from the municipal right-of-way and vehicles do not reverse from the site into the municipal ROW.*
- 7) *Any internal traffic signage and pavement marking shall be clearly indicated and depicted on site plan.*

Response:

- 4) Vehicle Turning Diagrams were included in the previously submitted TUL (Crozier, May 2022) and have since been updated. The updated Vehicle Turning Diagrams are attached as **Attachment 2**.

While majority of the vehicles can turn around and exit the Subject Site in a forward motion, as permitted in the Ontario Building Code, as the fire route is less than 90 metres, fire trucks are proposed to reverse onto municipal right-of-way.

- 7) A Pavement Marking Signage Plan has been prepared and included as **Attachment 3**.

4.0 Conclusions

The revised Site Plan proposes a mid-rise residential apartment with 201 units and 196 parking spaces. In comparison to the previously submitted TUL (Crozier, May 2022), the site statistics remains unchanged. Thus, an updated traffic operations and parking review are not conducted herein.

The City of Brampton's comments (July 2022) are addressed herein. The Region of Peel's comments are still outstanding and will be addressed at a later date.

We trust that this review addresses any transportation related concerns with the project. Should you have any questions or require any further information, please do not hesitate to contact the undersigned.

Respectfully submitted by,

C.F. CROZIER & ASSOCIATES INC.



Martin Chan, P.Eng.
Project Engineer, Transportation

C.F. CROZIER & ASSOCIATES INC.



My-Linh Yee, BEng.
Engineering Intern, Transportation

Enclosed
Attachment 1: Site Plan
Attachment 2: Vehicle Turning Diagrams
Attachment 3: Pavement Marking Signage Plan
Attachment 4: Comment Responses

/MY

N:\1900\1942-Black Creek Group\5702-12039 Hurontario St\Reports\Traffic\2022.08.18 Fourth Submission_TUL\2022.09.09 12035 Hurontario Street Transportation Update Letter.docx

ATTACHMENT 1

Site Plan

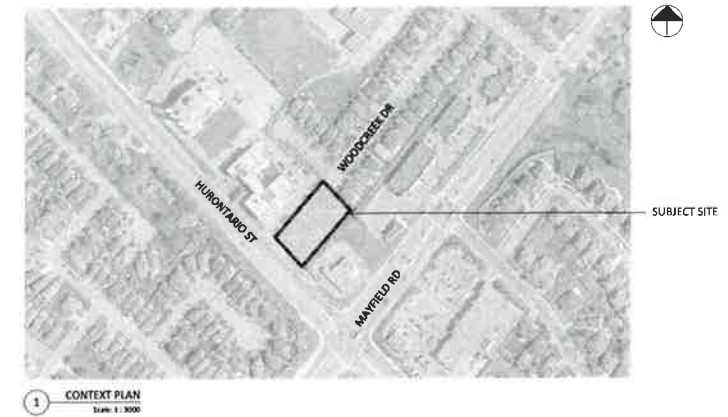


PROPOSED RESIDENTIAL DEVELOPMENT

12085 Hurontario Street,
Brampton, ON L4A 1E6

ARCHITECTURAL DRAWING LIST

A0.00	PROJECT STATISTICS
A1.00	SITE PLAN
A1.01	GROUND FLOOR SITE PLAN
A3.00	P2 LEVEL
A3.01	P1 LEVEL
A3.02	GROUND FLOOR PLAN
A3.03	2ND FLOOR PLAN
A3.04	3RD FLOOR PLAN
A3.05	4TH FLOOR PLAN
A3.06	5TH FLOOR PLAN
A3.07	6TH FLOOR PLAN
A3.08	7TH FLOOR PLAN
A3.09	8TH-9TH FLOOR PLAN
A3.10	MICK FLOOR PLAN
A3.11	ROOF PLAN
A5.00	SOUTH ELEVATION
A5.01	NORTH ELEVATION
A5.02	EAST ELEVATION
A5.03	WEST ELEVATION
A6.00	SECTION A
A6.01	SECTION B
A6.02	SECTION C
A7.00	PERSPECTIVE VIEWS
A7.01	PERSPECTIVE VIEWS



1 CONTEXT PLAN
Scale: 1:3000

ISSUED FOR SPA RESUBMISSION
SEPTEMBER 9, 2022

PROPOSED RESIDENTIAL DEVELOPMENT
12085 HURONTARIO STREET, BRAMPTON, ON L7A 1E6

AREA SUMMARY

Lot Area (Existing):	3,929.4 m ²	42,295.6 sf	
Lot Area (After Road Widening):	3,851.4 m ²	41,555.8 sf	100%
Area of Road Widening:	77.9 m ²	839.8 sf	2%
Lot Coverage:	2,465.5 m ²	26,538.4 sf	64%
Ground Floor Landscape Open Space:	621.1	6,665.5	16%
Building Total GFA:	14,432.5 m ²	155,313.8 sf	
Floor Space Index (FSI):	3.75		
Building Height:	27.95 m		
Building Height + Mech Pent:	32.45 m		

	EXTERIOR BUILDING AREA		RESIDENTIAL UNITS AREA		COMMON AREA/CIRCULATION		RESIDENTIAL LOCKER AREA		RESIDENTIAL INDOOR AMENITY		RESIDENTIAL OUTDOOR AMENITY		EFFICIENCY %	GFA EXCLUSIONS		GFA	
	m ²	sf	m ²	sf	m ²	sf	m ²	sf	m ²	sf	m ²	sf			m ²	sf	m ²
0-2	8,627.7	92,048.2	0.0	0.0	3,677.7	39,048.2	0.0	0.0	0.0	0.0	0.0	0.0		1,600.5	17,255.5	27.2	292.8
0-1	8,627.7	92,048.2	0.0	0.0	3,677.7	39,048.2	0.0	0.0	0.0	0.0	0.0	0.0		1,600.5	17,255.5	27.2	292.8
Ground Floor	1,552.4	16,709.9	1,041.0	11,205.2	99.4	1,069.9	0.0	0.0	131.8	1,418.7	201.3	2,166.8	67.06%	109.4	1,177.6	1,443.0	15,532.3
2	1,394.8	14,928.3	1,808.1	19,393.3	206.9	2,245.4	28.3	302.4	207.8	2,236.7	304.3	3,273.8	77.62%	88.4	953.5	1,875.9	20,192.0
3	1,977.4	21,284.6	1,700.4	18,303.0	210.7	2,268.0	66.3	713.6	0.0	0.0	0.0	0.0	85.99%	65.9	711.6	1,505.5	20,542.9
4	1,877.6	20,208.2	1,599.8	17,220.1	227.8	2,446.6	90.0	978.2	0.0	0.0	0.0	0.0	85.31%	99.6	1,064.8	2,292.8	25,343.2
5	1,777.5	19,132.9	1,569.8	16,897.2	207.7	2,237.7	0.0	0.0	0.0	0.0	0.0	0.0	88.32%	83.3	900.9	1,681.8	18,231.9
6	1,677.8	18,057.5	1,452.8	15,668.1	194.8	2,101.4	0.0	0.0	0.0	0.0	0.0	0.0	88.42%	72.8	784.4	1,604.8	17,178.8
7	1,236.3	13,307.4	1,068.5	11,501.2	167.8	1,806.2	0.0	0.0	0.0	0.0	335.7	3,398.2	86.43%	68.0	731.9	1,168.1	12,575.5
8	1,236.3	13,307.4	1,068.5	11,501.2	167.8	1,806.2	0.0	0.0	0.0	0.0	0.0	0.0	86.43%	68.0	731.9	1,168.1	12,575.5
9	1,236.3	13,307.4	1,068.5	11,501.2	167.8	1,806.2	0.0	0.0	0.0	0.0	0.0	0.0	86.43%	68.0	731.9	1,168.1	12,575.5
Mech Penthouse	612.0	6,587.6	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		52.8	569.2	159.4	1,707.3
Total	14,516	156,244	12,109	130,239	8,907.1	95,875	135.1	1,454	339.6	3,655	821.0	8,837	84%	7,950.4	85,577	14,432.5	155,350

ABOVE GRADE EXCLUDES MECHANICAL PENTHOUSE
BELOW GRADE EXCLUDES ELEVATOR SHAFTS, GARAGE, MECH. PENTHOUSE, VEHICLE PARKING, AND LOT EXCLUSIONS

UNIT SUMMARY

Level	1B-D	1B-D	7B	2B-D	3B	Total Units
Ground Floor Lower:	2	1	9			11
2-Floor Level:	4	1	18	1	1	25
3-Floor Level:	12	3	36	1	1	53
4-Floor Level:	2	1	18	1	1	23
5-Floor Level:	3	1	18	1	1	23
6-Floor Level:	2	1	18	1	1	23
7-Floor Level:	13	1	36	1	1	52
8-Floor Level:	18	1	54	1	1	74
9-Floor Level:	10	1	36	1	1	48
Total	73	7	305	11	5	301
% Units	8.5%	0.8%	52.2%	5.5%	2.5%	100%

Required Vehicle Parking - Condominium Apartment - (R6-2015) 10.9.2 (b)				
Residential Parking Unit Type	Parking Rate	No. of Units	Required Parking	Provided
1 Bedroom	1.00	361	361.00	361.00
2 Bedroom	1.00	150	150.00	150.00
3 Bedroom or more	1.00	150	150.00	150.00
Visitor Parking	0.25	371	92.75	93.00
Total Required Residential Parking: 754				

Proposed Vehicle Parking - Condominium Apartment - (R6-2015) 10.9.2 (b)				
Use	Units	Proposed Supply	Parking Rate	
Total Residential Units:	301			
Residential Parking		175	0.58	
Visitor Parking		71	0.24	
Total Proposed Parking		246	0.82	

Proposed Bicycle Parking				
Use	Type	Units/area	Min. Rate	Req'd Spaces
Residential	Short-Term (at-garage)	201	0.1	20
	Long-Term (exterior)		0.5	101
Total Bicycle Parking				121

Proposed Amenity Space				
Amenity Type	Units	Minimum Requirements		Total Proposed (m ²)
		Minimum Required (m ²)		
Indoor Amenity				339.6
Outdoor Amenity	201			821.0
Total Amenity		4.0m ² /unit	204.9	1,160.6

ISSUE OF PRACTICE:

AREA OF PRACTICE:

LOCATION:

CLIENT:

PROJECT:

DATE:

REVISIONS:

Revisions:

SPA Remediation	Sept 9, 2022
issued for SPA	May 31, 2023
issued for OPAY/BA	Mar. 24, 2023
issued for OPAY/BA	Dec. 19, 2023
DESCRIPTION:	DATE:

1. This is a preliminary drawing and the project is not intended for construction. It is for informational purposes only. No liability is assumed for the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

2. This drawing is issued for informational purposes only. It is not intended for construction. The client is responsible for the accuracy of the information provided.

3. This drawing is issued for informational purposes only. It is not intended for construction. The client is responsible for the accuracy of the information provided.

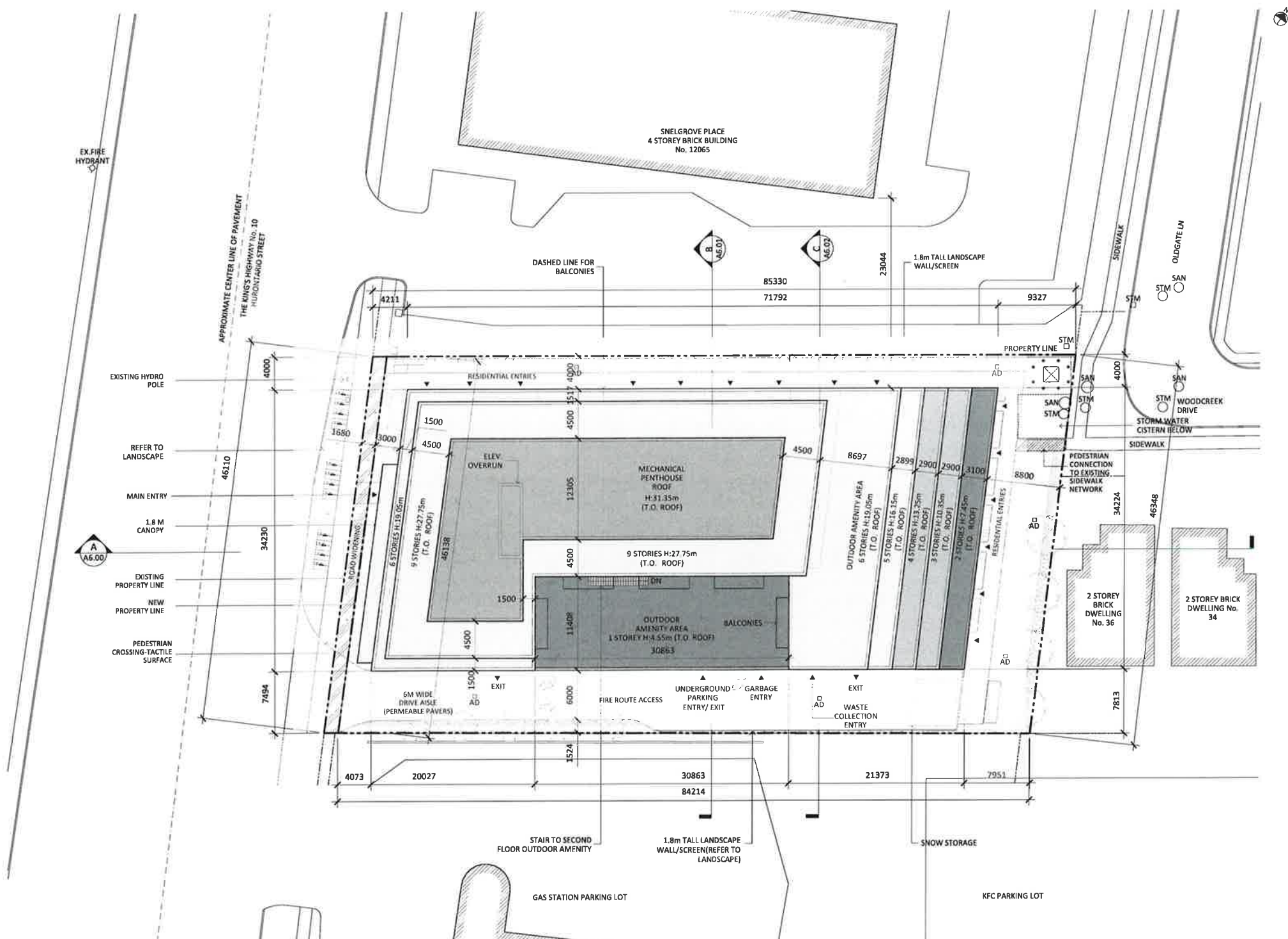
Detailed Building Code Data Matrix		Summary	
Code	Description	Compliance	Notes
4.10.1	Structural	Compliant	
4.10.2	Fire	Compliant	
4.10.3	Accessibility	Compliant	
4.10.4	Energy	Compliant	
4.10.5	Other Building Code	Compliant	
4.10.6	Other Building Code	Compliant	
4.10.7	Other Building Code	Compliant	
4.10.8	Other Building Code	Compliant	
4.10.9	Other Building Code	Compliant	
4.10.10	Other Building Code	Compliant	
4.10.11	Other Building Code	Compliant	
4.10.12	Other Building Code	Compliant	
4.10.13	Other Building Code	Compliant	
4.10.14	Other Building Code	Compliant	
4.10.15	Other Building Code	Compliant	
4.10.16	Other Building Code	Compliant	
4.10.17	Other Building Code	Compliant	
4.10.18	Other Building Code	Compliant	
4.10.19	Other Building Code	Compliant	
4.10.20	Other Building Code	Compliant	
4.10.21	Other Building Code	Compliant	
4.10.22	Other Building Code	Compliant	
4.10.23	Other Building Code	Compliant	
4.10.24	Other Building Code	Compliant	
4.10.25	Other Building Code	Compliant	
4.10.26	Other Building Code	Compliant	
4.10.27	Other Building Code	Compliant	
4.10.28	Other Building Code	Compliant	
4.10.29	Other Building Code	Compliant	
4.10.30	Other Building Code	Compliant	

Site Plan File No.: SPA-2022-0106

ARCHITECT

STUDIO JCI

100 Hurontario Street
Toronto, Ontario M5S 1B5
Canada
Tel: (416) 597-1111



EX. FIRE HYDRANT

APPROXIMATE CENTER LINE OF PAVEMENT
THE KING'S HIGHWAY No. 10
HURONTARIO STREET

SNELGROVE PLACE
4 STOREY BRICK BUILDING
No. 12065

DASHED LINE FOR
BALCONIES

1.8m TALL LANDSCAPE
WALL/SCREEN

EXISTING HYDRO
POLE

REFER TO
LANDSCAPE

MAIN ENTRY

1.8 M
CANOPY

EXISTING
PROPERTY LINE

NEW
PROPERTY LINE

PEDESTRIAN
CROSSING-TACTILE
SURFACE

A
A6.00

6M WIDE
DRIVE AISLE
(PERMEABLE PAVERS)

FIRE ROUTE ACCESS

UNDERGROUND
PARKING
ENTRY/EXIT

GARBAGE
ENTRY

WASTE
COLLECTION
ENTRY

STAIR TO SECOND
FLOOR OUTDOOR AMENITY

1.8m TALL LANDSCAPE
WALL/SCREEN (REFER TO
LANDSCAPE)

SNOW STORAGE

GAS STATION PARKING LOT

KFC PARKING LOT

Revisions:

DESCRIPTION	DATE

General Notes:
1. These drawings are the property of the Architect. The Client shall be responsible for the coordination of all permits, fees, and other matters required for the project. The Architect shall not be responsible for any delays or costs incurred by the Client in obtaining the necessary permits and approvals.
2. Drawings are not to be used for construction without the written consent of the Architect. The Client shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
3. Portions of spaces or fixtures remaining or existing walls, ceilings, and floors are indicated as shown on the drawings. The Client shall be responsible for the removal of any existing walls, ceilings, and floors that are not shown on the drawings.

Site Plan File App. No:
SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1885 Hurontario St., Brampton, ON L6R 1E8

SITE PLAN

PROJECT NO.: 2024
SCALE: 1:200
DATE: September 5, 2022
DRAWN BY: SP

DRAWING NO.:

A1.00

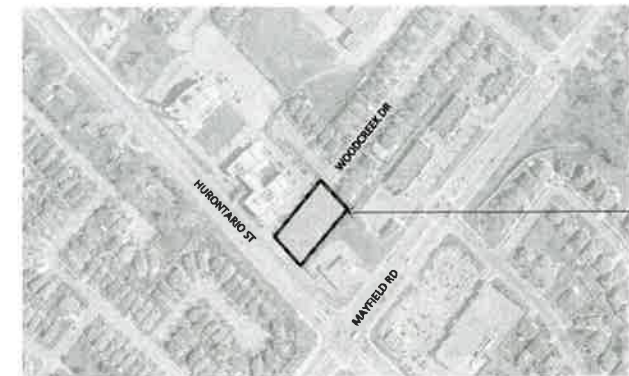


PROPOSED RESIDENTIAL DEVELOPMENT

12085 Hurontario Street,
Brampton, ON L4A 1E6

ARCHITECTURAL DRAWING LIST

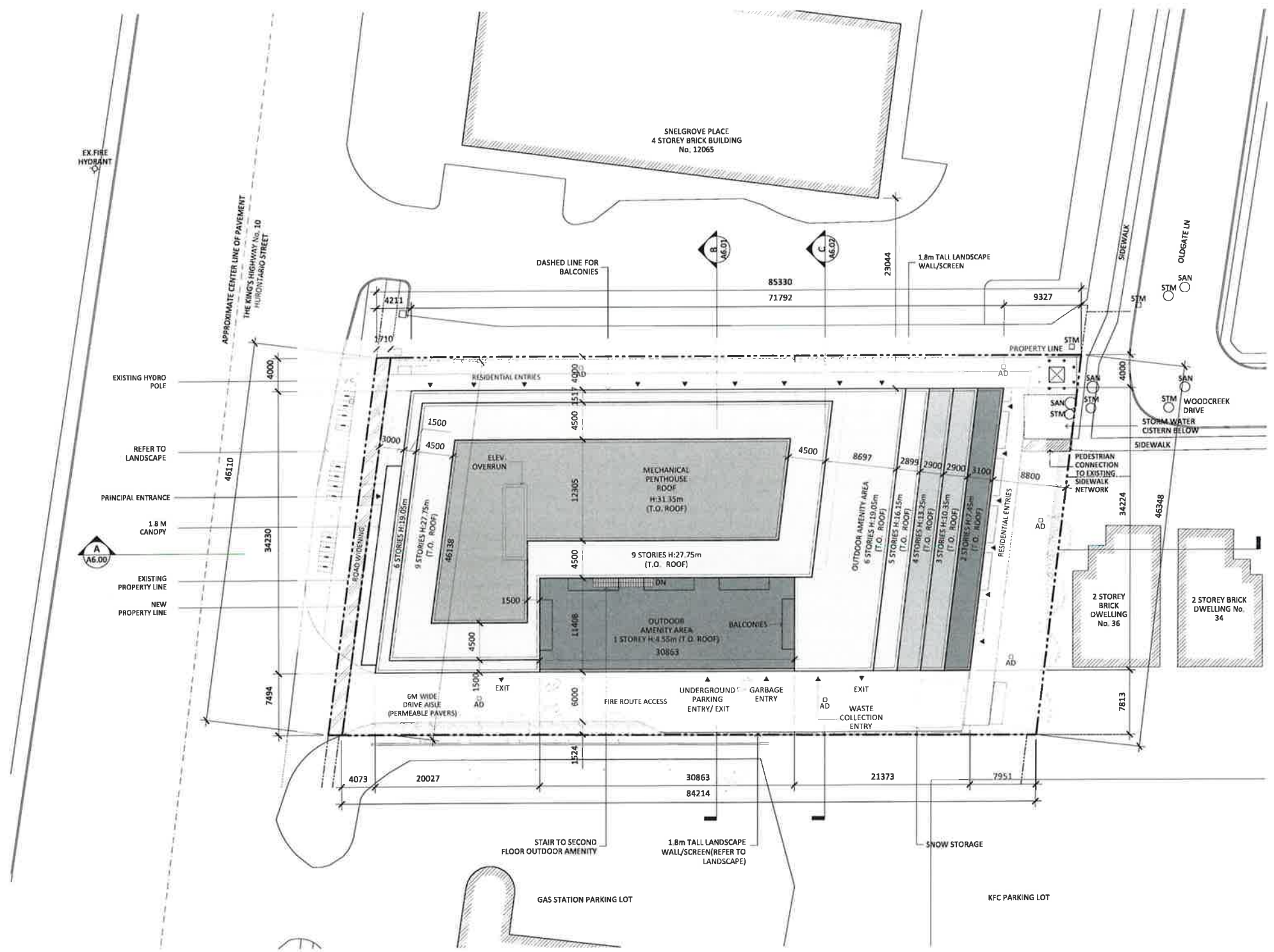
A0.00	PROJECT STATISTICS
A1.00	SITE PLAN
A1.01	GROUND FLOOR SITE PLAN
A3.00	P2 LEVEL
A3.01	P1 LEVEL
A3.02	GROUND FLOOR PLAN
A3.03	2ND FLOOR PLAN
A3.04	3RD FLOOR PLAN
A3.05	4TH FLOOR PLAN
A3.06	5TH FLOOR PLAN
A3.07	6TH FLOOR PLAN
A3.08	7TH FLOOR PLAN
A3.09	8TH-9TH FLOOR PLAN
A3.10	Mech. FLOOR PLAN
A3.11	ROOF PLAN
A5.00	SOUTH ELEVATION
A5.01	NORTH ELEVATION
A5.02	EAST ELEVATION
A5.03	WEST ELEVATION
A6.00	SECTION A
A6.01	SECTION B
A6.02	SECTION C
A7.00	PERSPECTIVE VIEWS
A7.01	PERSPECTIVE VIEWS



SUBJECT SITE

1 CONTEXT PLAN
Scale: 1:3000

ISSUED FOR SPA RESUBMISSION
DECEMBER 16, 2022



Revisions:

NO.	DESCRIPTION	DATE
1	SPA Resubmission	Dec. 18, 2022
2	SPA Resubmission	Sep. 9, 2022
3	Issued for SPA	May 31, 2022
4	Issued for OPA/2BA	Mar. 24, 2021
5	Issued for OPA/2BA	Dec. 10, 2021
6	DESCRIPTION:	DATE:

General Notes:

- These Contract Documents are the property of the Architect. They shall remain the property of the Architect and shall not be used for any other project without the written consent of the Architect.
- The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
- The Contractor shall be responsible for the safety of all workers and the public during the construction process.
- The Contractor shall be responsible for the protection of all existing utilities and structures on the site.
- The Contractor shall be responsible for the removal and disposal of all construction waste.
- The Contractor shall be responsible for the maintenance of all access roads and parking areas during construction.
- The Contractor shall be responsible for the completion of all work in accordance with the Contract Documents.
- The Contractor shall be responsible for the payment of all taxes and fees associated with the project.
- The Contractor shall be responsible for the completion of all work within the specified time frame.
- The Contractor shall be responsible for the maintenance of all records and documents related to the project.

Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

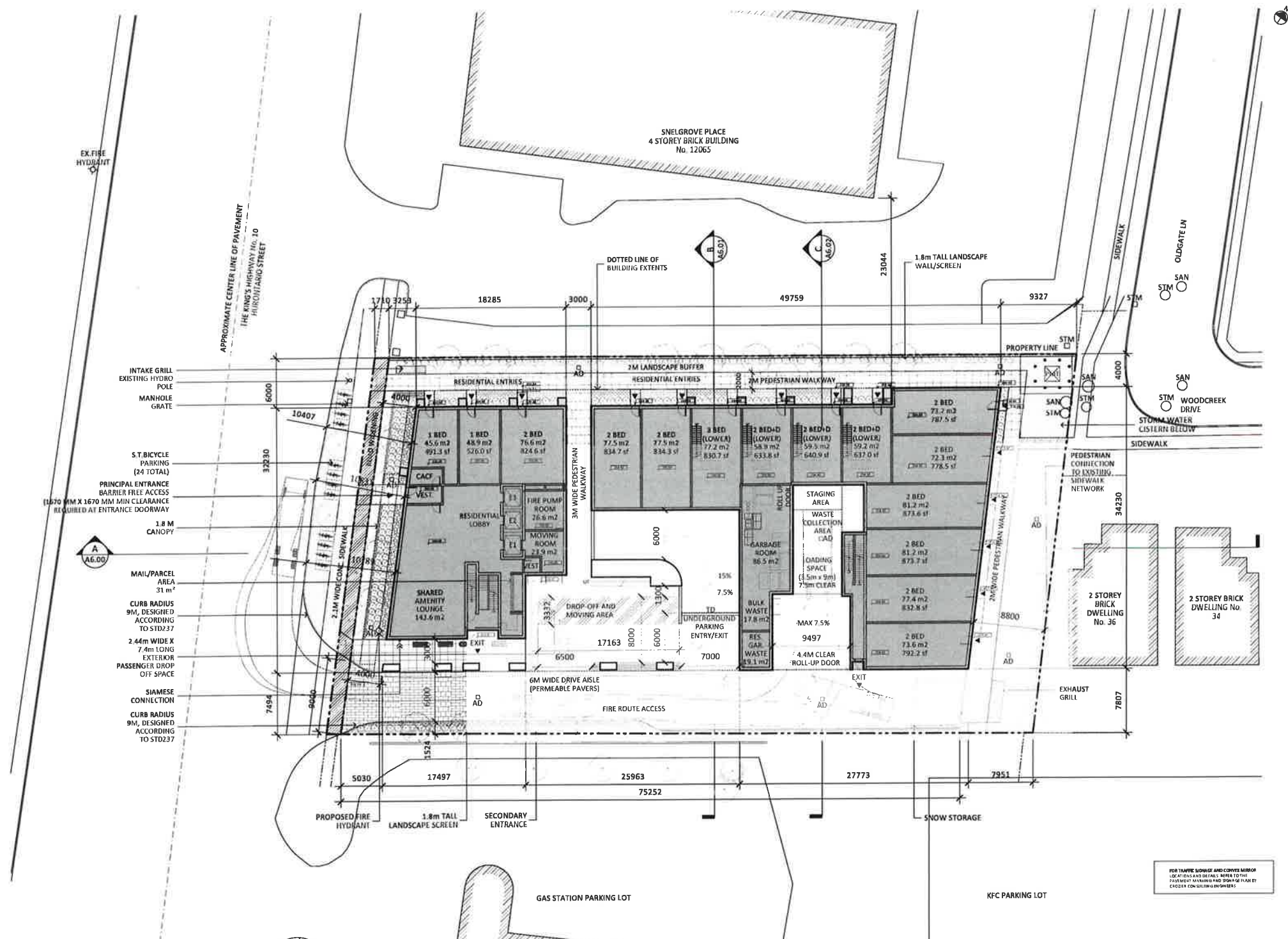
ADDRESS:
1200 Hurontario St. Brampton, ON L7A 3E6

SITE PLAN

PROJECT NO.: 2024
SCALE: 1/200
DATE: December 16, 2022
DRAWN BY: SP

DRAWING NO.:

A1.00



Revisions:

NO.	DESCRIPTION	DATE
1	SPR	16/01/2022
2	SPR	16/01/2022
3	SPR	16/01/2022
4	SPR	16/01/2022
5	SPR	16/01/2022
6	SPR	16/01/2022
7	SPR	16/01/2022
8	SPR	16/01/2022
9	SPR	16/01/2022
10	SPR	16/01/2022
11	SPR	16/01/2022
12	SPR	16/01/2022
13	SPR	16/01/2022
14	SPR	16/01/2022
15	SPR	16/01/2022
16	SPR	16/01/2022
17	SPR	16/01/2022
18	SPR	16/01/2022
19	SPR	16/01/2022
20	SPR	16/01/2022
21	SPR	16/01/2022
22	SPR	16/01/2022
23	SPR	16/01/2022
24	SPR	16/01/2022
25	SPR	16/01/2022
26	SPR	16/01/2022
27	SPR	16/01/2022
28	SPR	16/01/2022
29	SPR	16/01/2022
30	SPR	16/01/2022
31	SPR	16/01/2022
32	SPR	16/01/2022
33	SPR	16/01/2022
34	SPR	16/01/2022
35	SPR	16/01/2022
36	SPR	16/01/2022
37	SPR	16/01/2022
38	SPR	16/01/2022
39	SPR	16/01/2022
40	SPR	16/01/2022
41	SPR	16/01/2022
42	SPR	16/01/2022
43	SPR	16/01/2022
44	SPR	16/01/2022
45	SPR	16/01/2022
46	SPR	16/01/2022
47	SPR	16/01/2022
48	SPR	16/01/2022
49	SPR	16/01/2022
50	SPR	16/01/2022

1. These drawings are the property of the architect. The architect shall retain the copyright in these drawings. The contractor shall not be permitted to reproduce or use these drawings for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these drawings. The contractor shall be responsible for any errors or omissions in these drawings. The architect shall not be responsible for any errors or omissions in these drawings. The contractor shall be responsible for any errors or omissions in these drawings.

Site Plan File App. No.
SPA-2022-0106

ARCHITECT
STUDIO JCI
20 Dundas Street West, Toronto, ON M5G 1R7

- INTAKE GRILL EXISTING HYDRO POLE
- MANHOLE GRATE
- S.T. BICYCLE PARKING (24 TOTAL)
- PRINCIPAL ENTRANCE BARRIER FREE ACCESS REQUIRED AT ENTRANCE DOORWAY
- 1.8 M CANOPY
- MAIL/PARCEL AREA 31 m²
- CURB RADIUS 9M, DESIGNED ACCORDING TO STD237
- 2.44m WIDE X 7.4m LONG EXTERIOR PASSENGER DROP OFF SPACE
- SIAMESE CONNECTION CURB RADIUS 9M, DESIGNED ACCORDING TO STD237

FOR TRAPES SLOPES AND COVER HATCH LOCATIONS AND DETAILS REFER TO THE PAYMENT MARKING AND SIGNAGE PLAN BY CIVILIA CONSULTING ENGINEERS.

ONTARIO RESIDENTIAL BUILDING

ADDRESS:
1215 Hurontario St, Brampton, ON L7A 1E6

GROUND FLOOR SITE PLAN

PROJECT NO.: 2024
SCALE: 1:200
DATE: 05/04/2024
DRAWN BY: JP

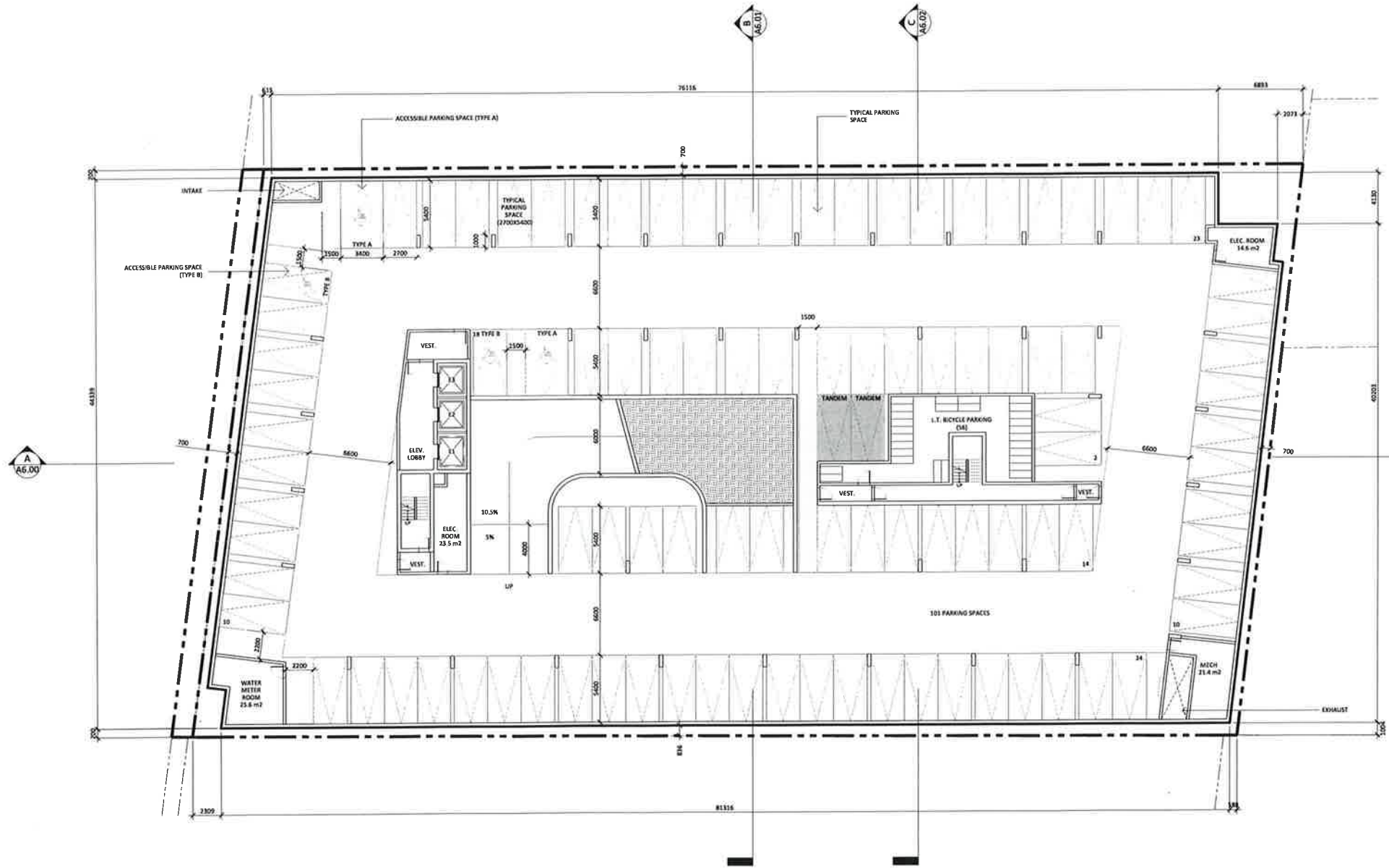
DRAWING NO.:



Revisions:

DESCRIPTION:	DATE:
SFA Resubmission	Dec. 18, 2021
SPA Resubmission	Sep. 9, 2022
Issued for SPA	May 31, 2022
Issued for DPA/ZBA	Mar. 24, 2021
Issued for DPA/ZBA	Dec. 30, 2021

- Notes:
1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the consequences of these documents to the Contractor. Upon written application the Architect will provide unexpired copies of these documents to the Contractor for use on the project. The Contractor is responsible for the return of these documents to the Architect. All items must be returned to the Architect by the Contractor for design reuse only.
 2. Drawings may not be used for construction without the written consent of the Architect. The Architect is not responsible for the construction of the building. The Contractor is responsible for the construction of the building. The Contractor is responsible for the construction of the building. The Contractor is responsible for the construction of the building.
 3. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The Contractor shall be responsible for the construction of the building. The Contractor is responsible for the construction of the building. The Contractor is responsible for the construction of the building.



Site Plan File App. No:
SPA-2022-0106

ARCHITECT:

STUDIO JCI

100 King Street West, Suite 1100
Toronto, Ontario M5X 1C5
Tel: 416.593.8888
www.studiojci.com

LEGEND

	TYPICAL PARKING SPACE
	ACCESSIBLE PARKING SPACE
	BICYCLE PARKING
	ELECTRICAL ROOM
	MECHANICAL ROOM
	WATER METER ROOM
	ELEVATOR LOBBY
	VESTIBULE

HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
2240 Hurontario St, Brampton, ON L7A 1E6

P2 PARKING LEVEL

PROJECT NO.: 2024
SCALE: 1:50
DATE: December 14, 2022
DRAWN BY: SP

FOR TRAFFIC SIGNAGE AND CONVEY MARKOR LOCATIONS AND DETAILS, REFER TO THE PARKING MARKING AND SIGNAGE PLAN BY CHUBB CONSULTING ENGINEERS.

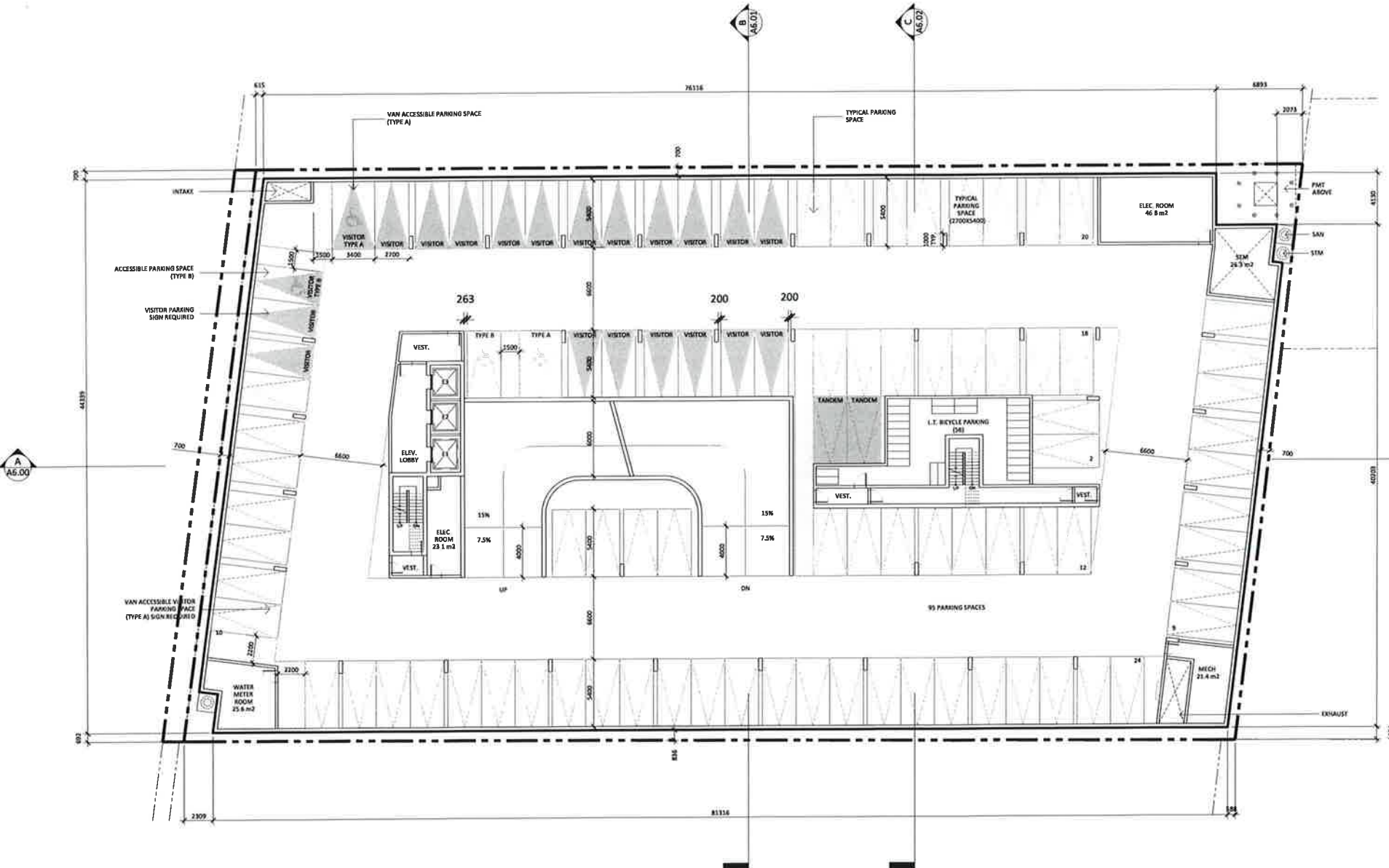
Revisions:	
DESCRIPTION:	DATE:

SPA Resubmission: Dec. 18, 2023
 SPA Resubmission: Sep. 9, 2023
 Issued for SPA: May 24, 2023
 Issued for OPA/PSA: Mar. 24, 2023
 Issued for OPA/PSA: Dec. 30, 2021
 GENERAL NOTES:
 1. These General Documents are the property of the Architect. The Applicant shall be responsible for the interpretation of these documents to the satisfaction of all relevant authorities. The Applicant shall provide a copy of these documents to all relevant authorities, including the City of Toronto, for their review and approval. The Applicant shall ensure that all documents are up-to-date and accurate. The Architect shall review these documents and shall be the Contractor for their preparation and submission.
 2. Drawings may not be used for construction, construction or other purposes without the written consent of the Architect. The Applicant shall be responsible for the interpretation and application of these documents to the satisfaction of all relevant authorities. The Applicant shall ensure that all documents are up-to-date and accurate. The Architect shall review these documents and shall be the Contractor for their preparation and submission.
 3. A list of related documents is provided for reference. The Applicant shall be responsible for obtaining and reviewing these documents. The Applicant shall ensure that all documents are up-to-date and accurate. The Architect shall review these documents and shall be the Contractor for their preparation and submission.

Site Plan File App. No.:
 SPA-2022-0106
 ARCHITECT:
STUDIO JCI
 70 Dundas Street West, Suite 515
 Toronto, ON M5G 1L4
 T: 416 593-6372
 www.studiojci.com

LEGEND

- VAN ACCESSIBLE PARKING SPACE (TYPE A)
- VISITOR PARKING SPACE (TYPE B)
- TYPICAL PARKING SPACE
- BICYCLE PARKING (B)
- ...



FOR TRAFFIC SIGNALS AND CURB RAMP SIGNAGE (AND DETAILS) REFER TO THE FUTURE TRAFFIC SIGNALS AND SIGNAGE PLAN BY CH2M HILL PARSONS ENGINEERING CONSULTANTS

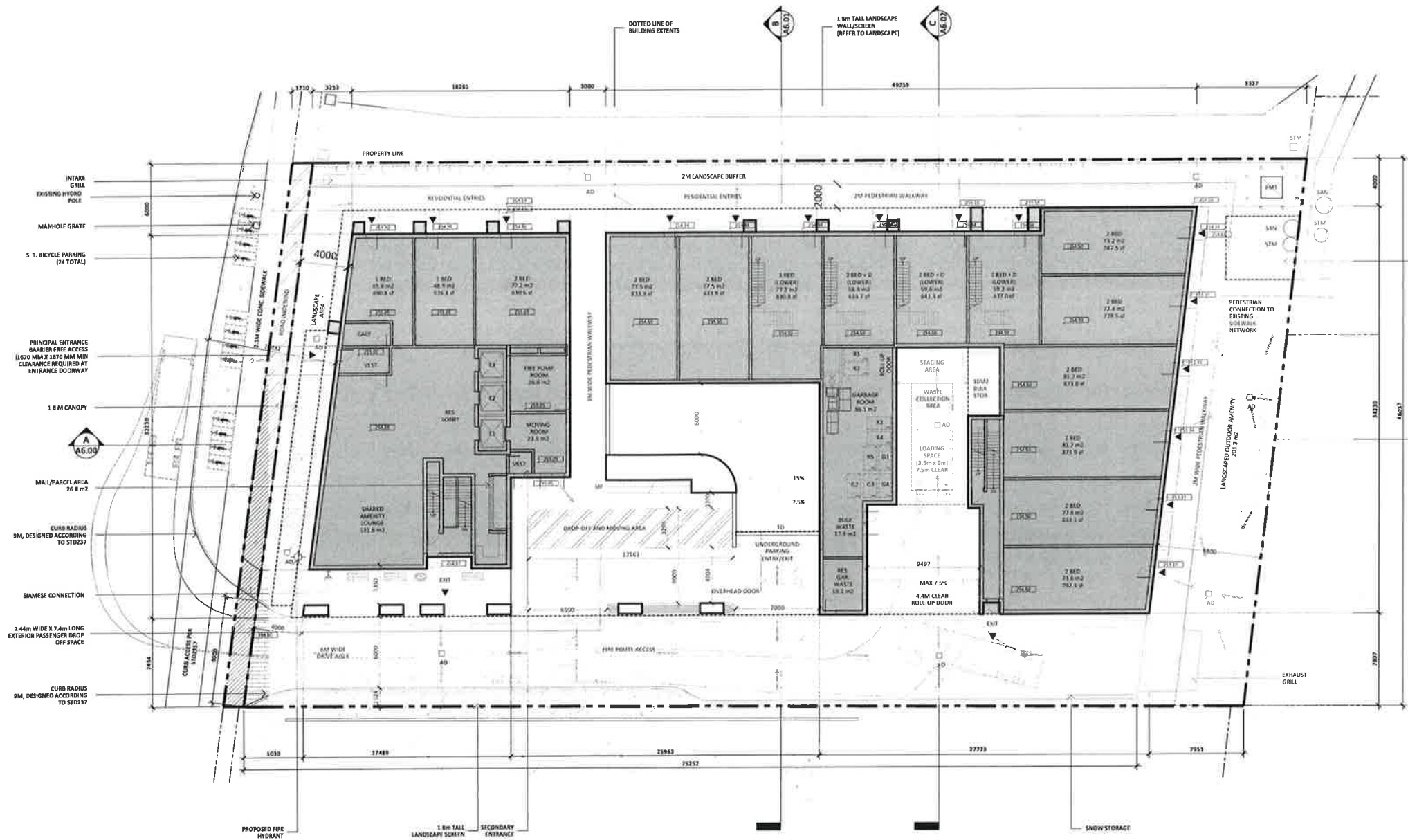
HURONTARIO RESIDENTIAL BUILDING
 ADDRESS:
 3295 Hurontario St., Brampton, ON L7A 1E6
P1 PARKING LEVEL
 PROJECT NO.: 2024
 SCALE: 1:150
 DATE: December 16, 2023
 DRAWN BY: SP
 DRAWING NO.:
A3.01



DESCRIPTION:	DATE:

3 MA Re-submission: Oct. 14, 2022
 3 SA Re-submission: Sep. 6, 2022
 Issued for SPA: May 11, 2022
 Issued for CPA/TA: Mar. 24, 2022
 Issued for CPA/TA: Oct. 12, 2021

3. Details of material or method proposed or selected doors, ramps, and stairs are indicated on the drawings as shown. The location, slope, and structural design given on the drawings and details shall be used for construction. Issues will be raised as shown by the Architect.



Site Plan File App. No.: SPA-2022-0106

ARCHITECT:
STUDIO JCI
 20 De la Rivière Street 375
 Toronto, ON M5T 1A7
 www.studiojci.com

FOR TRAFFIC SIGNALS AND COVERED CROSSING LOCATIONS AND DETAILS, REFER TO THE PARKING LAYOUT AND SIGNAL PLAN BY CONSULTING ENGINEERS.

HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
 1206 Hurontario St, Brampton, ON L6E 1E8

GROUND FLOOR PLAN

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: December 16, 2023
 DRAWN BY: SP

DRAWING NO.:



Revisions:

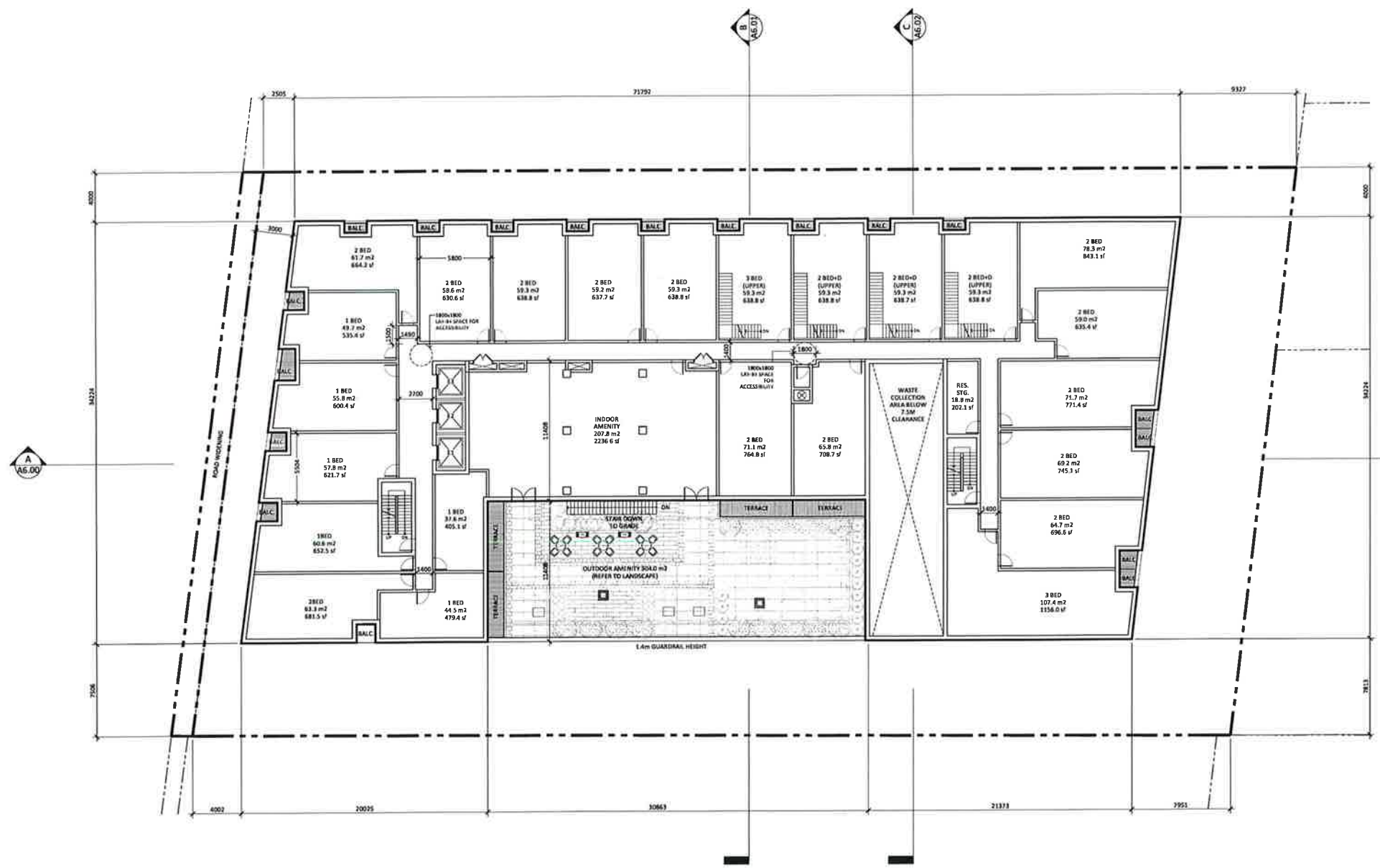
DESCRIPTION:	DATE:

SPR Revisions:

SPR Revisions:	Dec. 16, 2022
SPR Revisions:	Sep. 9, 2022
Issued for SPA:	May 31, 2022
Issued for CPA/ZZA:	Mar. 24, 2021
Issued for CPA/ZZA:	Dec. 10, 2021

General Notes:

- These General Notes are for the property of the Applicant. The Applicant shall be responsible for the interpretation of these notes. The Applicant shall be responsible for the interpretation of these notes. The Applicant shall be responsible for the interpretation of these notes.
- It is the responsibility of the Applicant to ensure that the information contained herein is accurate and complete. The Applicant shall be responsible for the interpretation of these notes.
- The Applicant shall be responsible for the interpretation of these notes.
- The Applicant shall be responsible for the interpretation of these notes.



Site Plan File App. No.: SPA-2022-0106

ARCHITECT: **STUDIO JCI**

HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 1206 Hurontario St, Brampton, ON L7A 1E6

2ND FLOOR PLAN

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: December 16, 2022
 DRAWN BY: LP

DRAWING NO.: **A3.03**



Revisions:

NO.	DATE	DESCRIPTION
1	Dec. 16, 2022	SPA Resubmission
2	Sep. 9, 2022	SPA Resubmission
3	May 31, 2022	Issued for SPA
4	Mar. 24, 2021	Issued for OPA/ZBA
5	Dec. 10, 2021	Issued for OPA/ZBA
6		DESCRIPTION: DATE:

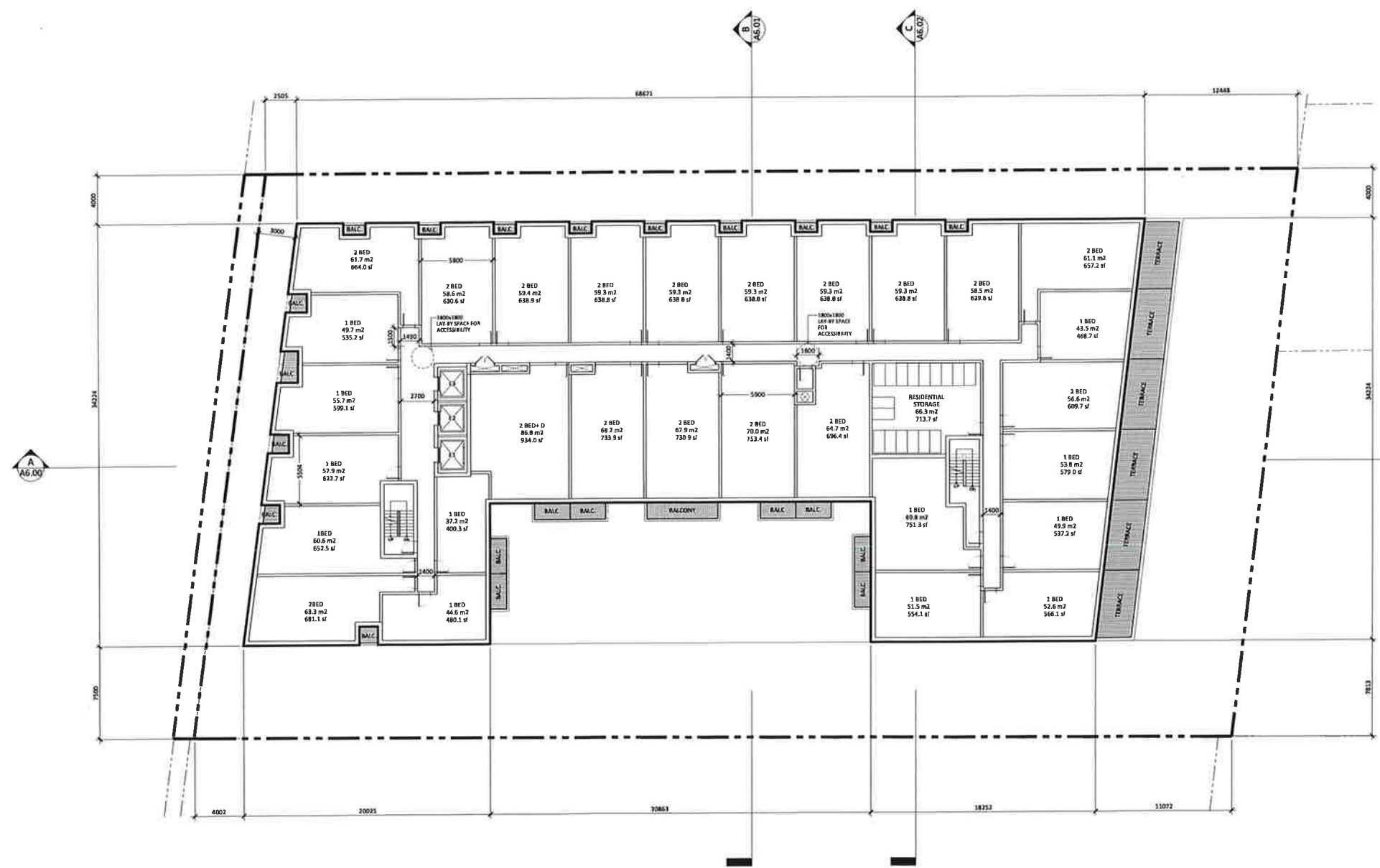
1. These Contract Documents are the property of the Architect. The Architect shall retain responsibility for the completeness of these documents. It is the Contractor's duty to verify against the contract documents and to advise the Architect immediately of any omissions or errors. The Architect will not be responsible for any errors or omissions in the Contract Documents that are not identified by the Contractor for design correction.

2. Drawings are not to be used for construction without the written approval of the Architect. The Architect is not responsible for any errors or omissions in the Contract Documents that are not identified by the Contractor for design correction.

3. The Architect is not responsible for any errors or omissions in the Contract Documents that are not identified by the Contractor for design correction.

Site Plan File App. No:
SPA-2022-0106

ARCHITECT:
STUDIO JCI
1000 SHEPPARD AVENUE EAST
SUITE 1000
SCARBOROUGH, ONTARIO
M1B 4E7
TEL: (416) 291-1111
WWW.STUDIOJCI.COM



HURONTARIO RESIDENTIAL BUILDING

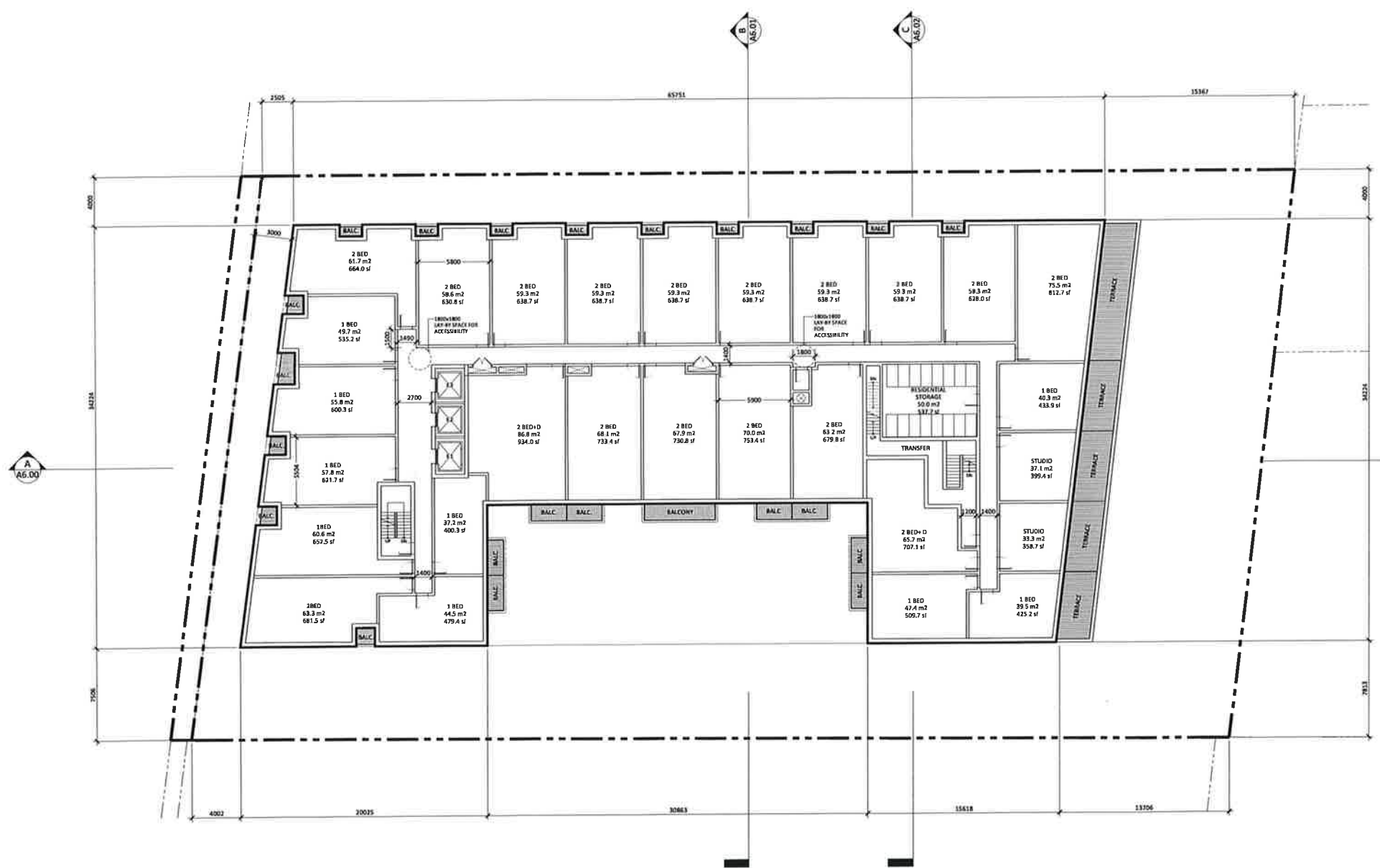
ADDRESS:
12085 Hurontario St, Brampton, ON L6A 1E6

3RD FLOOR PLAN

PROJECT NO: 2024
SCALE: 1:150
DATE: December 16, 2022
DRAWN BY: SP

DRAWING NO:

A3.04



Revisions:

DESCRIPTION	DATE

Site Plan File App. No.: SPA-2022-0106
 ARCHITECT: STUDIO JCI
 70 DE GEE ROAD UNIT 101
 TORONTO, ON M6G 1S5
 416-393-1500
 www.studiojci.com

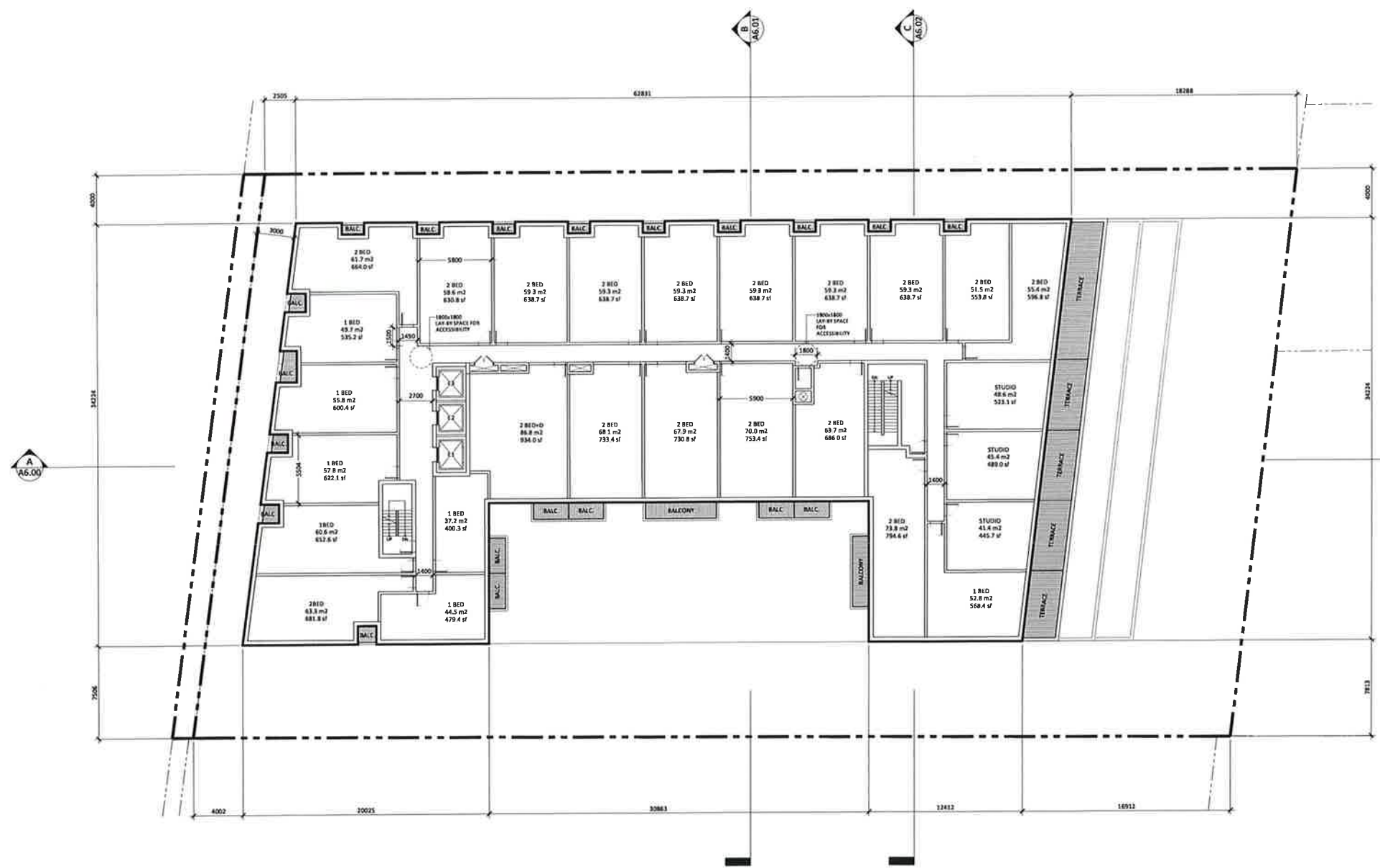


Revisions:

NO.	DESCRIPTION	DATE
1	SPA Submission	Dec. 16, 2022
2	SPA Re-submission	Sep. 8, 2022
3	Issued for SPA	May 21, 2022
4	Issued for OPA/OA	Mar. 24, 2022
5	Issued for OPA/OA	Dec. 10, 2021

Notes:

- These Contract Documents are for property of the Applicant. The Applicant bears no responsibility for the interpretation of these documents by the Contractor. When there is a discrepancy between the Contract Documents, the Contractor shall refer to the Contract Documents in the following order of priority: 1. Drawings; 2. Specifications; 3. General Conditions; 4. Addendum; 5. Contract Documents. The Contractor shall be responsible for any errors or omissions in the Contract Documents.
- Drawings may not be used for construction without the approval of the Architect and Engineer. Any changes to the drawings shall be made in accordance with the Contract Documents or the Architect's written consent.
- Positions of columns and structural members are shown for reference only. They are not intended to be used for construction. The Architect and Engineer are not responsible for the design of any structural members or their placement. They are to be designed by the Structural Engineer. Their positions are shown for reference only and are subject to change by the Structural Engineer.



Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 12085 Hurontario St., Brampton, ON L7A 1E6

5TH FLOOR PLAN

PROJECT NO.: 3024
SCALE: 1/16"
DATE: December 16, 2022
DRAWN BY: SP

DRAWING NO.:

A3.06



Revisions:

DESCRIPTION:	DATE:
SPA Resubmission	Dec. 16, 2022
SPA Resubmission	Sep. 9, 2022
Issued for SPA	May 25, 2022
Issued for OPA/TA	Mar. 24, 2022
Issued for OPA/TA	Dec. 30, 2021

Notes:

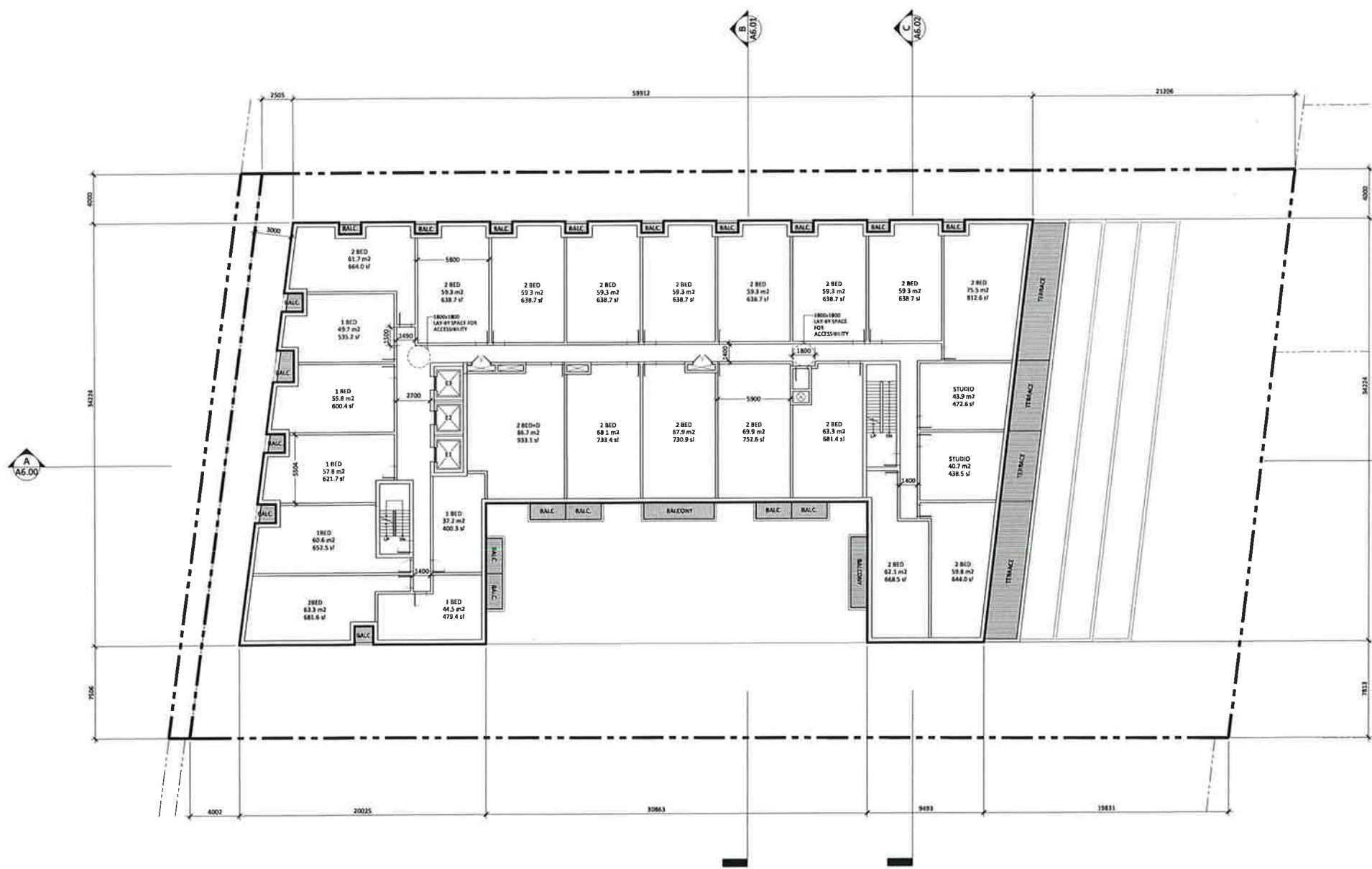
1. These General Documents are the property of the Architect. The Contractor shall be responsible for the interpretation of these documents by the Contractor. When there is a conflict between the drawings and the specifications, the drawings shall prevail. The Architect will correct any errors identified by the Contractor for design deficiencies only.
2. Drawings are not to be used for construction. Conditions for work of existing conditions and dimensions required to perform the Work and report any discrepancies with the Contractor instructed to the Architect before commencing work.
3. Materials of proposed or tested materials or methods of construction, strength and safety are indicated on the Architectural drawings. The Contractor shall, in all Architectural drawings, provide the Manufacturer and Electrical Ratings. These items shall be clearly stated and be included as detailed by the Architect.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:



20 King Street West, Suite 1000
Toronto, Ontario M5X 1C5
Tel: 416-593-8888
www.studiojci.com



HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 12085 Hurontario St, Brampton, ON L7A 3E5

6TH FLOOR PLAN

PROJECT NO.: 2024
SCALE: 1:150
DATE: December 16, 2022
DRAWN BY: SP

DRAWING NO.:

A3.07



Revisions:

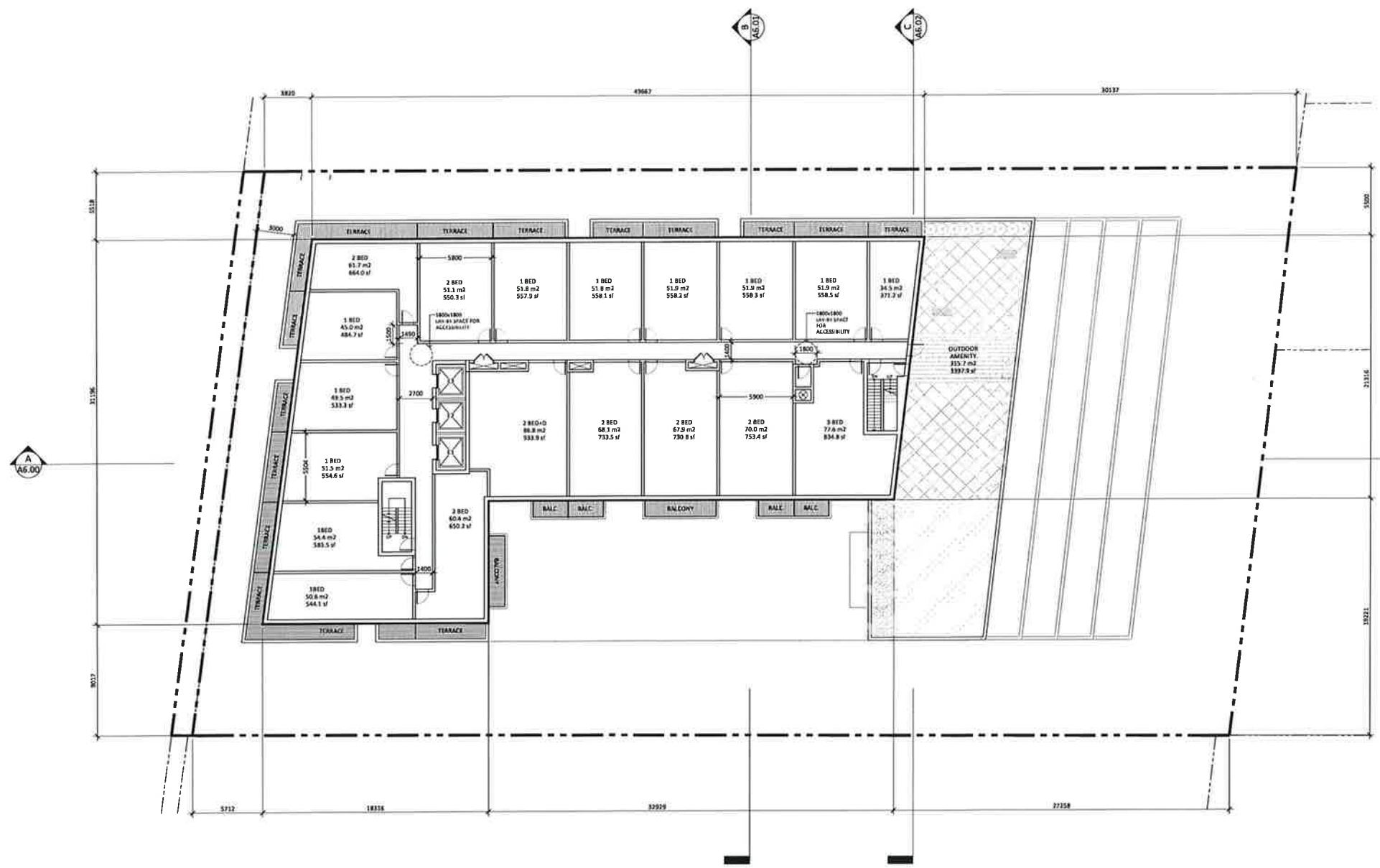
NO.	DESCRIPTION	DATE
1	SPA Resubmission	Dec. 14, 2022
2	SPA Resubmission	Jan. 8, 2023
3	Issued for SPA	May 31, 2023
4	Issued for OPA/ZBA	Mar. 24, 2023
5	Issued for OPA/ZBA	Dec. 10, 2021
6	DESCRIPTION:	DATE:

Notes:

1. These General Conditions are the property of the Architect. The Architect takes no responsibility for the interpretation of laws, codes, or regulations, nor for the accuracy of the information provided. The Architect is not responsible for the accuracy of the information provided by the client or other sources.
2. Drawings are not to be used for construction without the written approval of the Architect. Any changes to the drawings must be approved in writing by the Architect.
3. The Architect is not responsible for the accuracy of the information provided by the client or other sources.

Site Plan File App. No:
SPA-2022-0106

ARCHITECT:
STUDIO JCI
7000 Bayview Ave. Suite 111
Toronto, Ontario M3J 1K7
Tel: 416-291-1111
www.studiojci.ca



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1208 Hurontario St., Arnprior, ON L7A 1K6

7TH FLOOR PLAN

PROJECT NO.: 2024
SCALE: 1/150
DATE: December 16, 2023
DRAWN BY: SP

DRAWING NO.:

A3.08



Revisions:

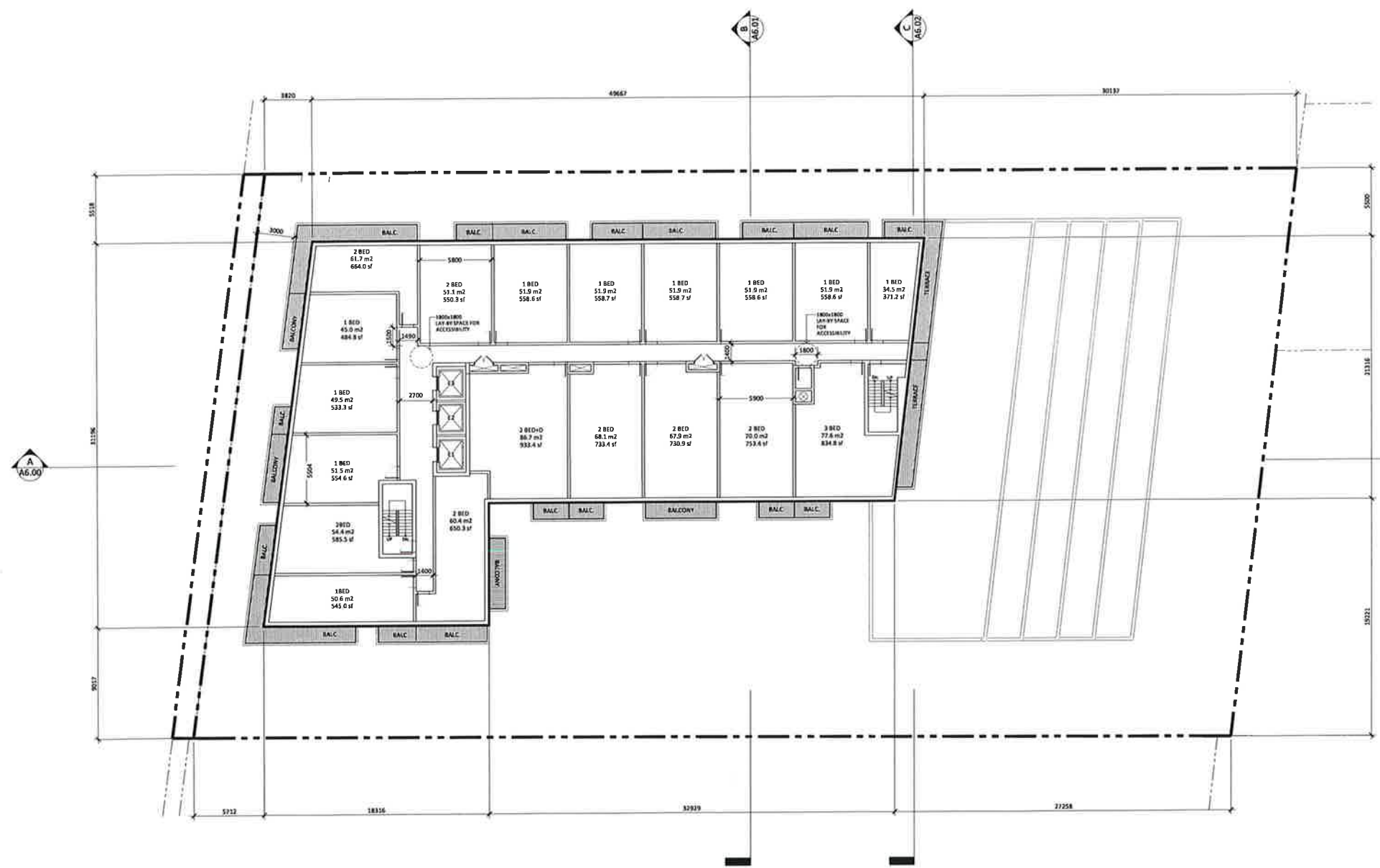
NO.	DESCRIPTION	DATE

SPA Resubmission	Dec. 14, 2022
SPA Resubmission	Aug. 9, 2022
Issued for SPA	May 23, 2022
Issued for CPA/ZBA	Mar. 24, 2021
Issued for CPA/ZBA	Dec. 10, 2021
DESCRIPTION:	DATE:

Notes:

1. These General Documents are the property of the Architect. The Applicant bears the responsibility for the interpretation of these documents by the Committee. Any errors, omissions, or inconsistencies will be made without notice and without liability to the Architect. The Applicant will retain the responsibility for the Committee for design compliance only.
2. Drawings may not be used for construction. Construction is subject to all applicable codes and regulations. The Applicant is responsible for all requirements with the General Documents in the Architect's submittal.
3. A review of all items of record (structural or electrical drawings, etc.) shall be made by the Architect prior to the construction of the building. The Architect's review is limited to the items mentioned in this note and does not constitute a warranty. The Architect's review will be based on drawings by the Architect.

Site Plan File No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1250 Hurontario St. Brampton, ON L7A 1G6

BTH-9TH FLOOR PLAN

PROJECT NO.: 3034
SCALE: 1/150
DATE: December 14, 2022
DRAWN BY: SP

DRAWING NO.:

A3.09



Revisions:

DESCRIPTION:	DATE:

SPR Resubmission: Dec. 16, 2023
 SPA Resubmission: Sep. 5, 2022
 Issued for SPA: May 31, 2022
 Issued for OPA/ZBA: Mar. 24, 2021
 Issued for OPA/ZBA: Dec. 16, 2021

DESIGNER: **DATE:**

Notes:

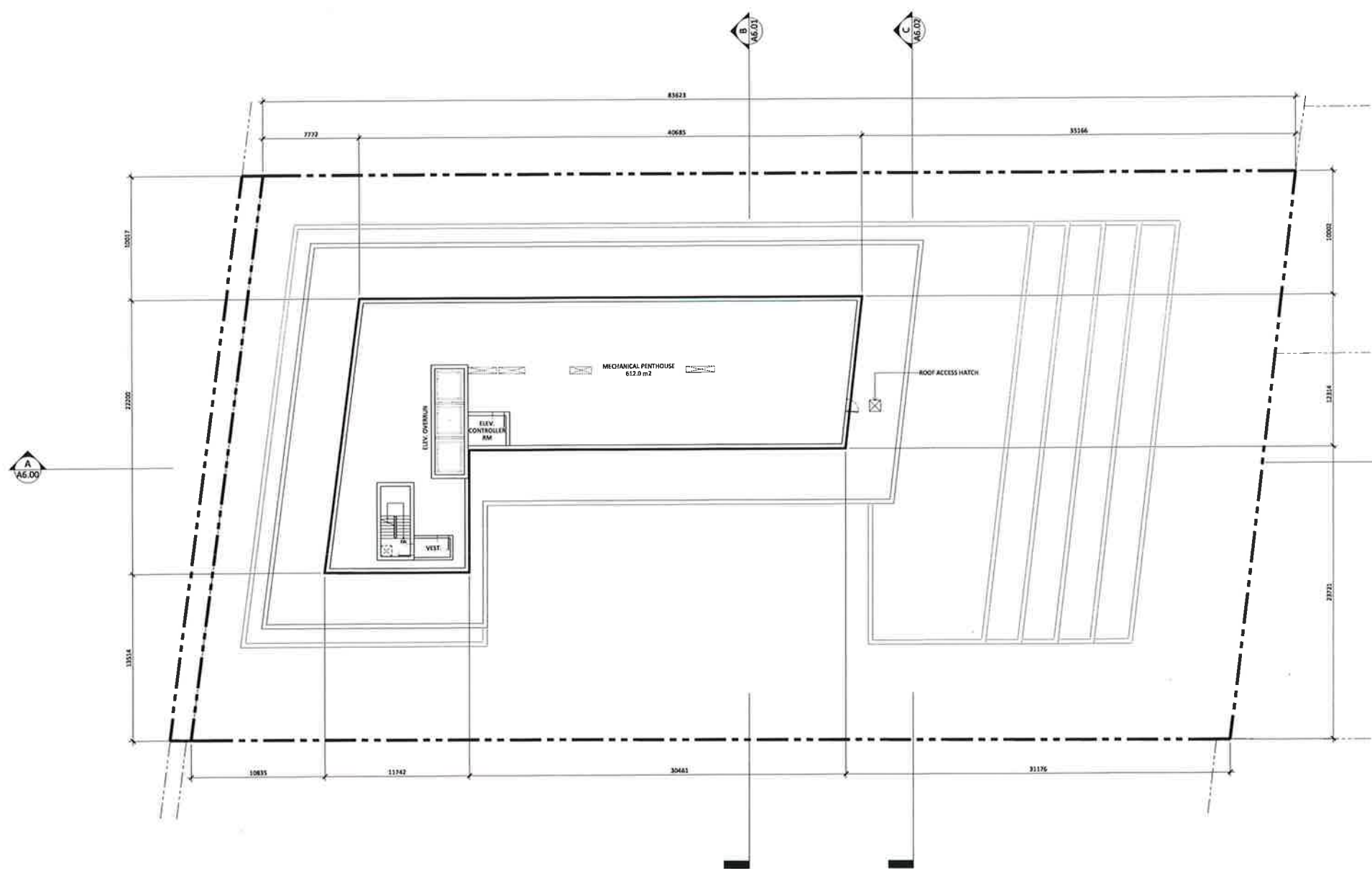
- These General Conditions are the property of the Architect. The licensee bears the responsibility for the completeness of these documents. It is the Contractor's duty to verify the accuracy of the information provided herein. The Architect will accept no responsibility for any errors or omissions in these documents. The Architect will accept no responsibility for any errors or omissions in these documents.
- Drawings are not to be used for construction without the written approval and signature of the Architect. The Architect will not be held responsible for any errors or omissions in these drawings.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI

220 Dundas Street West
 Toronto, Ontario M5G 1C4
 Tel: 416-593-9600
 Fax: 416-593-9601
 www.studiojci.com



HONOURABLE RESIDENTIAL BUILDING

ADDRESS:
 3206 Hurontario St., Brampton, ON L7A 1E5

MECH. FLOOR PLAN

PROJECT NO.: 3024
 SCALE: 1/320
 DATE: December 16, 2022
 DRAWN BY: SP

DRAWING NO.: **A3.10**

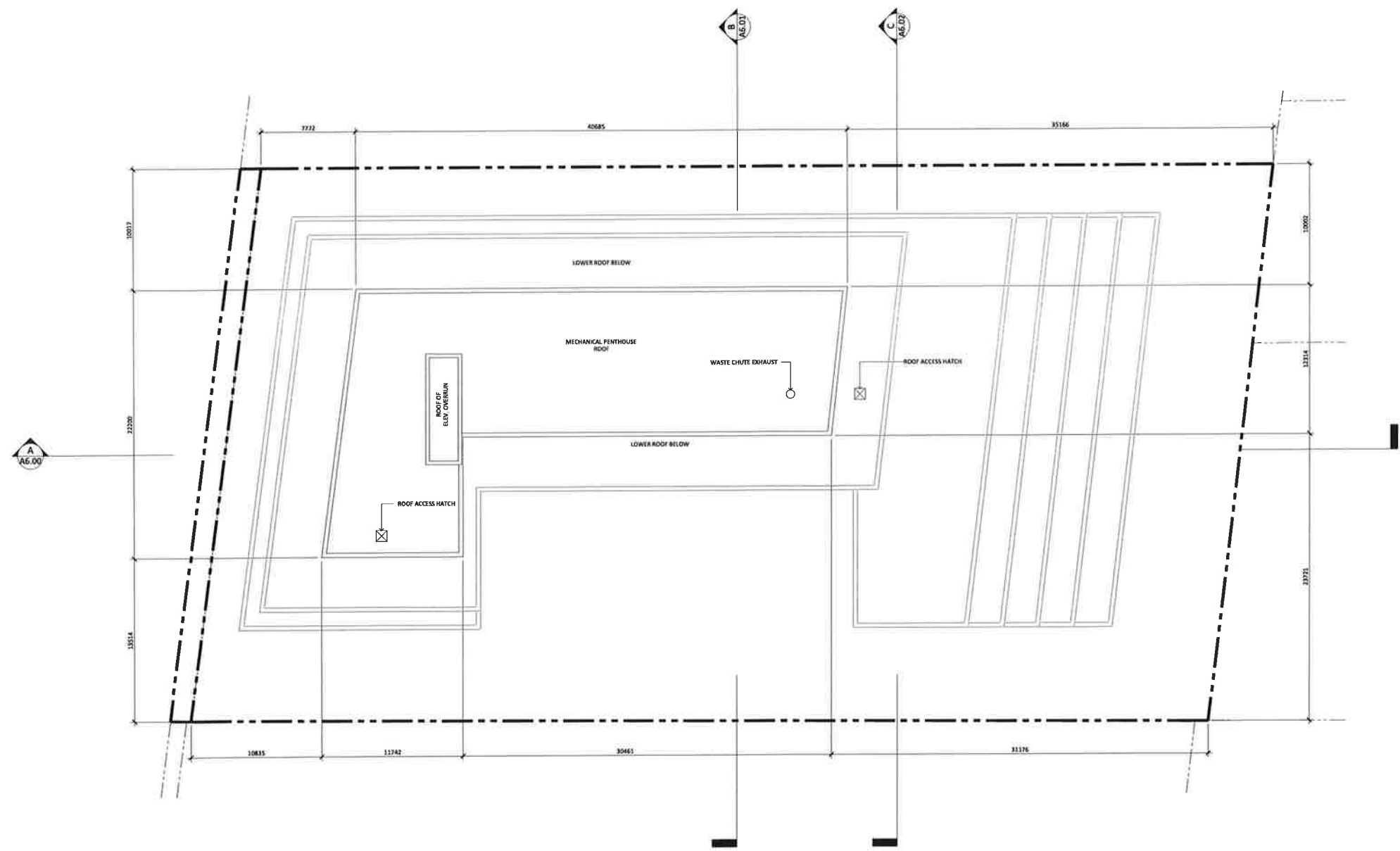


Revisions:

DESCRIPTION:	DATE:
SPA Resubmission	Dec. 16, 2022
SPA Resubmission	Sep. 9, 2022
Issued for SPA	May 31, 2022
Issued for CPA/ZBA	Mar. 24, 2022
Issued for CPA/ZBA	Dec. 10, 2021

General Notes:
 1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. User without application. Use Architect will provide necessary clarification or supplemental information regarding the intent of the Contract Documents. The Contractor will contact their insurance carrier for the Contractor's design professional only.
 2. Changes are not to be made for construction. All changes to work, all existing conditions and dimensions, conditions prior to work and other information shall be Contract Documents to the Architect before commencing work.
 3. Portions of approval of related mechanical or electrical drawings, permits, and others are indicated on the Architectural drawings. The building owner, the Mechanical and Electrical drawings. These items and others related will be issued or directed by the Architect.

Site Plan File App. No.: SPA-2022-0106



MURONTARIO RESIDENTIAL BUILDING
 ADDRESS:
 12085 Hurontario St. Brampton, ON L7A 3E6
 PROJECT NO.: 2024
 SCALE: 1/8" = 1'-0"
 DATE: December 16, 2022
 DRAWN BY: SP
 DRAWING NO.:

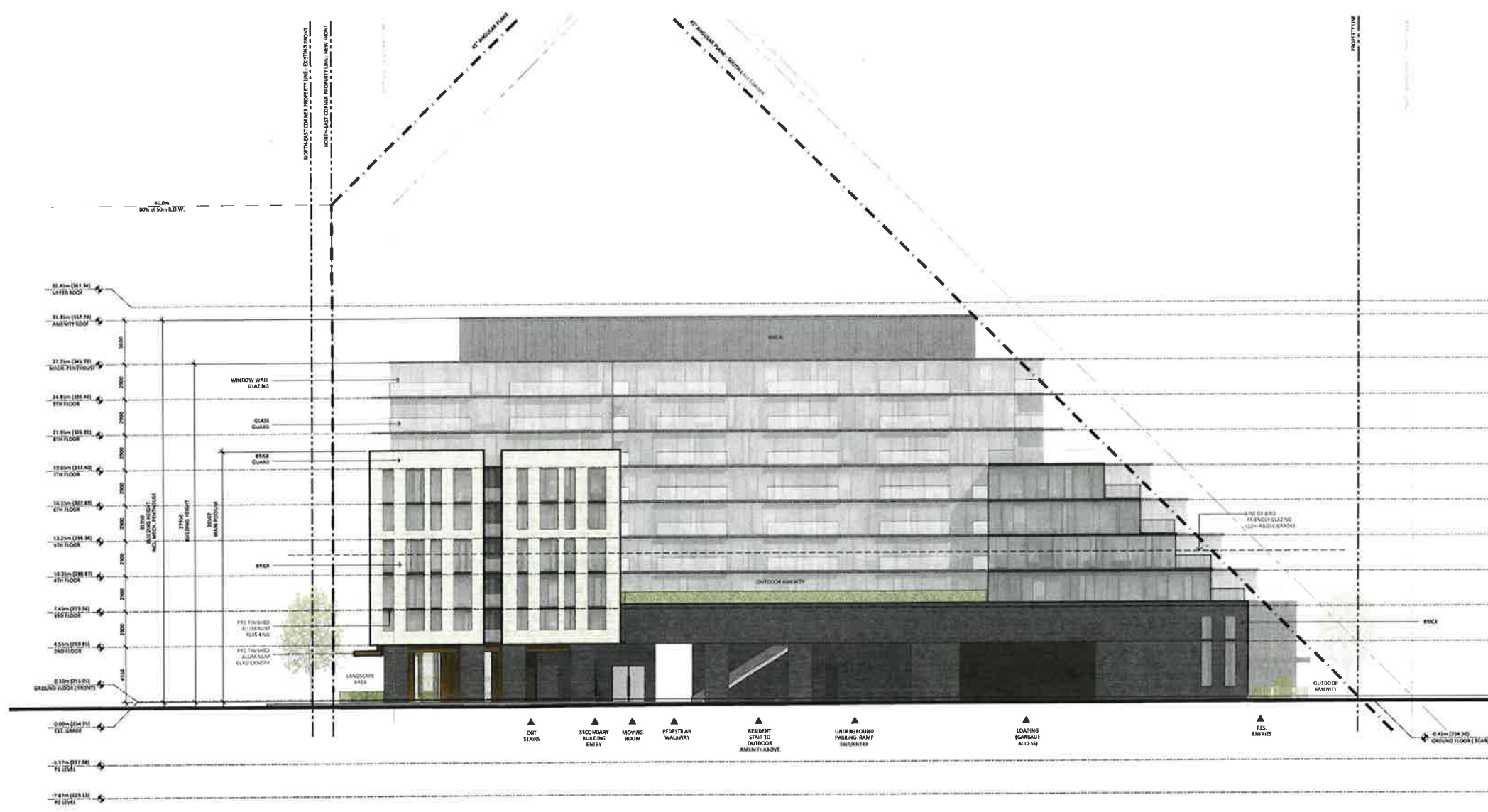
A3.11

Revisions:

DESCRIPTION:	DATE:
SPA Resubmission	Oct. 18, 2023
SPA Resubmission	Sep. 8, 2023
Issued for SPA	May 31, 2023
Issued for OPA/TRA	Mar. 24, 2023
Issued for OPA/TRA	Dec. 16, 2021

Notes:
 1. These Contract Documents are the property of the Architect. The Architect retains copyright, and the reproduction or other disclosure, by the contractor or other parties, without the written consent of the Architect, is prohibited. The Architect will not be held responsible for any errors or omissions in these documents. The Architect will not be held responsible for any construction delays or cost overruns caused by the contractor or other parties.
 2. Drawings are not to be used for construction without the written consent of the Architect. The Architect will not be held responsible for any construction delays or cost overruns caused by the contractor or other parties.
 3. A schedule of materials is listed elsewhere in these documents. The contractor shall be responsible for the procurement of materials and for the timely delivery of materials to the project site. The contractor shall be responsible for the timely delivery of materials to the project site.

Site Plan File App. No.: SPA-2022-0106



HUNGTARIJÓ RESIDENTIAL BUILDING

ADDRESS:
 12063 Hungtarió St, Hampton, ON L7A 1E5

SOUTH ELEVATION

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: December 16, 2023
 DRAWN BY:

REVISIONS: A5.00

Revisions:

DESCRIPTION	DATE
SPA Resubmission	Dec. 18, 2022
SPA Resubmission	Aug. 9, 2022
Issued for SPA	May 24, 2022
Issued for OPA/PSA	Mar. 24, 2021
Issued for OPA/PSA	Dec. 30, 2021

1. These General Documents are the property of the Architect. The Client shall not, in whole or in part, reproduce or use any part of these documents for any other project without the Architect's written consent. The Client shall indemnify and hold the Architect harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising from or due to the Client's use of these documents for any purpose other than that for which they were prepared.

2. Drawings not specifically noted as "contract documents" shall not be used for construction purposes without the Architect's written consent. The Client shall indemnify and hold the Architect harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising from or due to the Client's use of these drawings for any purpose other than that for which they were prepared.

3. Materials of standard or finished appearance or distinctive design, texture, or finish are indicated on the drawings. The Contractor shall select and specify materials of standard design, texture, or finish, and shall provide samples for the Architect's approval. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work shown on the drawings.

Site Plan File App. No.: SPA-2022-0105



HURONTARIO RESIDENTIAL BUILDING

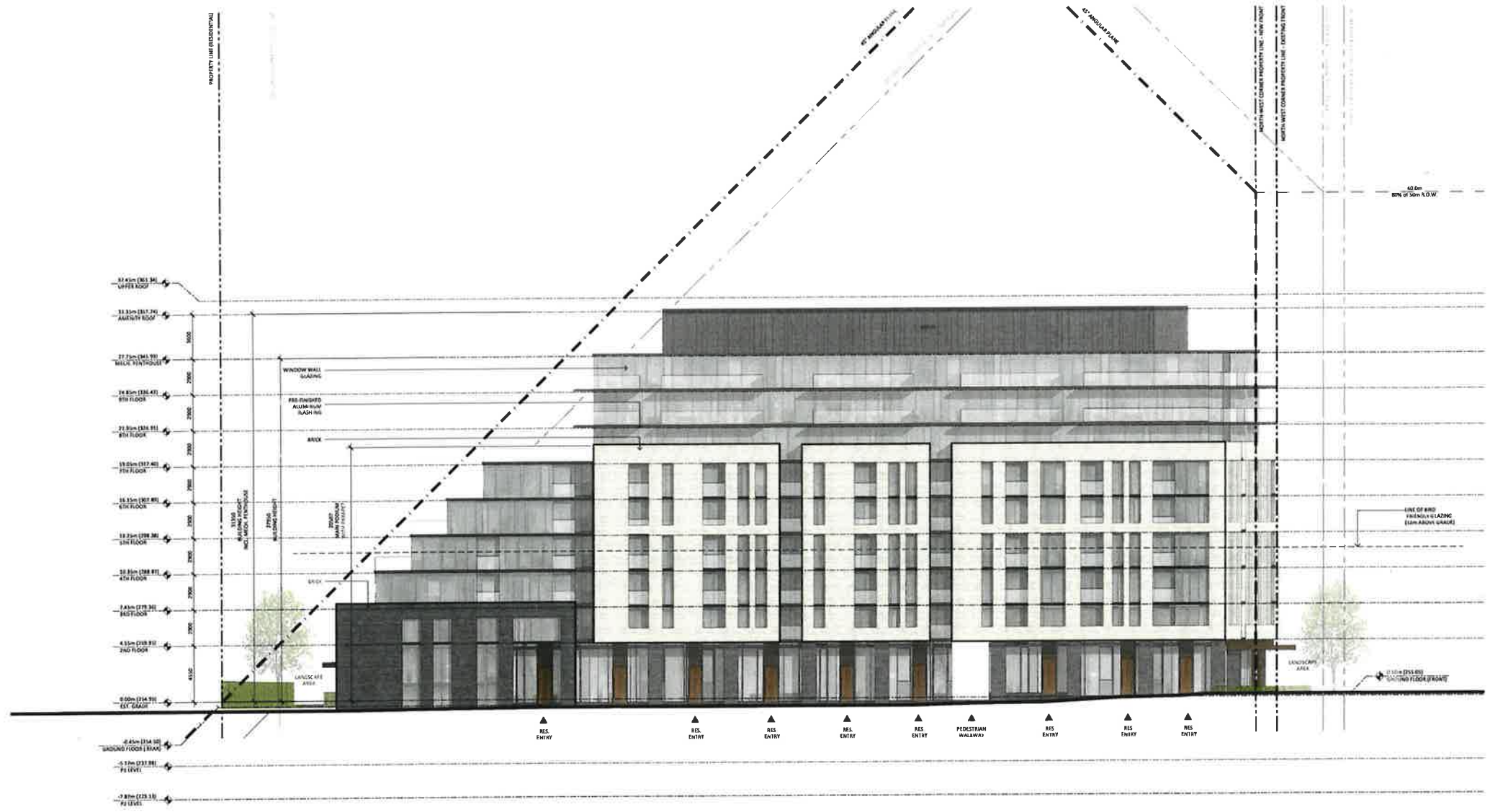
ADDRESS: 2080 Hurontario St, Brampton, ON L7A 1E6

NORTH ELEVATION

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: December 16, 2022
 DRAWN BY:

DRAWING NO.:

A5.01



ALL WINDOWS 12M FROM GRADE OR ABOVE GREEN ROOFS TO HAVE 50% MINIMUM BIRD HIT WITH SPACING LESS THAN 100m X 10cm

Revisions:

DESCRIPTION:	DATE:
SPA Resubmission	Dec. 16, 2022
SPA Resubmission	Sep. 9, 2022
Issued for SPA	May 24, 2022
Issued for CP/AT/A	Mar. 24, 2021
Issued for CP/AT/A	Dec. 16, 2021

Notes:

- These drawings are the property of the Architect. The Architect shall not be held responsible for the interpretation of these drawings by the Contractor. It is the Contractor's responsibility to coordinate the construction with the relevant authorities. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
- Drawings are not to be used for construction without the written approval of the Architect. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
- Architect is not responsible for the construction of the building or any other structure. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.



Site Plan File App No.: SPA-2022-0106

ARCHITECT:



HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 1200 Hurontario St, Brampton, ON L7A 3E6

EAST ELEVATION

PROJECT NO: 2024
SCALE: 1:150
DATE: December 16, 2022
DRAWN BY:

DRAWING NO:

A5.02



Revisions:

DESCRIPTION:	DATE:

General Notes:

- These General Notes are the property of the Architect. The Architect shall be responsible for the interpretation of these notes. It is the contractor's responsibility to verify the accuracy of the information provided in these notes. The Architect shall not be responsible for any errors or omissions in these notes. The Architect shall not be responsible for any delays or costs incurred by the contractor as a result of these notes.
- General Note: The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for ensuring that the building complies with all applicable codes and regulations. The contractor shall be responsible for ensuring that the building is constructed in accordance with the approved plans and specifications.
- These notes are intended to provide general information and guidance. They are not intended to constitute a contract. The contractor shall be responsible for ensuring that the building is constructed in accordance with the approved plans and specifications. The contractor shall be responsible for ensuring that the building is constructed in accordance with all applicable codes and regulations. The contractor shall be responsible for ensuring that the building is constructed in accordance with the approved plans and specifications.

Site Plan App No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI

10000 Keele Street, Unit 101, Scarborough, Ontario M1V 1Z7, Canada
 Tel: (416) 291-1111
 Fax: (416) 291-1112
 www.studiojci.com

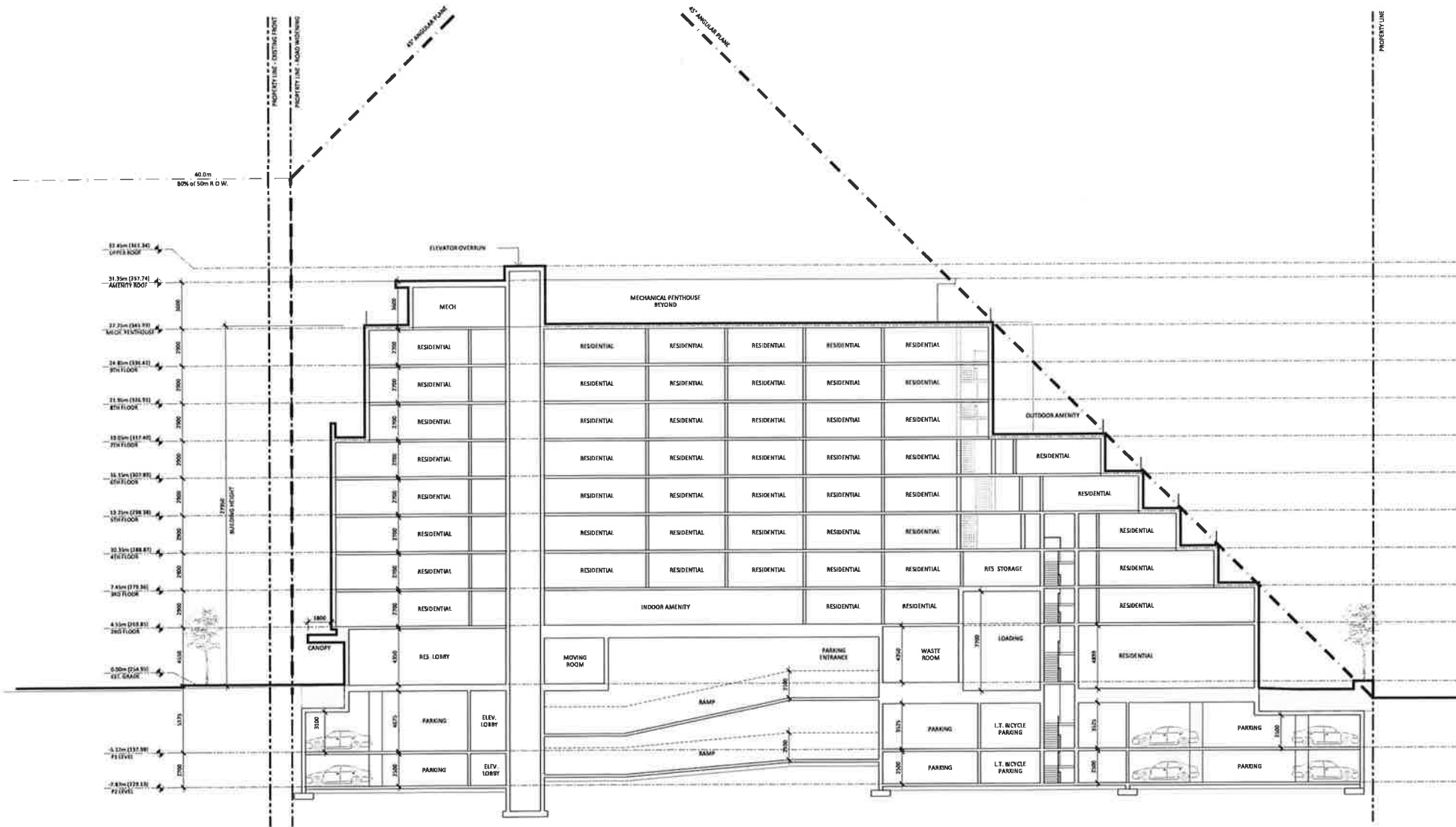
HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1206 Hurontario St, Brampton, ON L7A 3E6

WEST ELEVATION

PROJECT NO.: 2024
 SCALE: 1/320
 DATE: December 16, 2022
 DRAWN BY:

DRAWING NO.:



Revisions:

DESCRIPTION	DATE
SPA Resubmission	Dec. 16, 2022
SPA Resubmission	Sep. 9, 2022
Issued for SPA	May 31, 2022
Issued for OPA/ZBA	Mar. 24, 2021
Issued for OPA/ZBA	Dec. 10, 2021

Source: Author

- These Contract Documents are the property of the Architect. The Architect shall not be responsible for the interpretation of these documents by any contractor. Any contractor who wishes to modify the Architect's work shall provide appropriate written documentation to the Architect for the Architect's review and approval. The Architect will not be responsible for any contractor's interpretation of these documents.
- Contractors shall be held responsible for obtaining all necessary permits and approvals and for obtaining all necessary approvals and permits from the appropriate authorities. The Architect will not be responsible for any contractor's failure to obtain necessary permits and approvals.
- Architects are not to be held responsible for structural failures, fire, or other accidents or damages resulting from the use of the Contract Documents. The Architect will not be responsible for any contractor's failure to follow the Contract Documents or for any contractor's failure to follow applicable laws and regulations.

Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
12065 Hurontario St, Brampton, ON L7A 1E6

SECTION A

PROJECT NO.: 2024
SCALE: 1/160
DATE: December 16, 2022
DRAWN BY: SP

DRAWING NO.:

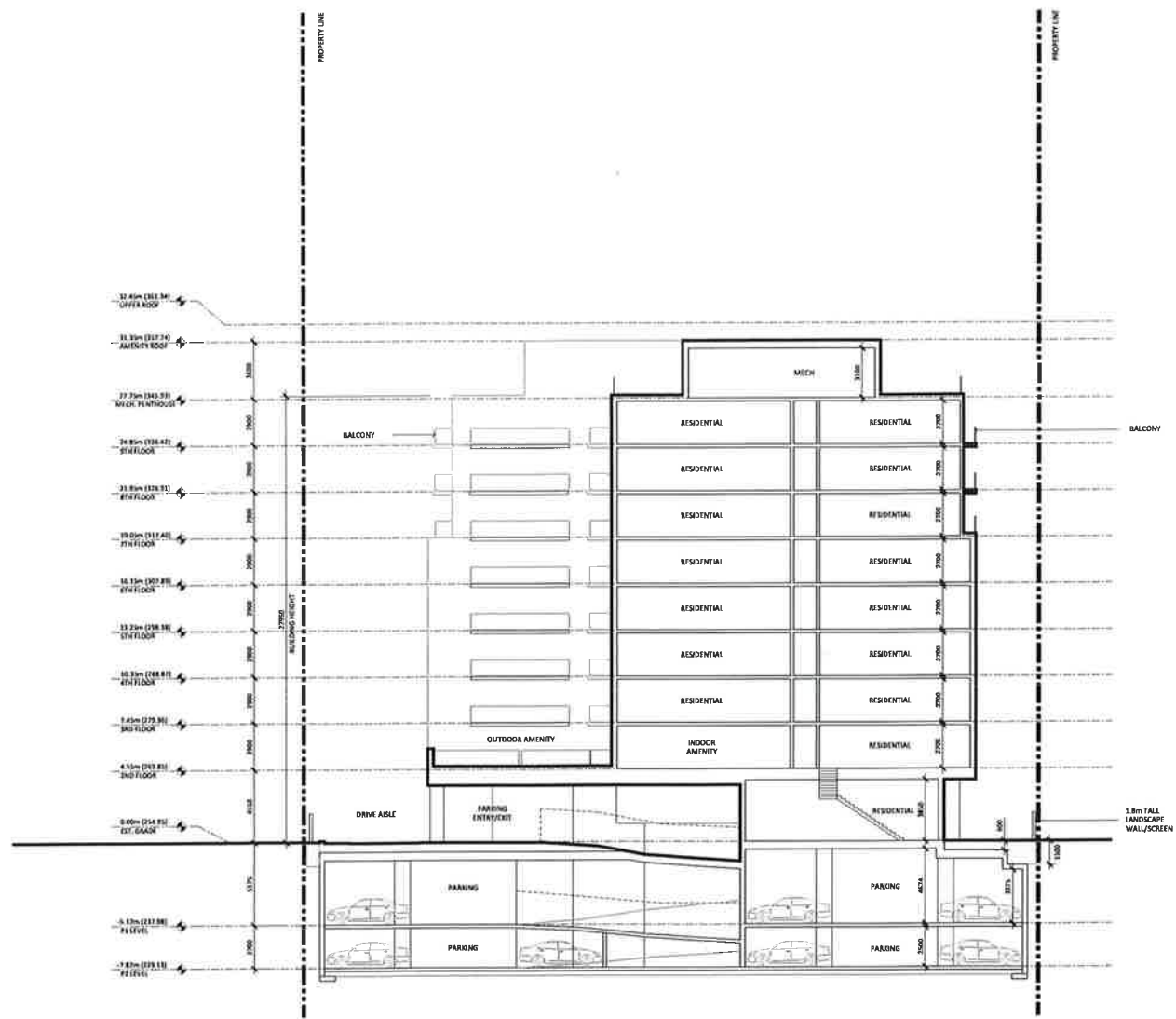
A6.00

Revisions:

DESCRIPTION	DATE
SPA Resubmission	Dec. 18, 2022
SPA Resubmission	Sept. 8, 2022
Issued for SPA	May 31, 2022
Issued for CPA/ZMA	Mar. 14, 2021
Issued for CPA/ZMA	Dec. 10, 2021

Notes:

1. These Contract Documents are the property of the Architect. The Architect retains its responsibility for the interpretation of these documents by the Contractor. The Contractor shall apply the Architect's seal and professional liability insurance to the Contract Documents. The Architect will review the Contractor's proposed changes to the Contract Documents for design compliance only.
2. Drawings are not to be used for construction. Contractor is to verify all existing conditions and dimensions related to the site before construction. The Contractor shall be responsible for the Contract Documents or the Architect's seal and professional liability insurance.
3. Portions of original or related technical or related drawings, reports, and data are indicated on the Architectural drawings. The Contractor shall be responsible for the Contract Documents or the Architect's seal and professional liability insurance. These items are clearly marked and shall be sealed as directed by the Architect.



Site Plan File App. No.: SPA-2022-0106



HORIZONTAL RESIDENTIAL BUILDING

ADDRESS: 1208 Huronville St, Brampton, ON L7A 1G6

SECTION B

PROJECT NO.: 3024
 SCALE: 1:150
 DATE: December 16, 2022
 DRAWN BY: SP

© DRAWING: A6.01

A6.01

Revisions:

DESCRIPTION	DATE
SPA Resubmission	Oct. 18, 2022
SPA Resubmission	Sept. 8, 2022
Issued for SPA	May 21, 2022
Issued for CPAT/PA	Mar. 24, 2022
Issued for CPAT/PA	Oct. 10, 2021

General Notes:

- These Contract Documents are the property of the Architect. The Architect shall be responsible for the interpretation of these documents to the Commission. Any amendments to these documents shall be made by the Architect and shall be subject to the Commission's approval. The Architect shall review the Commission's comments and shall be responsible for the Commission's satisfaction.
- The Commission shall be responsible for the interpretation of these documents to the Commission. Any amendments to these documents shall be made by the Architect and shall be subject to the Commission's approval. The Architect shall review the Commission's comments and shall be responsible for the Commission's satisfaction.
- The Commission shall be responsible for the interpretation of these documents to the Commission. Any amendments to these documents shall be made by the Architect and shall be subject to the Commission's approval. The Architect shall review the Commission's comments and shall be responsible for the Commission's satisfaction.



HURONTARIO ST WEST VIEW



HURONTARIO ST SOUTH ELEVATION



HURONTARIO ST SOUTH WEST VIEW



OLDGATE LANE ELEVATION (REAR)

Site Plan File Appr. No.:
SPA-2022-0106

ARCHITECT:

STUDIO JCI

100 BAYVIEW AVE. 10TH FLOOR
SCARBOROUGH, ONTARIO M1S 5B7
TEL: 416-291-1111
WWW.STUDIOJCI.COM

HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
2208 Hurontario St, Brampton, ON L7A 1S6

PERSPECTIVE VIEWS

PROJECT NO.: 2024
SCALE:
DATE: December 16, 2022
DRAWN BY:

SEPTEMBER 9, 2022
PROJECT NO: 1942-5702
SENT VIA: EMAIL

City of Brampton
2 Wellington Street West
Brampton ON, L6Y 4R2

Attention: Adam Davidson
Transportation Planning, City of Brampton

RE: TRANSPORTATION UPDATE LETTER
12035 HURONTARIO STREET
RESIDENTIAL MID-RISE DEVELOPMENT
CITY OF BRAMPTON, REGION OF PEEL
FILE NUMBER: SPA-2022-0106

Dear Adam,

C.F. Crozier & Associates Inc. (Crozier) was retained by Black Creek Group to undertake a Transportation Impact Study (TIS) in support of a Site Plan Application (SPA) for a proposed residential development located at 12035 Hurontario Street (previously referred as 12089 Hurontario Street), in the City of Brampton, Regional Municipality of Peel.

The following submissions were previously prepared in support of the development's Official Plan Amendment (OPA), Zoning By-Law Amendment (ZBA), and Site Plan Application (SPA).

- Transportation Impact Study (Crozier, March 2021)
- Transportation Impact Study Addendum (Crozier, December 2021)
- Transportation Update Letter (Crozier, May 2022)

The Transportation Update Letter (TUL) herein, accompanies the aforementioned studies and addresses the City of Brampton's comments dated July 22, 2022.

1.0 Development Proposal

Table 1 below outlines the breakdown of the development proposal, as well as changes in the site statistics when compared to the previously submitted studies.

Table 1
Proposed Development Breakdown (Comparison)

Site Plan	Building / Land Use	Residential Units	Parking Spaces
March 2021	Residential Mid-rise Apartment	201 units	197 spaces
December 2021		205 units	198 spaces ¹
May 2022		201 units	196 spaces ¹
September 2022		201 units	196 spaces ¹

Note 1: Four (4) tandem resident parking spaces are proposed out of the 196 parking spaces.

As shown in **Table 1**, the most recent Site Plan proposes an unchanged 9-storey mid-rise residential apartment with 201 units.

The development also proposes 196 parking spaces, with a full moves site access at Hurontario Street. The full moves access will be converted to a Left-in/Right-in/Right-out (LIRIRO) access once the concrete median extension along Hurontario Street is constructed.

The most recent Site Plan has been updated since the previous submission, however, the site statistics remain unchanged. Thus, the findings of the previously prepared TIS Addendum (Crozier, December 2021) and TUL (Crozier, May 2022) remain valid and are not updated herein. The most recent Site Plan by Studio JCI is attached in **Attachment 1**.

2.0 Vehicle Circulation Review

Updated Vehicle Turning Diagrams indicate that there is sufficient space for standard Region of Peel waste collection vehicles and delivery trucks (i.e., Medium Single Unit Truck) to maneuver in and out of the provided loading space and site access.

The fire route is proposed along the drive aisle (east-west) at the south end of the Subject Site and ending near the eastern limits of the site. As the fire route is less than 90 metres long, a fire truck can enter and egress the site by reversing onto Hurontario Street as required.

The Vehicle Turning Diagrams also demonstrate that passenger vehicles can access the parking ramp, parking area, and pick-up and drop-off area without conflicts.

Based on the vehicle circulation review using the key design vehicles noted above, the Site Plan is supportable from a vehicle circulation perspective.

The updated Vehicle Turning Diagrams are included as **Attachment 2**.

3.0 Comment Response

The following comment response addresses the City of Brampton's transportation related comments, dated July 22, 2022 (also included as **Attachment 4**). Region of Peel comments are still outstanding and will be addressed at a later date.

Traffic Services Review

- 4) *Conduct a swept path analysis to/from garbage entry/ waste collection entry. Ensure vehicles do not reverse into the site from the municipal right-of-way and vehicles do not reverse from the site into the municipal ROW.*
- 7) *Any internal traffic signage and pavement marking shall be clearly indicated and depicted on site plan.*

Response:

- 4) Vehicle Turning Diagrams were included in the previously submitted TUL (Crozier, May 2022) and have since been updated. The updated Vehicle Turning Diagrams are attached as **Attachment 2**.

While majority of the vehicles can turn around and exit the Subject Site in a forward motion, as permitted in the Ontario Building Code, as the fire route is less than 90 metres, fire trucks are proposed to reverse onto municipal right-of-way.

- 7) A Pavement Marking Signage Plan has been prepared and included as **Attachment 3**.

4.0 Conclusions

The revised Site Plan proposes a mid-rise residential apartment with 201 units and 196 parking spaces. In comparison to the previously submitted TUL (Crozier, May 2022), the site statistics remains unchanged. Thus, an updated traffic operations and parking review are not conducted herein.

The City of Brampton's comments (July 2022) are addressed herein. The Region of Peel's comments are still outstanding and will be addressed at a later date.

We trust that this review addresses any transportation related concerns with the project. Should you have any questions or require any further information, please do not hesitate to contact the undersigned.

Respectfully submitted by,

C.F. CROZIER & ASSOCIATES INC.



Martin Chan, P.Eng.
Project Engineer, Transportation

C.F. CROZIER & ASSOCIATES INC.



My-Linh Yee, BEng.
Engineering Intern, Transportation

Enclosed
Attachment 1: Site Plan
Attachment 2: Vehicle Turning Diagrams
Attachment 3: Pavement Marking Signage Plan
Attachment 4: Comment Responses

/MY

N:\1900\1942-Black Creek Group\5702-12039 Hurontario St\Reports\Traffic\2022.08.18 Fourth Submission_TUL\2022.09.09 12035 Hurontario Street Transportation Update Letter.docx

ATTACHMENT 1

Site Plan

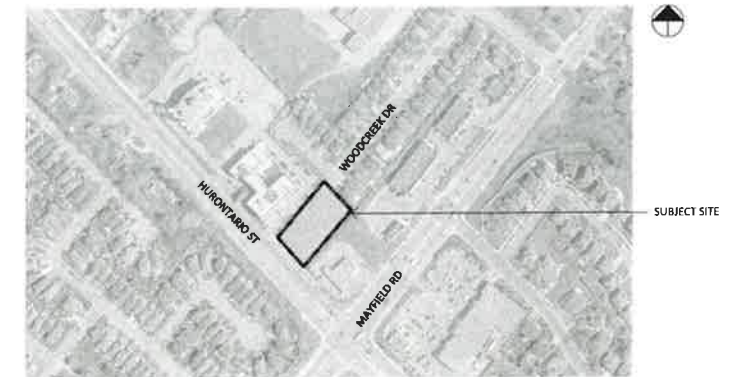


PROPOSED RESIDENTIAL DEVELOPMENT

12085 Hurontario Street,
Brampton, ON L4A 1E6

ARCHITECTURAL DRAWING LIST

A0.00	PROJECT STATISTICS
A1.00	SITE PLAN
A1.01	GROUND FLOOR SITE PLAN
A3.00	P2 LEVEL
A3.01	P1 LEVEL
A3.02	GROUND FLOOR PLAN
A3.03	2ND FLOOR PLAN
A3.04	3RD FLOOR PLAN
A3.05	4TH FLOOR PLAN
A3.06	5TH FLOOR PLAN
A3.07	6TH FLOOR PLAN
A3.08	7TH FLOOR PLAN
A3.09	8TH - 9TH FLOOR PLAN
A3.10	MICH. FLOOR PLAN
A3.11	ROOF PLAN
A5.00	SOUTH ELEVATION
A5.01	NORTH ELEVATION
A5.02	EAST ELEVATION
A5.03	WEST ELEVATION
A6.00	SECTION A
A6.01	SECTION B
A6.02	SECTION C
A7.00	PERSPECTIVE VIEWS
A7.01	PERSPECTIVE VIEWS



1 CONTEXT PLAN
Scale: 1:3000

ISSUED FOR SPA RESUBMISSION
SEPTEMBER 9, 2022



Revisions:

Table with 2 columns: Description, Date. Includes entries for SPA Resubmission (Sep. 9, 2023) and various issued for OPA/ZBA dates.

PROPOSED RESIDENTIAL DEVELOPMENT
12089 HURONTARIO STREET, BRAMPTON, ON L7A 1E6

AREA SUMMARY

Table with 3 columns: Description, Area (m2), Area (sf). Includes Lot Area (Existing), Lot Area (After Road Widening), Area of Road Widening, Lot Coverage, Ground Floor Landscaped Open Space, Building Total GFA, Floor Space Index (FSI), Building Height, and Building Height + Mech Pent.

Main area breakdown table with columns: EXTERIOR BUILDING AREA, RESIDENTIAL UNITS AREA, COMMON AREA/CIRCULATION, RESIDENTIAL LOCKER AREA, RESIDENTIAL INDOOR AMENITY, RESIDENTIAL OUTDOOR AMENITY, EFFICIENCY, GFA EXCLUSIONS, GFA. Includes sub-totals and a Total row.

UNIT SUMMARY

Table showing unit counts by level. Columns: Level, 1-Bed, 2-Bed, 3-Bed, 4-Bed, 5-Bed, 6-Bed, 7-Bed, 8-Bed, 9-Bed, Total Units.

Table for Required Vehicle Parking - Condominium Apartment - (B6-2015) 10.9.2 (b). Columns: Unit Type, Units, Parking Rate, No. of Units, Required Parking, Rounding.

Table for Proposed Vehicle Parking - Condominium Apartment - (B6-2015) 10.9.2 (b). Columns: Use, Units, Proposed Supply, Parking Rate.

Table for Proposed Bicycle Parking. Columns: Use, Type, Units/Area, Min. Rate, Req'd Spaces, Proposed Supply.

Table for Proposed Amenity Space. Columns: Units, Minimum Requirements, Minimum Required (m2), Total Proposed (m2).

NAME OF TRACTOR
DATE OF ISSUE
ISSUED FOR OPA/ZBA

NAME OF PROJECT
DATE OF ISSUE
ISSUED FOR OPA/ZBA

Ontario Building Code Class Memo Part 1. Table with columns: Item, Description, Code Reference, and Building Code Reference. Lists various code sections and their corresponding building code references.

Site Plan File App. No.
SPA-2022-0106



Architect contact information and details for Studio JCI.

HURONTARIO RESIDENTIAL BUILDINGS

ADDRESS:
12089 Hurontario St, Brampton, ON L7A 1E6

PROJECT STATISTICS
PROJECT NO: 2024
SCALE: N/A
DATE: September 9, 2023
DRAWING NO:

DRAWING NO:

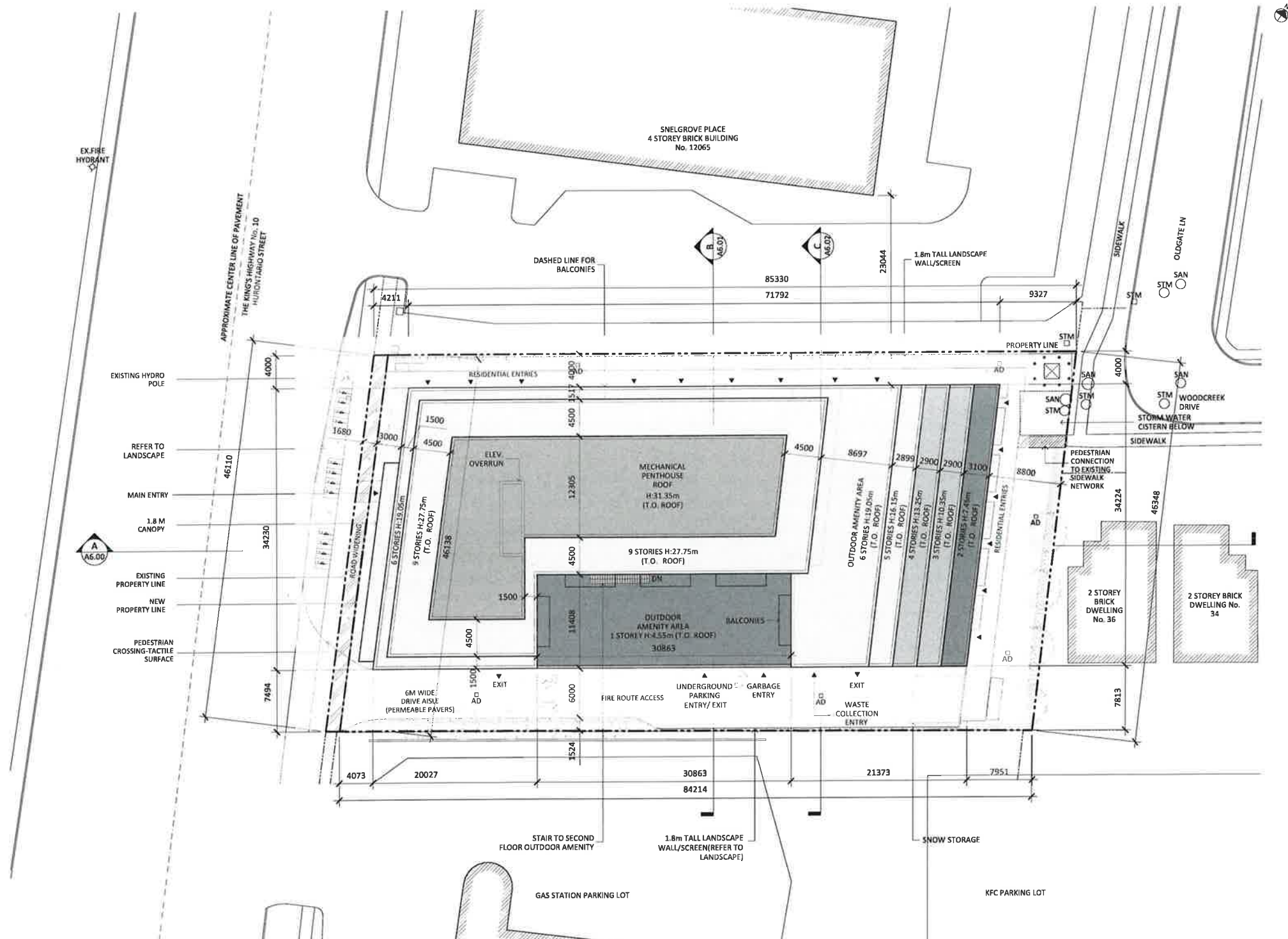
A0.00

Revisions:

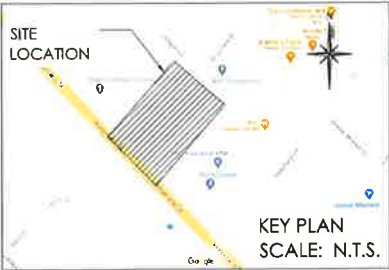
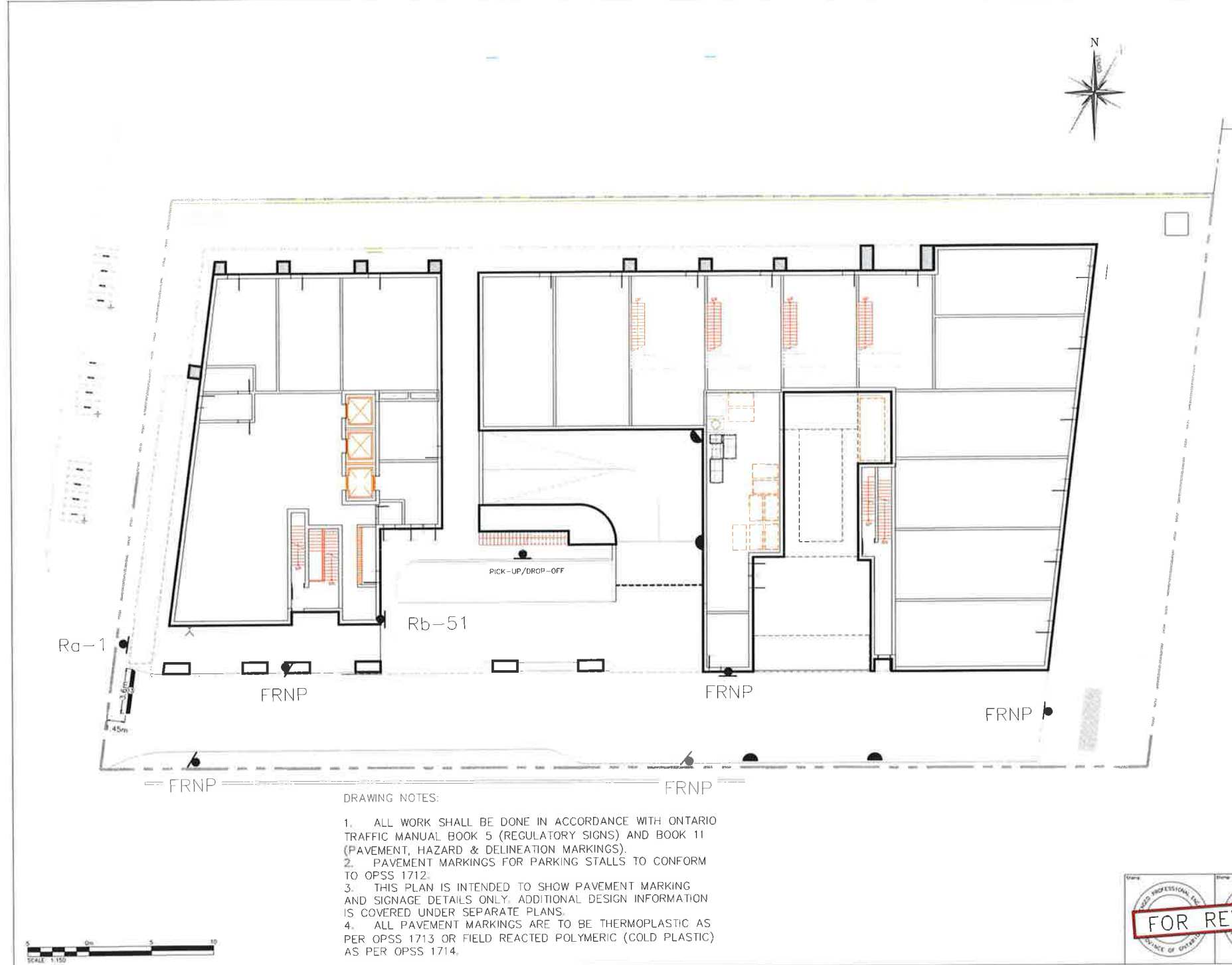
DESCRIPTION	DATE

General Notes:
 1. These General Notes are the property of the Architect and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.
 2. Drawings are not to be used for construction without the prior written consent of the Architect. The Architect shall not be responsible for any errors or omissions on the drawings or for any damage, loss of, or injury to, persons or property, or for any consequential or incidental damages, arising out of or from the use of the drawings.
 3. Portions of adjacent or bordering lots or other lots, streets, highways, etc. shown are indicated on the drawings for reference only. The Architect shall not be responsible for any errors or omissions on the drawings or for any damage, loss of, or injury to, persons or property, or for any consequential or incidental damages, arising out of or from the use of the drawings.

Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING
 ADDRESS:
 12065 Hurontario St, Brampton, ON L7A 1E6
SITE PLAN
 PROJECT NO: 2024
 SCALE: 1:200
 DATE: September 9, 2022
 DRAWN BY: SP
 DRAWING NO:



LEGEND

- PROPOSED SIGN (WALL, CEILING, OR POLE MOUNTED AS NEEDED)
- PROPOSED CONVEX MIRROR (WALL OR CEILING MOUNTED)
- RIGHT-OF-WAY (ROW)

PAVEMENT MARKINGS LEGEND

13 SOLID WHITE, 30cm

NOTES:

- 1 111, 333, 363, DENOTES PAVEMENT MARKING SPACING (E: 3m LINE, 3m GAP, 3m LINE)
- 2 USE ⊗ TO DENOTE PAVEMENT MARKING
- 3 USE ⊕ TO DENOTE DURABLE PAVEMENT MARKING

SIGNAGE LEGEND

SIGN NAME	SIGN NUMBER	SIZE (cm)	DTM BOOK	SECTION
STOP	Reg-1	60x60	S	2
FIRE ROUTE	FRNP	30x45	-	-
NO PARKING	Rb-51	30x30	S	13
PICK-UP AND DROP-OFF: 10 MINS LIMIT (CUSTOM)	PICK-UP/DROP-OFF	30x45	-	-

- DRAWING NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL BOOK 5 (REGULATORY SIGNS) AND BOOK 11 (PAVEMENT, HAZARD & DELINEATION MARKINGS).
 2. PAVEMENT MARKINGS FOR PARKING STALLS TO CONFORM TO OPSS 1712.
 3. THIS PLAN IS INTENDED TO SHOW PAVEMENT MARKING AND SIGNAGE DETAILS ONLY. ADDITIONAL DESIGN INFORMATION IS COVERED UNDER SEPARATE PLANS.
 4. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC AS PER OPSS 1713 OR FIELD REACTED POLYMERIC (COLD PLASTIC) AS PER OPSS 1714.



1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/DEC/19
No.	ISSUE / REVISION	YYYY/MMM/DD

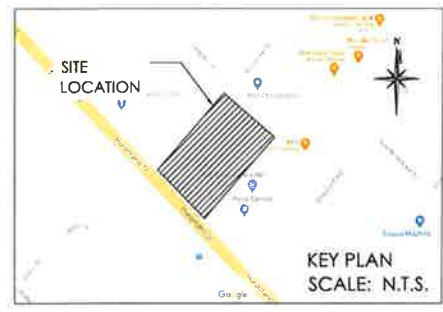
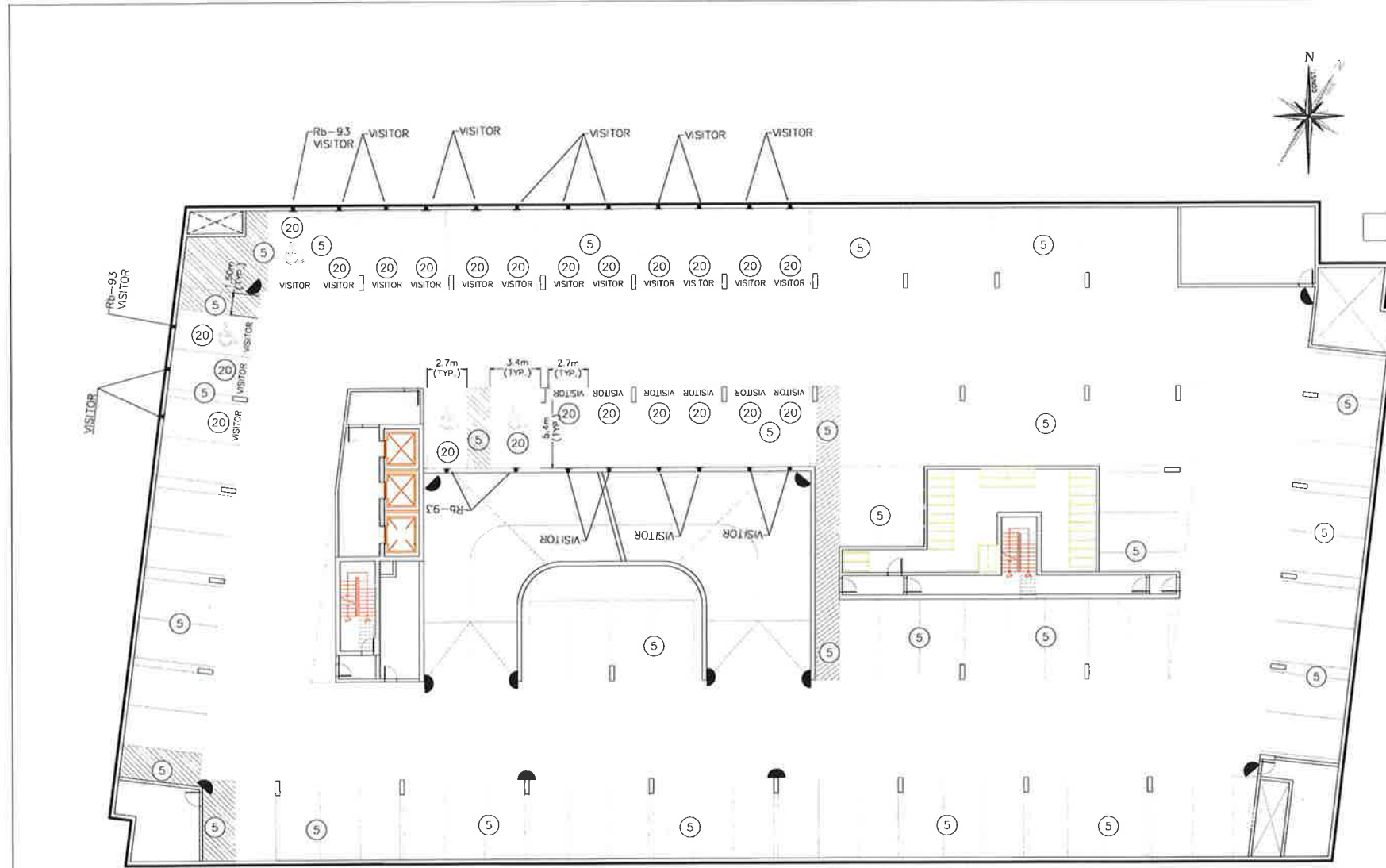
12035 HURONTARIO STREET
CITY OF BRAMPTON

PAVEMENT MARKING
AND SIGNAGE PLAN

FOR REVIEW

211 YONGE STREET
SUITE 500
TORONTO, ON M5B 1M4
416-477-3382 T
WWW.CROZIER.CA

Drawn	D.P.G.	Check	M.C.	Project No.	1942-5702	
Disc.	M.T.	Date	M.C.	Scale	1:150	
					Sheet	T301



LEGEND

	PROPOSED SIGN (WALL, CEILING, OR POLE MOUNTED AS NEEDED)
	PROPOSED CONVEX MIRROR (WALL OR CEILING MOUNTED)

PAVEMENT MARKINGS LEGEND

	SOLID WHITE, 10cm
	20 SYMBOLS

NOTES:
 1. 111, 333, 363, DENOTES PAVEMENT MARKING SPACING (E.G. 3m LINE, 3m GAP, 3m LINE)
 2. USE TO DENOTE PAVEMENT MARKING
 3. USE TO DENOTE DURABLE PAVEMENT MARKING

SIGNAGE LEGEND

SIGN NAME	SIGN NUMBER	SIZE (cm)	OTM BOOK	SECTION
ACCESSIBLE PARKING PERMIT	Rb-93	30x45	5	13
VISITOR ONLY (CUSTOM)	VISITOR ONLY	30x45	-	-

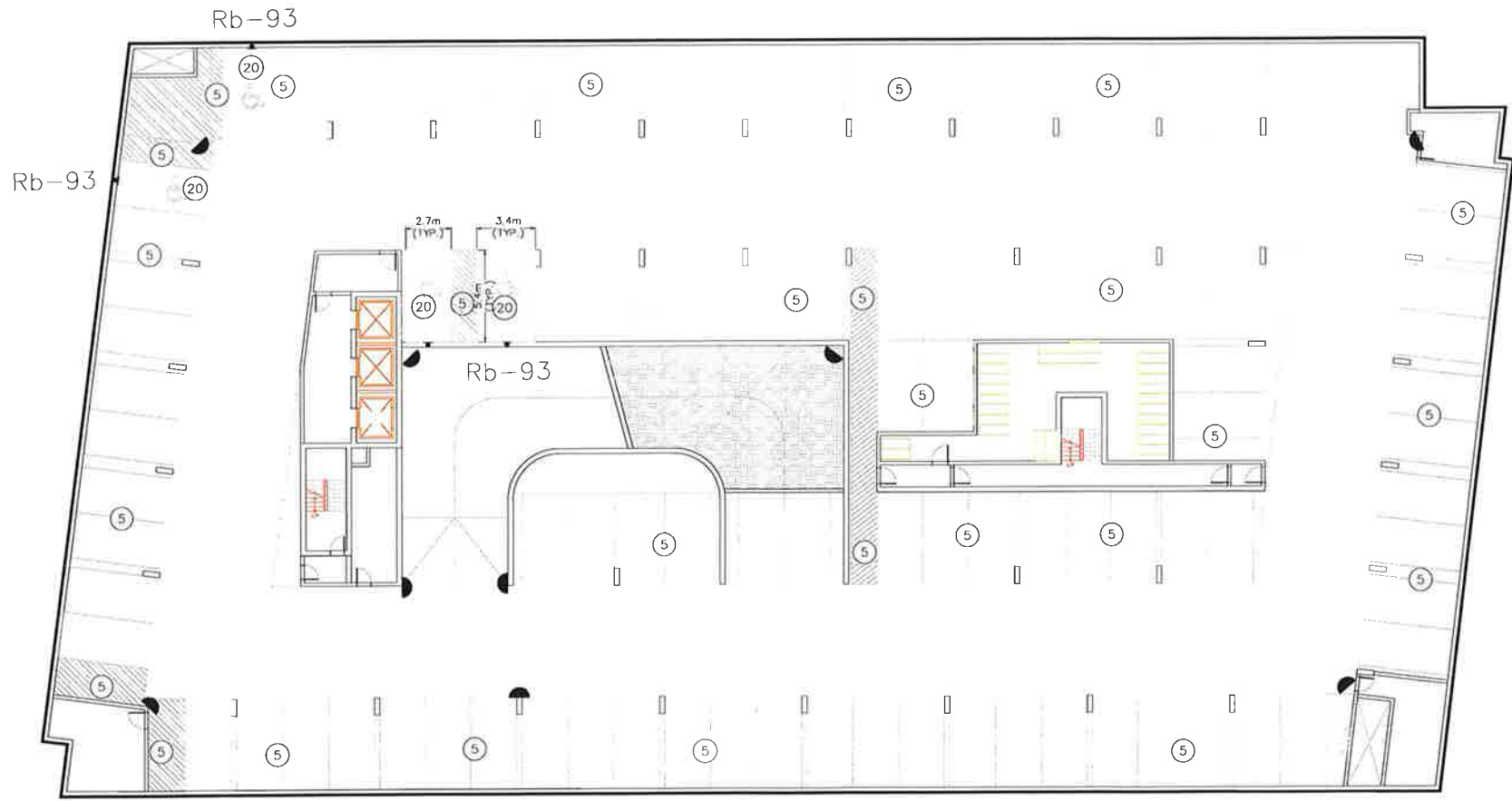
DRAWING NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL BOOK 5 (REGULATORY SIGNS) AND BOOK 11 (PAVEMENT, HAZARD & DELINEATION MARKINGS).
2. PAVEMENT MARKINGS FOR PARKING STALLS TO CONFORM TO OPSS 1712.
3. THIS PLAN IS INTENDED TO SHOW PAVEMENT MARKING AND SIGNAGE DETAILS ONLY. ADDITIONAL DESIGN INFORMATION IS COVERED UNDER SEPARATE PLANS.
4. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC AS PER OPSS 1713 OR FIELD REACTED POLYMERIC (COLD PLASTIC) AS PER OPSS 1714.



1	ISSUED FOR SUBMISSION	2021/OCT/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/DEC/19
Rev	ISSUE / REVISION	YYYY/MM/DD
PROJECT 12035 HURONTARIO STREET CITY OF BRAMPTON		
DRAWING PAVEMENT MARKING AND SIGNAGE PLAN UNDERGROUND LEVEL P1		
		211 YONGE STREET SUITE 800 TORONTO, ON M5B 1M4 416-477-3382 T WWW.CROZIER.CA
Drawn	D.P.O.	Project No. 1942-5702
Check	M.Y.	Scale 1:150
Design	M.C.	Page T302





LEGEND	
	PROPOSED SIGN (WALL, CEILING, OR POLE MOUNTED AS NEEDED)
	PROPOSED CONVEX MIRROR (WALL OR CEILING MOUNTED)

PAVEMENT MARKINGS LEGEND	
	SOLID WHITE, 10cm
	SYMBOLS

NOTES:

- 111, 333, 363, DENOTES PAVEMENT MARKING SPACING (E., 3m LINE, 3m GAP, 3m LINE)
- USE @ TO DENOTE PAVEMENT MARKING
- USE @@ TO DENOTE DURABLE PAVEMENT MARKING

SIGNAGE LEGEND				
SIGN NAME	SIGN NUMBER	SIZE (cm)	OTM BOOK	SECTION
ACCESSIBLE PARKING PERMIT	Rb-93	30x45	5	13

DRAWING NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL BOOK 5 (REGULATORY SIGNS) AND BOOK 11 (PAVEMENT, HAZARD & DELINEATION MARKINGS).
2. PAVEMENT MARKINGS FOR PARKING STALLS TO CONFORM TO OPSS 1712.
3. THIS PLAN IS INTENDED TO SHOW PAVEMENT MARKING AND SIGNAGE DETAILS ONLY. ADDITIONAL DESIGN INFORMATION IS COVERED UNDER SEPARATE PLANS.
4. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC AS PER OPSS 1713 OR FIELD REACTED POLYMERIC (COLD PLASTIC) AS PER OPSS 1714.



1	ISSUED FOR SUBMISSION	2021/JUL/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/OCT/19
No.	ISSUE / REVISION	YYYY/MM/DD
Project		
12035 HURONTARIO STREET CITY OF BRAMPTON		
Drawings		
PAVEMENT MARKING AND SIGNAGE PLAN UNDERGROUND LEVEL P2		
		CROZIER CONSULTING ENGINEERS 211 YONGE STREET TORONTO, ON M5H 1M4 416-477-2392 T WWW.CROZIER.CA
Drawn	D.P.D.	Design
Checked	M.Y.	M.C.
Project No.	1942-5702	Scale
Issue	1:150	Drawn
Section	T303	



**PLAN OF SURVEY OF
PART OF LOT 18
CONCESSION 1,
EAST OF HURONTARIO STREET
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**
SCALE 1:250
C. WAHBA SURVEYING LTD., O.L.S.
METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

INTEGRATION NOTE
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B BY REAL TIME NETWORK (RTN), UTM ZONE 18, AND 83 (CSRS[2010.0])
ORP (A) NORTH 4 843 144.20 EAST 594 600.39
ORP (B) NORTH 4 843 078.13 EAST 594 549.12
COORDINATES ARE UTM ZONE 18, AND 83 (CSRS[2010.0]), TO UTM ACCURACY PER SEC. 14 (2) OF OREG. 216/172, AND CANON. IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES.
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99997.



I Pledge this Plan to be deposited
under the Land Titles Act.

DATE _____ 2022

C. WAHBA
ONTARIO LAND SURVEYOR

PLAN 43R-

RECEIVED AND DEPOSITED

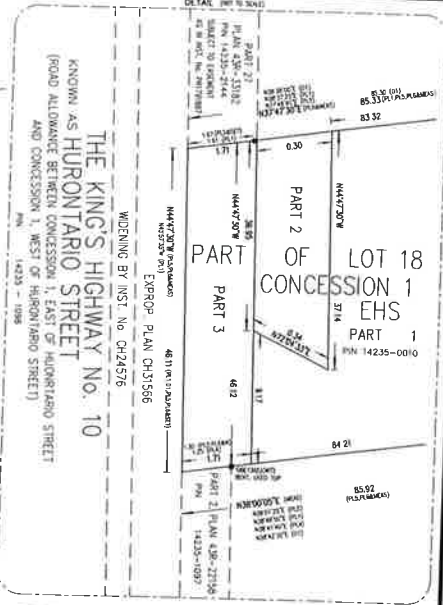
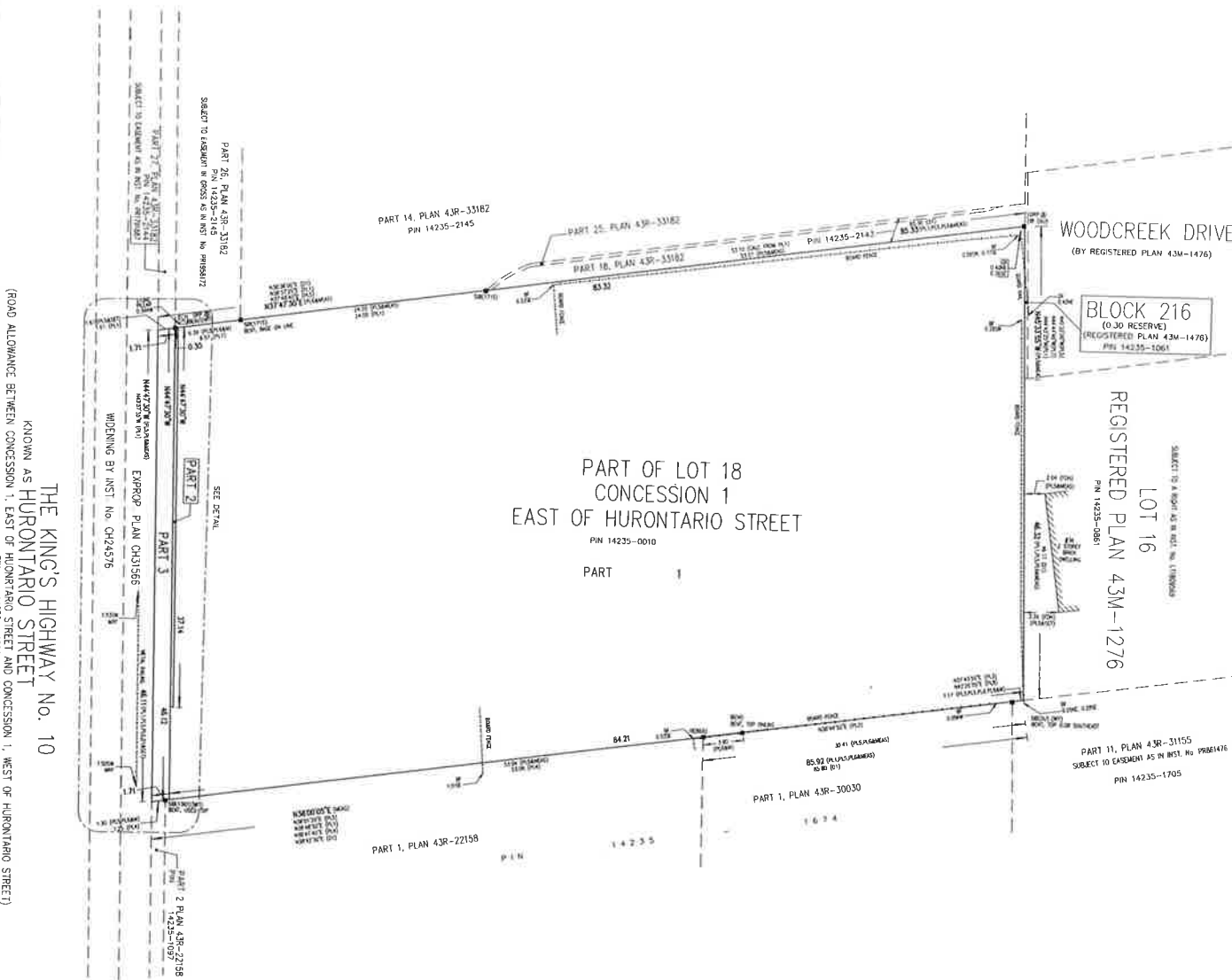
DATE _____ 2022

REPRESENTATIVE FOR LAND REGISTRAR FOR
THE LAND TITLES DIVISION OF PEEL (16-43)

SCHEDULE		
PART	LOT	CONCESSION
1		
2	PART OF 18	CONCESSION 1 EAST OF HURONTARIO STREET
3		ALL OF 14235-0010

NOTES

- M DENOTES MOVEMENT FOUND
- L DENOTES MOVEMENT PLANTED
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- MEAS/M DENOTES MEASURED
- CALC/PROD DENOTES CALCULATED/PRODUCTION
- SPY DENOTES OBSERVED SURVEY POINT
- PLN DENOTES PROPERTY IDENTIFICATION NUMBER
- PL1 DENOTES PLAN 43R-33162
- PL2 DENOTES PLAN 43R-34018
- PL3 DENOTES PLAN 43R-30030
- PL4 DENOTES PLAN 43R-22158
- PL5 DENOTES PLAN OF SURVEY BY J.D. BARNES LTD., O.L.S., DATED DECEMBER 18, 2004
- PL6 DENOTES PLAN OF SURVEY BY C. WAHBA SURVEYING LTD., O.L.S., DATED NOVEMBER 23, 2021
- PL7 DENOTES PLAN 43R-10108
- PL8 DENOTES PLAN 43R-31155
- SI DENOTES INSTRUMENT NO. #0258034
- EHS DENOTES EAST OF HURONTARIO STREET
- (U/I) DENOTES ORIGIN UNKNOWN
- (M/S) DENOTES D.P. WHELAN, O.L.S.
- (T/S) DENOTES R.G. STAGSON, O.L.S.
- (L/S) DENOTES POWAN-STAGSON LTD., O.L.S.
- (W/S) DENOTES WINDS
- (S/E/W) DENOTES SOUTH, SOUTH EAST, WEST
- (E) DENOTES EXPANSION
- (C) DENOTES CORNER (PLANT/POST AND WIRE FENCE)
- (P) DENOTES GUARDRAIL



SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2022.

DATE _____ 2022
C. WAHBA
ONTARIO LAND SURVEYOR
THE PLAN OF SURVEY RELATES TO AOLS SUBMISSION FORM NUMBER _____
DRAWN: SS/EX
CHECKED: C.W.
CAD FILE: 20-078-R01-A
PROJECT No. 20-078

285 Vaughan Valley Blvd. Woodbridge, ON L4H3B5 Tel: 905.851.1300 www.wahbasurveying.com





PROPOSED RESIDENTIAL DEVELOPMENT

12039 HURONTARIO STREET, BRAMPTON, ON L6Z 4P6

A0 00-R4	COVER SHEET
A0 01-R4	PROJECT STATISTICS
A1 00-R4	SITE PLAN
A3 00-R4	P3 PARKING LVL
A3 01-R4	P2 PARKING LVL
A3 02-R4	P1 PARKING LVL
A3 03-R4	GROUND FLOOR / SITE PLAN
A3 04-R4	2ND FLOOR PLAN
A3 05-R4	3RD FLOOR PLAN
A3 06-R4	4TH FLOOR PLAN
A3 07-R4	5TH TO 6TH FLOOR PLAN
A3 08-R4	7TH TO 8TH FLOOR PLAN
A3 09-R4	9TH FLOOR PLAN
A3 10-R4	10TH TO 11TH FLOOR PLAN
A3 11-R4	MECH PENTHOUSE FLOOR PLAN
A3 12-R4	ROOF PLAN
A5 00-R4	SOUTH ELEVATION
A5 01-R4	NORTH ELEVATION
A5 02-R4	EAST ELEVATION
A5 03-R4	WEST ELEVATION
A6 00-R4	SECTION A
A6 01-R4	SECTION B
A6 02-R4	SECTION C
A7 00-R4	3D VIEWS
A7 01-R4	3D VIEWS



SUBJECT SITE
(12039 Hurontario Street)

CONTEXT PLAN

SPA-2022-0106

REVISED (R4) SPA SUBMISSION

COA RESUBMISSION AND ZONING COMMENTS RESPONSE

NOVEMBER 7, 2024



ARUP DATTA
ARCHITECT LTD.

387 - 17th Avenue S.W. CALGARY, ALBERTA
T2S 0A5 Tel: (403) 244-8818 Fax: (403) 244-8882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT INFORMATION

PROPOSED RESIDENTIAL DEVELOPMENT
12039 HURONTARIO STREET, BRAMPTON, ON L6Z 4P8

AREA SUMMARY

Table with 2 columns: Item, Value. Includes Lot Area (Existing), Lot Area (After Road Widening), Lot Coverage, Ground Floor Landscaping Area, Building total GFA (Reduction), Floor Space Index (FSI), Building Height, and Building Height + Mech Pent.

Floor Area Calculations

Large table with columns: FLOOR, GROSS FLOOR (BDO) AREA (GFA)*, RESIDENTIAL UNIT AREA*, COMMON AREA CIRCULATION, RESIDENTIAL LOCKER AREA, RESIDENTIAL INDOOR AMENITY, RESIDENTIAL OUTDOOR AMENITY, GFA EXCLUSION, and GFA REDUCTION**. Rows include BELOW GRADE, P3 Level, P2 Level, P1 Level, SUB-TOTAL, ABOVE GRADE, Ground Floor, 2nd, 3rd, 4th, 5th, 6th, 7th, 8th, 9th, 10th, 11th, PENTHOUSE, and SUB-TOTAL.

NOTE: ALL AREAS SHOWN IN THE TABLE ARE APPROXIMATE ONLY.

* EXCLUDES EXTERIOR PATIOS & BALCONIES

** GFA REDUCTION CALCULATION DO NOT INCLUDE BIKE PARKING, STORAGE, ELEC & MECH. ROOMS, BELOW GRADE FLOORS, ELEVATOR SHAFTS, MECH. PENTHOUSE, PARKING AND STAIR SHAFTS.

Required Vehicle parking- Condominium apartment- (86-2015) 10.9.2 (b)

Table with 5 columns: Residential Parking, Unit type, Parking Rate, No. of Units, Required parking, and Rezoning. Rows include Studio or 1 Bedroom, 2 Bedroom unit, Townhouse Units (2 Bedroom), Visitor Parking, and Total Required Residential Parking.

Proposed Vehicle Parking - Condominium apartment- (86-2015) 10.9.2 (b)

Table with 4 columns: Use, Units, Proposed Supply, and Parking Rate. Rows include Total Residential Unit, Residential Parking, Visitor Parking, and Total Proposed Parking.

Proposed Bicycle Parking

Table with 5 columns: Use, Type, Units/area, Min. Rate, Required Space, and proposed Supply. Rows include Residential with Short-Term (at grade) and Long Term Interior, and Total Bicycle Parking.

Proposed Amenity space

Table with 4 columns: Use, Units, Minimum Requirement, Minimum Required (m2), and Total Proposed (m2). Rows include Indoor Amenity, Outdoor Amenity, and Total Amenity.

UNITS DISTRIBUTION SCHEDULE

Table with 5 columns: FLOOR, 1 BDR, 2 BDR, TH, and TOTALS UNITS. Rows include Main floor, 2nd Floor, 3rd Floor, 4th Floor, 5th Floor, 6th Floor, 7th Floor, 8th Floor, 9th Floor, 10th Floor, 11th Floor, and TOTALS.

Ontario Building Code Data Matrix

Table with 5 columns: Code, Building Code Variable, 0 Reg 2012/12, Last Amendment, and 0 Reg 161/14. Rows include Project Type, Major Occupancy classification, Superimposed Major Occupancies, Building Area (m2), Gross Area (m2), Mezzanine Area (m2), Building Height, High Building, No of Streets Front/Right Access, Building Classification, Sprinkler System, Standpipe System, Fire Alarm System, Water Service Supply is adequate, Construction Type, Importance Category, and Seismic Hazard Index.

DRAWING AND SPECIFICATION ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACT NUMBER REFERRED TO HEREIN...

ARCHITECTURAL
ARUP DATTA ARCHITECT LTD.
257 - 17TH AVENUE, 9TH FLOOR, CALDWAY, BRAMPTON, ON L6Z 4P8

STRUCTURAL
ARUP DATTA ARCHITECT LTD.

MECHANICAL
ARUP DATTA ARCHITECT LTD.

ELECTRICAL
ARUP DATTA ARCHITECT LTD.

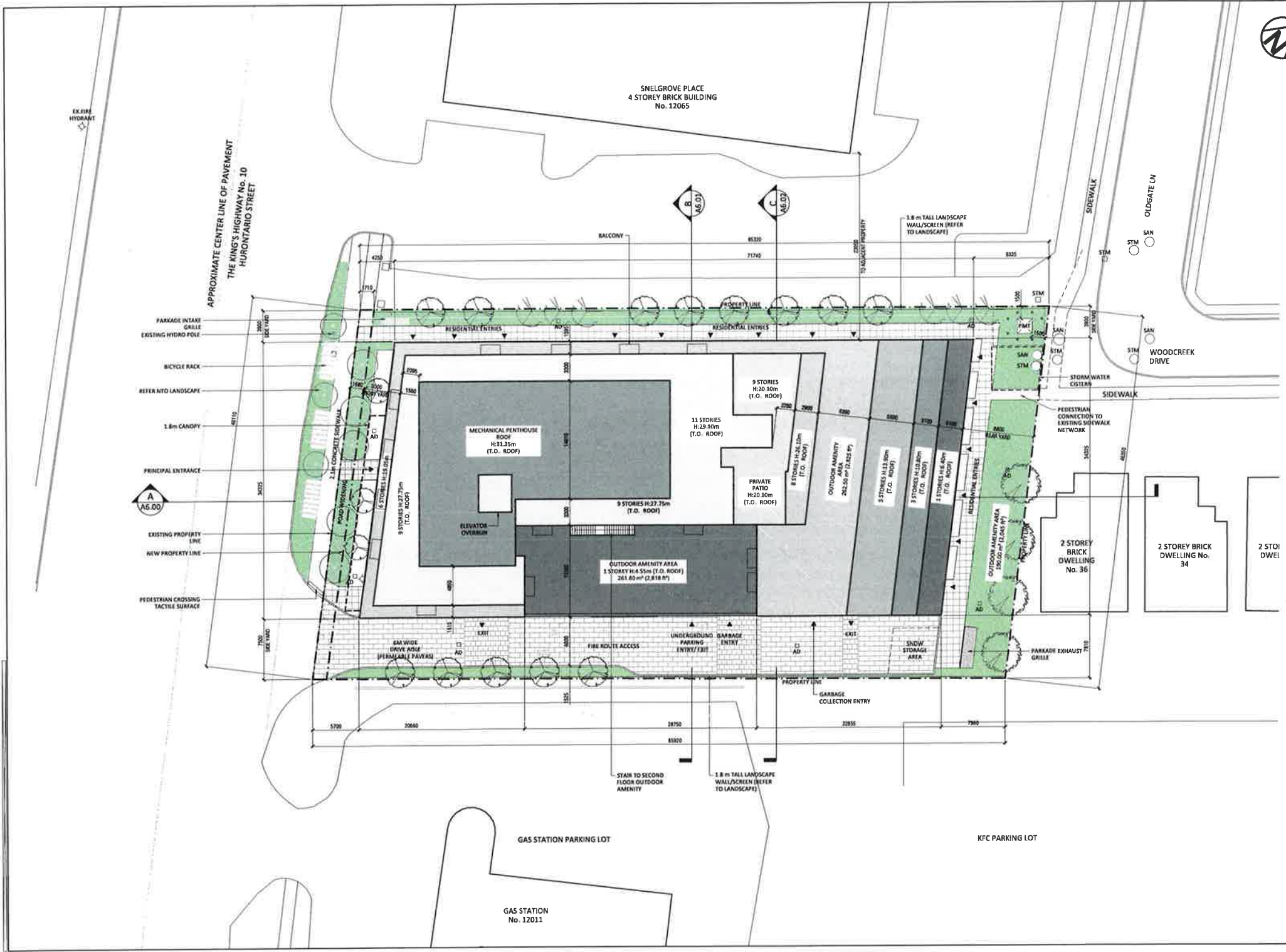
HVAC
ARUP DATTA ARCHITECT LTD.

CIVIL
ARUP DATTA ARCHITECT LTD.

LANDSCAPE
ARUP DATTA ARCHITECT LTD.

Table with 2 columns: No. and Description. Includes SPA-2022-0106 and other project-related entries.

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
DRAWING: PROJECT STATISTICS
DRAWING #: A1.01-R4
SCALE: 1:100
DESIGN BY: AD, DRAWN BY: EA, CHECKED BY: AD



OWNERS AND ENGINEERS SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED TO THE CONSULTANT. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY THE OWNERS OR ENGINEERS. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY THE OWNERS OR ENGINEERS. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY THE OWNERS OR ENGINEERS.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 337 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA, T2C 0G8
 TEL: 403-244-8818 FAX: (403) 244-8827
 E-MAIL: info@arup.com

STRUCTURAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL:
 TEL: (905) 880-8800 FAX: (905) 880-8800
 E-MAIL:

SPA-2022-0106

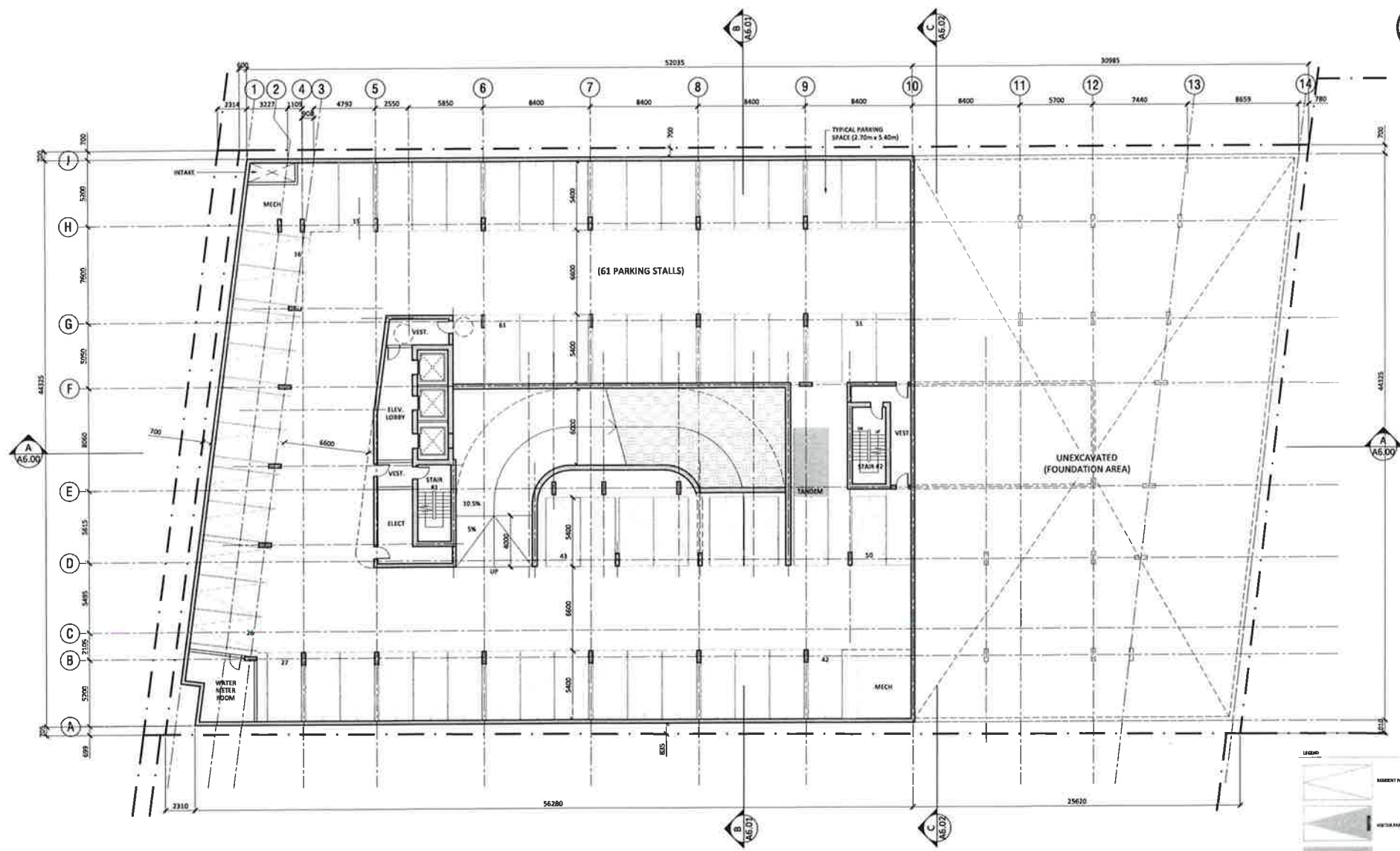
NO.	DATE	DESCRIPTION
1	2022-11-27	ISSUE FOR PERMITS
2	2022-11-27	ISSUE FOR PERMITS
3	2022-11-27	ISSUE FOR PERMITS
4	2022-11-27	ISSUE FOR PERMITS
5	2022-11-27	ISSUE FOR PERMITS
6	2022-11-27	ISSUE FOR PERMITS
7	2022-11-27	ISSUE FOR PERMITS
8	2022-11-27	ISSUE FOR PERMITS
9	2022-11-27	ISSUE FOR PERMITS
10	2022-11-27	ISSUE FOR PERMITS



ARUP DATTA ARCHITECT LTD.
 1008 Hurontario St. Brampton, ON L6Z 4P6
 TEL: 519-751-1111 FAX: 519-751-1112
 E-MAIL: info@arup.com

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1206 Hurontario St. Brampton, ON L6Z 4P6
DRAWING: SITE PLAN

DRAWING #: A1.00-R4
SCALE: 1:100
DESIGN BY: RA **DRAWN BY:** RA **CHECKED BY:** AD



CONFORMS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD., THE COPYRIGHT OWNER. NO REPRODUCTION OR ALTERATION WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND THESE DRAWINGS MUST NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THESE DRAWINGS MUST NOT BE SCALED. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ORDERED BY THE CONSULTANT.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 377 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2M 0K4
 TEL: (403) 244-4811 FAX: (403) 244-0807
 EMAIL: info@arup.ca

LOCAL ARCHITECT
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

SUB-CONSULTANTS: STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0808 FAX: (905) 880-0808
 EMAIL:

SPA-2022-0106

- 1. 2024-11-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 2. 2024-10-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 3. 2024-09-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 4. 2024-08-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 5. 2024-07-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 6. 2024-06-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 7. 2024-05-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 8. 2024-04-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 9. 2024-03-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 10. 2024-02-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 11. 2024-01-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 12. 2023-12-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 13. 2023-11-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 14. 2023-10-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 15. 2023-09-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 16. 2023-08-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 17. 2023-07-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 18. 2023-06-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 19. 2023-05-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 20. 2023-04-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 21. 2023-03-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 22. 2023-02-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 23. 2023-01-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 24. 2022-12-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 25. 2022-11-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 26. 2022-10-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 27. 2022-09-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 28. 2022-08-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 29. 2022-07-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 30. 2022-06-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 31. 2022-05-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 32. 2022-04-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 33. 2022-03-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 34. 2022-02-01: EIA REVIEW & PLANNING COMMENTS RESPONSE
- 35. 2022-01-01: EIA REVIEW & PLANNING COMMENTS RESPONSE

ISSUED FOR / REVISIONS

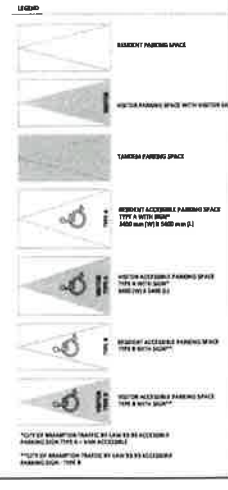
NO.	DATE	DESCRIPTION
1	2022-01-01	ISSUED FOR PERMIT



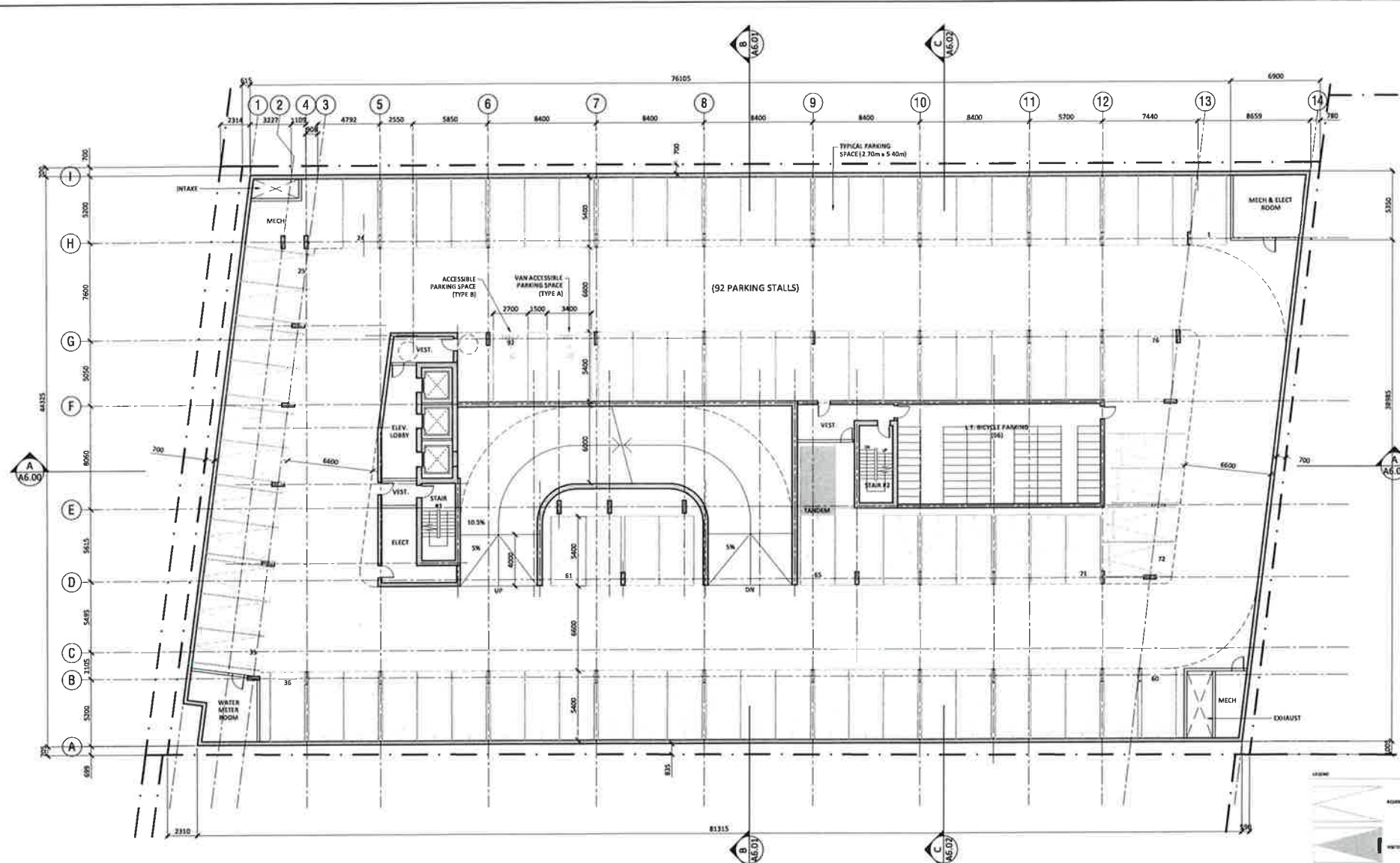
PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1 808 Hurontario St, Nepean, ON L6Z 4P6
DRAWING: P3 PARKING LEVEL

DRAWING #: A3.00-R4

SCALE: 1:100
DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



NOTE: FOR WHEELCHAIR ACCESSIBLE PARKING SPACES, THE 5M X 3M OPTION IS NOT ACCESSIBLE. THE 5M X 5M OPTION IS ACCESSIBLE. THE 5M X 3M OPTION IS NOT ACCESSIBLE. THE 5M X 5M OPTION IS ACCESSIBLE.



DRAWING AND SPECIFICATIONS ARE PREPARED BY ARCHITECT AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COMPANY SHALL BE RESPONSIBLE TO THEM.

NO REPRODUCTION OR USE WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BE TO THE SAME SCALE.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS REFERRED BY THE CONTRACTOR.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 307 - 17TH AVENUE, 8th FLOOR
 TORONTO, ONTARIO M5S 1A6
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

LOCAL ARCHITECT:
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

STRUCTURAL
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

MECHANICAL
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

ELECTRICAL
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

HVAC
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

CIVIL
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

LANDSCAPE
 NAME: ARUP DATTA ARCHITECT LTD.
 ADDRESS: 307 - 17TH AVENUE, 8th FLOOR
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT REVIEW
2	2022-01-12	FOR CLIENT REVIEW
3	2022-01-20	FOR PERMIT REVIEW
4	2022-02-01	FOR PERMIT REVIEW
5	2022-02-15	FOR PERMIT REVIEW
6	2022-02-28	FOR PERMIT REVIEW
7	2022-03-15	FOR PERMIT REVIEW
8	2022-03-30	FOR PERMIT REVIEW
9	2022-04-15	FOR PERMIT REVIEW
10	2022-04-30	FOR PERMIT REVIEW
11	2022-05-15	FOR PERMIT REVIEW
12	2022-05-30	FOR PERMIT REVIEW
13	2022-06-15	FOR PERMIT REVIEW
14	2022-06-30	FOR PERMIT REVIEW

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.

307 - 17TH AVENUE, 8th FLOOR
 TORONTO, ONTARIO M5S 1A6
 TEL: (416) 593-8888 FAX: (416) 593-8889
 E-MAIL: info@arup.com

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT REVIEW
2	2022-01-12	FOR CLIENT REVIEW
3	2022-01-20	FOR PERMIT REVIEW
4	2022-02-01	FOR PERMIT REVIEW
5	2022-02-15	FOR PERMIT REVIEW
6	2022-02-28	FOR PERMIT REVIEW
7	2022-03-15	FOR PERMIT REVIEW
8	2022-03-30	FOR PERMIT REVIEW
9	2022-04-15	FOR PERMIT REVIEW
10	2022-04-30	FOR PERMIT REVIEW
11	2022-05-15	FOR PERMIT REVIEW
12	2022-05-30	FOR PERMIT REVIEW
13	2022-06-15	FOR PERMIT REVIEW
14	2022-06-30	FOR PERMIT REVIEW

PROJECT #: 1701

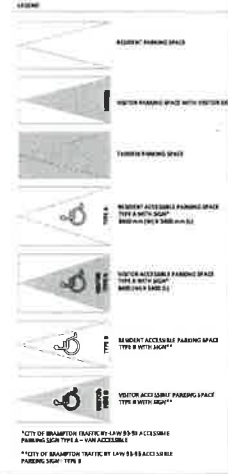
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1208 Hurontario St. Brampton, ON L6Z 4P6

DRAWING:
 P2 PARKING LEVEL

DRAWING #:
 A3.01-R4

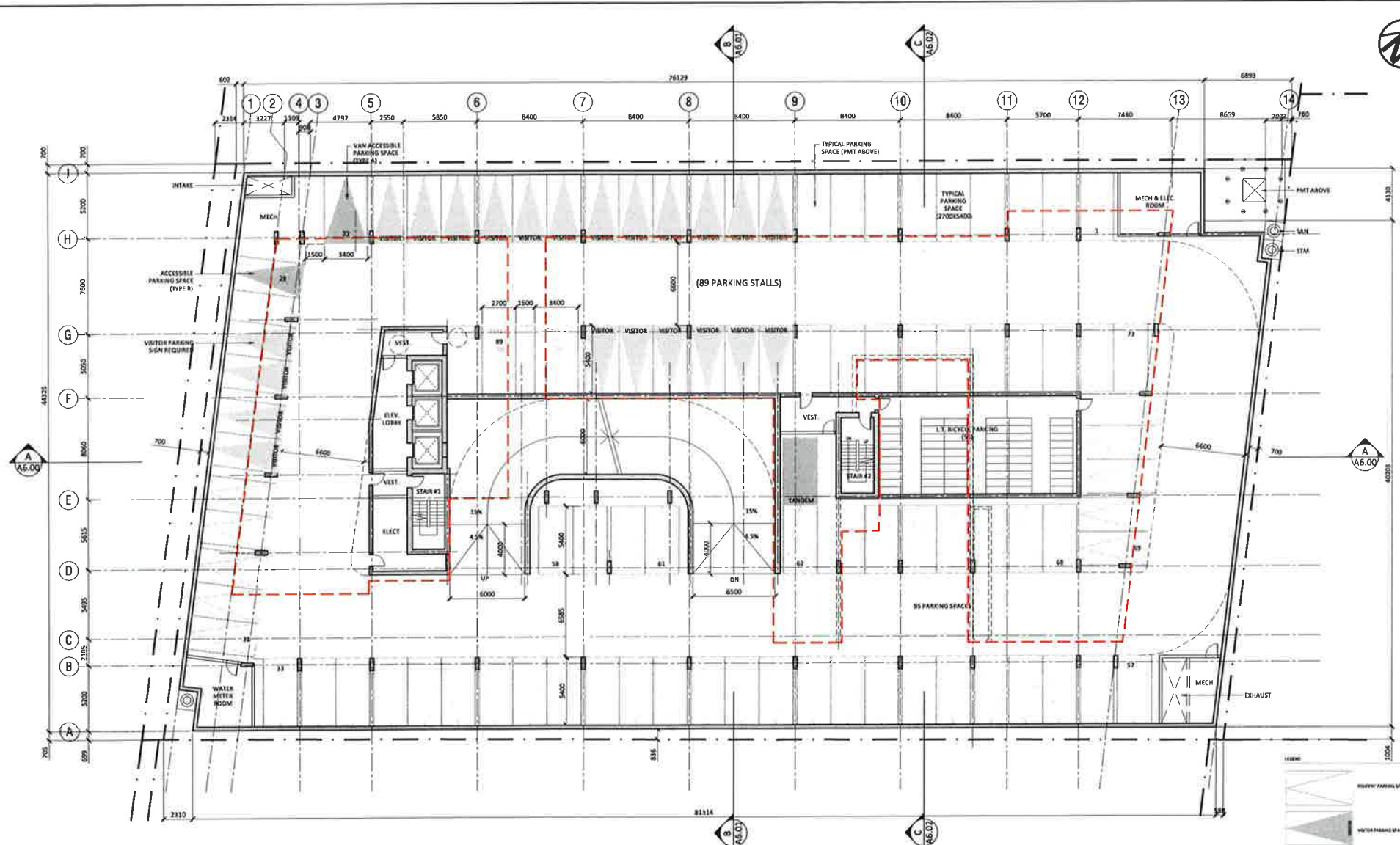
SCALE: 1/8" = 1'-0"

DESIGN BY: AD
CHECKED BY: EA



*CITY OF BRAMPTON (ENACTED BY LAW 55) RE ACCESSIBLE PARKING SIGN TYPE A - VAN ACCESSIBLE

*CITY OF BRAMPTON (ENACTED BY LAW 55) RE ACCESSIBLE PARKING SIGN TYPE B



OWNER AND ENGINEER SHALL BE NOTIFIED OF SERVICES AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COMPANY BEING REFERRED TO HEREIN.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND THEIR ASSOCIATED DESIGN PARTNERS.

THIS DRAWING MUST NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 807 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA, T2M 0K6
 TEL: (403) 244-8888 FAX: (403) 244-8882
 E-MAIL: info@arup.com

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR / REVISIONS



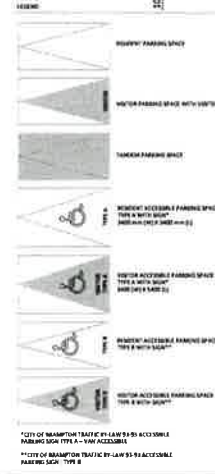
PROJECT #: 1701
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1008 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
 P1 PARKING LEVEL

DRAWING #:
 A3.02-R4

SCALE: 1:100

DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 **NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

THIS DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATA ARCHITECT LTD. THE CONTENTS HEREIN BELONG TO THEM AND NO REPRODUCTION OR LENDING WITHOUT THE PERMISSION OF ARUP DATA ARCHITECT LTD. AND WRITTEN CONSENT IS REQUIRED BY THEM.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ORDERED BY THE CLIENT. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

PROJECT:
HURONTARIO RESIDENTIAL BUILDING

ARCHITECTURAL:
ARUP DATA ARCHITECT LTD.
237-17TH AVENUE, S.W.
CALGARY, ALBERTA T2C 3A5
TEL: (403) 244-8481 FAX: (403) 244-8882
E-MAIL: ARCH@ARUP.COM

STRUCTURAL:
NAME: ADDRESS: CITY: PROVINCE: POSTAL CODE: TEL: FAX: E-MAIL:

MECHANICAL:
NAME: ADDRESS: CITY: PROVINCE: POSTAL CODE: TEL: FAX: E-MAIL:

ELECTRICAL:
NAME: ADDRESS: CITY: PROVINCE: POSTAL CODE: TEL: FAX: E-MAIL:

HVAC:
NAME: ADDRESS: CITY: PROVINCE: POSTAL CODE: TEL: FAX: E-MAIL:

CIVIL:
NAME: ADDRESS: CITY: PROVINCE: POSTAL CODE: TEL: FAX: E-MAIL:

LANDSCAPE:
NAME: ADDRESS: CITY: PROVINCE: POSTAL CODE: TEL: FAX: E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-17	ISSUED FOR PERMITS
2	2022-01-18	ISSUED FOR PRELIMINARY REVIEW
3	2022-01-19	ISSUED FOR PRELIMINARY REVIEW
4	2022-01-20	ISSUED FOR PRELIMINARY REVIEW
5	2022-01-21	ISSUED FOR PRELIMINARY REVIEW
6	2022-01-22	ISSUED FOR PRELIMINARY REVIEW
7	2022-01-23	ISSUED FOR PRELIMINARY REVIEW
8	2022-01-24	ISSUED FOR PRELIMINARY REVIEW
9	2022-01-25	ISSUED FOR PRELIMINARY REVIEW
10	2022-01-26	ISSUED FOR PRELIMINARY REVIEW
11	2022-01-27	ISSUED FOR PRELIMINARY REVIEW
12	2022-01-28	ISSUED FOR PRELIMINARY REVIEW
13	2022-01-29	ISSUED FOR PRELIMINARY REVIEW
14	2022-01-30	ISSUED FOR PRELIMINARY REVIEW
15	2022-01-31	ISSUED FOR PRELIMINARY REVIEW
16	2022-02-01	ISSUED FOR PRELIMINARY REVIEW
17	2022-02-02	ISSUED FOR PRELIMINARY REVIEW
18	2022-02-03	ISSUED FOR PRELIMINARY REVIEW
19	2022-02-04	ISSUED FOR PRELIMINARY REVIEW
20	2022-02-05	ISSUED FOR PRELIMINARY REVIEW
21	2022-02-06	ISSUED FOR PRELIMINARY REVIEW
22	2022-02-07	ISSUED FOR PRELIMINARY REVIEW
23	2022-02-08	ISSUED FOR PRELIMINARY REVIEW
24	2022-02-09	ISSUED FOR PRELIMINARY REVIEW
25	2022-02-10	ISSUED FOR PRELIMINARY REVIEW
26	2022-02-11	ISSUED FOR PRELIMINARY REVIEW
27	2022-02-12	ISSUED FOR PRELIMINARY REVIEW
28	2022-02-13	ISSUED FOR PRELIMINARY REVIEW
29	2022-02-14	ISSUED FOR PRELIMINARY REVIEW
30	2022-02-15	ISSUED FOR PRELIMINARY REVIEW
31	2022-02-16	ISSUED FOR PRELIMINARY REVIEW
32	2022-02-17	ISSUED FOR PRELIMINARY REVIEW
33	2022-02-18	ISSUED FOR PRELIMINARY REVIEW
34	2022-02-19	ISSUED FOR PRELIMINARY REVIEW
35	2022-02-20	ISSUED FOR PRELIMINARY REVIEW
36	2022-02-21	ISSUED FOR PRELIMINARY REVIEW
37	2022-02-22	ISSUED FOR PRELIMINARY REVIEW
38	2022-02-23	ISSUED FOR PRELIMINARY REVIEW
39	2022-02-24	ISSUED FOR PRELIMINARY REVIEW
40	2022-02-25	ISSUED FOR PRELIMINARY REVIEW
41	2022-02-26	ISSUED FOR PRELIMINARY REVIEW
42	2022-02-27	ISSUED FOR PRELIMINARY REVIEW
43	2022-02-28	ISSUED FOR PRELIMINARY REVIEW
44	2022-02-29	ISSUED FOR PRELIMINARY REVIEW
45	2022-03-01	ISSUED FOR PRELIMINARY REVIEW
46	2022-03-02	ISSUED FOR PRELIMINARY REVIEW
47	2022-03-03	ISSUED FOR PRELIMINARY REVIEW
48	2022-03-04	ISSUED FOR PRELIMINARY REVIEW
49	2022-03-05	ISSUED FOR PRELIMINARY REVIEW
50	2022-03-06	ISSUED FOR PRELIMINARY REVIEW
51	2022-03-07	ISSUED FOR PRELIMINARY REVIEW
52	2022-03-08	ISSUED FOR PRELIMINARY REVIEW
53	2022-03-09	ISSUED FOR PRELIMINARY REVIEW
54	2022-03-10	ISSUED FOR PRELIMINARY REVIEW
55	2022-03-11	ISSUED FOR PRELIMINARY REVIEW
56	2022-03-12	ISSUED FOR PRELIMINARY REVIEW
57	2022-03-13	ISSUED FOR PRELIMINARY REVIEW
58	2022-03-14	ISSUED FOR PRELIMINARY REVIEW
59	2022-03-15	ISSUED FOR PRELIMINARY REVIEW
60	2022-03-16	ISSUED FOR PRELIMINARY REVIEW
61	2022-03-17	ISSUED FOR PRELIMINARY REVIEW
62	2022-03-18	ISSUED FOR PRELIMINARY REVIEW
63	2022-03-19	ISSUED FOR PRELIMINARY REVIEW
64	2022-03-20	ISSUED FOR PRELIMINARY REVIEW
65	2022-03-21	ISSUED FOR PRELIMINARY REVIEW
66	2022-03-22	ISSUED FOR PRELIMINARY REVIEW
67	2022-03-23	ISSUED FOR PRELIMINARY REVIEW
68	2022-03-24	ISSUED FOR PRELIMINARY REVIEW
69	2022-03-25	ISSUED FOR PRELIMINARY REVIEW
70	2022-03-26	ISSUED FOR PRELIMINARY REVIEW
71	2022-03-27	ISSUED FOR PRELIMINARY REVIEW
72	2022-03-28	ISSUED FOR PRELIMINARY REVIEW
73	2022-03-29	ISSUED FOR PRELIMINARY REVIEW
74	2022-03-30	ISSUED FOR PRELIMINARY REVIEW
75	2022-03-31	ISSUED FOR PRELIMINARY REVIEW

ARUP DATA ARCHITECT LTD.
1000 HURONTARIO ST., BRAMPTON, ON L6Y 4P8

PROJECT # 1701

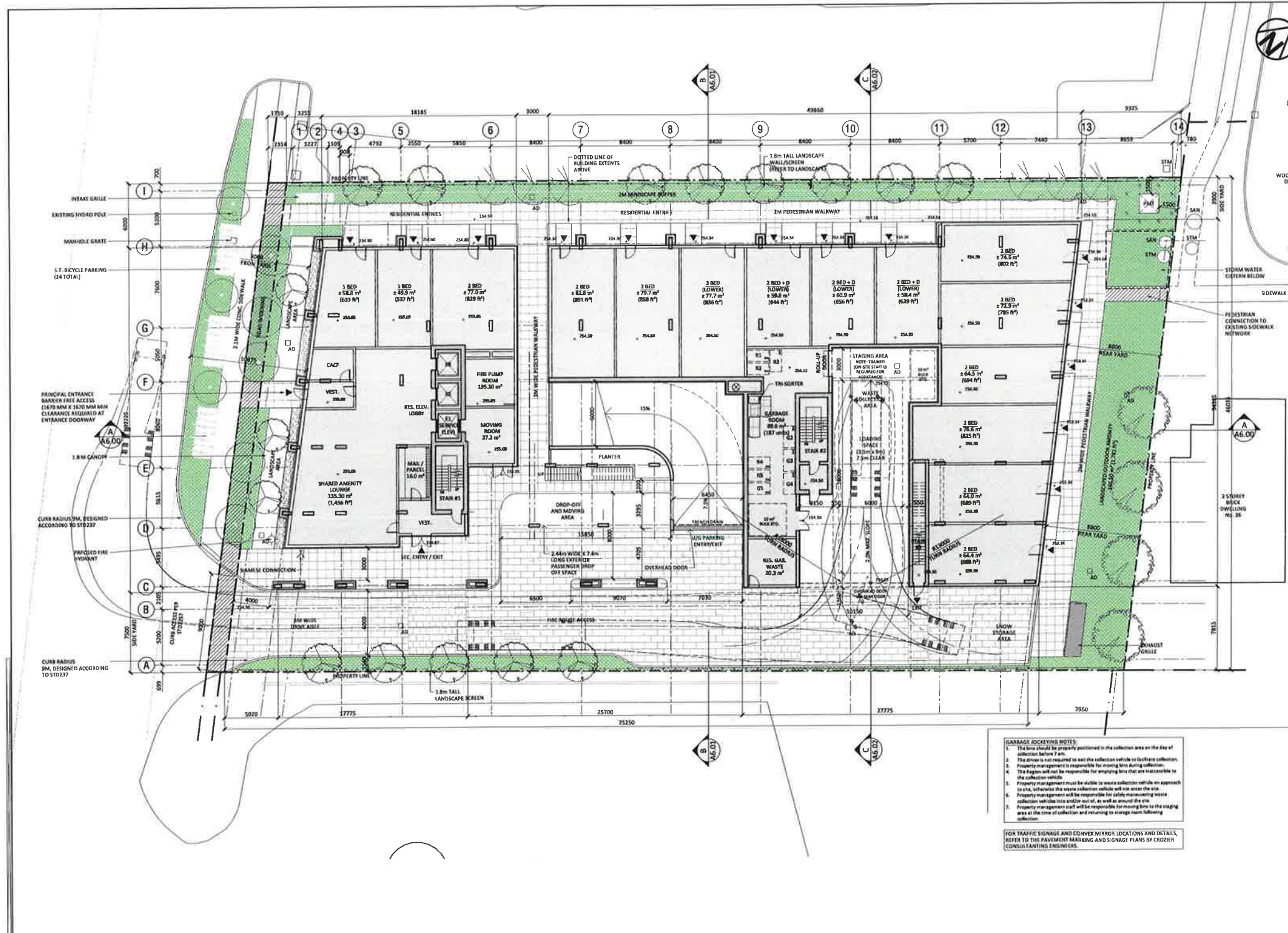
PROJECT:
HURONTARIO RESIDENTIAL BUILDING

DRAWING:
GROUND FLOOR / SITE PLAN

DRAWING #:
A3.03-R4

SCALE: 1/8"=1'-0"

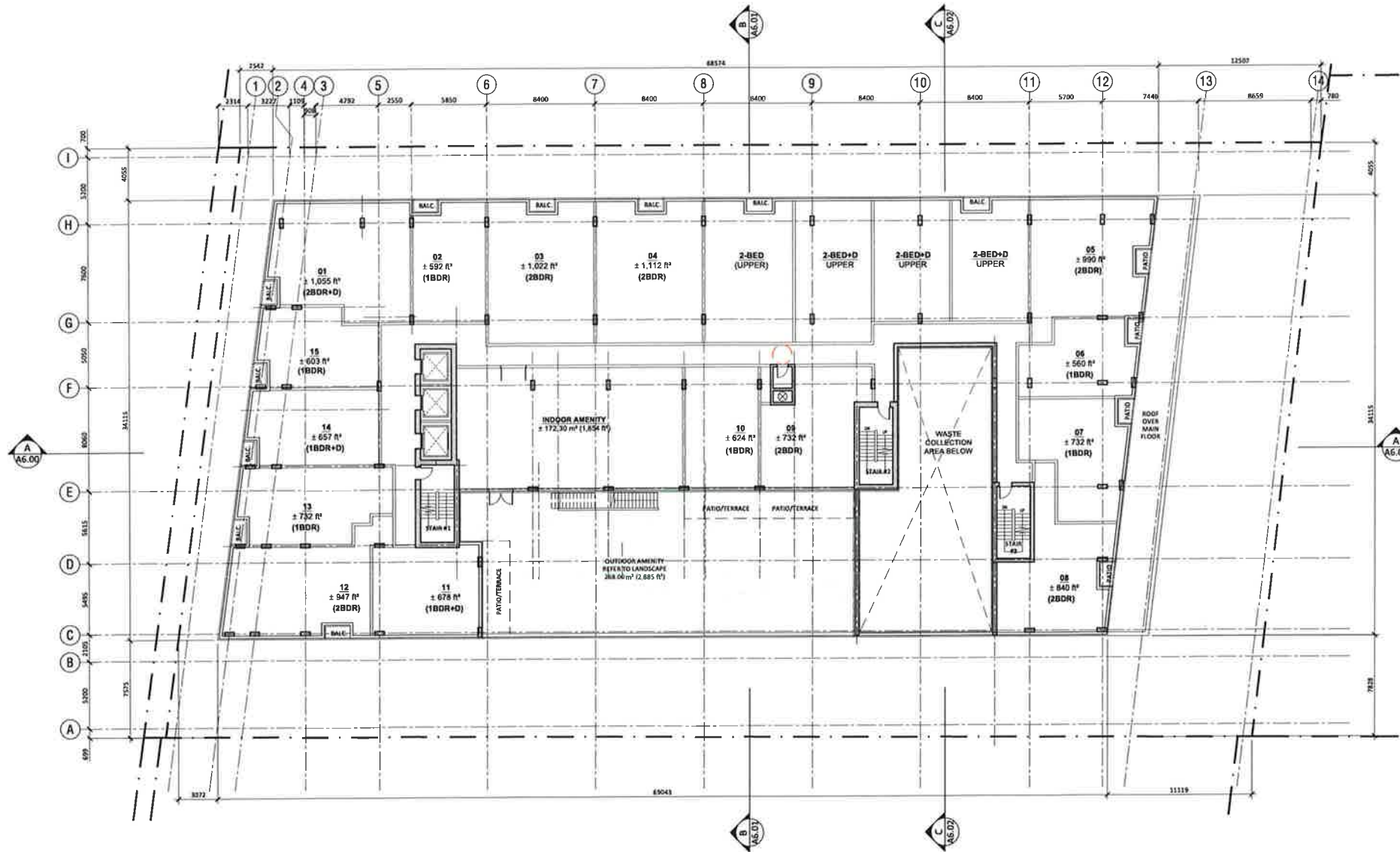
DESIGN BY: AD
DRAWN BY: EA
CHECKED BY: AD



GARBAGE DROPPING NOTES:

- The bins should be properly positioned in the collection area on the day of collection before 7 am.
- The driver is not required to exit the collection vehicle to facilitate collection.
- Property management is responsible for moving bins during collection.
- The Region will not be responsible for emptying bins that are inaccessible to the collection vehicle.
- Property management must be available to assist collection vehicles on approach to site, otherwise the waste collection vehicle will not enter the site.
- Property management will be responsible for safely manoeuvring waste collection vehicles into and/or out of, as well as around the site.
- Property management staff will be responsible for moving bins to the staging area at the time of collection and returning to storage room following collection.

FOR TRAFFIC SIGNAGE AND CONVEY MIRROR LOCATIONS AND DETAILS, REFER TO THE PAVEMENT MARKING AND SIGNAGE PLANS BY CROZIER CONSULTING ENGINEERS.



APPROVED AND EXECUTED AS A REPRESENTATIVE OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEM.

NO ARCHITECTURAL CHANGES SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF ARUP DATTA ARCHITECT LTD. ANY CHANGES MADE SHALL BE NOTED IN THIS DRAWING AND NOT BE SCALE.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS REFERRED BY THE CONSULTANT.

THE CONSULTANT SHALL CHECK AND VERIFY ALL DIMENSIONS AND DATA, AND REPORT ANY DISCREPANCIES TO THE CLIENT BEFORE WORK COMMENCES.

- PRINCIPAL CONSULTANT:**
- ARCHITECTURAL**
- ARUP DATTA ARCHITECT LTD
 337 - 17TH AVENUE, 5TH FLOOR
 CALGARY, ALBERTA, T2M 4K6
 TEL: (403) 243-8888 FAX: (403) 243-8889
 E-MAIL: info@arup.com
- LOCAL ARCHITECT:**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____
- SUB-CONSULTANTS:**
- STRUCTURAL**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____
- MECHANICAL**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____
- ELECTRICAL**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____
- HVAC**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____
- CIVIL**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____
- LANDSCAPE**
- NAME: _____
 ADDRESS: _____
 TEL: _____ FAX: _____
 E-MAIL: _____

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-11-01	ISSUED FOR PERMITS & CONSTRUCTION
2	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
3	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
4	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
5	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
6	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
7	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
8	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
9	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
10	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
11	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
12	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
13	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
14	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
15	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
16	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
17	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
18	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
19	2022-11-01	FOR REVIEW 2ND FLOOR PLAN
20	2022-11-01	FOR REVIEW 2ND FLOOR PLAN

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD

1701 HURONTARIO BL, WINDSOR, ON L9E 4P9

PROJECT #: 1701

PROJECT: HURONTARIO RESIDENTIAL BUILDING

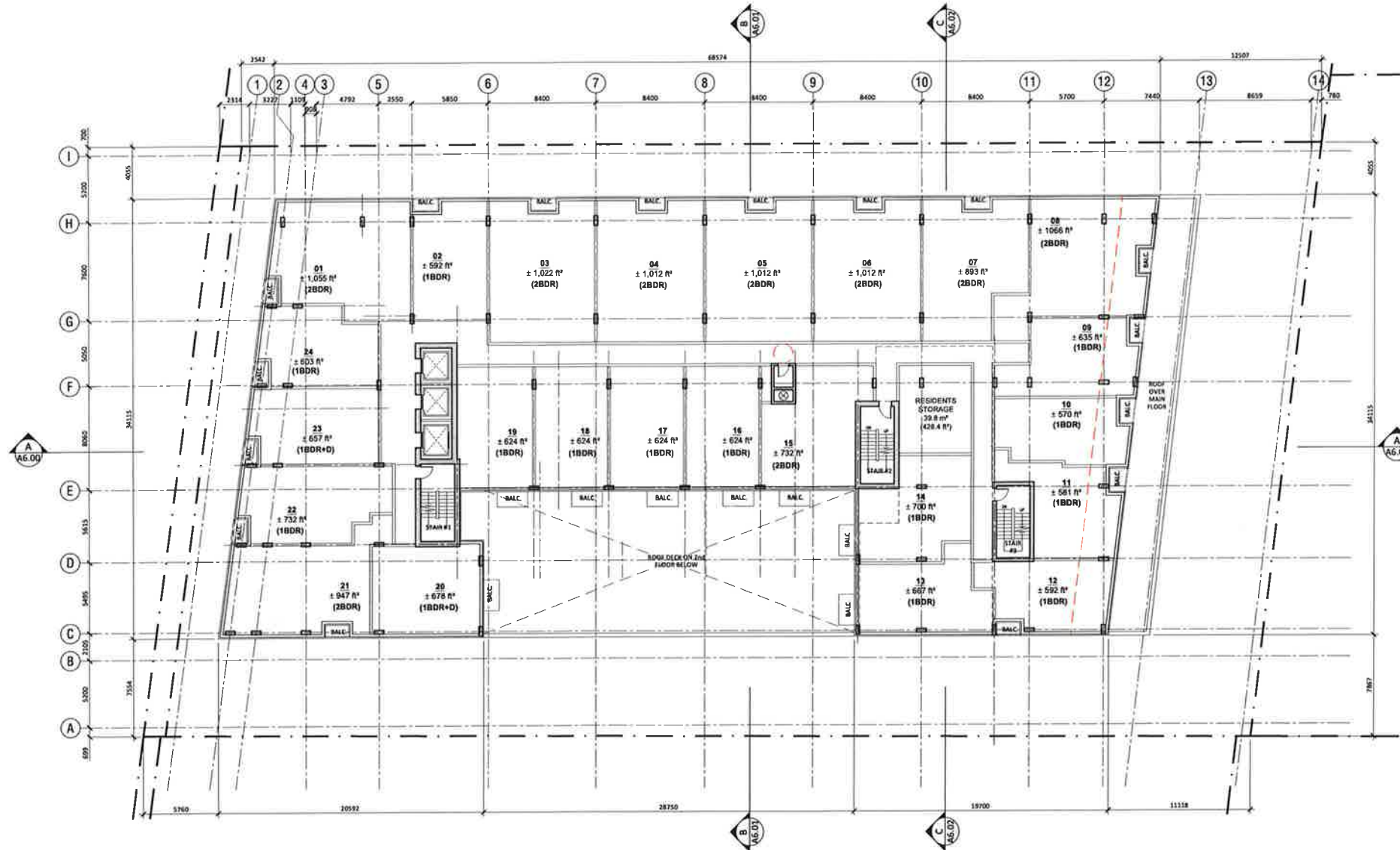
1701 HURONTARIO BL, WINDSOR, ON L9E 4P9

DRAWING: 2ND FLOOR PLAN

DRAWING #: A3.04-R4

SCALE: 1/8" = 1'-0"

DESIGN BY:	DRAWN BY:	CHECKED BY:
AD	EA	AD



APPROVED AND SPECIFIED THIS AS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD., THE COPYRIGHT IS RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WITHOUT WRITTEN NOTICE FROM THEM.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT ERRORS AND OMISSIONS FROM THE COMMENCEMENT OF WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 327, 17TH AVENUE, E W
 CALGARY, ALBERTA T2G 0G6
 TEL: (403) 244-8478 FAX: (403) 244-8807
 EMAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

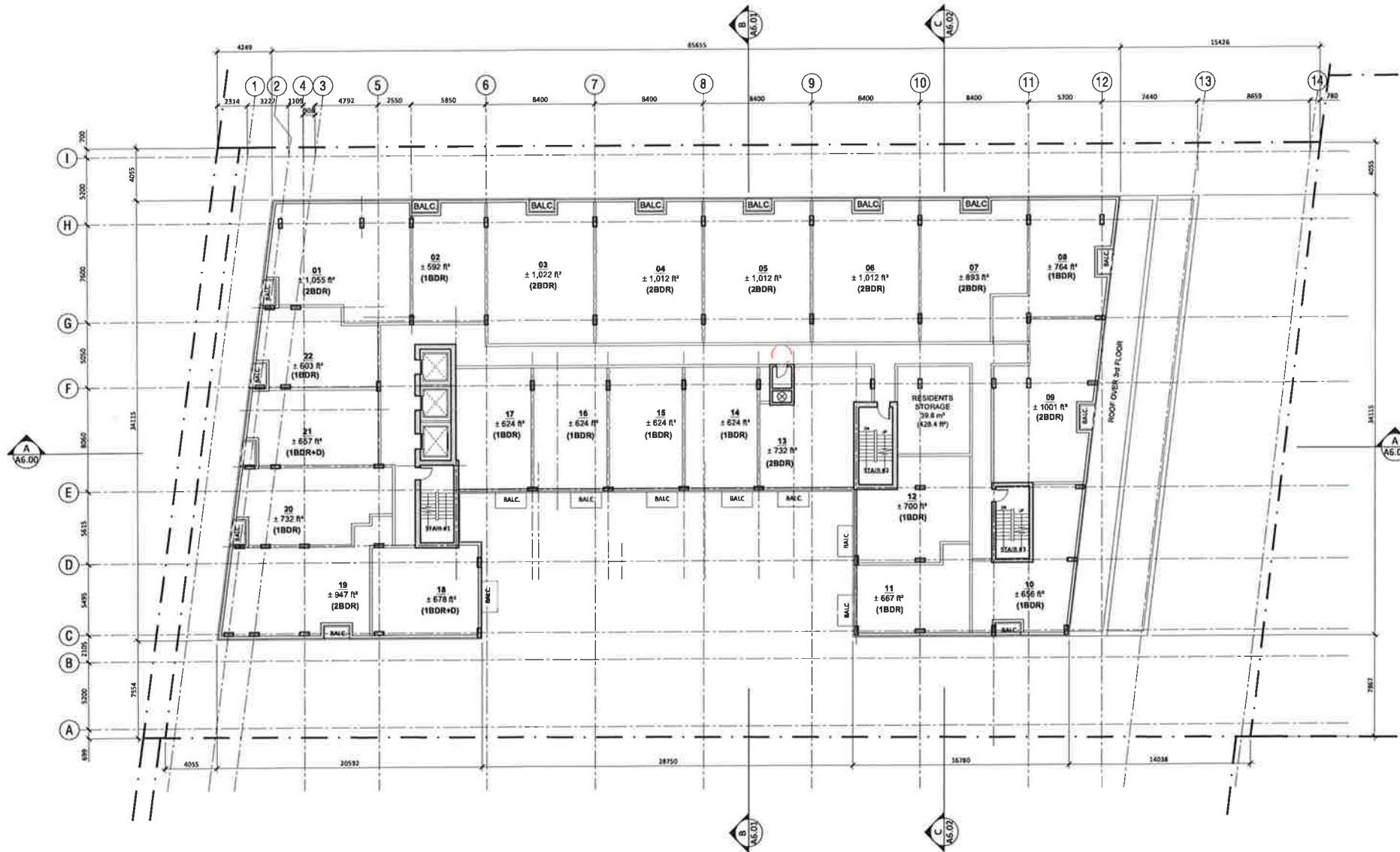
LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL
 BUILDING
 1708 Hurontario St, Brampton, ON L6Z 4P6
 DRAWING:
 3RD FLOOR PLAN
 DRAWING #:
 A3.05-R4
 SCALE:
 1:100
 DESIGN BY: DRAWN BY: CHECKED BY:
 AD BA AD



DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST SHOW ITS SOURCE. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONTRACTOR.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 801 - 1170 AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A8
 TEL: (403) 244-8844 FAX: (403) 244-8847
 E MAIL: arup@atd.ca

LEGAL ARCHITECT
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

STRUCTURAL
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

MECHANICAL
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

ELECTRICAL
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

HVAC
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

CIVIL
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

LANDSCAPE
 NAME: ADORIS
 ADDRESS: CITY PROVINCE POSTAL
 TEL: (905) 880-8000 FAX: (905) 880-0000
 E MAIL:

SPA-2022-0106

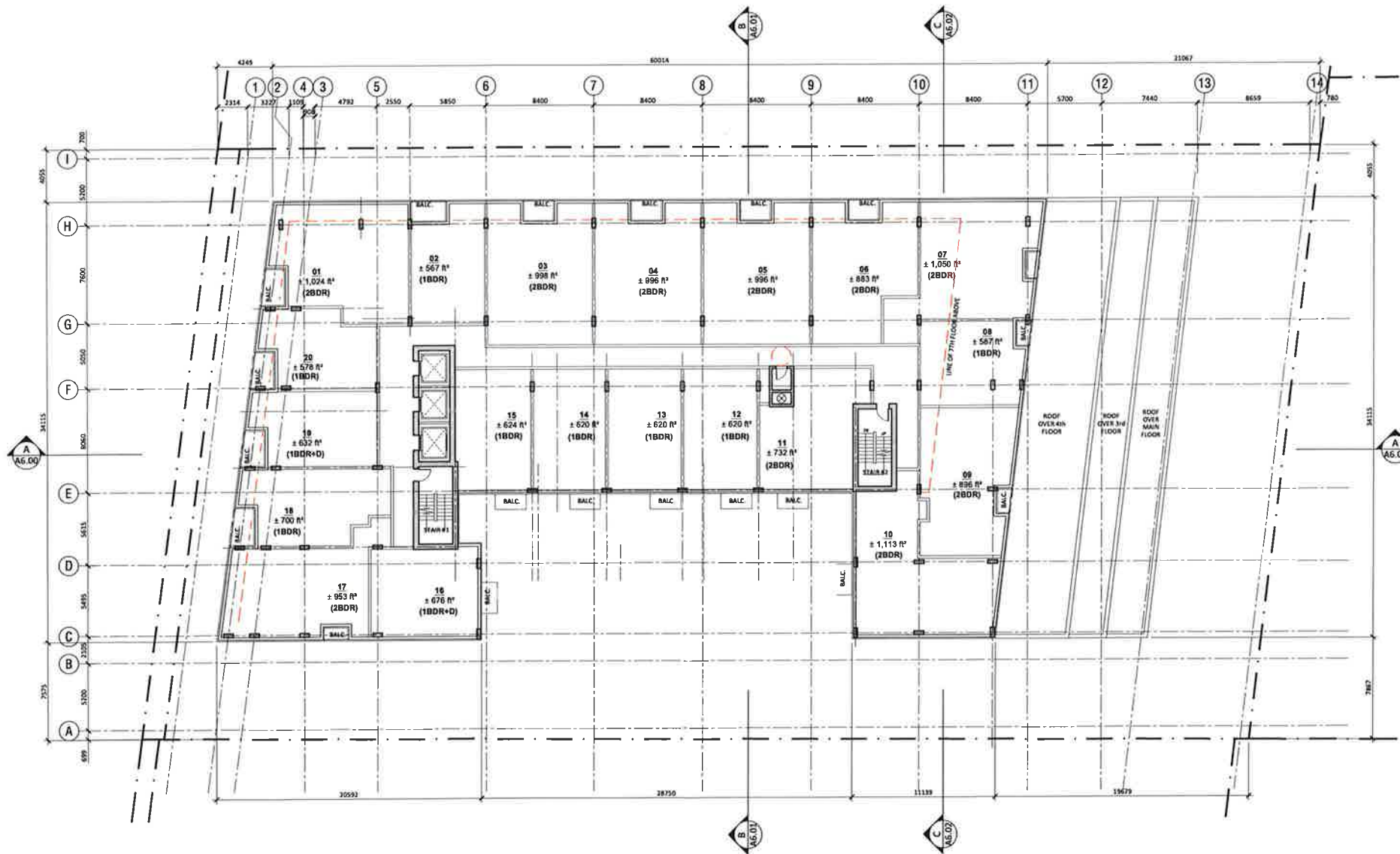
NO.	DATE	DESCRIPTION
1	2024-11-07	ISSUED FOR SUBMISSION
2	2024-11-07	FOR REVIEW (NO COMMENTS)
3	2024-11-07	FOR REVIEW (NO COMMENTS)
4	2024-11-07	FOR REVIEW (NO COMMENTS)
5	2024-11-07	FOR REVIEW (NO COMMENTS)
6	2024-11-07	FOR REVIEW (NO COMMENTS)
7	2024-11-07	FOR REVIEW (NO COMMENTS)
8	2024-11-07	FOR REVIEW (NO COMMENTS)
9	2024-11-07	FOR REVIEW (NO COMMENTS)
10	2024-11-07	FOR REVIEW (NO COMMENTS)
11	2024-11-07	FOR REVIEW (NO COMMENTS)
12	2024-11-07	FOR REVIEW (NO COMMENTS)
13	2024-11-07	FOR REVIEW (NO COMMENTS)
14	2024-11-07	FOR REVIEW (NO COMMENTS)
15	2024-11-07	FOR REVIEW (NO COMMENTS)
16	2024-11-07	FOR REVIEW (NO COMMENTS)
17	2024-11-07	FOR REVIEW (NO COMMENTS)
18	2024-11-07	FOR REVIEW (NO COMMENTS)
19	2024-11-07	FOR REVIEW (NO COMMENTS)
20	2024-11-07	FOR REVIEW (NO COMMENTS)
21	2024-11-07	FOR REVIEW (NO COMMENTS)
22	2024-11-07	FOR REVIEW (NO COMMENTS)

ARUP DATTA ARCHITECT LTD.
 801 - 1170 AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A8
 TEL: (403) 244-8844 FAX: (403) 244-8847
 E MAIL: arup@atd.ca

PROJECT #: 1701
 PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1009 Hurontario St, Brampton, ON L6Z 4P6
 DRAWING: 4TH FLOOR PLAN

DRAWING #: **A3.06-R4**

SCALE: 1:100
 DESIGN BY: DRAWN BY: CHECKED BY:
 AD EA AD



APRUP DATTA ARCHITECTS 1103
 301 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2E 6E4
 TEL: (403) 244-8111 FAX: (403) 244-8888
 WWW: WWW.ARUPDATTA.COM

PROJECT CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECTS 1103
 301 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2E 6E4
 TEL: (403) 244-8111 FAX: (403) 244-8888
 WWW: WWW.ARUPDATTA.COM

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

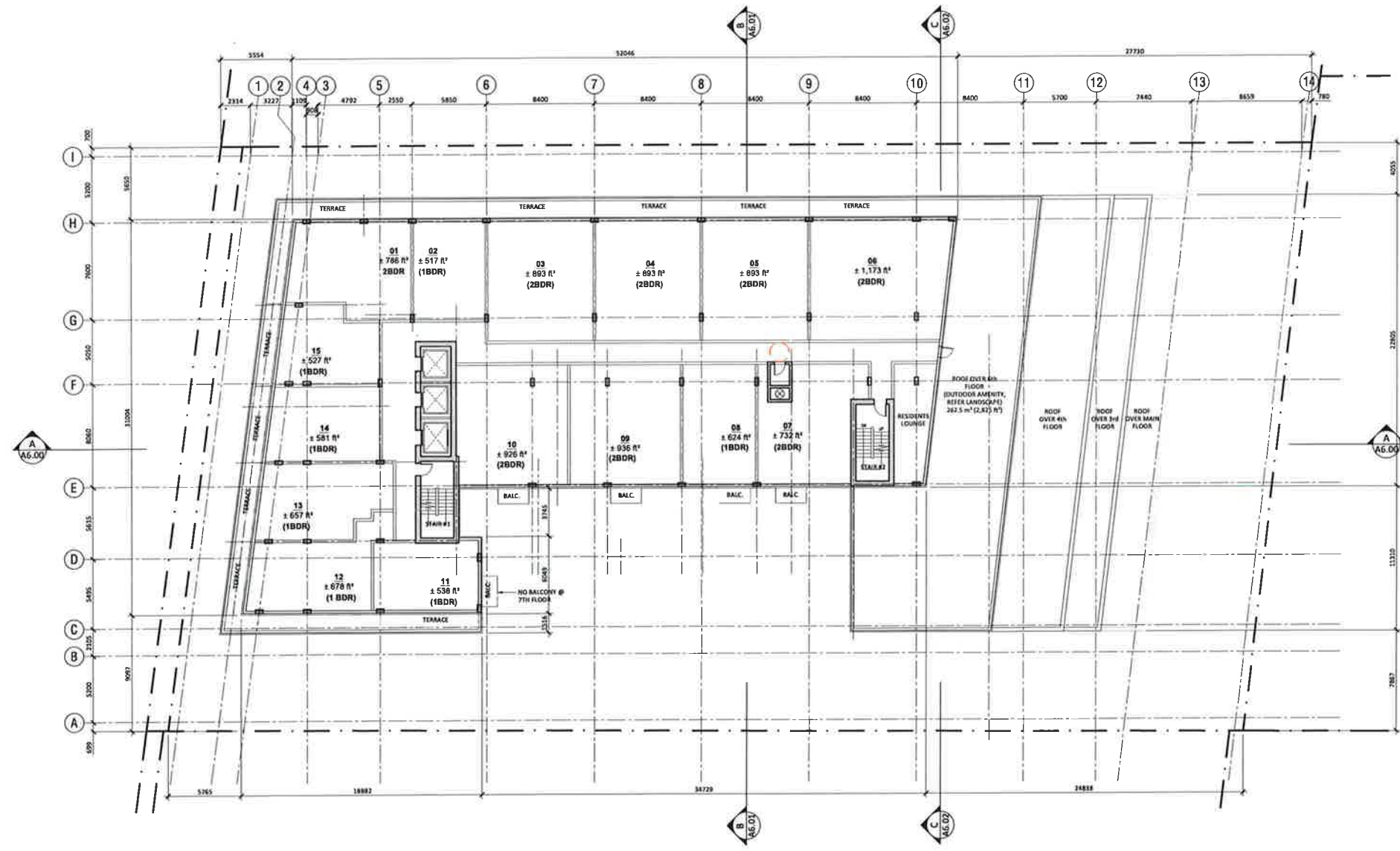
SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
2	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
3	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
4	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
5	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
6	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
7	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
8	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
9	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
10	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
11	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
12	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
13	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
14	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
15	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
16	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
17	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
18	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
19	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
20	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
21	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
22	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
23	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
24	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
25	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
26	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
27	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
28	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
29	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
30	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
31	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
32	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
33	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
34	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
35	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
36	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
37	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
38	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
39	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
40	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
41	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
42	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
43	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
44	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
45	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
46	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
47	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
48	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
49	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)
50	2024-10-27	ISSUE FOR PERMIT (REVISED & CORRECTED)

ISSUED FOR / REVISIONS



PROJECT #: 1701
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1308 Hurontario St. Brampton, ON L6Z 4W6
DRAWING:
 5TH & 6TH FLOOR PLAN
DRAWING #:
 A3.07-R4
SCALE: 1/8"=1'-0"
DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



APPROVED AND SPECIFICATIONS AS REPRESENTED BY SERVICE ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND THEIR WORK MUST BE MADE TO MATCH THE DRAWING AND NOT BE ADDED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED BY THE CLIENT'S LAWYER.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT SPECIAL AND CHANGING FROM TO COMMENCEMENT WORK.

ARCHITECTURAL:
 ARUP DATTA ARCHITECT LTD.
 27 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2C 0A8
 TEL: (403) 244-8118 FAX: (403) 244-8982
 E-MAIL: info@arup.com

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

STRUCTURAL:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

MECHANICAL:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

ELECTRICAL:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

HVAC:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

CIVIL:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

LANDSCAPE:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL CODE:
 TEL: (905) 889-8989 FAX: (905) 889-8989
 E-MAIL:

SPA-2022-0106

NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
6	ISSUED FOR PERMITS
7	ISSUED FOR PERMITS
8	ISSUED FOR PERMITS
9	ISSUED FOR PERMITS
10	ISSUED FOR PERMITS
11	ISSUED FOR PERMITS
12	ISSUED FOR PERMITS
13	ISSUED FOR PERMITS
14	ISSUED FOR PERMITS
15	ISSUED FOR PERMITS
16	ISSUED FOR PERMITS
17	ISSUED FOR PERMITS
18	ISSUED FOR PERMITS
19	ISSUED FOR PERMITS
20	ISSUED FOR PERMITS
21	ISSUED FOR PERMITS
22	ISSUED FOR PERMITS
23	ISSUED FOR PERMITS
24	ISSUED FOR PERMITS
25	ISSUED FOR PERMITS
26	ISSUED FOR PERMITS
27	ISSUED FOR PERMITS
28	ISSUED FOR PERMITS
29	ISSUED FOR PERMITS
30	ISSUED FOR PERMITS
31	ISSUED FOR PERMITS
32	ISSUED FOR PERMITS
33	ISSUED FOR PERMITS
34	ISSUED FOR PERMITS
35	ISSUED FOR PERMITS
36	ISSUED FOR PERMITS
37	ISSUED FOR PERMITS
38	ISSUED FOR PERMITS
39	ISSUED FOR PERMITS
40	ISSUED FOR PERMITS
41	ISSUED FOR PERMITS
42	ISSUED FOR PERMITS
43	ISSUED FOR PERMITS
44	ISSUED FOR PERMITS
45	ISSUED FOR PERMITS
46	ISSUED FOR PERMITS
47	ISSUED FOR PERMITS
48	ISSUED FOR PERMITS
49	ISSUED FOR PERMITS
50	ISSUED FOR PERMITS



ARUP DATTA ARCHITECT LTD.
 27 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2C 0A8
 TEL: (403) 244-8118 FAX: (403) 244-8982
 E-MAIL: info@arup.com

PROJECT #: 1701

PROJECT:
HURONTARIO RESIDENTIAL BUILDING

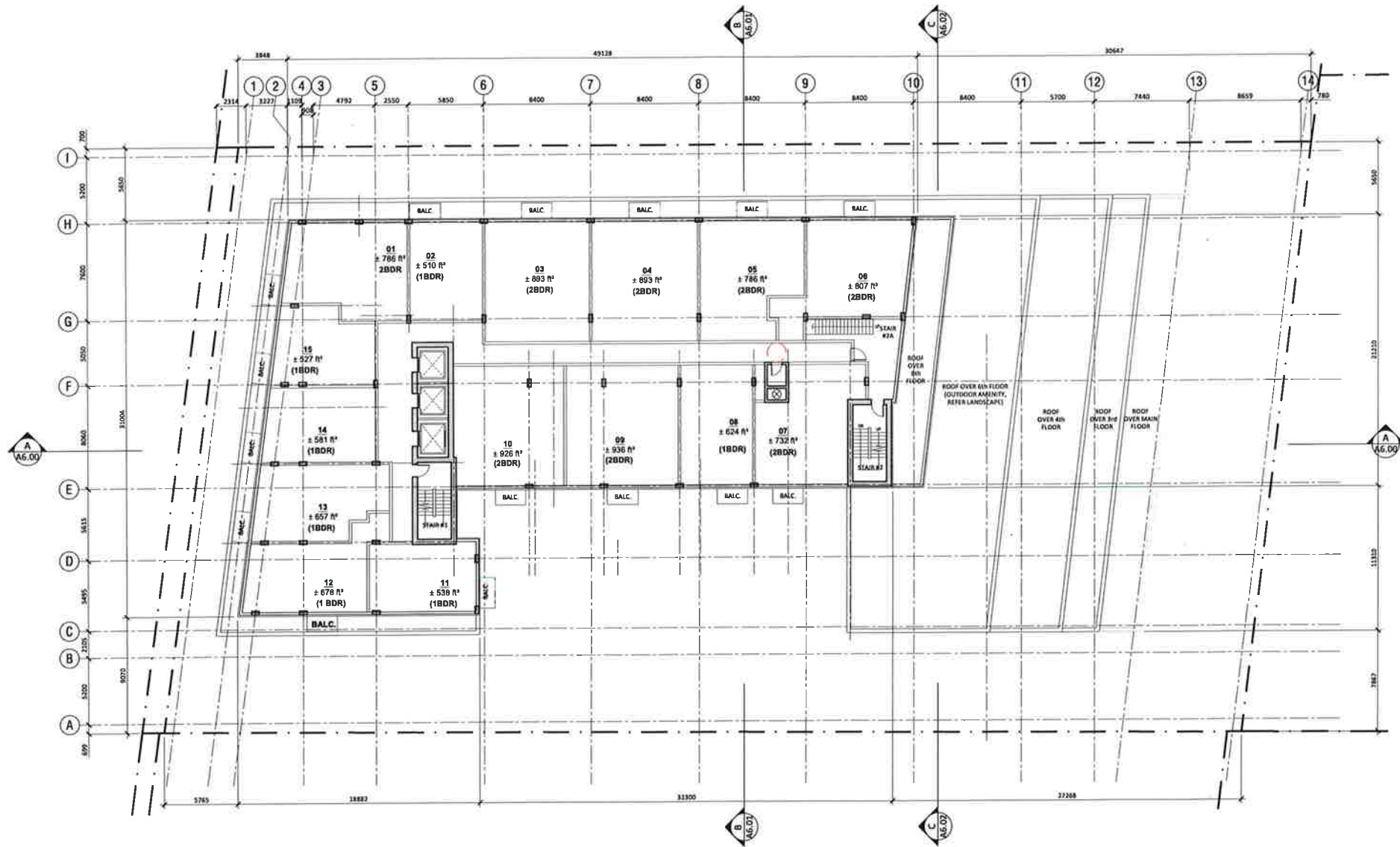
1308 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
7TH & 8TH FLOOR PLAN

DRAWING #:
A3.08-R4

SCALE: 1/8" = 1'-0"

DESIGN BY: AD
 DRAWN BY: SA
 CHECKED BY: AD



STANDARD SPECIFICATIONS OR INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEAR THE NAME.
 THIS DRAWING MUST NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS IN FIELD AND REPORT FINDINGS AND DISCREPANCY PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 307, 17TH AVENUE, 3RD
 CALGARY, ALBERTA, T2M 4K6
 TEL: (403) 244-8811 FAX: (403) 244-8888
 E-MAIL: ARCH@ARUP.COM

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8888 FAX: (403) 244-8888
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-07-15	ISSUED FOR PERMITS
2	2022-07-15	ISSUED FOR PERMITS
3	2022-07-15	ISSUED FOR PERMITS
4	2022-07-15	ISSUED FOR PERMITS
5	2022-07-15	ISSUED FOR PERMITS
6	2022-07-15	ISSUED FOR PERMITS
7	2022-07-15	ISSUED FOR PERMITS
8	2022-07-15	ISSUED FOR PERMITS
9	2022-07-15	ISSUED FOR PERMITS
10	2022-07-15	ISSUED FOR PERMITS
11	2022-07-15	ISSUED FOR PERMITS
12	2022-07-15	ISSUED FOR PERMITS
13	2022-07-15	ISSUED FOR PERMITS
14	2022-07-15	ISSUED FOR PERMITS
15	2022-07-15	ISSUED FOR PERMITS
16	2022-07-15	ISSUED FOR PERMITS
17	2022-07-15	ISSUED FOR PERMITS
18	2022-07-15	ISSUED FOR PERMITS
19	2022-07-15	ISSUED FOR PERMITS
20	2022-07-15	ISSUED FOR PERMITS

ISSUED FOR / REVISIONS

NO.	DATE	DESCRIPTION
1	2022-07-15	ISSUED FOR PERMITS
2	2022-07-15	ISSUED FOR PERMITS
3	2022-07-15	ISSUED FOR PERMITS
4	2022-07-15	ISSUED FOR PERMITS
5	2022-07-15	ISSUED FOR PERMITS
6	2022-07-15	ISSUED FOR PERMITS
7	2022-07-15	ISSUED FOR PERMITS
8	2022-07-15	ISSUED FOR PERMITS
9	2022-07-15	ISSUED FOR PERMITS
10	2022-07-15	ISSUED FOR PERMITS
11	2022-07-15	ISSUED FOR PERMITS
12	2022-07-15	ISSUED FOR PERMITS
13	2022-07-15	ISSUED FOR PERMITS
14	2022-07-15	ISSUED FOR PERMITS
15	2022-07-15	ISSUED FOR PERMITS
16	2022-07-15	ISSUED FOR PERMITS
17	2022-07-15	ISSUED FOR PERMITS
18	2022-07-15	ISSUED FOR PERMITS
19	2022-07-15	ISSUED FOR PERMITS
20	2022-07-15	ISSUED FOR PERMITS

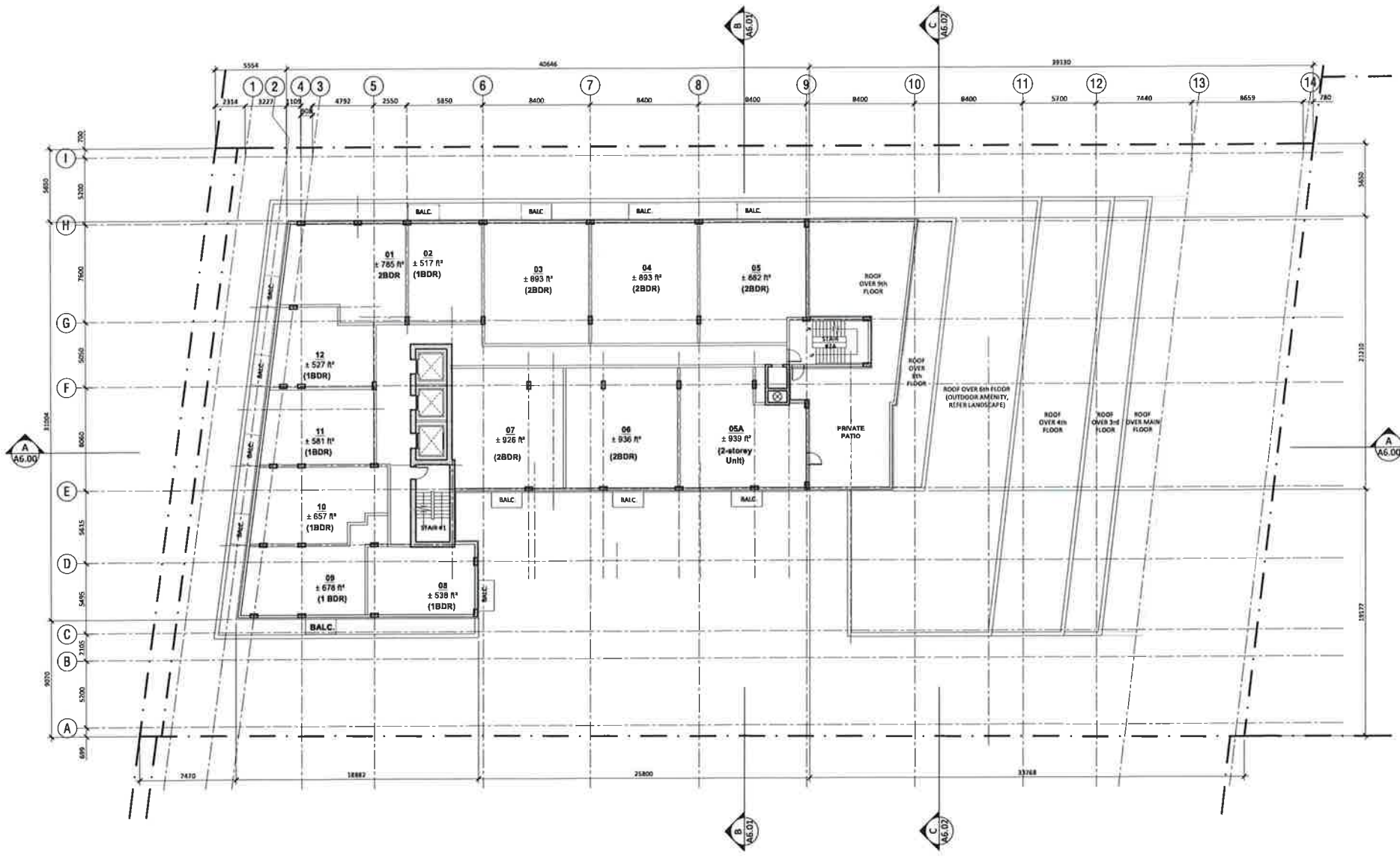
ARUP DATTA ARCHITECT LTD.
 307, 17TH AVENUE, 3RD
 CALGARY, ALBERTA, T2M 4K6
 TEL: (403) 244-8811 FAX: (403) 244-8888
 E-MAIL: ARCH@ARUP.COM

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL
 BUILDING
 1700B Hurontario St, Brampton, ON L6Z 4P6

DRAWING:
 9TH FLOOR PLAN

DRAWING #:
 A3.09-R4

SCALE: 1/8" = 1'-0"
 DESIGN BY: AD
 DRAWN BY: SA
 CHECKED BY: AD



APPROVED AND SPECIFICATED BY INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT BEING RESERVED TO THEM.
 NO REPRODUCTION OR DISTRIBUTION FOR THE PROVISION OF ARUP DATTA ARCHITECT LTD. AND OTHER WORKS HEREIN IS PERMITTED.
 THIS DRAWING MUST NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS ISSUED BY THE ARCHITECT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
 CONSULT WITH THE ARCHITECT FOR ANY CHANGES TO THE DRAWING BEFORE PROCEEDING.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 507 - 11TH AVENUE, 5/F
 TORONTO, ONTARIO M5S 1B5
 TEL: (416) 248-8878 FAX: (416) 248-8882
 E-MAIL: INFO@ARUPDATTAA.COM

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

STRUCTURAL:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

MECHANICAL:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

ELECTRICAL:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

HVAC:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

CIVIL:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

LANDSCAPE:
 NAME:
 ADDRESS:
 CITY/PROVINCE/POSTAL CODE:
 TEL./FAX/EMAIL:
 E-MAIL:

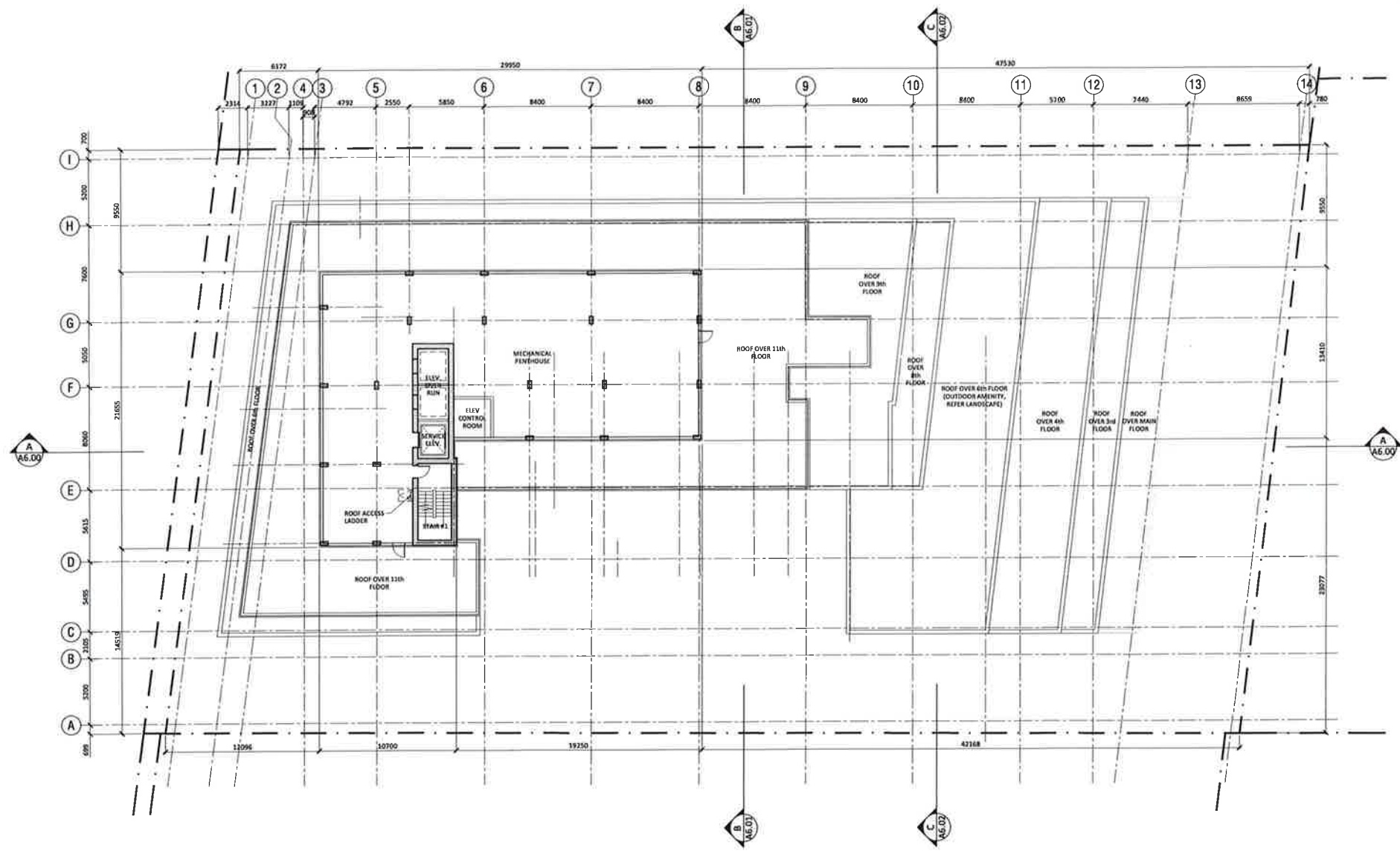
SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT SUBMISSION
2	2022-01-10	FOR CLIENT REVIEW
3	2022-01-15	FOR CLIENT REVIEW
4	2022-01-20	FOR CLIENT REVIEW
5	2022-01-25	FOR CLIENT REVIEW
6	2022-02-01	FOR CLIENT REVIEW
7	2022-02-05	FOR CLIENT REVIEW
8	2022-02-10	FOR CLIENT REVIEW
9	2022-02-15	FOR CLIENT REVIEW
10	2022-02-20	FOR CLIENT REVIEW
11	2022-02-25	FOR CLIENT REVIEW
12	2022-03-01	FOR CLIENT REVIEW
13	2022-03-05	FOR CLIENT REVIEW
14	2022-03-10	FOR CLIENT REVIEW
15	2022-03-15	FOR CLIENT REVIEW
16	2022-03-20	FOR CLIENT REVIEW
17	2022-03-25	FOR CLIENT REVIEW
18	2022-04-01	FOR CLIENT REVIEW
19	2022-04-05	FOR CLIENT REVIEW
20	2022-04-10	FOR CLIENT REVIEW
21	2022-04-15	FOR CLIENT REVIEW
22	2022-04-20	FOR CLIENT REVIEW
23	2022-04-25	FOR CLIENT REVIEW
24	2022-05-01	FOR CLIENT REVIEW
25	2022-05-05	FOR CLIENT REVIEW
26	2022-05-10	FOR CLIENT REVIEW
27	2022-05-15	FOR CLIENT REVIEW
28	2022-05-20	FOR CLIENT REVIEW
29	2022-05-25	FOR CLIENT REVIEW
30	2022-06-01	FOR CLIENT REVIEW
31	2022-06-05	FOR CLIENT REVIEW
32	2022-06-10	FOR CLIENT REVIEW
33	2022-06-15	FOR CLIENT REVIEW
34	2022-06-20	FOR CLIENT REVIEW
35	2022-06-25	FOR CLIENT REVIEW
36	2022-07-01	FOR CLIENT REVIEW
37	2022-07-05	FOR CLIENT REVIEW
38	2022-07-10	FOR CLIENT REVIEW
39	2022-07-15	FOR CLIENT REVIEW
40	2022-07-20	FOR CLIENT REVIEW
41	2022-07-25	FOR CLIENT REVIEW
42	2022-08-01	FOR CLIENT REVIEW
43	2022-08-05	FOR CLIENT REVIEW
44	2022-08-10	FOR CLIENT REVIEW
45	2022-08-15	FOR CLIENT REVIEW
46	2022-08-20	FOR CLIENT REVIEW
47	2022-08-25	FOR CLIENT REVIEW
48	2022-09-01	FOR CLIENT REVIEW
49	2022-09-05	FOR CLIENT REVIEW
50	2022-09-10	FOR CLIENT REVIEW
51	2022-09-15	FOR CLIENT REVIEW
52	2022-09-20	FOR CLIENT REVIEW
53	2022-09-25	FOR CLIENT REVIEW
54	2022-10-01	FOR CLIENT REVIEW
55	2022-10-05	FOR CLIENT REVIEW
56	2022-10-10	FOR CLIENT REVIEW
57	2022-10-15	FOR CLIENT REVIEW
58	2022-10-20	FOR CLIENT REVIEW
59	2022-10-25	FOR CLIENT REVIEW
60	2022-11-01	FOR CLIENT REVIEW
61	2022-11-05	FOR CLIENT REVIEW
62	2022-11-10	FOR CLIENT REVIEW
63	2022-11-15	FOR CLIENT REVIEW
64	2022-11-20	FOR CLIENT REVIEW
65	2022-11-25	FOR CLIENT REVIEW
66	2022-12-01	FOR CLIENT REVIEW
67	2022-12-05	FOR CLIENT REVIEW
68	2022-12-10	FOR CLIENT REVIEW
69	2022-12-15	FOR CLIENT REVIEW
70	2022-12-20	FOR CLIENT REVIEW
71	2022-12-25	FOR CLIENT REVIEW
72	2023-01-01	FOR CLIENT REVIEW
73	2023-01-05	FOR CLIENT REVIEW
74	2023-01-10	FOR CLIENT REVIEW
75	2023-01-15	FOR CLIENT REVIEW
76	2023-01-20	FOR CLIENT REVIEW
77	2023-01-25	FOR CLIENT REVIEW
78	2023-02-01	FOR CLIENT REVIEW
79	2023-02-05	FOR CLIENT REVIEW
80	2023-02-10	FOR CLIENT REVIEW
81	2023-02-15	FOR CLIENT REVIEW
82	2023-02-20	FOR CLIENT REVIEW
83	2023-02-25	FOR CLIENT REVIEW
84	2023-03-01	FOR CLIENT REVIEW
85	2023-03-05	FOR CLIENT REVIEW
86	2023-03-10	FOR CLIENT REVIEW
87	2023-03-15	FOR CLIENT REVIEW
88	2023-03-20	FOR CLIENT REVIEW
89	2023-03-25	FOR CLIENT REVIEW
90	2023-04-01	FOR CLIENT REVIEW
91	2023-04-05	FOR CLIENT REVIEW
92	2023-04-10	FOR CLIENT REVIEW
93	2023-04-15	FOR CLIENT REVIEW
94	2023-04-20	FOR CLIENT REVIEW
95	2023-04-25	FOR CLIENT REVIEW
96	2023-05-01	FOR CLIENT REVIEW
97	2023-05-05	FOR CLIENT REVIEW
98	2023-05-10	FOR CLIENT REVIEW
99	2023-05-15	FOR CLIENT REVIEW
100	2023-05-20	FOR CLIENT REVIEW

ISSUED FOR / REVISIONS
 ARUP DATTA ARCHITECT LTD.
 1308 Hurontario St, Brampton, ON L6T 4R8

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1308 Hurontario St, Brampton, ON L6T 4R8

DRAWING: 10TH & 11TH FLOOR PLAN
DRAWING #: A3.10-R4
SCALE: 1/8" = 1'-0"
DESIGN BY: AD **DRAWN BY:** BA **CHECKED BY:** AD



UNLESS SPECIFICALLY NOTED OTHERWISE, ALL DIMENSIONS AND SPECIFICATIONS ARE WITHIN THE SCOPE OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPECIFICATIONS ON THE FIELD. NO DIMENSIONS SHALL BE TAKEN FROM THIS DRAWING. ALL DIMENSIONS SHALL BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 227, 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2B 3B8
 TEL: (403) 244-8847 FAX: (403) 244-8847
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0800 FAX: (905) 880-0800
 E-MAIL:

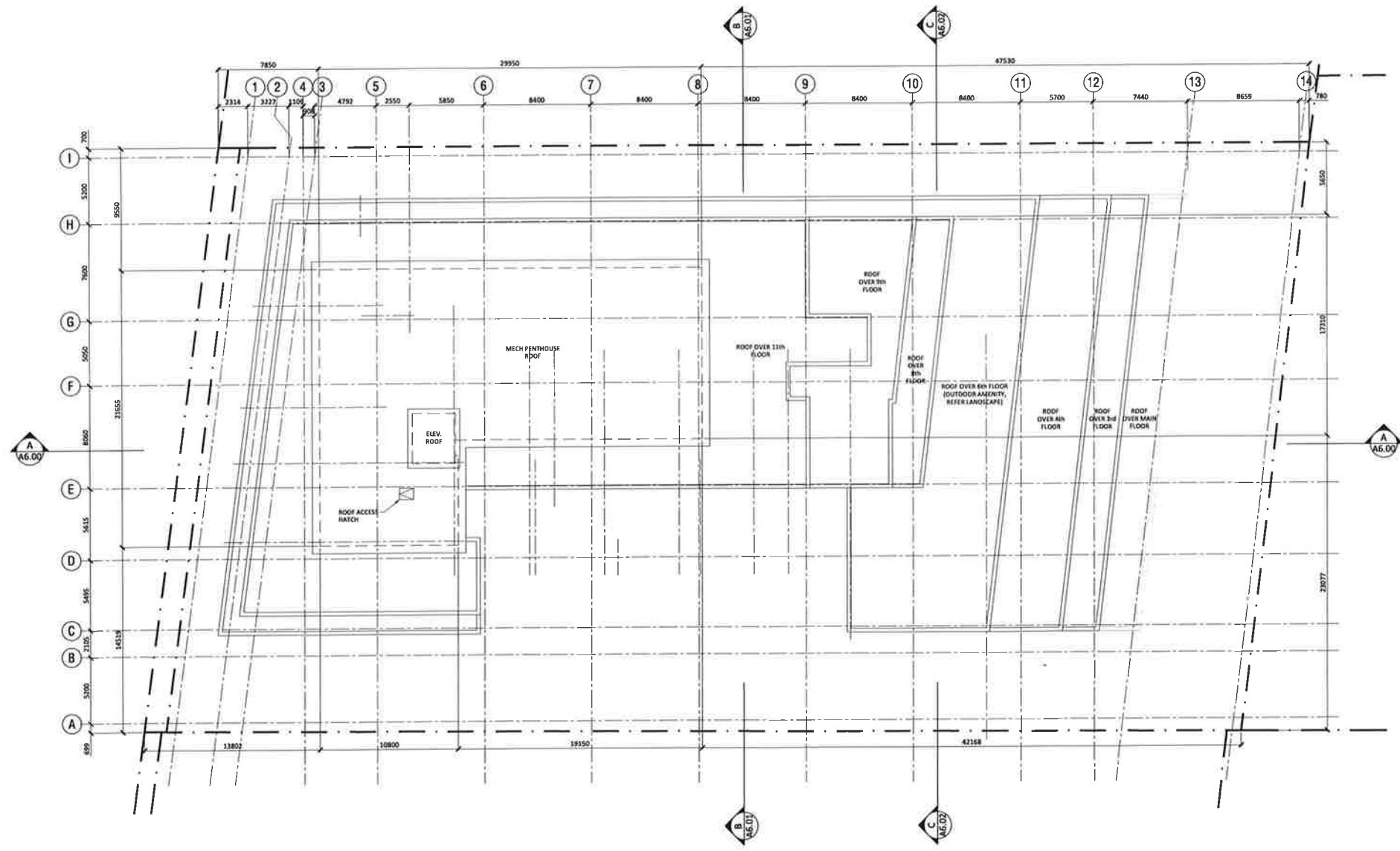
SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-11-27	ISSUED FOR / REVISIONS
2	2024-11-27	ISSUED FOR / REVISIONS
3	2024-11-27	ISSUED FOR / REVISIONS
4	2024-11-27	ISSUED FOR / REVISIONS
5	2024-11-27	ISSUED FOR / REVISIONS
6	2024-11-27	ISSUED FOR / REVISIONS
7	2024-11-27	ISSUED FOR / REVISIONS
8	2024-11-27	ISSUED FOR / REVISIONS
9	2024-11-27	ISSUED FOR / REVISIONS
10	2024-11-27	ISSUED FOR / REVISIONS
11	2024-11-27	ISSUED FOR / REVISIONS
12	2024-11-27	ISSUED FOR / REVISIONS
13	2024-11-27	ISSUED FOR / REVISIONS
14	2024-11-27	ISSUED FOR / REVISIONS
15	2024-11-27	ISSUED FOR / REVISIONS
16	2024-11-27	ISSUED FOR / REVISIONS
17	2024-11-27	ISSUED FOR / REVISIONS
18	2024-11-27	ISSUED FOR / REVISIONS
19	2024-11-27	ISSUED FOR / REVISIONS
20	2024-11-27	ISSUED FOR / REVISIONS



ARUP DATTA ARCHITECT LTD.
 227, 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2B 3B8
 TEL: (403) 244-8847 FAX: (403) 244-8847
 E-MAIL: info@arup.ca

PROJECT #: 1701
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 13088 Hurontario St., Brantford, ON N6Z 4P8
DRAWING:
PENTHOUSE PLAN
DRAWING #:
A3.11-R4
SCALE: 1:150
DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



ISSUANCE AND SPECIFICATIONS AS INSTRUMENT OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND THIS DRAWING MUST BE KEPT IN SEALE.

THIS DRAWING MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS ORDERED BY THE CONTRACTOR.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS IN THIS DRAWING BEFORE ANY COMMENCEMENT OF WORK.

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
 303 - 11TH FLOOR, 300
 CHATEAU ALBERTA, TEL AVI
 TEL: (416) 291-8811 FAX: (416) 291-8811
 2ND FLOOR, 1000 BAYVIEW

LOCAL ARCHITECT

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

SUB-CONSULTANTS

STRUCTURAL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

MECHANICAL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

ELECTRICAL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

HVAC

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

CIVIL

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

LANDSCAPE

NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-8888 FAX: (905) 880-8888
 E MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT
2	2022-01-10	ISSUED FOR PERMIT
3	2022-01-15	ISSUED FOR PERMIT
4	2022-01-20	ISSUED FOR PERMIT
5	2022-01-25	ISSUED FOR PERMIT
6	2022-02-01	ISSUED FOR PERMIT
7	2022-02-05	ISSUED FOR PERMIT
8	2022-02-10	ISSUED FOR PERMIT
9	2022-02-15	ISSUED FOR PERMIT
10	2022-02-20	ISSUED FOR PERMIT
11	2022-02-25	ISSUED FOR PERMIT
12	2022-03-01	ISSUED FOR PERMIT
13	2022-03-05	ISSUED FOR PERMIT
14	2022-03-10	ISSUED FOR PERMIT
15	2022-03-15	ISSUED FOR PERMIT
16	2022-03-20	ISSUED FOR PERMIT
17	2022-03-25	ISSUED FOR PERMIT
18	2022-04-01	ISSUED FOR PERMIT
19	2022-04-05	ISSUED FOR PERMIT
20	2022-04-10	ISSUED FOR PERMIT
21	2022-04-15	ISSUED FOR PERMIT
22	2022-04-20	ISSUED FOR PERMIT
23	2022-04-25	ISSUED FOR PERMIT
24	2022-05-01	ISSUED FOR PERMIT
25	2022-05-05	ISSUED FOR PERMIT
26	2022-05-10	ISSUED FOR PERMIT
27	2022-05-15	ISSUED FOR PERMIT
28	2022-05-20	ISSUED FOR PERMIT
29	2022-05-25	ISSUED FOR PERMIT
30	2022-06-01	ISSUED FOR PERMIT
31	2022-06-05	ISSUED FOR PERMIT
32	2022-06-10	ISSUED FOR PERMIT
33	2022-06-15	ISSUED FOR PERMIT
34	2022-06-20	ISSUED FOR PERMIT
35	2022-06-25	ISSUED FOR PERMIT
36	2022-07-01	ISSUED FOR PERMIT
37	2022-07-05	ISSUED FOR PERMIT
38	2022-07-10	ISSUED FOR PERMIT
39	2022-07-15	ISSUED FOR PERMIT
40	2022-07-20	ISSUED FOR PERMIT
41	2022-07-25	ISSUED FOR PERMIT
42	2022-08-01	ISSUED FOR PERMIT
43	2022-08-05	ISSUED FOR PERMIT
44	2022-08-10	ISSUED FOR PERMIT
45	2022-08-15	ISSUED FOR PERMIT
46	2022-08-20	ISSUED FOR PERMIT
47	2022-08-25	ISSUED FOR PERMIT
48	2022-09-01	ISSUED FOR PERMIT
49	2022-09-05	ISSUED FOR PERMIT
50	2022-09-10	ISSUED FOR PERMIT
51	2022-09-15	ISSUED FOR PERMIT
52	2022-09-20	ISSUED FOR PERMIT
53	2022-09-25	ISSUED FOR PERMIT
54	2022-10-01	ISSUED FOR PERMIT
55	2022-10-05	ISSUED FOR PERMIT
56	2022-10-10	ISSUED FOR PERMIT
57	2022-10-15	ISSUED FOR PERMIT
58	2022-10-20	ISSUED FOR PERMIT
59	2022-10-25	ISSUED FOR PERMIT
60	2022-11-01	ISSUED FOR PERMIT
61	2022-11-05	ISSUED FOR PERMIT
62	2022-11-10	ISSUED FOR PERMIT
63	2022-11-15	ISSUED FOR PERMIT
64	2022-11-20	ISSUED FOR PERMIT
65	2022-11-25	ISSUED FOR PERMIT
66	2022-12-01	ISSUED FOR PERMIT
67	2022-12-05	ISSUED FOR PERMIT
68	2022-12-10	ISSUED FOR PERMIT
69	2022-12-15	ISSUED FOR PERMIT
70	2022-12-20	ISSUED FOR PERMIT
71	2022-12-25	ISSUED FOR PERMIT
72	2023-01-01	ISSUED FOR PERMIT
73	2023-01-05	ISSUED FOR PERMIT
74	2023-01-10	ISSUED FOR PERMIT
75	2023-01-15	ISSUED FOR PERMIT
76	2023-01-20	ISSUED FOR PERMIT
77	2023-01-25	ISSUED FOR PERMIT
78	2023-02-01	ISSUED FOR PERMIT
79	2023-02-05	ISSUED FOR PERMIT
80	2023-02-10	ISSUED FOR PERMIT
81	2023-02-15	ISSUED FOR PERMIT
82	2023-02-20	ISSUED FOR PERMIT
83	2023-02-25	ISSUED FOR PERMIT
84	2023-03-01	ISSUED FOR PERMIT
85	2023-03-05	ISSUED FOR PERMIT
86	2023-03-10	ISSUED FOR PERMIT
87	2023-03-15	ISSUED FOR PERMIT
88	2023-03-20	ISSUED FOR PERMIT
89	2023-03-25	ISSUED FOR PERMIT
90	2023-04-01	ISSUED FOR PERMIT
91	2023-04-05	ISSUED FOR PERMIT
92	2023-04-10	ISSUED FOR PERMIT
93	2023-04-15	ISSUED FOR PERMIT
94	2023-04-20	ISSUED FOR PERMIT
95	2023-04-25	ISSUED FOR PERMIT
96	2023-05-01	ISSUED FOR PERMIT
97	2023-05-05	ISSUED FOR PERMIT
98	2023-05-10	ISSUED FOR PERMIT
99	2023-05-15	ISSUED FOR PERMIT
100	2023-05-20	ISSUED FOR PERMIT



ARUP DATTA ARCHITECT LTD.

1008 Hurontario St, Brampton, ON L6C 4P6

PROJECT #: 1701

PROJECT:
HURONTARIO RESIDENTIAL BUILDING

1008 Hurontario St, Brampton, ON L6C 4P6

DRAWING:
ROOF PLAN

DRAWING #:
A3.12-R4

SCALE: 1:100

DESIGN BY: AD
 DRAWN BY: EA
 CHECKED BY: AD

THIS DRAWING AND SPECIFIC DATA ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT IS RESERVED TO THEM.
 NO REPRODUCTION OR USES WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BE TO THE SCALE.
 THIS DRAWING MUST NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONTRACTOR PURPOSES UNLESS SOIGNED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT (PHONE AND CHANGING) PRIOR TO COMMENCING WORK.

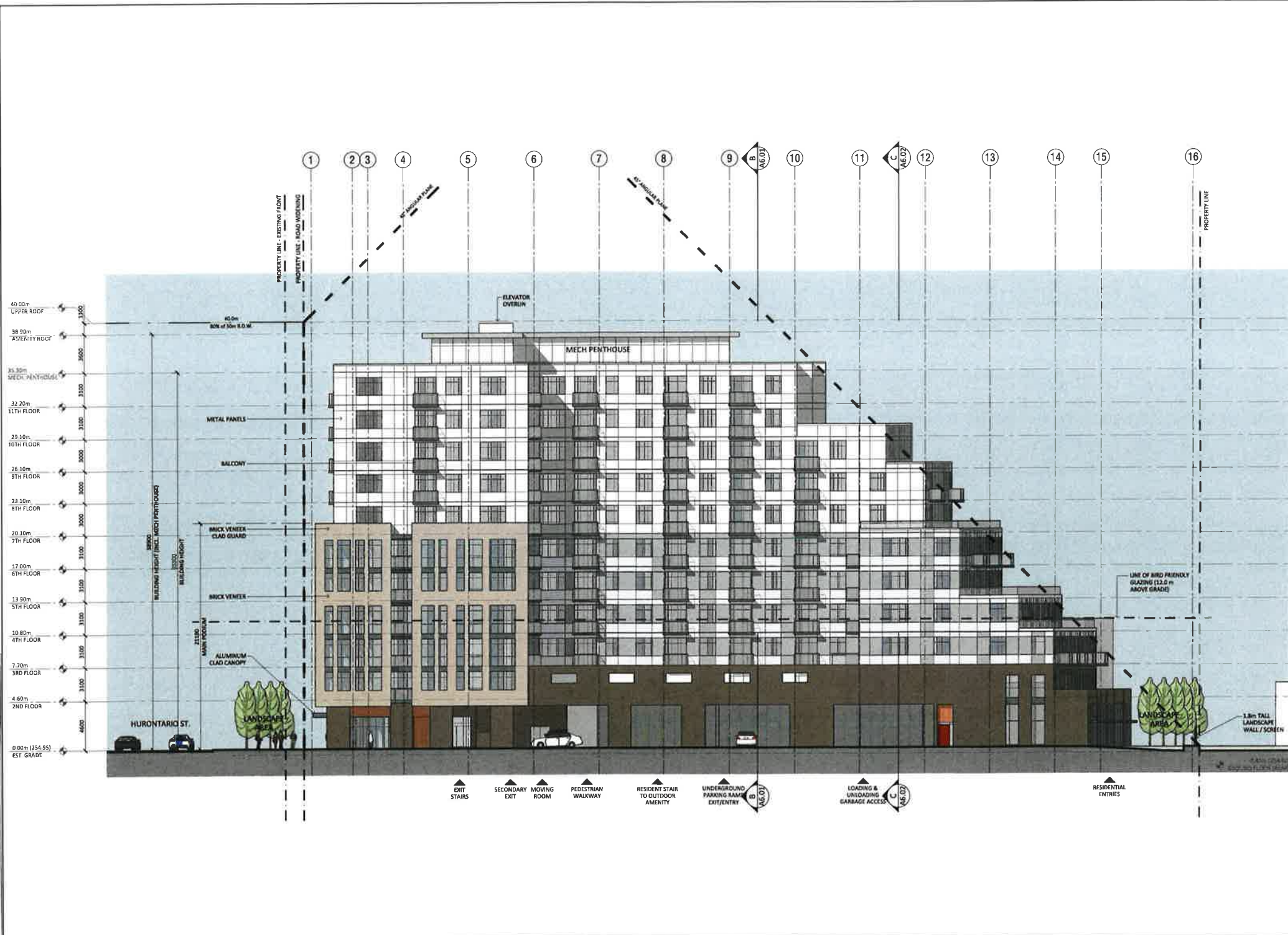
PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 307 - 17TH AVENUE, 5th FL
 CALGARY, ALBERTA, T2E 6E4
 TEL: (403) 244-8872 FAX: (403) 244-8887
 E-MAIL: info@arup.com
LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:
SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:
MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:
ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:
HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:
CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:
LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

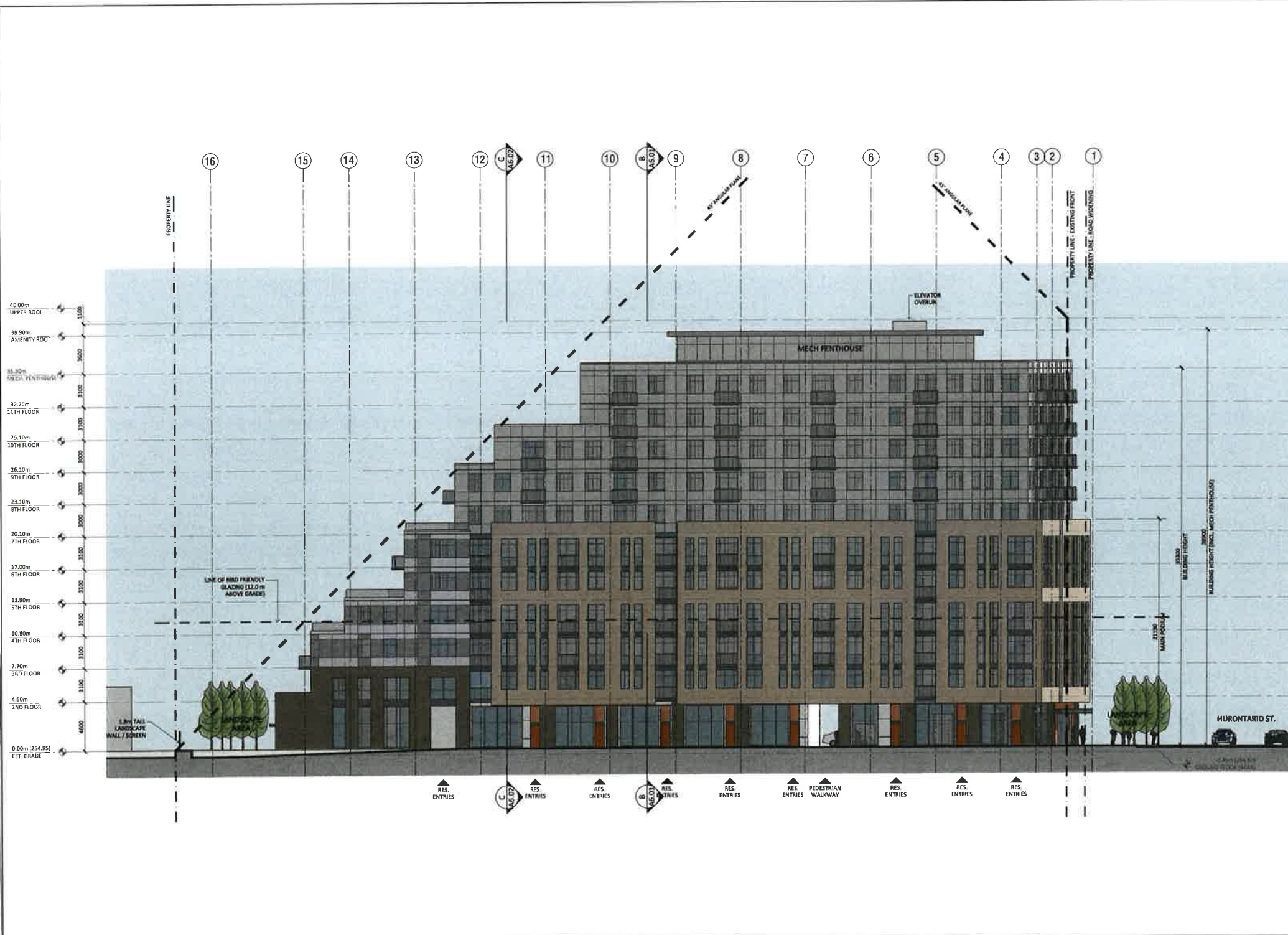
SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-11-27	ISSUED FOR PERMITS & FOUNDATION
2	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
3	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
4	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
5	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
6	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
7	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
8	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
9	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
10	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
11	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
12	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
13	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
14	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
15	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)
16	2022-11-27	FOR REVIEW (2ND DRAWS) (REVISED)

ARUP DATTA ARCHITECT LTD.
 307 - 17TH AVENUE, 5th FL
 CALGARY, ALBERTA, T2E 6E4
 TEL: (403) 244-8872 FAX: (403) 244-8887
 E-MAIL: info@arup.com

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1208 Hurontario St, Brampton, ON L6Z 4P6
 DRAWING:
 SOUTH ELEVATION
 DRAWING #:
A5.00-R4
 SCALE: 1/8" = 1'-0"
 DESIGN BY: AD
 DRAWN BY: BA
 CHECKED BY: AD





DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEM.

NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BE AT THE SAME SCALE.

THIS DRAWING MUST NOT BE SCALED.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SOIGNED BY THE CONTRACTOR.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ANY DISCREPANCIES TO CONSULTING ENGINEER.

- PRIME CONSULTANT:**
- ARCHITECTURAL**
- ARUP DATTA ARCHITECT LTD.
327-17TH AVENUE, S.W.
CALGARY, ALBERTA T2E 2M4
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL: info@arup.com
- LOCAL ARCHITECT:**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:
- SUB-CONSULTANTS:**
- STRUCTURAL**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:
- MECHANICAL**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:
- ELECTRICAL**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:
- HVAC**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:
- CIVIL**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:
- LANDSCAPE**
- NAME:
ADDRESS:
CITY, PROVINCE, POSTAL CODE:
TEL: (403) 244-8111 FAX: (403) 244-8888
E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-11-01	ISSUE FOR PERMITS & CIVIL COMMENTS
2	2024-11-01	REVISED PER CIVIL COMMENTS
3	2024-11-01	REVISED PER CIVIL COMMENTS
4	2024-11-01	REVISED PER CIVIL COMMENTS
5	2024-11-01	REVISED PER CIVIL COMMENTS
6	2024-11-01	REVISED PER CIVIL COMMENTS
7	2024-11-01	REVISED PER CIVIL COMMENTS
8	2024-11-01	REVISED PER CIVIL COMMENTS
9	2024-11-01	REVISED PER CIVIL COMMENTS
10	2024-11-01	REVISED PER CIVIL COMMENTS
11	2024-11-01	REVISED PER CIVIL COMMENTS
12	2024-11-01	REVISED PER CIVIL COMMENTS
13	2024-11-01	REVISED PER CIVIL COMMENTS
14	2024-11-01	REVISED PER CIVIL COMMENTS
15	2024-11-01	REVISED PER CIVIL COMMENTS
16	2024-11-01	REVISED PER CIVIL COMMENTS



ARUP DATTA ARCHITECT LTD.
1000 HURONTARIO ST. TORONTO, ON M5G 1A8
TEL: (416) 593-8888 FAX: (416) 593-8889
E-MAIL: info@arup.com

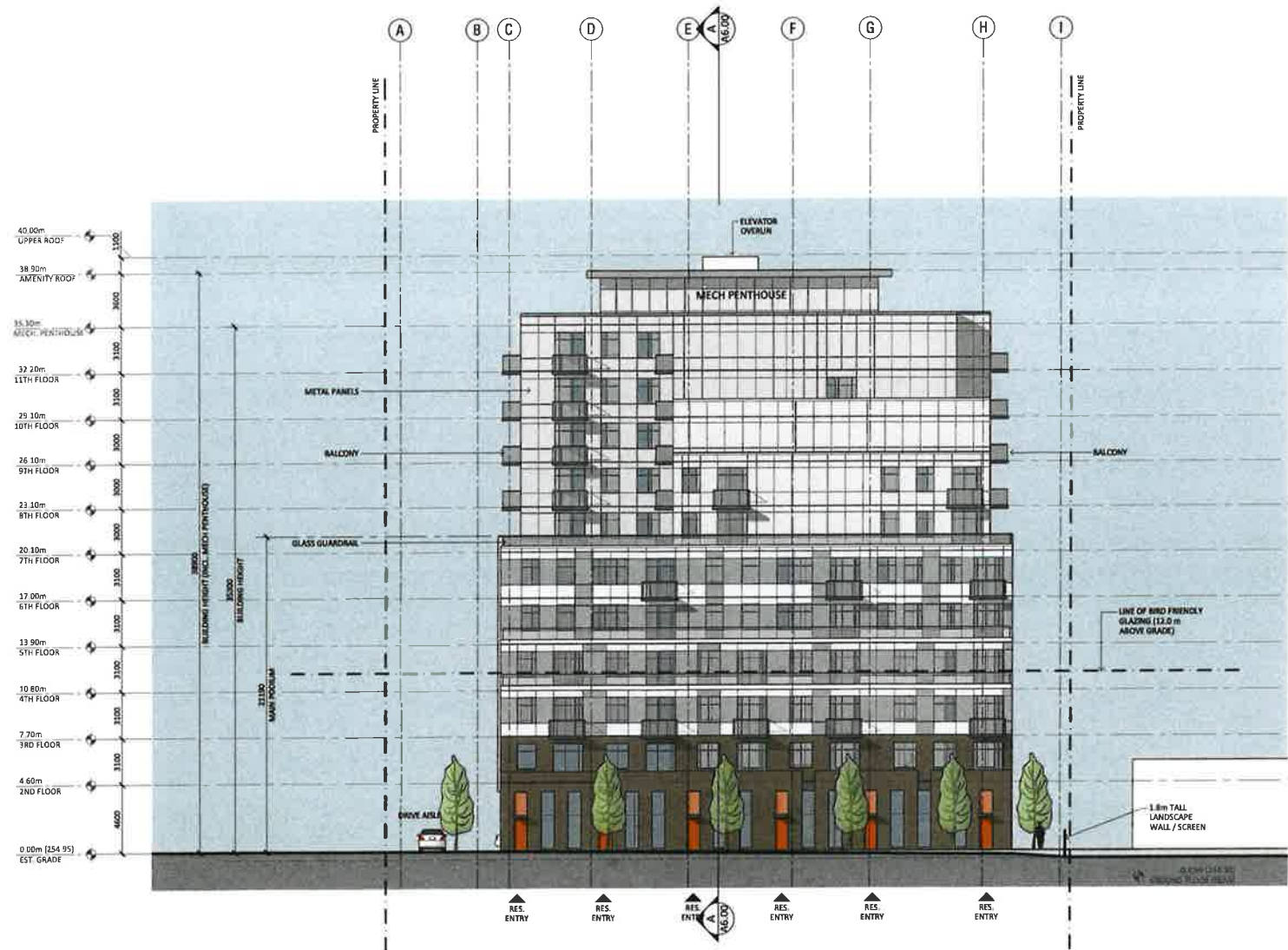
PROJECT #: 1701
PROJECT:
HURONTARIO RESIDENTIAL BUILDING
1000 HURONTARIO ST. TORONTO, ON M5G 1A8

DRAWING:
NORTH ELEVATION

DRAWING #:
A5.01-R4

SCALE: 1/8" = 1'-0"

DESIGN BY: AD
DRAWN BY: RA
CHECKED BY: AD



ADDRESS AND SPECIFICATIONS AS INDICATED BY ARCHITECT AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 257, 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2G 0A5
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL: INFO@ARUP.COM

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

STRUCTURAL CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (403) 244-8219 FAX: (403) 244-8992
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMIT
2	2022-01-12	ISSUED FOR PERMIT
3	2022-01-19	ISSUED FOR PERMIT
4	2022-01-26	ISSUED FOR PERMIT
5	2022-02-02	ISSUED FOR PERMIT
6	2022-02-09	ISSUED FOR PERMIT
7	2022-02-16	ISSUED FOR PERMIT
8	2022-02-23	ISSUED FOR PERMIT
9	2022-03-01	ISSUED FOR PERMIT
10	2022-03-08	ISSUED FOR PERMIT
11	2022-03-15	ISSUED FOR PERMIT
12	2022-03-22	ISSUED FOR PERMIT
13	2022-03-29	ISSUED FOR PERMIT
14	2022-04-05	ISSUED FOR PERMIT
15	2022-04-12	ISSUED FOR PERMIT
16	2022-04-19	ISSUED FOR PERMIT
17	2022-04-26	ISSUED FOR PERMIT
18	2022-05-03	ISSUED FOR PERMIT
19	2022-05-10	ISSUED FOR PERMIT
20	2022-05-17	ISSUED FOR PERMIT
21	2022-05-24	ISSUED FOR PERMIT
22	2022-05-31	ISSUED FOR PERMIT
23	2022-06-07	ISSUED FOR PERMIT
24	2022-06-14	ISSUED FOR PERMIT
25	2022-06-21	ISSUED FOR PERMIT
26	2022-06-28	ISSUED FOR PERMIT
27	2022-07-05	ISSUED FOR PERMIT
28	2022-07-12	ISSUED FOR PERMIT
29	2022-07-19	ISSUED FOR PERMIT
30	2022-07-26	ISSUED FOR PERMIT
31	2022-08-02	ISSUED FOR PERMIT
32	2022-08-09	ISSUED FOR PERMIT
33	2022-08-16	ISSUED FOR PERMIT
34	2022-08-23	ISSUED FOR PERMIT
35	2022-08-30	ISSUED FOR PERMIT
36	2022-09-06	ISSUED FOR PERMIT
37	2022-09-13	ISSUED FOR PERMIT
38	2022-09-20	ISSUED FOR PERMIT
39	2022-09-27	ISSUED FOR PERMIT
40	2022-10-04	ISSUED FOR PERMIT
41	2022-10-11	ISSUED FOR PERMIT
42	2022-10-18	ISSUED FOR PERMIT
43	2022-10-25	ISSUED FOR PERMIT
44	2022-11-01	ISSUED FOR PERMIT
45	2022-11-08	ISSUED FOR PERMIT
46	2022-11-15	ISSUED FOR PERMIT
47	2022-11-22	ISSUED FOR PERMIT
48	2022-11-29	ISSUED FOR PERMIT
49	2022-12-06	ISSUED FOR PERMIT
50	2022-12-13	ISSUED FOR PERMIT
51	2022-12-20	ISSUED FOR PERMIT
52	2022-12-27	ISSUED FOR PERMIT
53	2023-01-03	ISSUED FOR PERMIT
54	2023-01-10	ISSUED FOR PERMIT
55	2023-01-17	ISSUED FOR PERMIT
56	2023-01-24	ISSUED FOR PERMIT
57	2023-01-31	ISSUED FOR PERMIT
58	2023-02-07	ISSUED FOR PERMIT
59	2023-02-14	ISSUED FOR PERMIT
60	2023-02-21	ISSUED FOR PERMIT
61	2023-02-28	ISSUED FOR PERMIT
62	2023-03-06	ISSUED FOR PERMIT
63	2023-03-13	ISSUED FOR PERMIT
64	2023-03-20	ISSUED FOR PERMIT
65	2023-03-27	ISSUED FOR PERMIT
66	2023-04-03	ISSUED FOR PERMIT
67	2023-04-10	ISSUED FOR PERMIT
68	2023-04-17	ISSUED FOR PERMIT
69	2023-04-24	ISSUED FOR PERMIT
70	2023-05-01	ISSUED FOR PERMIT
71	2023-05-08	ISSUED FOR PERMIT
72	2023-05-15	ISSUED FOR PERMIT
73	2023-05-22	ISSUED FOR PERMIT
74	2023-05-29	ISSUED FOR PERMIT
75	2023-06-05	ISSUED FOR PERMIT
76	2023-06-12	ISSUED FOR PERMIT
77	2023-06-19	ISSUED FOR PERMIT
78	2023-06-26	ISSUED FOR PERMIT
79	2023-07-03	ISSUED FOR PERMIT
80	2023-07-10	ISSUED FOR PERMIT
81	2023-07-17	ISSUED FOR PERMIT
82	2023-07-24	ISSUED FOR PERMIT
83	2023-07-31	ISSUED FOR PERMIT
84	2023-08-07	ISSUED FOR PERMIT
85	2023-08-14	ISSUED FOR PERMIT
86	2023-08-21	ISSUED FOR PERMIT
87	2023-08-28	ISSUED FOR PERMIT
88	2023-09-04	ISSUED FOR PERMIT
89	2023-09-11	ISSUED FOR PERMIT
90	2023-09-18	ISSUED FOR PERMIT
91	2023-09-25	ISSUED FOR PERMIT
92	2023-10-02	ISSUED FOR PERMIT
93	2023-10-09	ISSUED FOR PERMIT
94	2023-10-16	ISSUED FOR PERMIT
95	2023-10-23	ISSUED FOR PERMIT
96	2023-10-30	ISSUED FOR PERMIT
97	2023-11-06	ISSUED FOR PERMIT
98	2023-11-13	ISSUED FOR PERMIT
99	2023-11-20	ISSUED FOR PERMIT
100	2023-11-27	ISSUED FOR PERMIT

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12028 Hurontario St. Richmond, ON L6E 4P6

DRAWING:
EAST ELEVATION

DRAWING #:
A5.02-R4

SCALE: 1:100

DESIGN BY: AD
 DRAWN BY: EA
 CHECKED BY: AD



DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BE MADE TO BE MADE.

THIS DRAWING MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS NOTED BY THE CONTRACTOR.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS IN DRAWING AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 387, 13TH AVENUE, S.W.
 CALGARY, ALBERTA, T2S 0S8
 TEL: (403) 244-8878 FAX: (403) 244-8887
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY / PROVINCE / POSTAL:
 TEL: (505) 555-5555 FAX: (505) 555-5555
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-10	ISSUED FOR PERMITTING & REVIEW COMMENTS
2	2022-01-15	FOR REVIEW PERMITTING ISSUES
3	2022-01-20	FOR REVIEW PERMITTING RESPONSES
4	2022-01-25	FOR REVIEW PERMITTING RESPONSES
5	2022-01-30	FOR REVIEW PERMITTING RESPONSES
6	2022-02-05	FOR REVIEW PERMITTING RESPONSES
7	2022-02-10	FOR REVIEW PERMITTING RESPONSES
8	2022-02-15	FOR REVIEW PERMITTING RESPONSES
9	2022-02-20	FOR REVIEW PERMITTING RESPONSES
10	2022-02-25	FOR REVIEW PERMITTING RESPONSES
11	2022-03-01	FOR REVIEW PERMITTING RESPONSES
12	2022-03-05	FOR REVIEW PERMITTING RESPONSES
13	2022-03-10	FOR REVIEW PERMITTING RESPONSES
14	2022-03-15	FOR REVIEW PERMITTING RESPONSES
15	2022-03-20	FOR REVIEW PERMITTING RESPONSES
16	2022-03-25	FOR REVIEW PERMITTING RESPONSES
17	2022-04-01	FOR REVIEW PERMITTING RESPONSES
18	2022-04-05	FOR REVIEW PERMITTING RESPONSES
19	2022-04-10	FOR REVIEW PERMITTING RESPONSES
20	2022-04-15	FOR REVIEW PERMITTING RESPONSES
21	2022-04-20	FOR REVIEW PERMITTING RESPONSES
22	2022-04-25	FOR REVIEW PERMITTING RESPONSES
23	2022-05-01	FOR REVIEW PERMITTING RESPONSES
24	2022-05-05	FOR REVIEW PERMITTING RESPONSES
25	2022-05-10	FOR REVIEW PERMITTING RESPONSES
26	2022-05-15	FOR REVIEW PERMITTING RESPONSES
27	2022-05-20	FOR REVIEW PERMITTING RESPONSES
28	2022-05-25	FOR REVIEW PERMITTING RESPONSES
29	2022-06-01	FOR REVIEW PERMITTING RESPONSES
30	2022-06-05	FOR REVIEW PERMITTING RESPONSES
31	2022-06-10	FOR REVIEW PERMITTING RESPONSES
32	2022-06-15	FOR REVIEW PERMITTING RESPONSES
33	2022-06-20	FOR REVIEW PERMITTING RESPONSES
34	2022-06-25	FOR REVIEW PERMITTING RESPONSES
35	2022-07-01	FOR REVIEW PERMITTING RESPONSES
36	2022-07-05	FOR REVIEW PERMITTING RESPONSES
37	2022-07-10	FOR REVIEW PERMITTING RESPONSES
38	2022-07-15	FOR REVIEW PERMITTING RESPONSES
39	2022-07-20	FOR REVIEW PERMITTING RESPONSES
40	2022-07-25	FOR REVIEW PERMITTING RESPONSES
41	2022-08-01	FOR REVIEW PERMITTING RESPONSES
42	2022-08-05	FOR REVIEW PERMITTING RESPONSES
43	2022-08-10	FOR REVIEW PERMITTING RESPONSES
44	2022-08-15	FOR REVIEW PERMITTING RESPONSES
45	2022-08-20	FOR REVIEW PERMITTING RESPONSES
46	2022-08-25	FOR REVIEW PERMITTING RESPONSES
47	2022-09-01	FOR REVIEW PERMITTING RESPONSES
48	2022-09-05	FOR REVIEW PERMITTING RESPONSES
49	2022-09-10	FOR REVIEW PERMITTING RESPONSES
50	2022-09-15	FOR REVIEW PERMITTING RESPONSES
51	2022-09-20	FOR REVIEW PERMITTING RESPONSES
52	2022-09-25	FOR REVIEW PERMITTING RESPONSES
53	2022-10-01	FOR REVIEW PERMITTING RESPONSES
54	2022-10-05	FOR REVIEW PERMITTING RESPONSES
55	2022-10-10	FOR REVIEW PERMITTING RESPONSES
56	2022-10-15	FOR REVIEW PERMITTING RESPONSES
57	2022-10-20	FOR REVIEW PERMITTING RESPONSES
58	2022-10-25	FOR REVIEW PERMITTING RESPONSES
59	2022-11-01	FOR REVIEW PERMITTING RESPONSES
60	2022-11-05	FOR REVIEW PERMITTING RESPONSES
61	2022-11-10	FOR REVIEW PERMITTING RESPONSES
62	2022-11-15	FOR REVIEW PERMITTING RESPONSES
63	2022-11-20	FOR REVIEW PERMITTING RESPONSES
64	2022-11-25	FOR REVIEW PERMITTING RESPONSES
65	2022-12-01	FOR REVIEW PERMITTING RESPONSES
66	2022-12-05	FOR REVIEW PERMITTING RESPONSES
67	2022-12-10	FOR REVIEW PERMITTING RESPONSES
68	2022-12-15	FOR REVIEW PERMITTING RESPONSES
69	2022-12-20	FOR REVIEW PERMITTING RESPONSES
70	2022-12-25	FOR REVIEW PERMITTING RESPONSES
71	2023-01-01	FOR REVIEW PERMITTING RESPONSES
72	2023-01-05	FOR REVIEW PERMITTING RESPONSES
73	2023-01-10	FOR REVIEW PERMITTING RESPONSES
74	2023-01-15	FOR REVIEW PERMITTING RESPONSES
75	2023-01-20	FOR REVIEW PERMITTING RESPONSES
76	2023-01-25	FOR REVIEW PERMITTING RESPONSES
77	2023-02-01	FOR REVIEW PERMITTING RESPONSES
78	2023-02-05	FOR REVIEW PERMITTING RESPONSES
79	2023-02-10	FOR REVIEW PERMITTING RESPONSES
80	2023-02-15	FOR REVIEW PERMITTING RESPONSES
81	2023-02-20	FOR REVIEW PERMITTING RESPONSES
82	2023-02-25	FOR REVIEW PERMITTING RESPONSES
83	2023-03-01	FOR REVIEW PERMITTING RESPONSES
84	2023-03-05	FOR REVIEW PERMITTING RESPONSES
85	2023-03-10	FOR REVIEW PERMITTING RESPONSES
86	2023-03-15	FOR REVIEW PERMITTING RESPONSES
87	2023-03-20	FOR REVIEW PERMITTING RESPONSES
88	2023-03-25	FOR REVIEW PERMITTING RESPONSES
89	2023-04-01	FOR REVIEW PERMITTING RESPONSES
90	2023-04-05	FOR REVIEW PERMITTING RESPONSES
91	2023-04-10	FOR REVIEW PERMITTING RESPONSES
92	2023-04-15	FOR REVIEW PERMITTING RESPONSES
93	2023-04-20	FOR REVIEW PERMITTING RESPONSES
94	2023-04-25	FOR REVIEW PERMITTING RESPONSES
95	2023-05-01	FOR REVIEW PERMITTING RESPONSES
96	2023-05-05	FOR REVIEW PERMITTING RESPONSES
97	2023-05-10	FOR REVIEW PERMITTING RESPONSES
98	2023-05-15	FOR REVIEW PERMITTING RESPONSES
99	2023-05-20	FOR REVIEW PERMITTING RESPONSES
100	2023-05-25	FOR REVIEW PERMITTING RESPONSES

ARUP DATTA ARCHITECT LTD.
 387, 13TH AVENUE, S.W.
 CALGARY, ALBERTA, T2S 0S8
 TEL: (403) 244-8878 FAX: (403) 244-8887
 E-MAIL: info@arup.ca

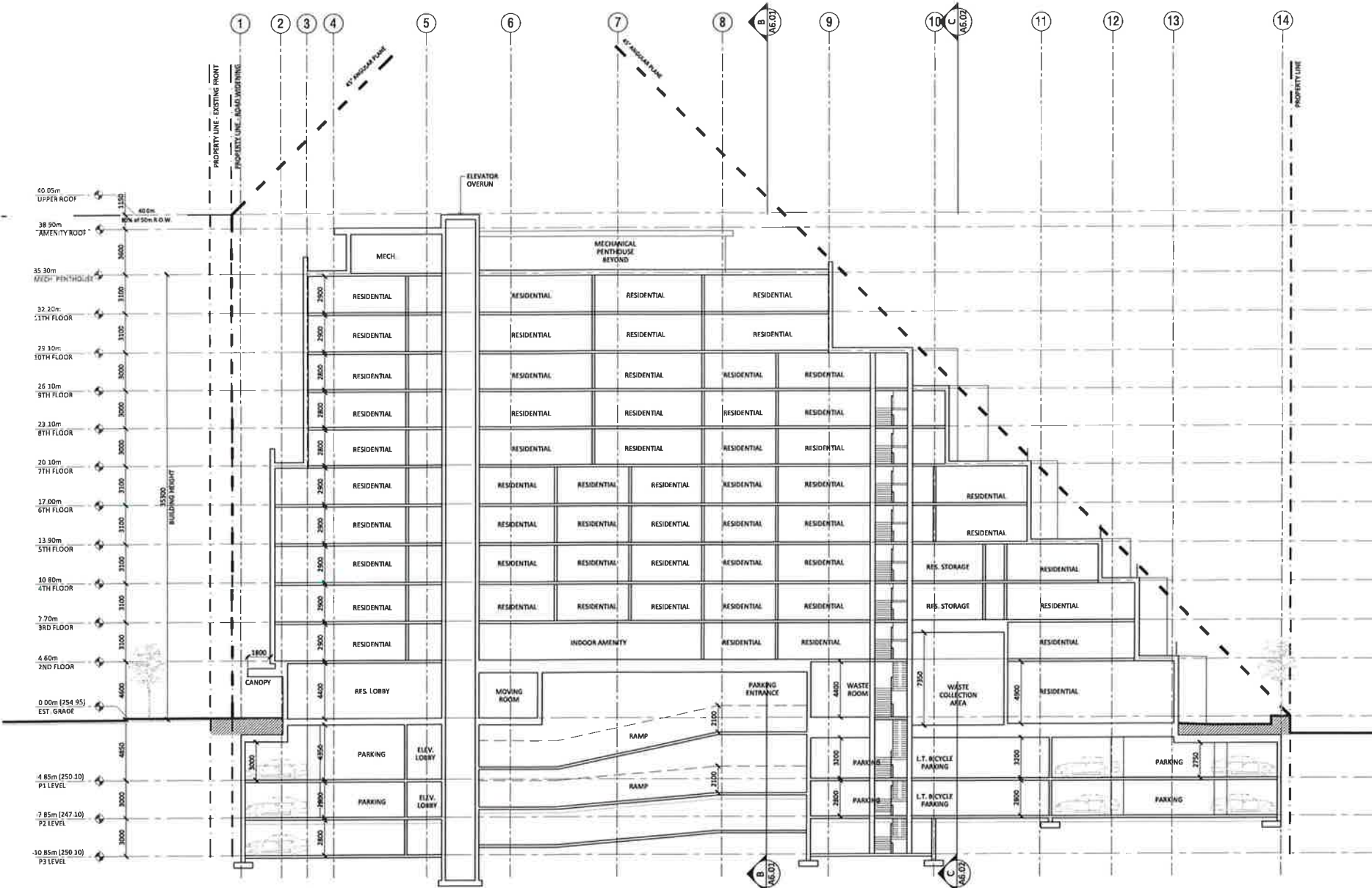
PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1703B Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
WEST ELEVATION

DRAWING #:
A5.03-R4

SCALE:
 1/8"=1'-0"

DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD



DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE, MUST BEALIGNED WITH THIS DRAWING.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONTRACTOR.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ANY DISCREPANCY IMMEDIATELY TO THE ARCHITECT.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 107 - 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2E 0A8
 TEL: (403) 244-8418 FAX: (403) 244-8842
 EMAIL: info@arup.com

SUB CONSULTANTS:
STRUCTURAL
 NAME: ADDRESS: CITY, PROVINCE, POSTAL: TEL: (905) 880-0800 FAX: (905) 880-0800 E-MAIL:
MECHANICAL
 NAME: ADDRESS: CITY, PROVINCE, POSTAL: TEL: (905) 880-0800 FAX: (905) 880-0800 E-MAIL:
ELECTRICAL
 NAME: ADDRESS: CITY, PROVINCE, POSTAL: TEL: (905) 880-0800 FAX: (905) 880-0800 E-MAIL:
HVAC
 NAME: ADDRESS: CITY, PROVINCE, POSTAL: TEL: (905) 880-0800 FAX: (905) 880-0800 E-MAIL:
CIVIL
 NAME: ADDRESS: CITY, PROVINCE, POSTAL: TEL: (905) 880-0800 FAX: (905) 880-0800 E-MAIL:
LANDSCAPE
 NAME: ADDRESS: CITY, PROVINCE, POSTAL: TEL: (905) 880-0800 FAX: (905) 880-0800 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT
2	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
3	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
4	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
5	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
6	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
7	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
8	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
9	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
10	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
11	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
12	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
13	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)
14	2024-11-01	ISSUE FOR PERMITS & PUBLIC COMMENT (REVISED)

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1708 Hurontario St, Hamilton, ON L8Z 4P8
DRAWING: SECTION A
DRAWING #: A6.00-R4
SCALE: 1/8" = 1'-0"
DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD

THIS DRAWING IS THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COMPANY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING. THE COMPANY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING. THE COMPANY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 257-17TH AVENUE, S.W.
 CALGARY, ALBERTA, T2C 0A6
 TEL: (403) 244-8811 FAX: (403) 244-8822
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

MECHANICAL
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

ELECTRICAL
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

HVAC
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

CIVIL
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

LANDSCAPE
 NAME: ADDRESS: CITY: PROVINCE: POSTAL: TEL: FAX: E-MAIL:

SPA-2022-0106

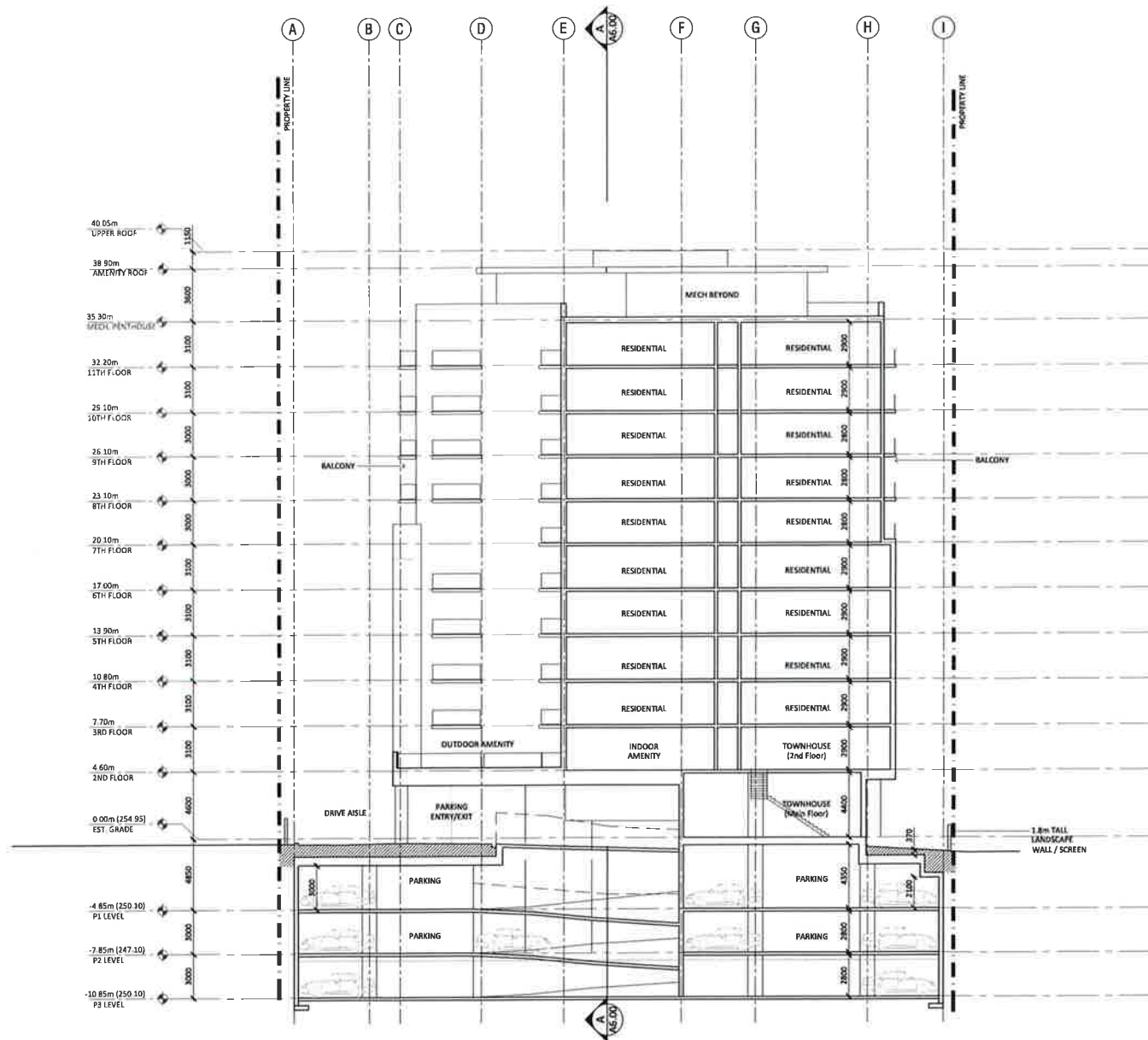
NO.	DATE	DESCRIPTION	BY
1	2022-01-06	ISSUED FOR PERMIT	EA
2	2022-01-10	REVISIONS	EA
3	2022-01-15	REVISIONS	EA
4	2022-01-20	REVISIONS	EA
5	2022-01-25	REVISIONS	EA
6	2022-02-01	REVISIONS	EA
7	2022-02-05	REVISIONS	EA
8	2022-02-10	REVISIONS	EA
9	2022-02-15	REVISIONS	EA
10	2022-02-20	REVISIONS	EA
11	2022-02-25	REVISIONS	EA
12	2022-03-01	REVISIONS	EA
13	2022-03-05	REVISIONS	EA
14	2022-03-10	REVISIONS	EA
15	2022-03-15	REVISIONS	EA
16	2022-03-20	REVISIONS	EA
17	2022-03-25	REVISIONS	EA
18	2022-04-01	REVISIONS	EA
19	2022-04-05	REVISIONS	EA
20	2022-04-10	REVISIONS	EA
21	2022-04-15	REVISIONS	EA
22	2022-04-20	REVISIONS	EA
23	2022-04-25	REVISIONS	EA
24	2022-05-01	REVISIONS	EA
25	2022-05-05	REVISIONS	EA
26	2022-05-10	REVISIONS	EA
27	2022-05-15	REVISIONS	EA
28	2022-05-20	REVISIONS	EA
29	2022-05-25	REVISIONS	EA
30	2022-06-01	REVISIONS	EA

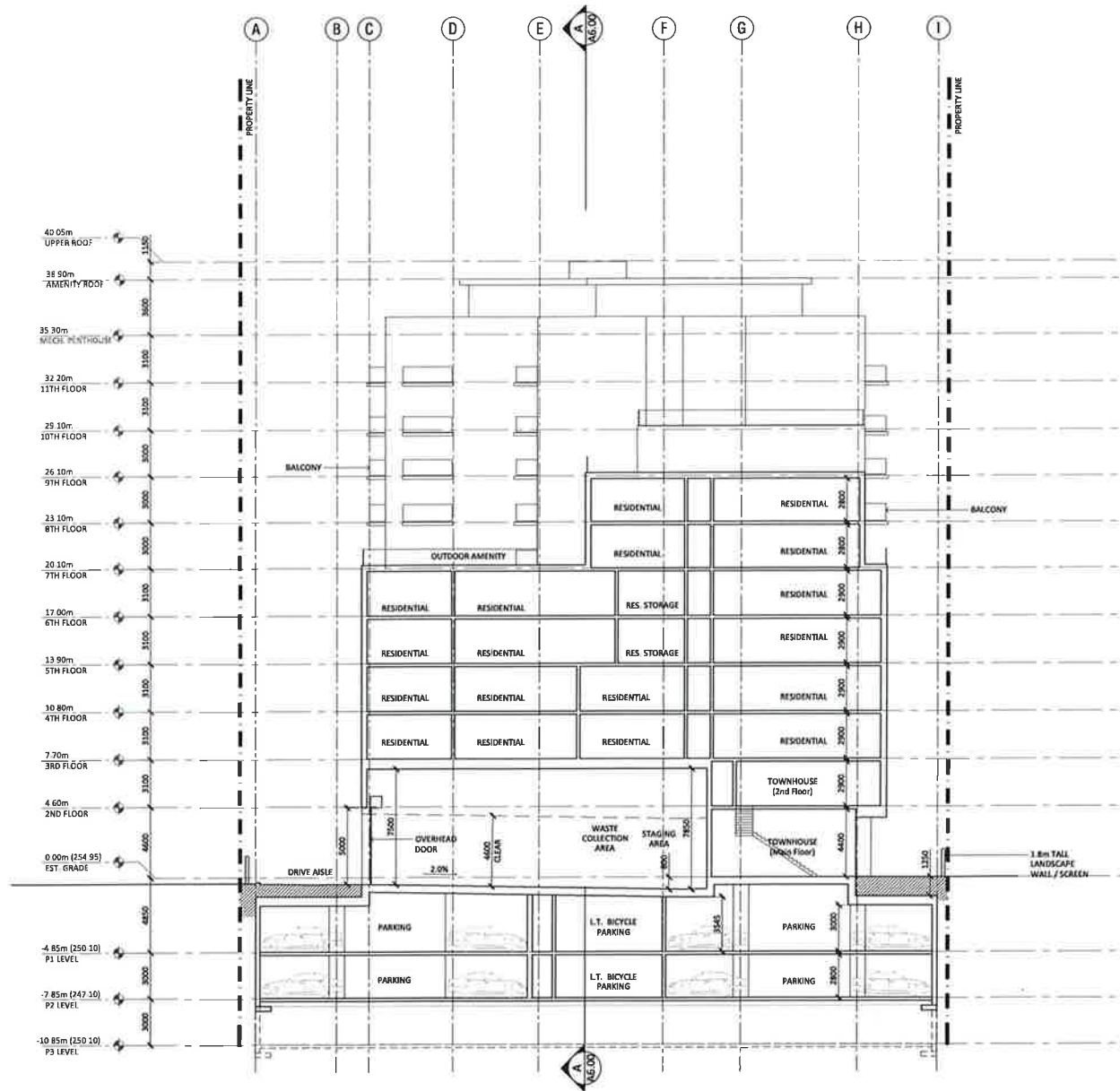
ISSUED FOR / REVISIONS



PROJECT #: 1701
 PROJECT: HURONTARIO RESIDENTIAL BUILDING
 17028 Hurontario St, Brampton, ON L6Z 4P8
 DRAWING: SECTION B

DRAWING #: **A6.01-R4**
 SCALE: 1:60
 DESIGN BY: EAA
 DRAWN BY: EAA
 CHECKED BY: AD





DRAWINGS AND SPECIFICATIONS ARE REPRESENTED AS PROPERTY OF ARUP DATTA ARCHITECT LTD., THE COPYRIGHT SHALL BE RESERVED TO THEM.
 NO REPRESENTATION IS MADE BY THE ARCHITECT AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREIN OR THE INFORMATION OF ANY OTHER PARTY.
 THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS IN SITU, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 307 - 17TH AVENUE, E. 3R
 CALGARY, ALBERTA, T2C 6B6
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL: info@arup.ca

LOCAL ARCHITECT
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

STRUCTURAL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY: PROVINCE: POSTAL:
 TEL: (403) 244-8818 FAX: (403) 244-8822
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024.11.01	ISSUE FOR PERMITS & ZONING (REVISED)
2	2024.10.15	ISSUE FOR PERMITS (REVISED)
3	2024.10.15	ISSUE FOR PERMITS (REVISED)
4	2024.10.15	ISSUE FOR PERMITS (REVISED)
5	2024.10.15	ISSUE FOR PERMITS (REVISED)
6	2024.10.15	ISSUE FOR PERMITS (REVISED)
7	2024.10.15	ISSUE FOR PERMITS (REVISED)
8	2024.10.15	ISSUE FOR PERMITS (REVISED)
9	2024.10.15	ISSUE FOR PERMITS (REVISED)
10	2024.10.15	ISSUE FOR PERMITS (REVISED)



PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1200 Hurontario St, Brampton, ON L6Z 4P6
 DRAWING:
SECTION C
 DRAWING #:
A6.02-R4
 SCALE:
 1:100
 DESIGN BY: DRAWN BY: CHECKED BY:
 AD RA AD



HURONTARIO ST WEST VIEW



HURONTARIO ST SOUTH VIEW



HURONTARIO ST SOUTH WEST VIEW



OLDGATE LANE ELEVATION (REAR)

DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE COPYRIGHT IS RESERVED TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WHEN MADE MUST BEER ITS NAME.
 THIS DRAWING MUST NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SOLEMNLY BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DATA, AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 1371 17TH AVENUE, 8 W
 CALGARY, ALBERTA T2E 0S4
 TEL: (403) 244-8818 FAX: (403) 244-8802
 E-MAIL: info@arup.com

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SUB-CONSULTANTS
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2022-01-06	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE
2	2022-01-11	ISSUED FOR REVIEW BY ZONING DEPARTMENTS RESPONSE
3	2022-01-11	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE
4	2022-01-11	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE
5	2022-01-11	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE
6	2022-01-11	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE
7	2022-01-11	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE
8	2022-01-11	ISSUED FOR PERMITS & ZONING DEPARTMENTS RESPONSE

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
 1371 17TH AVENUE, 8 W
 CALGARY, ALBERTA T2E 0S4
 TEL: (403) 244-8818 FAX: (403) 244-8802
 E-MAIL: info@arup.com

PROJECT #: 1701
PROJECT: HURONTARIO RESIDENTIAL BUILDING
 1028 Hurontario St, Brampton, ON L6Z 4P8
DRAWING:
PERSPECTIVE VIEWS

DRAWING #: A7.00-R4
SCALE: 1/8" = 1'-0"
DESIGN BY: AD **DRAWN BY:** EA **CHECKED BY:** AD



AERIAL VIEW - SOUTH WEST



AERIAL VIEW - SOUTH EAST



AERIAL VIEW - NORTH WEST



AERIAL VIEW - NORTH EAST

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ARUP DATTA ARCHITECT LTD. THE CLIENT SHALL BE RESPONSIBLE TO THEM.
 NO REPRODUCTION ALLOWED WITHOUT THE PERMISSION OF ARUP DATTA ARCHITECT LTD. AND WITH WRITTEN CONSENT FROM THEM.
 THE DRAWING MUST NOT BE SCALED.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & DETAILS AND REPORT SAME AND DISCREPANCY PRIOR TO COMMENCING WORK.

PRIME CONSULTANT:
ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 801 - 17TH AVENUE, 8th FLOOR
 OAKVILLE, ONTARIO, L6H 6H6
 TEL: (905) 244-8818 FAX: (905) 244-8888
 E-MAIL: info@arup.com

LOCAL ARCHITECT:
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (905) 880-0000 FAX: (905) 880-0000
 E-MAIL:

SPA-2022-0106

NO.	DATE	DESCRIPTION
1	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
2	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
3	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
4	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
5	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
6	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
7	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
8	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
9	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION
10	2024-11-27	ISSUE FOR PERMITS & CONSTRUCTION

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
 801 - 17TH AVENUE, 8TH FLOOR
 OAKVILLE, ONTARIO, L6H 6H6
 TEL: (905) 244-8818 FAX: (905) 244-8888
 E-MAIL: info@arup.com

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1300 Hurontario St. Brampton, ON L6Z 4P6

DRAWING:
PERSPECTIVE VIEWS
 DRAWING #:
A7.01-R4
 SCALE: N.T.S.
 DESIGN BY: AD
 DRAWN BY: RA
 CHECKED BY: AD

Flower City



brampton.ca

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2
Phone (905) 874-2117
Fax (905) 874-2119
coa@brampton.ca

APPLICATION INSTRUCTION AND INFORMATION SHEET

Minor Variance or Special Permission

(Also see instructions on the application form)

1. The application shall be filed with the Secretary-Treasurer, Committee of Adjustment, City of Brampton, 2 Wellington Street West, Brampton, and be accompanied by the applicable fee in cash, debit, credit card or cheque made payable to the Treasurer, City of Brampton.

APPLICATION FEES

*Residential and Institutional Properties	\$699.00
(*Residential means one lot only containing a single detached, semi-detached or townhouse dwelling unit)	
Commercial and Industrial Properties	\$2,838.00
All Other Properties	\$2,838.00
Applicant necessitated re-circulation of Notice of an Application	\$256 (plus \$5.10/notice)
A PRELIMINARY PROCESSING FEE MAY BE REQUIRED BY THE CONSERVATION AUTHORITY	
Toronto & Region Conservation - \$525.00 Credit Valley Conservation - \$280.00	

NOTE: DEVELOPMENT CHARGES AND/OR CASH PAYMENT IN LIEU OF PARKLAND DEDICATION MAY BE PAYABLE AT THE TIME OF BUILDING PERMIT AND THE CHARGES MAY BE SIGNIFICANT.

2. **ANSWER ALL QUESTIONS** INCOMPLETE APPLICATIONS WILL BE RETURNED TO THE APPLICANT OR AGENT **APPLICATIONS ARE TO BE PRINTED (SINGLE SIDED) ON 8 1/2" X 14" PAPER**. **All necessary variances must be confirmed with the Zoning Division prior to the application being considered by the Committee.**
3. The applicant must submit **two (2) prints** of a plan with the **original** copy of the application (**single sided**). The dimensions of the prints shall be **8 1/2" x 14"** or if the plan is of a larger size, a reproduction of the plan to the size of 8 1/2" x 14" shall also be submitted. The plan shall clearly indicate the following:
 - a) The boundaries of the lands which are subject of this application shown **EDGED BY A RED COLOUR**, and the portion of the lot where the variance exists shown **MARKED BY GREEN COLOUR**.
 - b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines. **(All dimensions to be shown in metric units)**
 - c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
 - d) The current uses on land that is adjacent to the subject land.
 - e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
 - f) The location and nature of any easement affecting the subject land.
4. An **Authorization Letter** from the property owner is required when the application is being signed by an agent.
5. A **Permission to Enter** is required as site inspections will be conducted by Committee Members and City Staff.

A DETAILED EXPLANATORY LETTER SHOULD ACCOMPANY THE APPLICATION

TO ALL APPLICANTS:

THE COMMITTEE HAS BEEN KNOWN TO REQUEST TO SEE COPIES OF DRAWINGS, SHOWING THE ELEVATION, CONSTRUCTION, AND EXTERIOR DESIGN OF PROPOSALS APPLIED FOR (example - location of doors, windows, type of exterior materials proposed - brick, wood cladding, aluminum, etc.) IT IS RECOMMENDED THAT YOU INCLUDE THIS INFORMATION WITH THE APPLICATION AT THE TIME OF SUBMISSION

ADDITIONAL INFORMATION SUCH AS A LETTER OF USE OR ANY OTHER DETAILED CONCEPT PLANS OR DRAWINGS WILL ASSIST STAFF AND THE COMMITTEE IN THEIR REVIEW OF THE APPLICATION

PLEASE NOTE THAT ADDITIONAL INFORMATION MAY BE REQUIRED ONCE A FULL REVIEW HAS BEEN COMPLETED BY STAFF. ADDITIONAL INFORMATION PROVIDED MAY PREVENT DEFERRAL OF YOUR APPLICATION

APPLICANTS WILL BE REQUIRED TO POST A SIGN ON THE PROPERTY FOR A MINIMUM OF 10 DAYS PRIOR TO THE HEARING DATE.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: _____

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Wave Homes
Address 2332 - 23 Street NE, Calgary, Alberta T2E 8N3

Phone # 403-891-6643 **Fax #** _____
Email Pkalsara@wavehomes.ca

2. **Name of Agent** ARUP DATTA ARCHITECT LTD
Address 337 - 17 Avenue SW, Calgary Alberta T2S 0A5

Phone # 403-244-8818 **Fax #** 403-244-8982
Email info@adal.ca

3. **Nature and extent of relief applied for (variances requested):**
a) Minor variance from FSI 3.8 allowable to FSI 4.3.
b) North side yard from 4.0m reduced to 3.9m.
c) Hydro Transformer location to have 1.5m clearance from north and south property lines as originally located as per originally approve SPA.

4. **Why is it not possible to comply with the provisions of the by-law?**
a) Since the density was reduced from 201 to 187 units, the FSI was increased as a result of the height increased to make the project commercially viable.
b) North side yard is to give more leverage to have a facade articulation.
c) It's the most ideal locations based on the proposed developments and the the adjacent properties.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 18
Plan Number/Concession Number Concession 1, East of Huronlano Street Brampton
Municipal Address 12039 Huronlano Street, Brampton, Ontario L6Z 4P8

6. **Dimension of subject land (in metric units)**
Frontage 46.110m
Depth 85.330m & 84.214m
Area 3.929 sq m

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Small vinyl clad building and a shed.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Mid-Rise Residential Rental Apartment Building. 11 Storey in Height with Mechanical Penthouse.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback _____
 Rear yard setback _____
 Side yard setback _____
 Side yard setback _____

PROPOSED

Front yard setback 3.0m - Same as previously approved
 Rear yard setback 6.8m - Same as previously approved
 Side yard setback 3.9m - North Side yard
 Side yard setback 7.5m - Same as previously approved

10. Date of Acquisition of subject land: Land is closed in July 23, 2024
11. Existing uses of subject property: Single dwelling
12. Proposed uses of subject property: Residential Rental Apartments
13. Existing uses of abutting properties: 2 side residential, 1 side gas station and 1 highway
14. Date of construction of all buildings & structures on subject land: Tentative date of construction starts in February 1 2025
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?


Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



 Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Calgary
 THIS 07 DAY OF November, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Arup Datta OF THE City OF Calgary

IN THE Province OF Alberta SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE _____ OF _____
 IN THE _____ OF _____
 THIS _____ DAY OF _____, 20____

 A Commissioner etc



 Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY	
Present Official Plan Designation: _____	
Present Zoning By-law Classification: _____	
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
_____ Zoning Officer	_____ Date

DATE RECEIVED _____
 Date Application Deemed Complete by the Municipality

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: _____

I/We, SATWINDER KALER
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 7 day of NOVEMBER, 2024


(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

SATWINDER KALER
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: _____

I/We, SATWINDER KALER
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

_____ please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 7 day of NOVEMBER, ~~DECEMBER~~, 2024.

[Signature]
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

SATWINDER KALER
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

ATTACHMENT 1

Site Plan

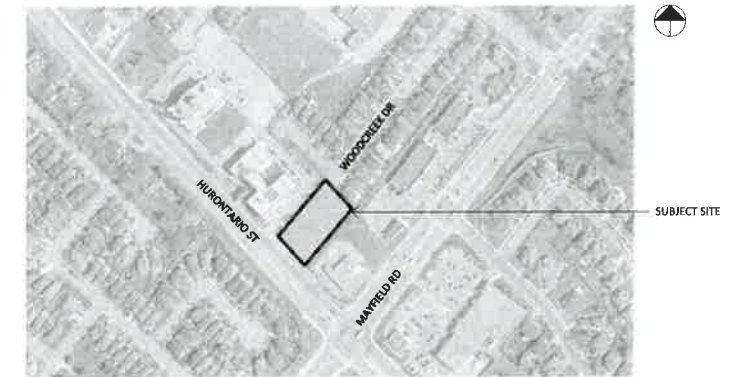


PROPOSED RESIDENTIAL DEVELOPMENT

12085 Hurontario Street,
Brampton, ON L4A 1E6

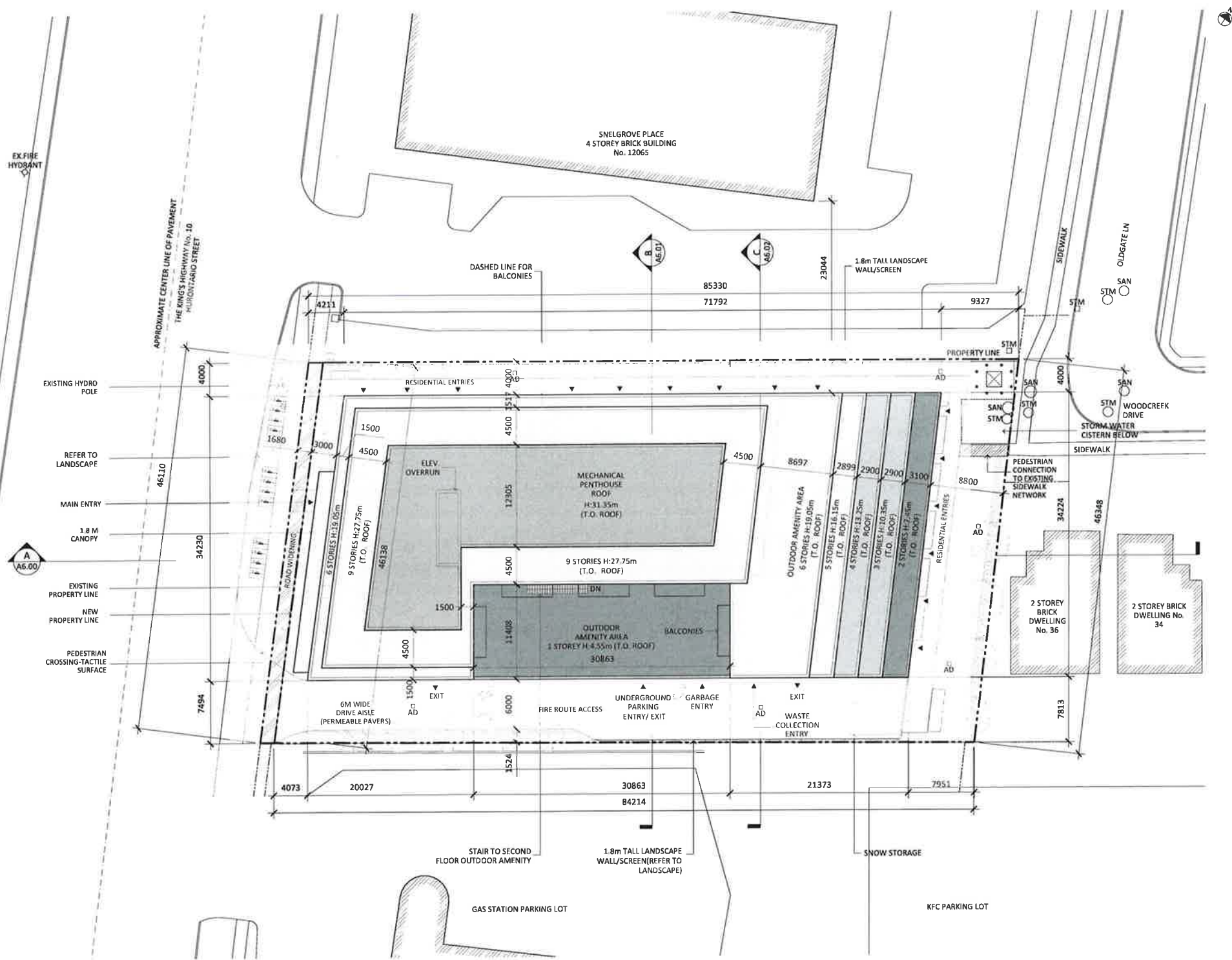
ARCHITECTURAL DRAWING LIST

A0 00	PROJECT STATISTICS
A1 00	SITE PLAN
A3 01	GROUND FLOOR SITE PLAN
A3 00	P2 LEVEL
A3 01	P1 LEVEL
A3 02	GROUND FLOOR PLAN
A3 03	2ND FLOOR PLAN
A3 04	3RD FLOOR PLAN
A3 05	4TH FLOOR PLAN
A3 06	5TH FLOOR PLAN
A3 07	6TH FLOOR PLAN
A3 08	7TH FLOOR PLAN
A3 09	8TH-9TH FLOOR PLAN
A3 10	MECH. FLOOR PLAN
A3 11	ROOF PLAN
A5 00	SOUTH ELEVATION
A5 01	NORTH ELEVATION
A5 02	EAST ELEVATION
A5 03	WEST ELEVATION
A6 00	SECTION A
A6 01	SECTION B
A6 02	SECTION C
A7 00	PERSPECTIVE VIEWS
A7 01	PERSPECTIVE VIEWS



1 CONTEXT PLAN
SCALE: 1:2000

ISSUED FOR SPA RESUBMISSION
SEPTEMBER 9, 2022



Revisions:

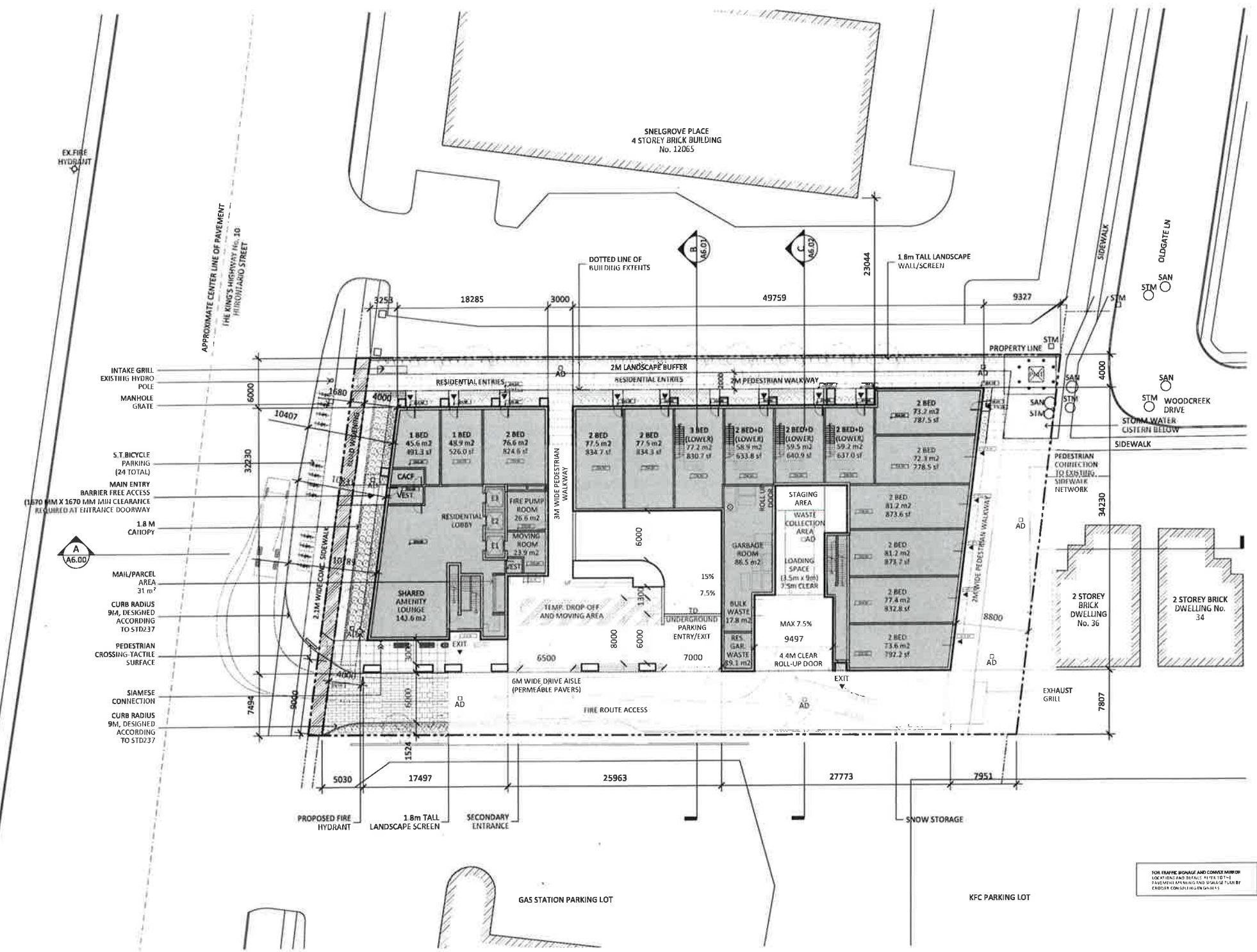
DESCRIPTION	DATE
SPA Resubmission	Sep. 8, 2022
Issued for SPA	May 31, 2022
Issued for OPA/78A	Mar. 24, 2021
Issued for OPA/78A	Dec. 30, 2021

Green Note:
 1. These General Conditions are the property of the Architect. They may be used by the Client for the preparation of other documents, but the Client will remain responsible for the content and accuracy of any such documents. The Architect will not be held responsible for any errors or omissions in any such documents.
 2. The Client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The Architect will not be held responsible for any delays or costs associated with the obtaining of such permits and approvals.
 3. The Client is responsible for providing all necessary information and documents to the Architect. The Architect will not be held responsible for any delays or costs associated with the obtaining of such information and documents.

Site Plan for App. No:
 SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING
 ADDRESS:
 1206 Hurontario St., Brampton, ON L7R 1E8
 PROJECT NO.: 2024
 SCALE: 1:200
 DATE: September 9, 2022
 DRAWN BY: SP
 DRAWING NO.: A1.00



Revisions:

NO.	DATE	DESCRIPTION
1	2024	ISSUED FOR PERMIT
2	2024	REVISED PER COMMENTS
3	2024	REVISED PER COMMENTS
4	2024	REVISED PER COMMENTS
5	2024	REVISED PER COMMENTS
6	2024	REVISED PER COMMENTS
7	2024	REVISED PER COMMENTS
8	2024	REVISED PER COMMENTS

1. These drawings are the property of the Architect. The Client is not to be held responsible for any reuse or alteration of these drawings without the written consent of the Architect. The Architect is not responsible for any errors or omissions in these drawings. The Client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The Architect is not responsible for any delays or cost overruns caused by the Client or any third parties. The Architect is not responsible for any damage to the site or any adjacent properties. The Architect is not responsible for any environmental or social impacts of the project. The Architect is not responsible for any legal or financial consequences of the project.

Site Plan File App. No.
SPA 2022 0106

ARCHITECT

STUDIO JCI
2024

FOR TRAFFIC, BIWAY AND COVERED WALKER USE AND BIWAY BIKE RITTS TO THE PARKING AREAS AND BIWAY PLAN BY EXTERIOR CONSULTANTS

HURONTARIO RESIDENTIAL BUILDING

ADDRESS
1200 Hurontario St., Brampton, ON L6A 1R8

PROJECT NO.: 2024
SCALE: 1:200
DATE: September 9, 2023
DRAWN BY: JP

DRAWING NO.:



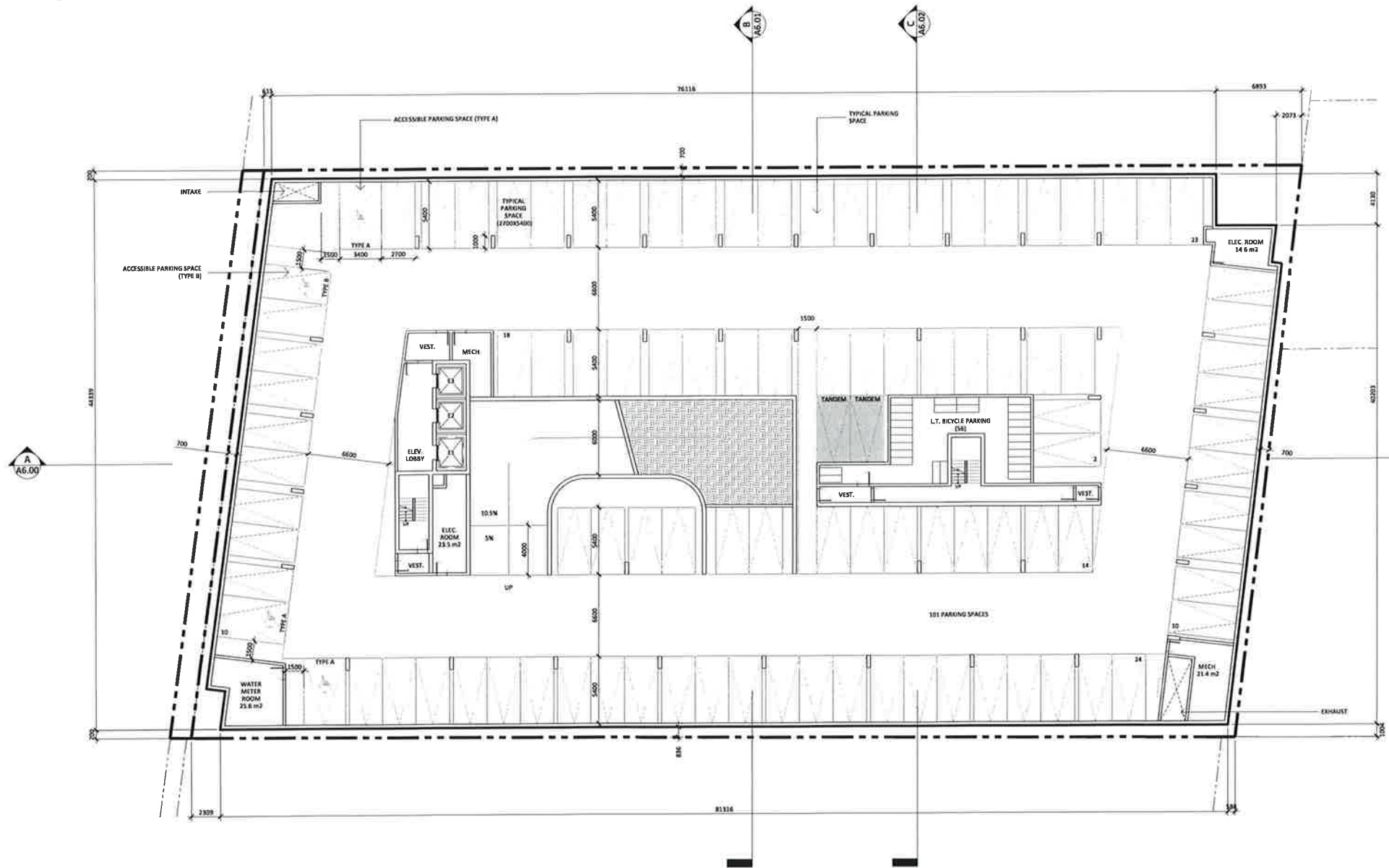
Revisions:

S/A Re-submission Sep. 9, 2022
 Issued for S/A May 31, 2022
 Issued for CPA/2/A Mar. 24, 2021
 Issued for CPA/2/A Oct. 10, 2021

DESCRIPTION: DATE:

Revised Notes:

1. These Contract Documents are the property of the Applicant. The Applicant has no responsibility for the interpretation of these documents by the Construction Users without notification for the Applicant and without the Applicant's identification or preliminary identification of the Applicant and without the Applicant's identification of the Applicant and without the Applicant's identification of the Applicant for design and construction only.
2. Drawings are not to be used for construction. Construction is subject to applicable conditions and provisions required to permit the Work and subject to any amendments with the Contract Documents to the Applicant's satisfaction.
3. Portions of proposed or existing structures or adjacent structures, streets, and features are indicated on the architectural drawings. The Applicant agrees with the Architectural drawings, plans, and specifications and the Applicant's responsibility for the Applicant's identification of the Applicant and without the Applicant's identification of the Applicant for design and construction only.



Site Plan File App. No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI
 1000 BAYVIEW AVE. SUITE 100
 SCARBOROUGH, ONTARIO M1S 5B7
 TEL: (416) 291-1111
 WWW.STUDIOJCI.COM

LEGEND

	ACCESSIBLE PARKING SPACE (TYPE A)
	ACCESSIBLE PARKING SPACE (TYPE B)
	TYPICAL PARKING SPACE
	INTAKE
	EXHAUST
	WATER METER ROOM
	ELEC ROOM
	MECH ROOM
	ELEV LOBBY
	L.T. BICYCLE PARKING
	VEST.
	TANGEM TANGEM

NOTES:
 1. ALL DIMENSIONS SHOWN ARE IN METERS.
 2. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.

FOR TRAFFIC SIGNAGE AND CORNER NUMBER LOCATIONS AND DETAILS, REFER TO THE PAVEMENT MARKING AND SIGNAGE PLAN BY CROSSING CONSULTING ENGINEERS.

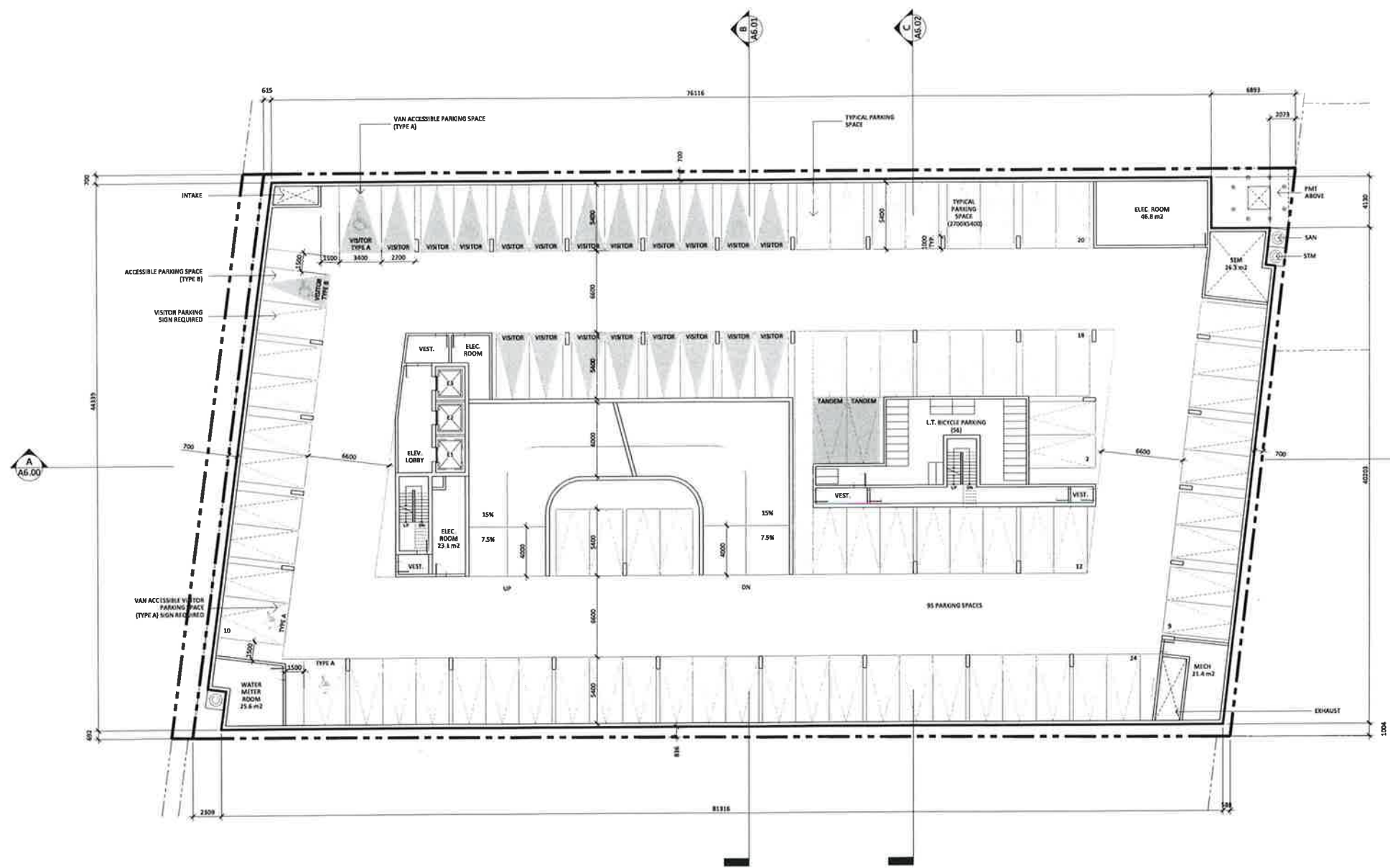
HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
 12885 Hurontario St., Brampton, ON L7A 1E6

P2 PARKING LEVEL

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: September 9, 2022
 DRAWN BY: SP

DRAWING NO: **A3.00**



Revisions:

NO.	DESCRIPTION	DATE

SPR Revision: Sep. 9, 2022
Issued for SPA: May 31, 2022
Issued for OPA/OPA: Mar. 14, 2021
Issued for OPA/OPA: Dec. 10, 2021

DESCRIPTION: DATE:

Service Note:

- These drawings are the property of the Architect. The Architect shall be responsible for the coordination of these drawings with the Contractor. Any changes to these drawings shall be made in writing and approved by the Architect. The Architect shall be responsible for the coordination of these drawings with the Contractor. The Contractor shall be responsible for the coordination of these drawings with the Contractor.
- Storage shall be provided for the construction materials and equipment on the site. The Contractor shall be responsible for the coordination of these drawings with the Contractor. The Contractor shall be responsible for the coordination of these drawings with the Contractor.
- Materials of equal or better quality than those specified shall be used. The Contractor shall be responsible for the coordination of these drawings with the Contractor. The Contractor shall be responsible for the coordination of these drawings with the Contractor.

Site Plan File App. No.: SPA-2022-0105

ARCHITECT:

STUDIO JCI

20 De Waver St., Unit 101
 Toronto, ON M5S 1A5
 Tel: 416.593.8222
 Fax: 416.593.8223

LEGEND

	ACCESSIBLE PARKING SPACE (TYPE A)
	VISITOR PARKING SIGN REQUIRED
	VAN ACCESSIBLE PARKING SPACE (TYPE A)
	ACCESSIBLE PARKING SPACE (TYPE B)
	VAN ACCESSIBLE VISITOR PARKING SPACE (TYPE A)
	ACCESSIBLE PARKING SPACE (TYPE B)
	VAN ACCESSIBLE VISITOR PARKING SPACE (TYPE A)

*TYPE A: UNIMPAVED DRIVE-IN CAR OR ACCESSIBLE PARKING SPACE (TYPE A) ACCORDING TO THE CITY OF TORONTO. TYPE B: UNIMPAVED DRIVE-IN CAR OR ACCESSIBLE PARKING SPACE (TYPE B) ACCORDING TO THE CITY OF TORONTO.

FOR TRAFFIC SIGNAGE AND CONVEY ARRIVAL: LOCATION AND DETAIL, REFER TO THE PAYMENT MARKING AND SIGNAGE PLAN BY OTHER CONSULTING ENGINEERS.

HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 2208 Hurontario St., Brampton, ON L7A 1R6

P1 PARKING LEVEL

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: November 9, 2022
 DRAWN BY: SP

DRAWING NO.: A3.01



Revisions:

NO.	DESCRIPTION	DATE

SFA Re-submission: Sep. 9, 2022
Issued for SFA: May 21, 2022
Issued for OPA/OSA: Mar. 24, 2022
Issued for OPA/TRA: Dec. 28, 2021

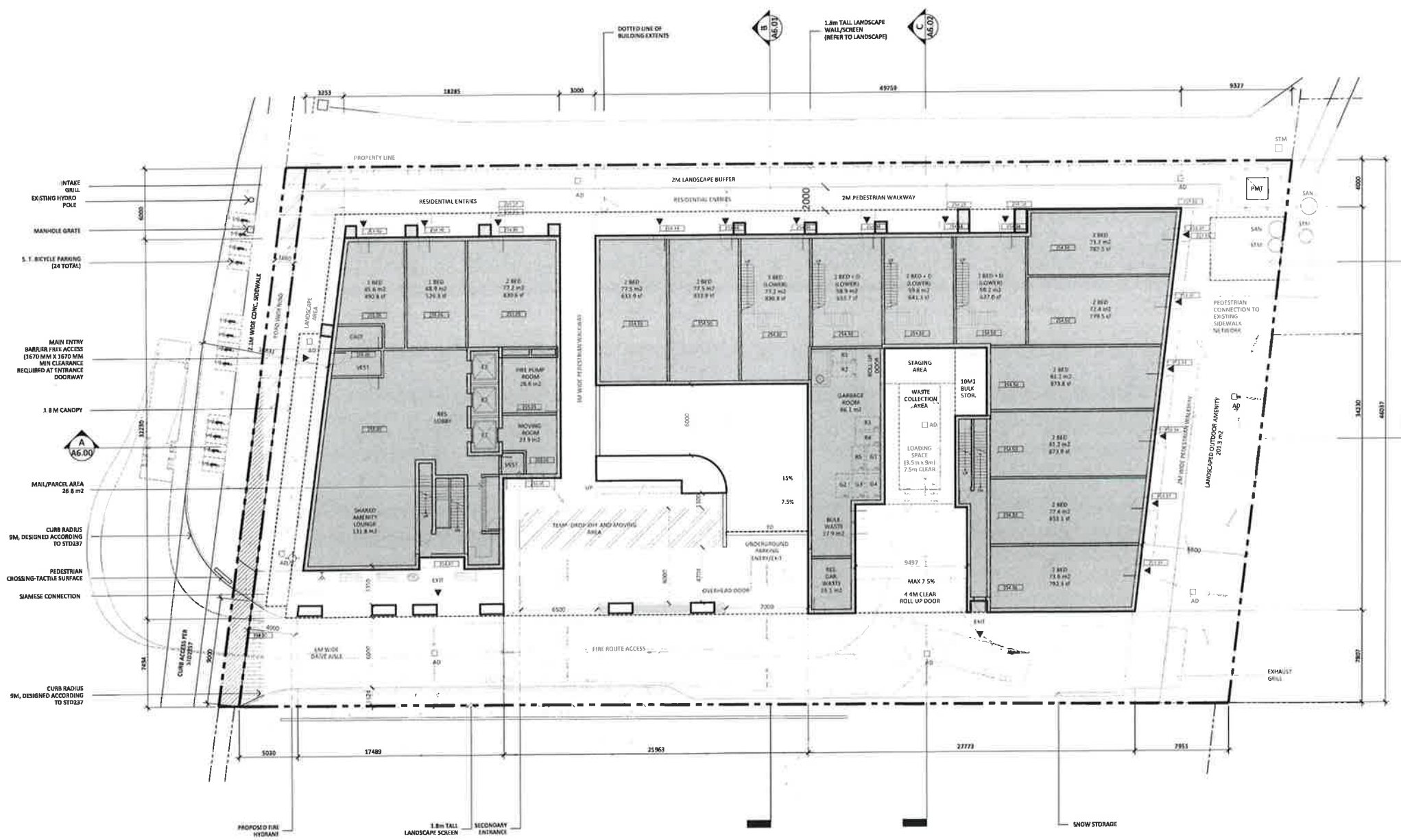
DESCRIPTION: DATE:

General Note:

1. These drawings are the property of the Architect. The Client has agreed to pay the Architect's fee for the preparation of these drawings. The Client shall not be responsible for any errors or omissions in the drawings. The Architect shall not be responsible for any errors or omissions in the drawings. The Architect shall not be responsible for any errors or omissions in the drawings.

2. Drawings are not to be used for construction without the written consent of the Architect. Any use of these drawings for any other purpose without the written consent of the Architect shall be at the user's sole risk and without liability to the Architect.

3. No portion of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.



Site Plan File No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI

30 GERRARD STREET EAST, SUITE 100
 TORONTO, ONTARIO M5E 1B3
 TEL: 416-463-1111
 WWW.STUDIOJCI.COM

FOR TRADE, SIGNAGE AND CONVEY NUMBER
 LOCATIONS AND DIMENSIONS, PLEASE SEE THE
 PARALLEL MARKING AND SIGNAL PLAN BY
 ANTHONY CARROLL INC. ENGINEERS.

HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
 2890 Hurontario St., Brampton, ON L7A 1E6

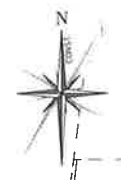
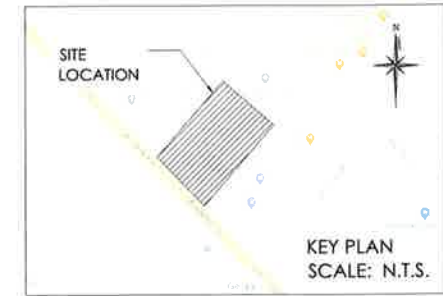
GROUND FLOOR PLAN

PROJECT NO: 2024
 SCALE: 1/150
 DATE: September 9, 2022
 DRAWN BY: SP

DRAWING NO: A3.02

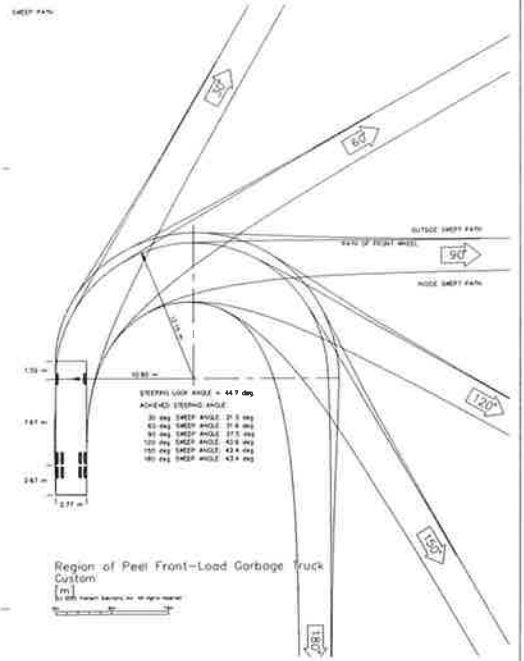
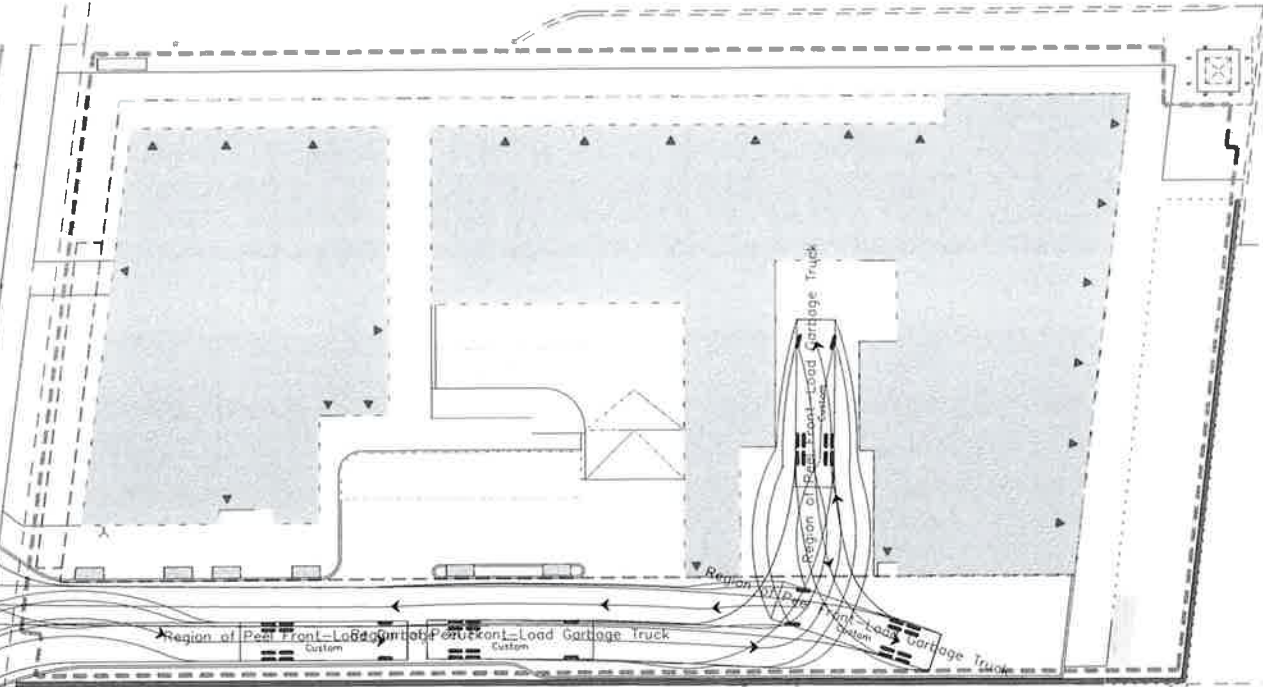
ATTACHMENT 2

Vehicle Turning Diagrams



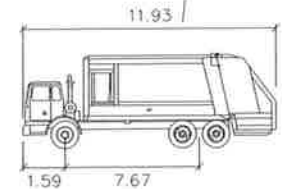
WOOD

HURONTARIO STREET
Region of Peel Front-Load Garbage Truck Custom



LEGEND

- PROPERTY LINE
- - - - - LIMIT OF UNDERGROUND
- PROPOSED RETAINING WALL



Region of Peel Front-Load Garbage Truck

Width	: 2.77	meters
Track	: 2.77	meters
Lock to Lock Time	: 6.0	seconds
Steering Angle	: 44.7	degrees



1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
Rev	ISSUE / REVISION	YYYY/MM/DD

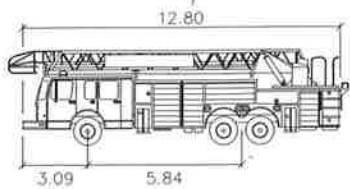
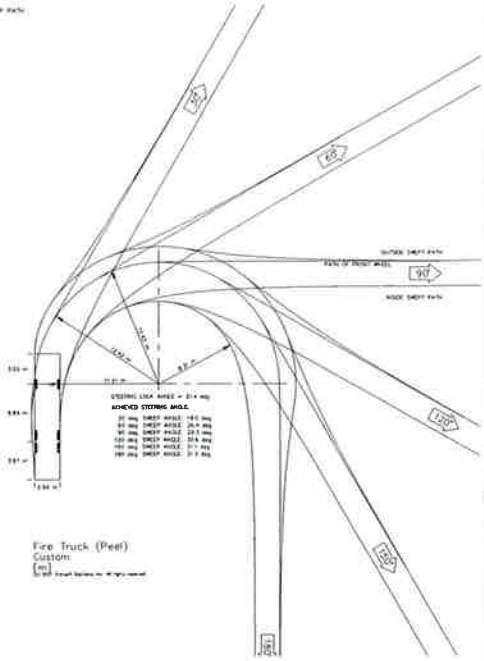
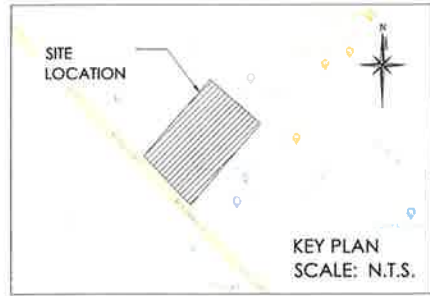
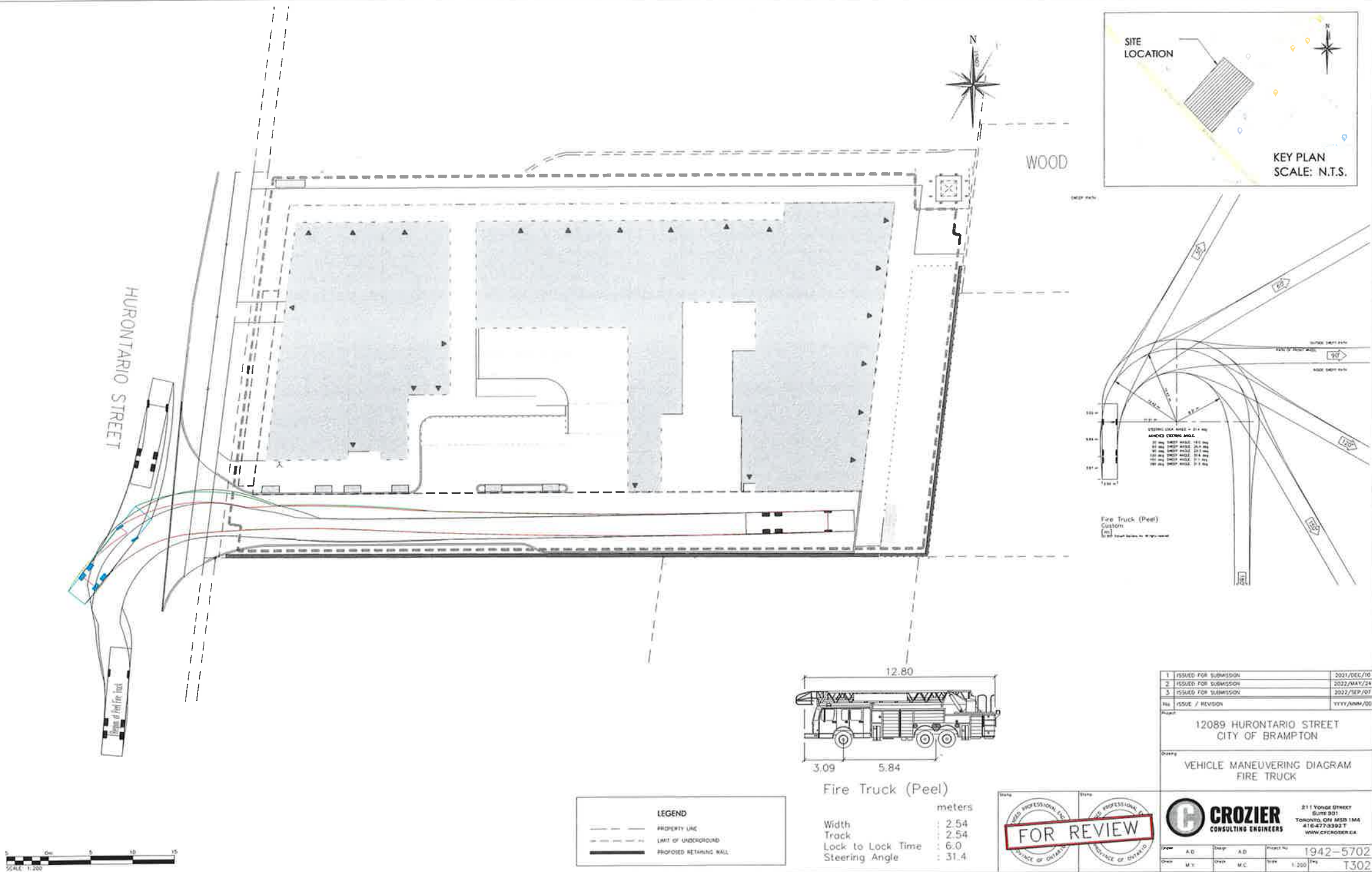
12089 HURONTARIO STREET
CITY OF BRAMPTON

VEHICLE MANEUVERING DIAGRAM
GARBAGE TRUCK

CROZIER
CONSULTING ENGINEERS

211 YONGE STREET
SUITE 201
TORONTO, ON M5H 1M4
416-477-0392 T
WWW.CROZIER-CA.com

Drawn	A.D.	Checked	A.D.	Project No.	1942-5702
Date	M.S.	Date	M.C.	Scale	1:200
				Sheet	T301



Fire Truck (Peel)
 Width : 2.54 meters
 Track : 2.54
 Lock to Lock Time : 6.0
 Steering Angle : 31.4

LEGEND

- PROPERTY LINE
- - - - - LIMIT OF UNDERGROUND
- PROPOSED RETAINING WALL



1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
REV.	ISSUE / REVISION	YYYY/MM/DD

12089 HURONTARIO STREET
 CITY OF BRAMPTON

VEHICLE MANEUVERING DIAGRAM
 FIRE TRUCK



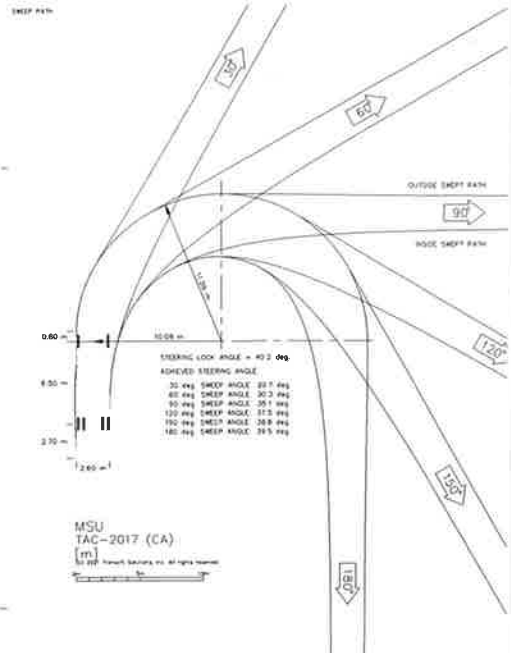
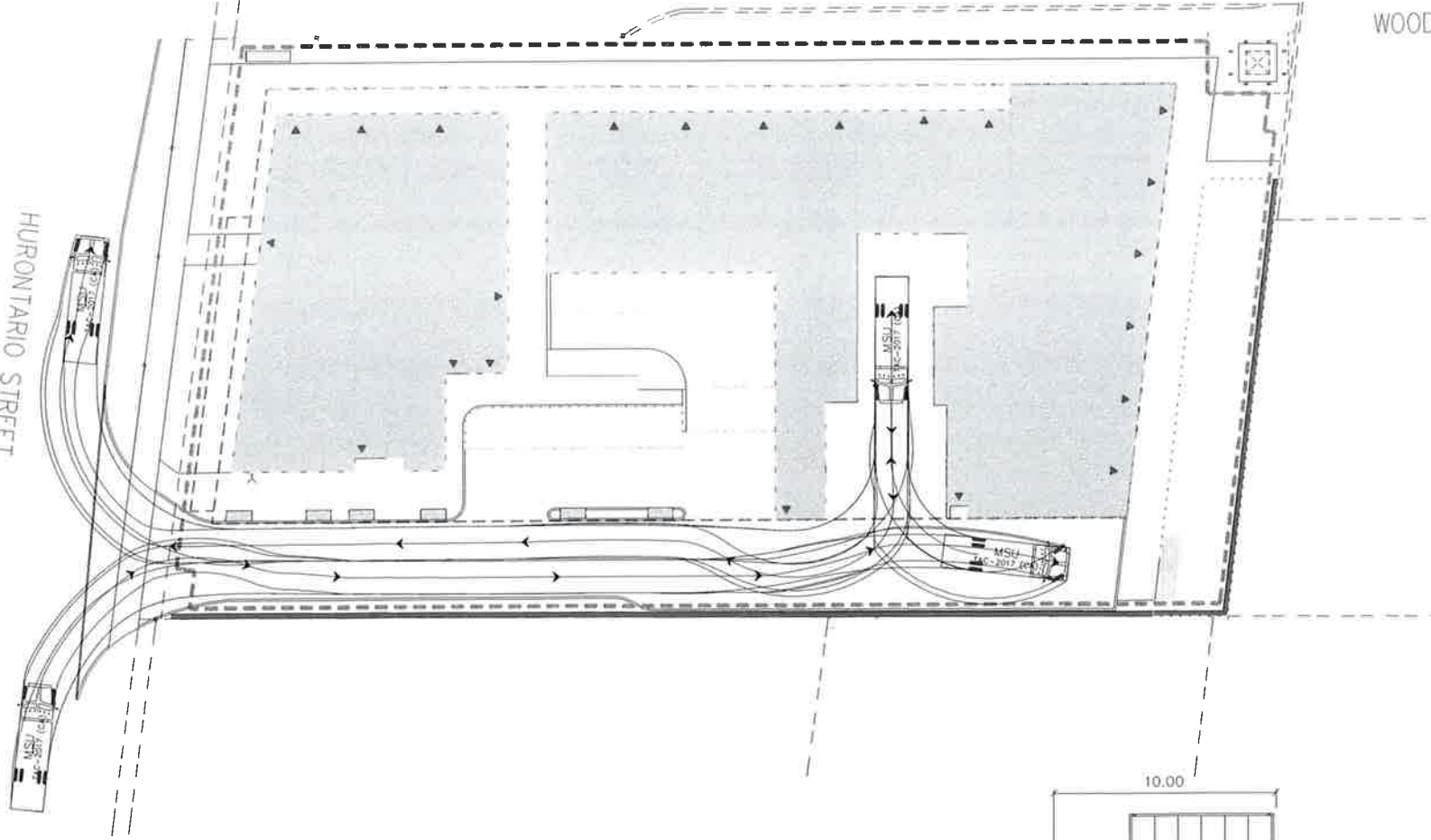
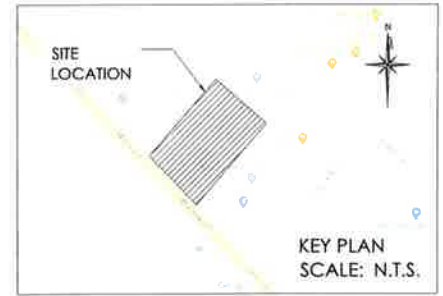
CROZIER CONSULTING ENGINEERS
 211 YONGE STREET
 SUITE 301
 TORONTO, ON M5S 1M4
 416-477-3392 T
 WWW.CFCROZIER.CA

Drawn	A.D.	Checked	A.D.	Project No.	1942-5702	
Drawn	M.T.	Checked	M.C.	Scale	1:200	
					Page	T302

HURONTARIO STREET

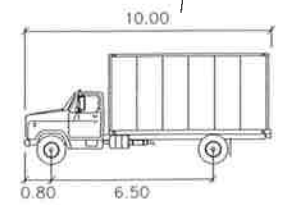


WOOD



LEGEND

- PROPERTY LINE
- - - - - LIMIT OF UNDERGROUND
- PROPOSED RETAINING WALL



MSU

Width	10.00	meters
Track	6.50	meters
Lock to Lock Time	0.80	seconds
Steering Angle	40.2	degrees



1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
No	ISSUE / REVISION	YYYY/MM/DD

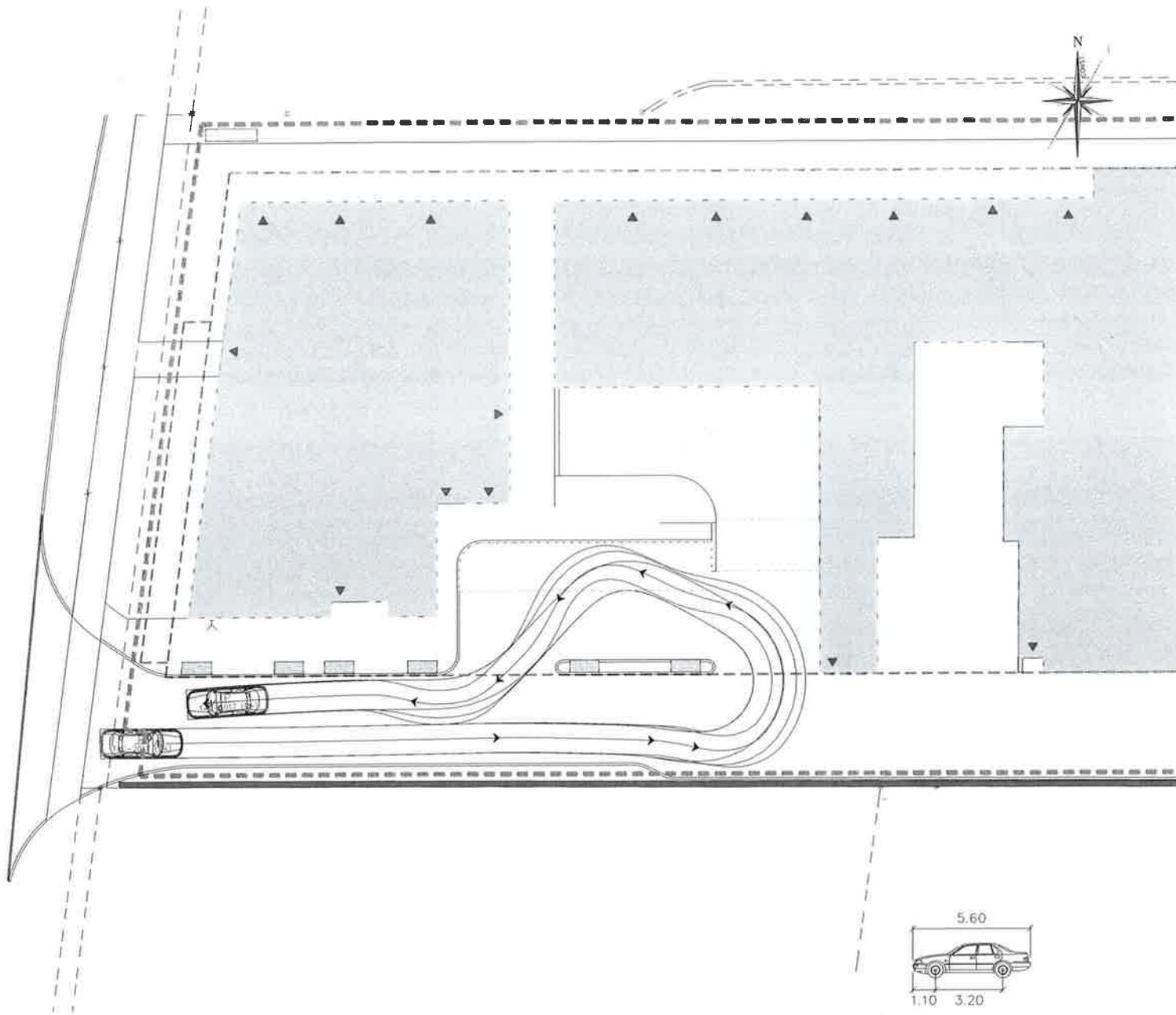
Project: 12089 HURONTARIO STREET
CITY OF BRAMPTON

Drawn: VEHICLE MANEUVERING DIAGRAM
MSU

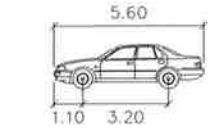
CROZIER CONSULTING ENGINEERS
 211 YONGE STREET SUITE 301
 TORONTO, ONT M5G 1M4
 416-477-3922
 WWW.CROZIERCA.COM

Drawn	A.D.	Checked	A.D.	Project No	1942-5702
Date	M.Y.	Date	M.C.	Scale	1:200
				Sheet	T303

HURONTARIO STREET

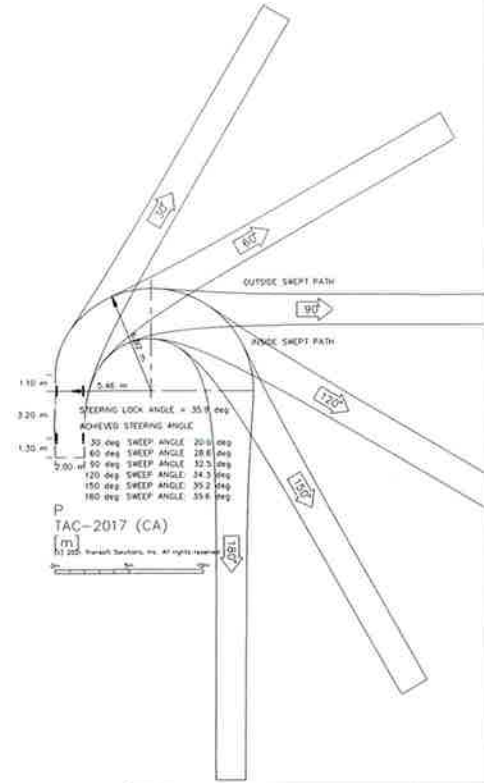
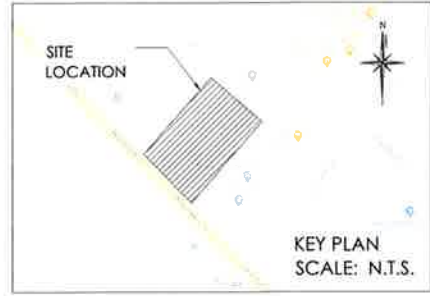


LEGEND	
	PROPERTY LINE
	LINE OF UNDERGROUND
	PROPOSED RETAINING WALL



P

Width	: 2.00	meters
Track	: 2.00	
Lock to Lock Time	: 6.0	
Steering Angle	: 35.9	



1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
No	ISSUE / REVISION	YYYY/MM/DD

12089 HURONTARIO STREET
CITY OF BRAMPTON

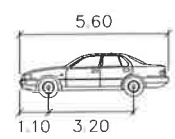
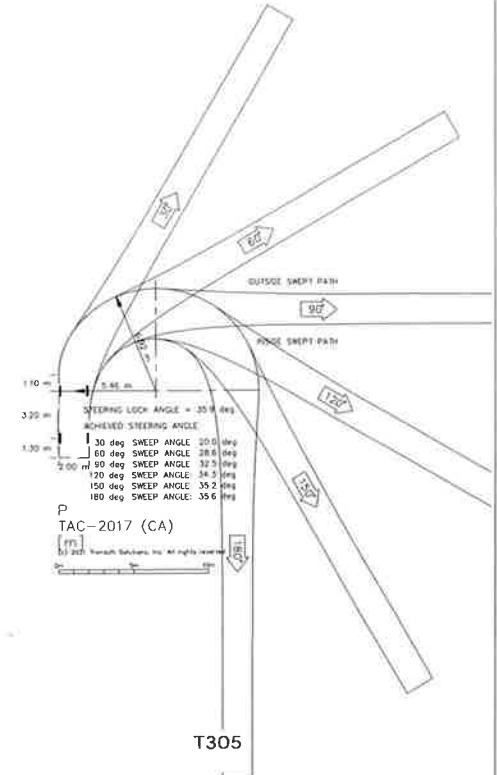
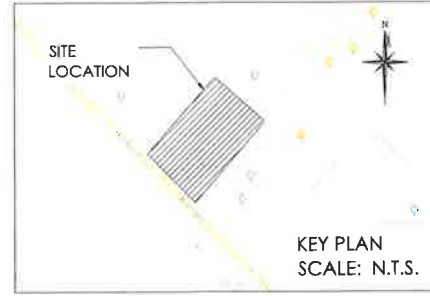
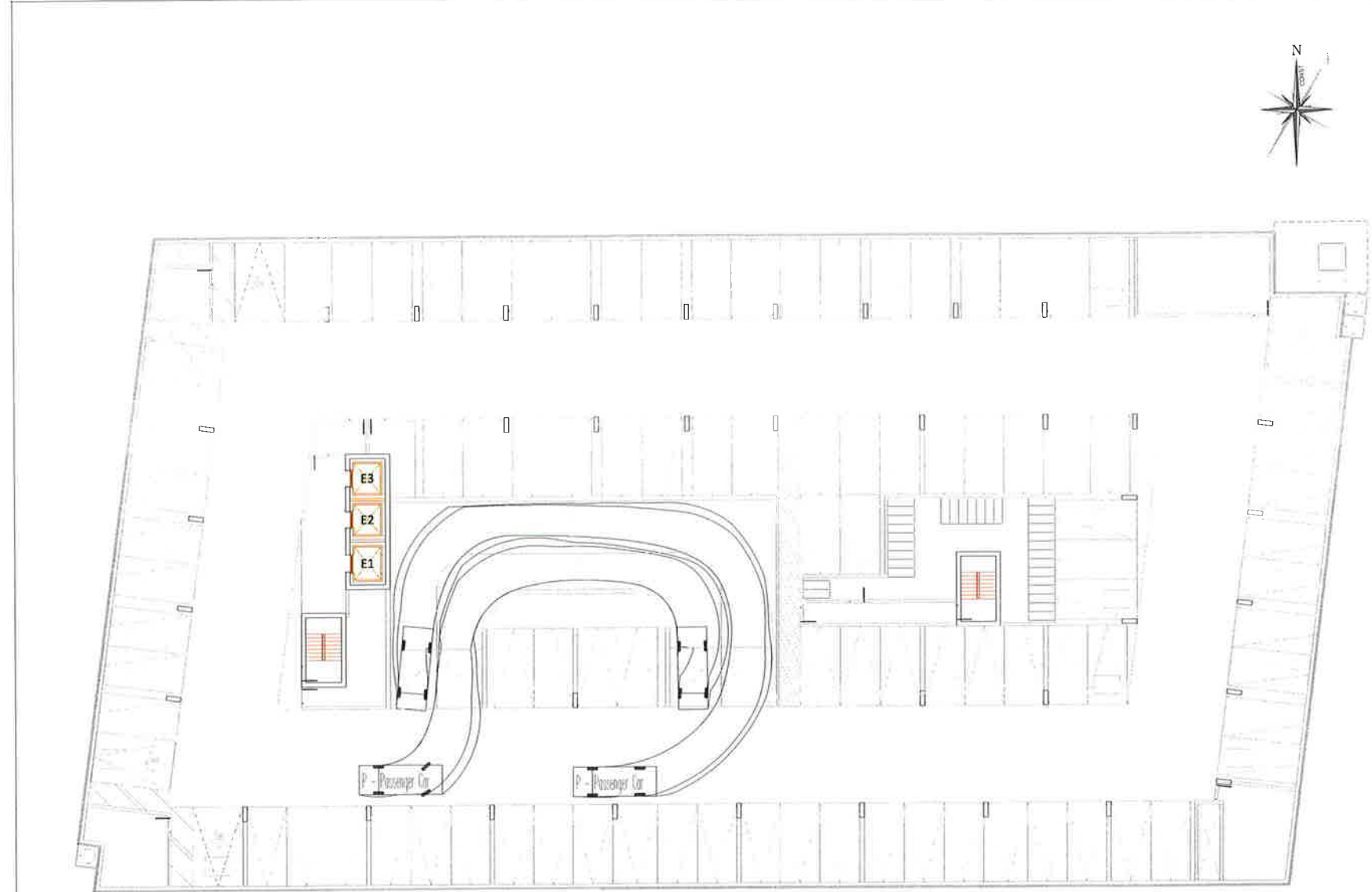
Vehicle
VEHICLE MANEUVERING DIAGRAM
PASSENGER CAR



CROZIER
CONSULTING ENGINEERS

211 YONGE STREET
SUITE 301
TORONTO, ONT. M5B 1M4
416-477-3392 T
WWW.CROZIER.CA

Sheet No.	A.D.	Design	A.O.	Checked By	1942-5702
Drawn	M.Y.	Drawn	M.C.	Scale	1:150
					T304



P

Width	: 2.00	meters
Track	: 2.00	
Lock to Lock Time	: 6.0	
Steering Angle	: 35.9	

1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
No.	ISSUE / REVISION	YYYY/MM/DD

Project
12089 HURONTARIO STREET
CITY OF BRAMPTON

Vehicle Maneuvering Diagram



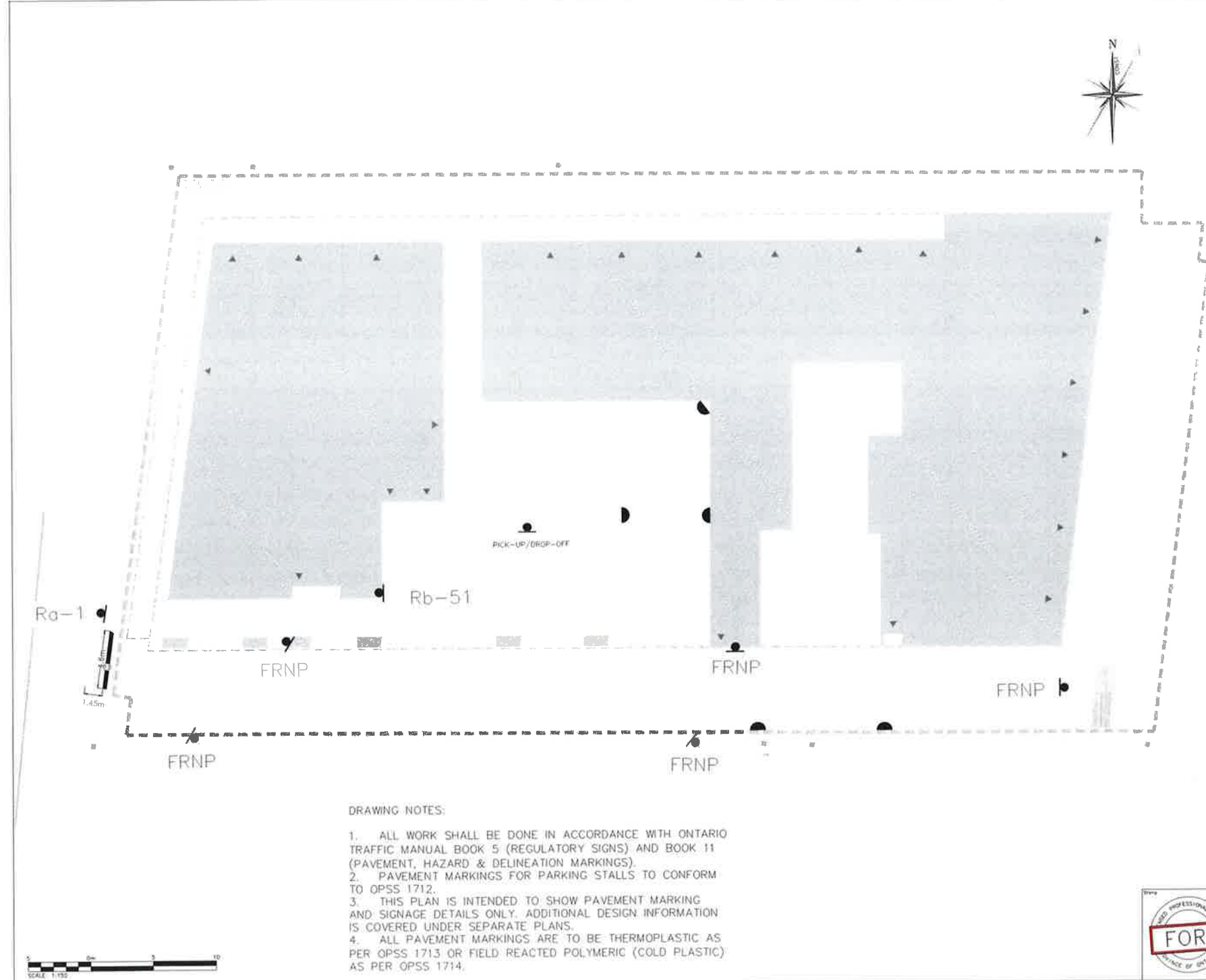
211 YONGE STREET
SUITE 301
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CROZIER.CA

Drawn	T.K.	Checked	T.K.	Project No.	1942-5702
Scale	M.Y.	Scale	M.C.	Size	1:150

T305

ATTACHMENT 3

Pavement Marking Signage Plan



LEGEND	
	PROPOSED SIGN (WALL, CEILING, OR POLE MOUNTED AS NEEDED)
	PROPOSED CONVEX MARKER (WALL OR CEILING MOUNTED)
	RIGHT-OF-WAY (ROW)
	LIMIT OF UNDERGROUND

PAVEMENT MARKINGS LEGEND	
	13 SOLID WHITE, 30cm

NOTES:

1. 111, 333, 333, DENOTES PAVEMENT MARKING SPACING (E.G. 3m LINE, 3m GAP, 3m LINE)
2. USE TO DENOTE PAVEMENT MARKING
3. USE TO DENOTE DURABLE PAVEMENT MARKING

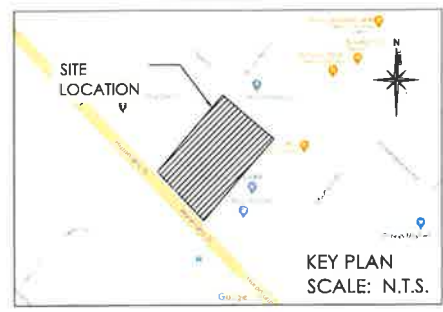
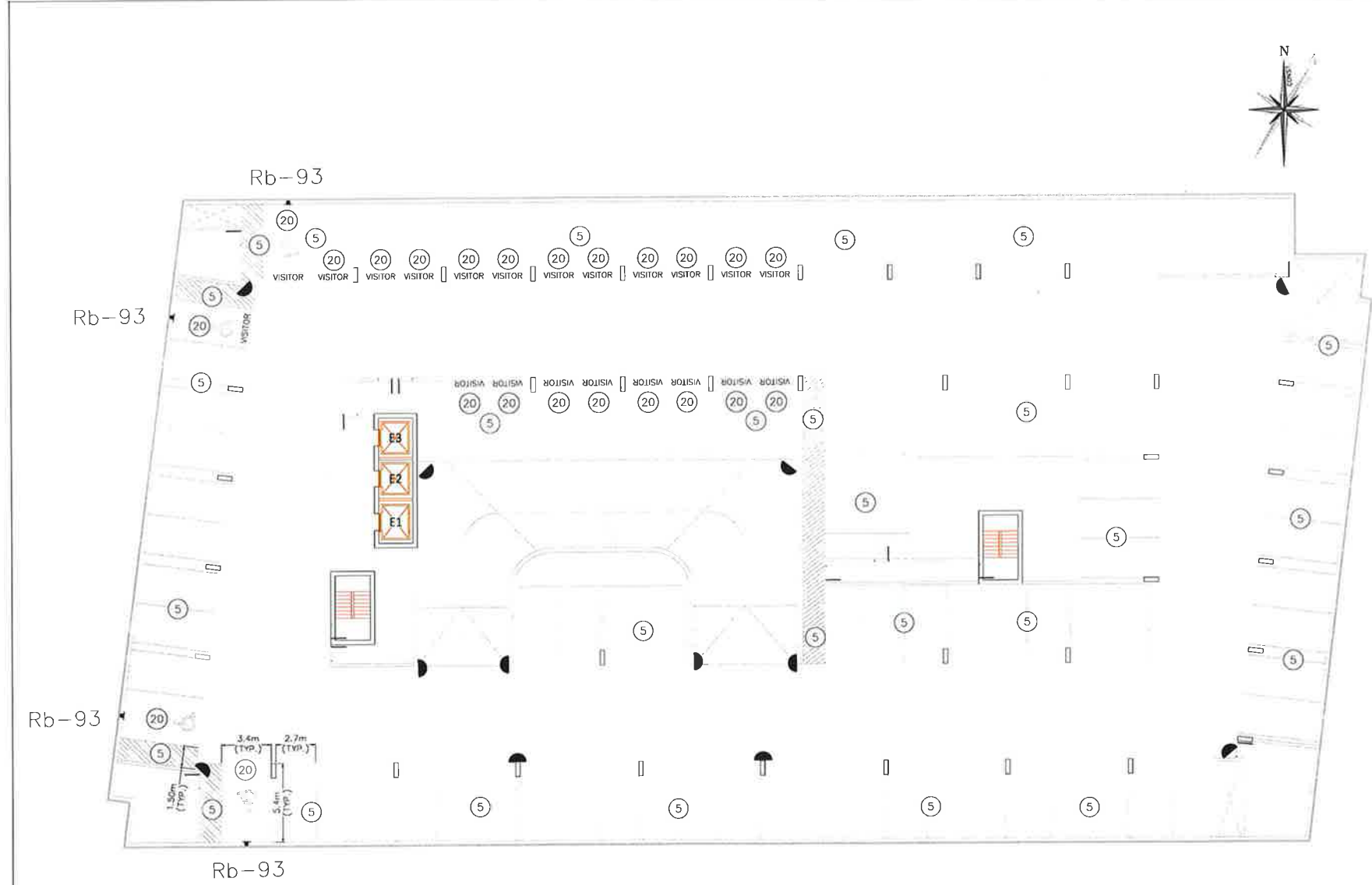
SIGNAGE LEGEND				
SIGN NAME	SIGN NUMBER	SIZE (cm)	QM BOOK	SECTION
STOP	Rp-1	60x60	S	2
FIRE ROUTE	FRNP	30x45	-	-
NO PARKING	Rb-51	30x30	S	13
PICK-UP AND DROP-OFF: 10 MINS LIMIT (CUSTOM)	PICK-UP / DROP-OFF	30x45	-	-

DRAWING NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL BOOK 5 (REGULATORY SIGNS) AND BOOK 11 (PAVEMENT, HAZARD & DELINEATION MARKINGS).
2. PAVEMENT MARKINGS FOR PARKING STALLS TO CONFORM TO OPSS 1712.
3. THIS PLAN IS INTENDED TO SHOW PAVEMENT MARKING AND SIGNAGE DETAILS ONLY. ADDITIONAL DESIGN INFORMATION IS COVERED UNDER SEPARATE PLANS.
4. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC AS PER OPSS 1713 OR FIELD REACTED POLYMERIC (COLD PLASTIC) AS PER OPSS 1714.

1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
No.	ISSUE / REVISION	YYYY/MM/DO
12035 HURONTARIO STREET CITY OF BRAMPTON		
PAVEMENT MARKING AND SIGNAGE PLAN		
		211 YONGE STREET SUITE 600 TORONTO, ON M5B 1M4 416-473-3392 T WWW.CROZIER.CA
Drawn	L.G.	Checked
Drawn	K.H.	Checked
Scale	1:150	Sheet No.
		1942-5702
		PMSP01

FOR REVIEW



LEGEND	
	PROPOSED SIGN (WALL, CEILING OR POLE MOUNTED AS NEEDED)
	PROPOSED COLOR MARKER (WALL OR CEILING MOUNTED)

PAVEMENT MARKINGS LEGEND	
	SOLID WHITE, 10cm
	20-STRIPES

NOTES:
 1. 111, 333, 363, DENOTES PAVEMENT MARKING SPACING (E, 3m LINE, 3m GAP, 3m LINE)
 2. USE TO DENOTE PAVEMENT MARKING
 3. USE TO DENOTE DURABLE PAVEMENT MARKING

SIGNAGE LEGEND				
SIGN NAME	SIGN NUMBER	SIZE (cm) + OTM BOOK	SECTION	
ACCESSIBLE PARKING PERMIT	Rb-93	30x45	5	13



- DRAWING NOTES:
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL BOOK 5 (REGULATORY SIGNS) AND BOOK 11 (PAVEMENT, HAZARD & DELINEATION MARKINGS).
 - PAVEMENT MARKINGS FOR PARKING STALLS TO CONFORM TO OPSS 1712.
 - THIS PLAN IS INTENDED TO SHOW PAVEMENT MARKING AND SIGNAGE DETAILS ONLY. ADDITIONAL DESIGN INFORMATION IS COVERED UNDER SEPARATE PLANS.
 - ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC AS PER OPSS 1713 OR FIELD REACTED POLYMERIC (COLD PLASTIC) AS PER OPSS 1714.

1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
No.	ISSUE / REVISION	YYYY/MM/DD

12035 HURONTARIO STREET
CITY OF BRAMPTON

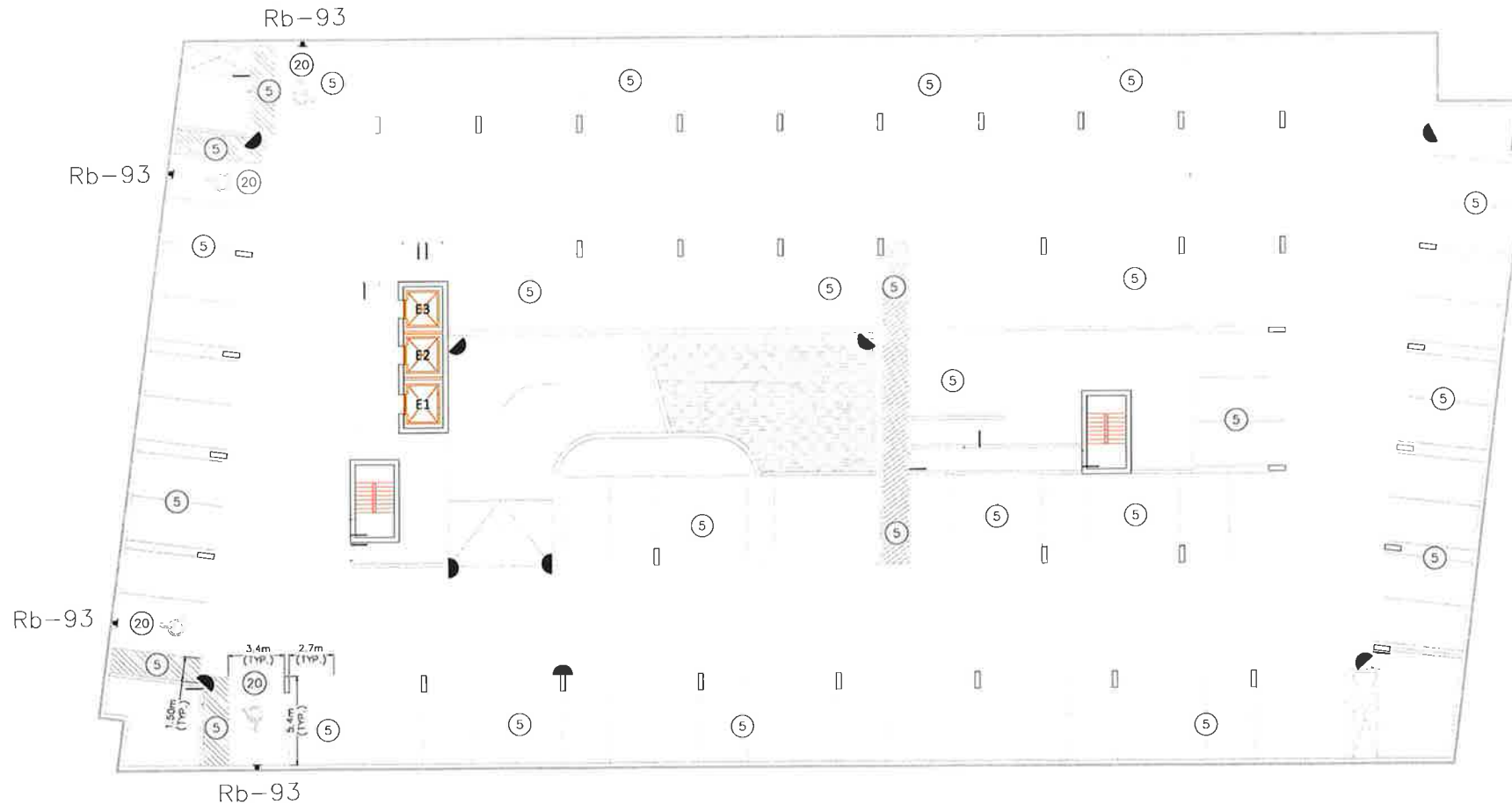
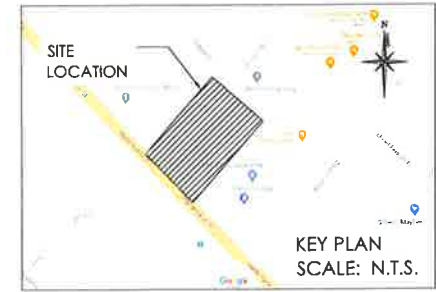
PAVEMENT MARKING AND SIGNAGE PLAN
UNDERGROUND LEVEL P1



CROZIER
CONSULTING ENGINEERS

211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CROZIER.CA

Drawn	L.G.	Design	M.C.	Project No.	1942-5702
Checked	K.H.	Drawn	M.C.	Scale	1:150
				Day	PMSP02



LEGEND	
	PROPOSED SIGN (WALL, CEILING OR POLE MOUNTED AS NEEDED)
	PROPOSED CONVEX MIRROR (WALL OR CEILING MOUNTED)

PAVEMENT MARKINGS LEGEND	
	SOLID WHITE, 10cm
	20 SYMBOLS

NOTES:
 1. 11, 33, 36, 38, DENOTES PAVEMENT MARKING SPACING (E, 3m LINE, 3m GAP, 3m LINE)
 2. USE (5) TO DENOTE PAVEMENT MARKING
 3. USE (20) TO DENOTE DURABLE PAVEMENT MARKING

SIGNAGE LEGEND				
SIGN NAME	SIGN NUMBER	SIZE (cm)	OTM BOOK	SECTION
ACCESSIBLE PARKING PERMIT	Rb-93	30x45	5	13

DRAWING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL BOOK 5 (REGULATORY SIGNS) AND BOOK 11 (PAVEMENT, HAZARD & DELINEATION MARKINGS).
- PAVEMENT MARKINGS FOR PARKING STALLS TO CONFORM TO OPSS 1712.
- THIS PLAN IS INTENDED TO SHOW PAVEMENT MARKING AND SIGNAGE DETAILS ONLY. ADDITIONAL DESIGN INFORMATION IS COVERED UNDER SEPARATE PLANS.
- ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC AS PER OPSS 1713 OR FIELD REACTED POLYMERIC (COLD PLASTIC) AS PER OPSS 1714.



1	ISSUED FOR SUBMISSION	2021/DEC/10
2	ISSUED FOR SUBMISSION	2022/MAY/24
3	ISSUED FOR SUBMISSION	2022/SEP/07
No.	ISSUE / REVISION	YYYY/MM/DD

Project: 12035 HURONTARIO STREET
CITY OF BRAMPTON

Drawn: PAVEMENT MARKING AND SIGNAGE PLAN
UNDERGROUND LEVEL P2



CROZIER CONSULTING ENGINEERS

211 YONGE STREET
SUITE 600
TORONTO, ON M5E 1M4
416-477-3392 T
WWW.CFCROZIER.CA

Drawn: L.G. Design: M.C. Project No: 1942-5702
 Check: K.H. Date: M.C. Scale: 1:150 Day: PMSP03

ATTACHMENT 4

Comment Responses

City of Brampton – Traffic Services Review

Smeeta Adiga
smeeta.adiga@brampton.ca

Comment	Response
1) Conduct a swept path analysis to/from garbage entry/ waste collection entry. Ensure vehicles do not reverse into the site from the municipal right-of-way and vehicles do not reverse from the site into the municipal ROW;	Studio JCI/Crozier: Vehicle Turning Diagrams were included as part of the Transportation Update Letter Submission. See Attachment 2 of the Transportation Update Letter.
2) Where will the temporary drop off and moving area will be? Vehicles cannot be stopped/ parked at fire route;	Studio JCI/Crozier: Pick-up and Drop-off area is proposed.
3) Any internal traffic signage and pavement marking shall be clearly indicated and depicted on site plan	Studio JCI/Crozier: Internal PMSP has been prepared and included in Attachment 3.



12089 Hurontario Street

**Environmental Noise Assessment
Brampton, ON**

**SLR Project No: 241.30009.00000
December 2022**



**ENVIRONMENTAL NOISE ASSESSMENT
12089 Hurontario Street
Brampton, Ontario**

SLR Project No: 241.30009.00000

Prepared by:
SLR Consulting (Canada) Ltd.
100 Stone Road West, Suite 201
Guelph, Ontario, N1G 5L3

for

Black Creek Group
123 Front Street West, #1200
Toronto, Ontario, M5J 2M2

December 13, 2022

Prepared by:



Aaron Haniff, P.Eng.
Senior Acoustics Engineer

TABLE OF CONTENTS

1.	Introduction.....	5
1.1	Focus of Report.....	5
1.2	Nature of the Subject Lands	5
1.3	Nature of the Surroundings.....	5
PART 1: IMPACTS OF THE ENVIRONMENT ON THE DEVELOPMENT.....		6
2.	Transportation Noise Impacts	6
2.1	Transportation Noise Sources	6
2.2	Surface Transportation Noise Criteria.....	6
	2.2.1 Region of Peel	8
2.3	Traffic Data and Future Projections	8
	2.3.1 Roadway Traffic Data.....	8
	2.3.2 Façade Sound Levels	9
	2.3.3 Outdoor Amenity Areas	10
2.4	Façade Recommendations	10
	2.4.1 Glazing Requirements	10
2.5	Ventilation and Warning Clause Requirements	11
	2.5.1 Residential Units	11
	2.5.2 Outdoor Living Areas.....	11
3.	Stationary Source Noise Impacts.....	12
3.1	Stationary Noise Modelling	12
3.2	Stationary Noise Criteria.....	13
	3.2.1 MECP NPC-300 Guidelines for Stationary Noise Sources.....	13
	3.2.2 Predicted Façade Levels.....	14
3.3	Ventilation and Noise Warning Clauses	14
PART 2: IMPACTS OF THE DEVELOPMENT ON THE SURROUNDING AREA		15
4.	Impacts on Surrounding Properties.....	15
PART 3: IMPACTS OF THE DEVELOPMENT ON ITSELF		16
5.	Noise Impacts from the Development Mechanical Systems on Itself	16
6.	Conclusions and Recommendations.....	17
6.1	Transportation Noise	17
6.2	Stationary Noise.....	17
6.3	Overall Assessment.....	17

7. References..... 18

8. Statement Of Limitations..... 18

TABLES

Table 1: MECP Publication NPC-300 Sound Level Criteria for Road and Rail Noise 7

Table 2: MECP Publication NPC-300 Outdoor Living Area Mitigation Requirements 7

Table 3: MECP Publication NPC-300 Ventilation & Warning Clause Requirements 7

Table 4: MECP Publication NPC-300 Building Component Requirements..... 8

Table 5: Summary of Road Traffic Data Used in the Transportation Analysis 9

Table 6: Summary of Transportation Facade Sound Levels 9

Table 7: Summary of Transportation Noise Impacts - OLAs 10

Table 8: Summary of Glazing Requirements 11

Table 9: NPC-300 Class 1 Continuous Sound Noise Requirements..... 13

Table 10: Summary of Road Traffic Data Used in the Transportation Analysis 13

Table 11: Summary of Stationary Façade Sound Levels..... 14

FIGURES

Figure 1: Context Plan

Figure 2: Façade Sound Levels – Roadway – Daytime

Figure 3: Façade Sound Levels – Roadway – Night-time

Figure 4: Outdoor Living Area – Transportation Noise Impacts

Figure 5: Stationary Source Location

Figure 6: Modelled Stationary Noise Impacts – Daytime/Evening (Unmitigated)

Figure 7: Modelled Stationary Noise Impacts – Nighttime (Unmitigated)

Figure 8: Modelled Excess of the Guideline Limits Stationary Noise – Daytime/Evening (Unmitigated)

Figure 9: Modelled Excess of the Guideline Limits Stationary Noise – Nighttime (Unmitigated)

Figure 10: Outdoor Living Area Sound Levels – Surrounding Stationary

APPENDICES

Appendix A: Development Drawings

Appendix B: Traffic Data and Calculations

Appendix C: STAMSON Validation Files

Appendix D: Detailed Façade Calculations

Appendix E: Required Warning Clauses

Appendix F: Stationary Source Sound Level Data

1. INTRODUCTION

SLR Consulting (Canada) Ltd., was retained by Black Creek Group to conduct an Environmental Noise Assessment for the proposed 12089 Hurontario Street development (site), located in Brampton, Ontario. This report is in support of the Site Plan Approval (SPA) application for the development.

1.1 FOCUS OF REPORT

In keeping with Region of Peel and City of Brampton requirements, this report examines the potential for:

- Impacts of the environment on the proposed development;
- Impacts of the proposed development on the environment; and
- Impacts of the proposed development on itself.

1.2 NATURE OF THE SUBJECT LANDS

The proposed development is located at 12089 Hurontario Street, on the east side of the street between Mayfield Road and Highwood road, in Brampton, ON. The current site current has a single vacant dwelling, that will be demolished as part of the proposed development.

The proposed development is a mid-rise residential apartment building with a total of 9 storeys plus a mechanical penthouse. There are individual unit entrances along east and north facades of the building. Outdoor amenity spaces are located on the second floor facing south, on the seventh floor facing north, east and south and the ground floor to the east of the building structure. The proposed development includes two levels of underground parking.

The site plan and architectural drawings of the proposed development is provided in Appendix A.

1.3 NATURE OF THE SURROUNDINGS

Immediately surrounding the site is the Coptic Orthodox church and Snelgrove Place residence to the north, low-rise residences and commercial buildings to the east, a gas station to the south and low-rise residences to the west. Beyond the immediate surroundings the area is dominated by low-rise residential buildings, small scale commercial establishments and rural areas.

The development is located outside of the Pearson NEF 25 noise contours. Therefore, an assessment of aircraft noise impacts is not required.

The nearest rail line is approximately 700m from the development, therefore, a vibration study is not required.

The topography of the immediate surrounding area is considered to be essentially flat, with no significant variations.

A context plan can be found in Figure 1.

PART 1: IMPACTS OF THE ENVIRONMENT ON THE DEVELOPMENT

In assessing potential impacts of the environment on the proposed development, the focus of this report is to assess the potential for:

- Transportation noise impacts from the surrounding roadways;
- Transportation noise impacts from the surrounding railways; and
- “Stationary” noise impacts from the surrounding commercial and industrial lands.

2. TRANSPORTATION NOISE IMPACTS

2.1 TRANSPORTATION NOISE SOURCES

Roadway noise sources of interest with the potential to produce noise at the proposed development include Hurontario Street and Mayfield Road.

Sound exposure levels at the development have been predicted, and this information has been used to identify façade, ventilation and warning clause requirements.

2.2 SURFACE TRANSPORTATION NOISE CRITERIA

Noise Sensitive Developments

Ministry of the Environment, Conservation and Parks (MECP) Publication NPC-300 provides sound level criteria for noise sensitive developments. The applicable portions of NPC-300 are Part C – Land Use Planning and the associated definitions outlined in Part A – Background. Tables 1 to 4 below summarize the applicable surface transportation (road and rail) criteria limits.

Location Specific Criteria

Table 1 summarizes criteria in terms of energy equivalent sound exposure (L_{eq}) levels for specific noise-sensitive locations. Both outdoor and indoor locations are identified, with the focus of outdoor areas being amenity spaces. Indoor criteria vary with sensitivity of the space. As a result, sleep areas have more stringent criteria than Living / Dining room space.

Table 1: MECP Publication NPC-300 Sound Level Criteria for Road and Rail Noise

Type of Space	Time Period	Equivalent Sound Exposure Level - L_{eq} (dBA)		Assessment Location
		Road	Rail ^[1]	
Outdoor Living Area (OLA)	Daytime (0700-2300h)	55	55	Outdoors ^[2]
Living / Dining Room	Daytime (0700-2300h)	45	40	Indoors ^[4]
	Night-time (2300-0700h)	45	40	Indoors ^[4]
Sleeping Quarters	Daytime (0700-2300h)	45	40	Indoors ^[4]
	Night-time (2300-0700h)	40	35	Indoors ^[4]

Notes: [1] Whistle noise is excluded for OLA noise assessments, and included for Living / Dining Room and Sleeping Quarter assessments.
 [2] Road and Rail noise impacts are to be combined for assessment of OLA impacts.
 [3] An assessment of indoor noise levels is required only if the criteria in Table 4 are exceeded.

Outdoor Amenity Areas

Table 2 summarizes the noise mitigation requirements for communal outdoor amenity areas (“Outdoor Living Areas” or “OLAs”).

For the assessment of outdoor sound levels, the surface transportation noise impact is determined by combining road and rail traffic sound levels. Whistle noise due to railway trains is not included in the determination of levels.

Table 2: MECP Publication NPC-300 Outdoor Living Area Mitigation Requirements

Time Period	Equivalent Sound Level in Outdoor Living Area (dBA)	Ventilation Requirements
Daytime (0700-2300h)	≤ 55	• None
	55 to 60 incl.	• Noise barrier OR Warning Clause A
	> 60	• Noise barrier to reduce noise to 55 dBA OR • Noise barrier to reduce noise to 60 dBA and Warning Clause B

Ventilation and Warning Clauses

Table 3 summarizes requirements for ventilation where windows potentially would have to remain closed as a means of noise control. Despite implementation of ventilation measures where required, if sound exposure levels exceed the guideline limits in Tables 1, warning clauses advising future occupants of the potential excesses are required. Warning clauses also apply to OLAs.

Table 3: MECP Publication NPC-300 Ventilation & Warning Clause Requirements

Assessment Location	Time Period	Energy Equivalent Sound Exposure Level - L_{eq} (dBA)		Ventilation and Warning Clause Requirements ^[2]
		Road	Rail ^[1]	
Outdoor Living Area	Daytime (0700-2300h)	56 to 60 incl.		Type A Warning Clause
Plane of	Daytime (0700-2300h)	≤ 55		None

Assessment Location	Time Period	Energy Equivalent Sound Exposure Level - L_{eq} (dBA)		Ventilation and Warning Clause Requirements ^[2]
		Road	Rail ^[1]	
Window		56 to 65 incl.		Forced Air Heating /provision to add air conditioning + Type C Warning Clause
		> 65		Central Air Conditioning + Type D Warning Clause
	Night-time (2300-0700h)	51 to 60 incl.		Forced Air Heating/ provision to add air conditioning + Type C Warning Clause
		> 60		Central Air Conditioning + Type D Warning Clause

Notes: [1] Rail whistle noise is excluded.

[2] Road and Rail noise is combined for determining Ventilation and Warning Clause requirements.

Building Shell Requirements

Table 4 provides sound level thresholds which if exceeded, require the building shell and components (i.e., wall, windows) to be designed and selected accordingly to ensure that the Table 3 and 4 indoor sound criteria are met.

Table 4: MECP Publication NPC-300 Building Component Requirements

Assessment Location	Time Period	Energy Equivalent Sound Exposure Level - L_{eq} (dBA)		Component Requirements
		Road	Rail ^[1]	
Plane of Window	Daytime (0700-2300h)	> 65	> 60	Designed/ Selected to Meet Indoor Requirements ^[2]
	Night-time (2300-0700h)	> 60	> 55	

Notes: [1] Including whistle noise.

[2] Building component requirements are assessed separately for Road and Railway noise. The resultant sound isolation parameter is required to be combined to determine an overall acoustic parameter.

2.2.1 REGION OF PEEL

The Region of Peel guidelines include the General Guidelines for the Preparation of Acoustical Reports in the Region of Peel, dated November 2012 (ROP Guidelines). In general, the Region of Peel guidelines are consistent with the MECP NPC-300 guidelines. Therefore, the guidelines have not been re-iterated again.

2.3 TRAFFIC DATA AND FUTURE PROJECTIONS

2.3.1 ROADWAY TRAFFIC DATA

The ultimate traffic data for Hurontario Street, including AADT; day/night split; and commercial breakdown, were obtained from the City of Brampton.

Road traffic volumes for Mayfield Road are based on ultimate lane configuration was provided by Region of Peel transportation department, including AADT; day/night split; and commercial breakdown.

Copies of applicable traffic data and calculations can be found in Appendix B. The following Table 5 summarizes the road traffic volumes used in the analysis.

Table 5: Summary of Road Traffic Data Used in the Transportation Analysis

Roadway Link	Ultimate Traffic Volumes (AADT)	% Day/ Night Volume Split		Commercial Traffic Breakdown ^[2]		Vehicle Speed (km/h)
		Daytime	Night-time	% Medium Trucks	% Heavy Trucks	
Hurontario Street	28,000	90	10	2.7	2.4	70
Mayfield Road	48,600	89 ^[1]	11 ^[1]	2.0/1.9	3.2/2.2	60

Notes: [1] Day/Night split provided by Region of Peel.
 [2] Day/Night % of medium and heavy trucks respectively.

Future road traffic sound levels at the proposed development were predicted using Cadna/A, a commercially available noise propagation modelling software. Roadways were modelled as line sources of sound, with sound emission rates calculated using ORNAMENT algorithms, the road traffic noise model of the MECF. These predictions were validated and are equivalent to those made using the MECF’s ORNAMENT or STAMSON v5.04 road traffic noise models. Validation files are included in Appendix C.

Sound levels were predicted along the façades of the proposed development using the “building evaluation” feature of Cadna/A. This feature allows for noise levels to be predicted across the entire façade of a structure.

Ground absorption was assessed as a reflective surface, as the majority of the intervening ground is paved.

2.3.2 FAÇADE SOUND LEVELS

Predicted worst-case façade sound levels are presented in Table 6. The transportation façade sound levels of the development, showing the ranges of predicted daytime and night-time sound levels are shown in Figures 2 and 3 for roadway impacts on the proposed development.

Table 6: Summary of Transportation Façade Sound Levels

Building Section	Façade ^[1]	Roadway Sound Levels ^[2]	
		L _{eq} Day (dBA)	L _{eq} Night (dBA)
Ground to 6 th Floor	North	66	59
	East	62	55
	South	68	61
	West	70	63
7 th to 9 th Floor	North	65	58
	East	61	54
	South	67	60
	West	69	62

Notes: [1] Façade locations are shown in Figure 2.
 [2] The sound levels presented are for the worst-case exposed façade, in which totals may not correspond to the same location.

The façade roadway sound levels are predicted to exceed 65 dBA and 60 dBA during the daytime and nighttime periods, respectively. Therefore, an assessment of building components is required.

2.3.3 OUTDOOR AMENITY AREAS

The Outdoor Living Areas (OLA) of the proposed development include outdoor amenity spaces located on the south side of the 2nd floor, an also outdoor amenity space on 7th floor and at the ground level to the east of the building. The locations of the Outdoor Living Areas are shown in Figure 4.

The development includes a parapet on the 2nd floor amenity area with a minimum height of 1.4 m on the and a parapet on the 7th floor amenity area with a minimum height of 0.8 m. Parapet locations are shown in Figure 4. The parapets must be continuous with no gaps or cracks, and a must have a minimum surface density (mass per unit area) of 20 kg/m² (4 lbs per sq.ft.). A number of different products can be used which meet these specifications, including wood, metal, glass or plexiglass structures.

The predicted noise impacts from the surrounding roadways (including the parapets) are shown in Figure 4 and summarized in the following table:

Table 7: Summary of Transportation Noise Impacts - OLAs

ID	Location	Transportation Impacts L _{eq} Day ^[1] (dBA)
OLA 1	2 nd Floor	60
OLA 2	7 th Floor	60
OLA 3	Ground level	59

Notes: [1] Sound levels up to 60 dBA are allowed with the use of a Type A Warning Clause.

2.4 FAÇADE RECOMMENDATIONS

2.4.1 GLAZING REQUIREMENTS

Indoor sound levels and required façade Sound Transmission Classes (STCs) were estimated using the procedures outlined in National Research Council Building Practice Note BPN-56. Façade calculations are provided in Appendix D. As detailed floor plans were not available at the time of the analysis, the following assumptions were applied to the development units:

- 50% glazing for bedroom facades;
- 70% glazing for living room facades;
- sleeping quarters were assumed to have a façade-to-floor area ratio of 100%;
- living/dining rooms were assumed to have a façade-to-floor area ratio of 50%; and
- non-glazing portion of wall was assumed to have a rating of STC 45 for all locations.

Preliminary acoustical requirements are summarized in the following table:

Table 8: Summary of Glazing Requirements

Building Section	Façade	Glazing Requirements ^[1]	
		Living Room	Bedroom
Ground to 6 th Floor	North	OBC	OBC
	North – Corner Units	OBC	OBC
	South	OBC	OBC
	South – Corner Units	OBC	OBC
	West	OBC	OBC
	West – Corner Units	31	31
7 th to 9 th Floor	North	OBC	OBC
	North – Corner Units	OBC	OBC
	South	OBC	OBC
	South – Corner Units	OBC	OBC
	West	OBC	OBC
	West – Corner Units	30	30

Notes: [1] Corner room STC ratings were conservatively assessed as a façade level + 3 STC points, OBC = Ontario Building Code, meeting a rating of STC 29.

Based on results shown in Table 8 above, updated glazing may be required for corner units, but standard glazing constructions may achieve STC 31. The glazing requirements above are approximated based on the generic room, façade and glazing dimensions. Once detailed floor plans and façade plans become available, the glazing requirements should be re-assessed and reviewed by an Acoustical Consultant.

The combined glazing and frame assembly must be designed to ensure the overall sound isolation performance for the entire window unit meets the sound isolation requirements. It is recommended window manufacturers test data be reviewed to confirm acoustical performance is met.

2.5 VENTILATION AND WARNING CLAUSE REQUIREMENTS

2.5.1 RESIDENTIAL UNITS

The requirements regarding warning clauses are summarized in Table 2. Where required, the Warning Clauses should be included in agreements registered on Title for the residential units, and included in all agreements of purchase and sale or lease, and all rental agreements. Warning Clauses are summarized in Appendix E.

Based on the predicted façade noise levels, mandatory air conditioning and a Type D Warning Clause will be recommended for the all the units in the development.

2.5.2 OUTDOOR LIVING AREAS

As the outdoor amenity area levels are between 55 dBA and 60 dBA, an MECP Type A Warning Clause is recommended in all the units.

The Type A warning clause is included in Appendix E.

3. STATIONARY SOURCE NOISE IMPACTS

A site visit was complete by SLR personnel on January 15, 2021. The site was found to be primarily surrounded by commercial and residential lands. No significant industry is located within a 1000m radius of the development. A context plan is shown in in Figure 1.

As the surrounding area is primarily commercial/retail lands, the inclusion of stationary noise sources was determined based on the MECP Guideline D-6 Potential Influence Areas. Commercial/retail lands are considered to be Class I Industries, in which a 70 m influence area was applied for the inclusion of stationary noise sources. The 70 m influence area from the development property line is shown in Figure 5.

3.1 STATIONARY NOISE MODELLING

Based on the information obtained from the local industries and from our site visit, the significant sources of noise in the area of the project have been identified. Modelled noise sources include:

- HVAC and Chiller Units from existing Snelgrove Place Residence building;
- HVAC and Exhaust Fan units from existing KFC and Taco Bell; and
- Drive Thru idling cars and speaker box from existing KFC / Taco Bell.

Noise impacts from stationary sources were modelled using Cadna/A, a software implementation of the internationally recognized ISO-9613-2 environmental noise propagation algorithms. Cadna/A / ISO-9613 is the preferred noise model of the MECP. The ISO 9613 equations account for:

- Source to receiver geometry;
- Distance attenuation;
- Atmospheric absorption;
- Reflections off of the ground and ground absorption;
- Reflections off of vertical walls; and
- Screening effects of buildings, terrain, and purpose-built noise barriers (noise walls, berms, etc.).

The following additional parameters were used in the modelling, which are consistent with providing a conservative (worst-case assessment of noise levels):

- Temperature: 10°C;
- Relative Humidity: 70%;
- Ground Absorption G: $G=0.2$ (mostly reflective) as default global parameter;
- Reflection: An order of reflection of 1 was used (accounts for noise reflecting from walls);
- Wall Absorption Coefficients: Set to 0.21 (21 % of energy is absorbed, 79% reflected); and
- Terrain: Relatively flat near the Project site.

Sound level data from site visit measurements, manufacturer's and generic SLR historical sound level data was applied in the stationary noise modelling. A summary of the sound levels used in the analysis and equipment operating conditions is included in Appendix F. The location of all stationary sources modelled are shown in Figure 5.

3.2 STATIONARY NOISE CRITERIA

3.2.1 MECP NPC-300 GUIDELINES FOR STATIONARY NOISE SOURCES

MECP noise guidelines for stationary source noise impacting residential developments are given in MECP publication NPC-300. The applicable portions of NPC-300 are Part C – Land Use Planning and the associated definitions outlined in Part A Background.

The acoustic environment surrounding the proposed development is dominated by the roadway noise. Therefore, the proposed development is considered to be located in a Class 1 area.

The sound level limit for steady sound sources are expressed as a 1-hr equivalent sound level (L_{eq} (1 hr) values, in dBA) and is the higher of the NPC-300 exclusionary limits and the existing background sound level. The NPC-300 stationary source noise requirements in a Class 1 Area are summarized in Table 9 steady sound sources.

Table 9: NPC-300 Class 1 Continuous Sound Noise Requirements

Receiver Category	Time Period	Exclusionary Sound Level Limits, L_{eq} (1 hr), dBA ^[1]
Outdoor point of reception (OPOR)	0700 – 1900h	50
	1900 – 2300h	50
	2300 – 0700h	-
Plane of Window ^[2]	0700 – 1900h	50
	1900 – 2300h	50
	2300 – 0700h	45

Notes: [1] or minimum hourly L_{eq} of background noise, whichever is higher.

[2] Applicable for “Noise Sensitive Spaces”, as defined in NPC-300.

Since the ambient sound levels were anticipated to exceed the NPC-300 exclusionary limits, sound exposures from roadway noise were assessed and the corresponding applicable guideline limits were determined.

Table 10: Summary of Road Traffic Data Used in the Transportation Analysis

Roadway Link	2019 Traffic Volumes ^[1] (AADT)	% of Worst-Case Hour for Day / Eve / Night			Commercial Traffic Breakdown		Vehicle Speed (km/h)
		Day	Evening	Night	% Medium Trucks	% Heavy Trucks	
Hurontario Street	17,963	4.3	3.1	0.4	2.6	1.0	70
Mayfield Road	19,899	4.3	3.1	0.4	4.0	1.3	60

Notes: [1] Calculated from TMCs provided by traffic consultant Spectrum.

As with the Transportation assessment, ambient roadway noise was modelled as line sources of sound using the Cadna/A computer model. The minimum hourly L_{eq} for the ambient sound levels were found to exceed the NPC-300 default guideline limits during all periods of the day.

As a conservative assessment of stationary impacts, the daytime/evening operations were considered to be the same and were assessed against the stricter evening criteria.

Surrounding facility noise impacts were assessed against the higher of the modelled ambient noise levels and the exclusionary limits in Table 9.

3.2.2 PREDICTED FAÇADE LEVELS

The “building evaluation” feature of Cadna/A was used to assess noise impacts on the residential portions of the proposed development building. This feature allows for noise levels to be predicted across the entire façade of a structure.

A summary of the predicted noise impacts on each façade are shown in Figures 6 and 7 for the daytime/evening and night-time periods, respectively. The difference between the existing ambient sound levels and the surrounding stationary noise impacts are shown in Figures 8 and 9 for daytime/evening and night-time periods, respectively.

The predicted worst-case noise impacts at the OPORs from the stationary sources are shown in Figure 10. All OPOR levels are predicted to be at or below the default Class 1 criteria of 50 dBA for outdoor amenity spaces. Therefore, additional noise mitigation is not required.

Based on a preliminary assessment of stationary noise impacts, excesses of the guideline limits are predicted for the north facade of the proposed Building.

Table 11: Summary of Stationary Façade Sound Levels

Building	Façade ^[1]	Stationary Sound Levels ^[2]		Applicable Guideline Limit ^[3]	
		Day and Evening	Night	Day and Evening	Night
Ground to 6 th Floor	North	44	41	≤ 61	≤ 50
	East	51	43	≤ 55	≤ 44
	South	51	45	≤ 62	≤ 51
	West	34	22	≤ 64	≤ 54
7 th to 9 th Floor	North	49	45	≤ 59	≤ 49
	East	48	40	≤ 54	≤ 44
	South	48	41	≤ 61	≤ 50
	West	34	31	≤ 63	≤ 52

- Notes:
- All values are L_{eq}(1 hr) sound levels, in dBA.
 - [1] Façade locations are identified on Figure 2.
 - [2] Sound levels shown represent the worst-case impact along the identified facade.
 - [3] Guideline limit is the higher of the ambient sound levels and the exclusion limit.

The guideline limits are predicted to met.

3.3 VENTILATION AND NOISE WARNING CLAUSES

Due to the proximity of the surrounding Snelgrove Place and commercial/retail operations, a Type E warning clause should be included for all residential units in the development.

Where required, the Warning Clauses should be included in agreements registered on Title for the residential units and included in all agreements of purchase and sale or lease, and all rental agreements. Warning Clauses are summarized in Appendix D.

PART 2: IMPACTS OF THE DEVELOPMENT ON THE SURROUNDING AREA

4. IMPACTS ON SURROUNDING PROPERTIES

In terms of the noise environment of the area, it is expected that the project will have a negligible effect on the neighbouring properties.

The traffic related to the proposed development will be small relative to the existing traffic volumes within the area and is not of concern with respect to noise impact.

Other possible development noise sources with potentially adverse impacts on the surrounding neighbourhood are the potential mechanical equipment (make up air units, PTACs and parking garage vents, etc.). This equipment is required to meet MECP Publication NPC-300 requirements at the worst-case off-site noise sensitive receptors.

Potential impacts should be assessed as part of the final building design. The criteria can be met at all surrounding and on-site receptors by the appropriate selection of mechanical equipment, by locating equipment with sufficient setback from noise sensitive locations, and by incorporating control measures (e.g., silencers, barriers) into the design.

It is recommended the mechanical systems be reviewed by an Acoustical Consultant prior to final selection of equipment.

PART 3: IMPACTS OF THE DEVELOPMENT ON ITSELF

5. NOISE IMPACTS FROM THE DEVELOPMENT MECHANICAL SYSTEMS ON ITSELF

The building mechanical systems (e.g., make-up air units, PTAC units, and parking garage vents, etc.) have not been designed in detail at this stage. Although no adverse impacts are expected, such equipment has the potential to result in noise impacts on the noise sensitive spaces within the development.

Therefore, the potential impacts should be assessed as part of the final building design. The criteria is expected to be met at all on-site receptors with the appropriate selection of mechanical equipment, by locating equipment to minimize noise impacts within the development, and by incorporating control measures (e.g., silencers, barriers) into the design.

It is recommended that the mechanical systems be reviewed by an Acoustical Consultant prior to final selection of equipment.

6. CONCLUSIONS AND RECOMMENDATIONS

The potential for noise impacts on and from the proposed development have been assessed. Impacts of the environment on the development, the development on the surrounding area and the development on itself have been considered. Based on the results of our studies, the following conclusions have been reached:

6.1 TRANSPORTATION NOISE

- An assessment of transportation noise impacts from surrounding roadways has been completed.
- Based on transportation façade sound levels upgraded glazing may be required for some corner units of the proposed development, as outlined in outlined in Section 2.4. Additional analysis should be completed when interior room and wall construction details are available.
- Noise impacts within the common outdoor amenity areas are predicted to be within acceptable levels, with parapets heights of 1.4m and 0.8 m for the 2nd and 7th storey OLAs, as outlined in Section 2.3.3.
- As required by MECP Publication NPC-300, the Type A and Type D Warning Clauses (outlined in Section 2.5) should be included in agreements registered on Title for the residential units, and included in agreements of purchase and sale. Warning Clauses are summarized in Appendix E.

6.2 STATIONARY NOISE

- “Stationary” noise from the surrounding commercial and industrial facilities were assessed on the proposed development, as outlined in Section 3.
- Stationary noise impacts from the surrounding commercial noise are predicted to meet NPC-300 Class 1 guideline limits on all façades, and outdoor living areas, as outlined in Section 3.2.3.
- As required by MECP Publication NPC-300, the Type E Warning Clauses (outlined in Section 3.3) should be included in agreements registered on Title for the residential units, and included in agreements of purchase and sale. Warning Clauses are summarized in Appendix E.

6.3 OVERALL ASSESSMENT

- Impacts of the environment on the proposed development can be adequately controlled through the feasible mitigation measures, and warning clauses detailed in Part 1 of this report.
- Impacts of the proposed development on the surrounding area are anticipated to be adequately controlled by following the design guidance outlined in Part 2 of this report.
- Impacts of the proposed development on itself are anticipated to be adequately controlled by following the design guidance outlined in Part 3 of this report.

As the mechanical systems for the proposed development have not been designed at the time of this assessment, the acoustical requirements above should be confirmed by an Acoustical Consultant as part of the final building design.

7. REFERENCES

International Organization for Standardization, ISO 9613-2: Acoustics – Attenuation of Sound During Propagation Outdoors Part 2: General Method of Calculation, Geneva, Switzerland, 1996.

Ontario Ministry of the Environment, Conservation and Parks, 1989, Ontario Road Noise Analysis Method for Environment and Transportation (ORNAMENT)

Ontario Ministry of the Environment, Conservation and Parks, 1996, STAMSON v5.04: Road, Rail and Rapid Transit Noise Prediction Model

Ontario Ministry of the Environment, Conservation and Parks, Publication NPC-300: *Environmental Noise Guideline, Stationary and Transportation Sources – Approval and Planning*, 2013.

8. STATEMENT OF LIMITATIONS



This report has been prepared and the work referred to in this report has been undertaken by SLR Consulting (Canada) Ltd. (SLR) for Black Creek Group, hereafter referred to as the “Client”. It is intended for the sole and exclusive use of the Client. The report has been prepared in accordance with the Scope of Work and agreement between SLR and the Client. Other than by the Client, Municipality, and as set out herein, copying or distribution of this report or use of or reliance on the information contained herein, in whole or in part, is not permitted unless payment for the work has been made in full and express written permission has been obtained from SLR.

This report has been prepared in a manner generally accepted by professional consulting principles and practices for the same locality and under similar conditions. No other representations or warranties, expressed or implied, are made.



Opinions and recommendations contained in this report are based on conditions that existed at the time the services were performed and are intended only for the client, purposes, locations, time frames and project parameters as outlined in the Scope of Work and agreement between SLR and the Client. The data reported, findings, observations and conclusions expressed are limited by the Scope of Work. SLR is not responsible for the impacts of any changes in environmental standards, practices, or regulations subsequent to performance of services. SLR does not warranty the accuracy of information provided by third party sources.

 **Figures**





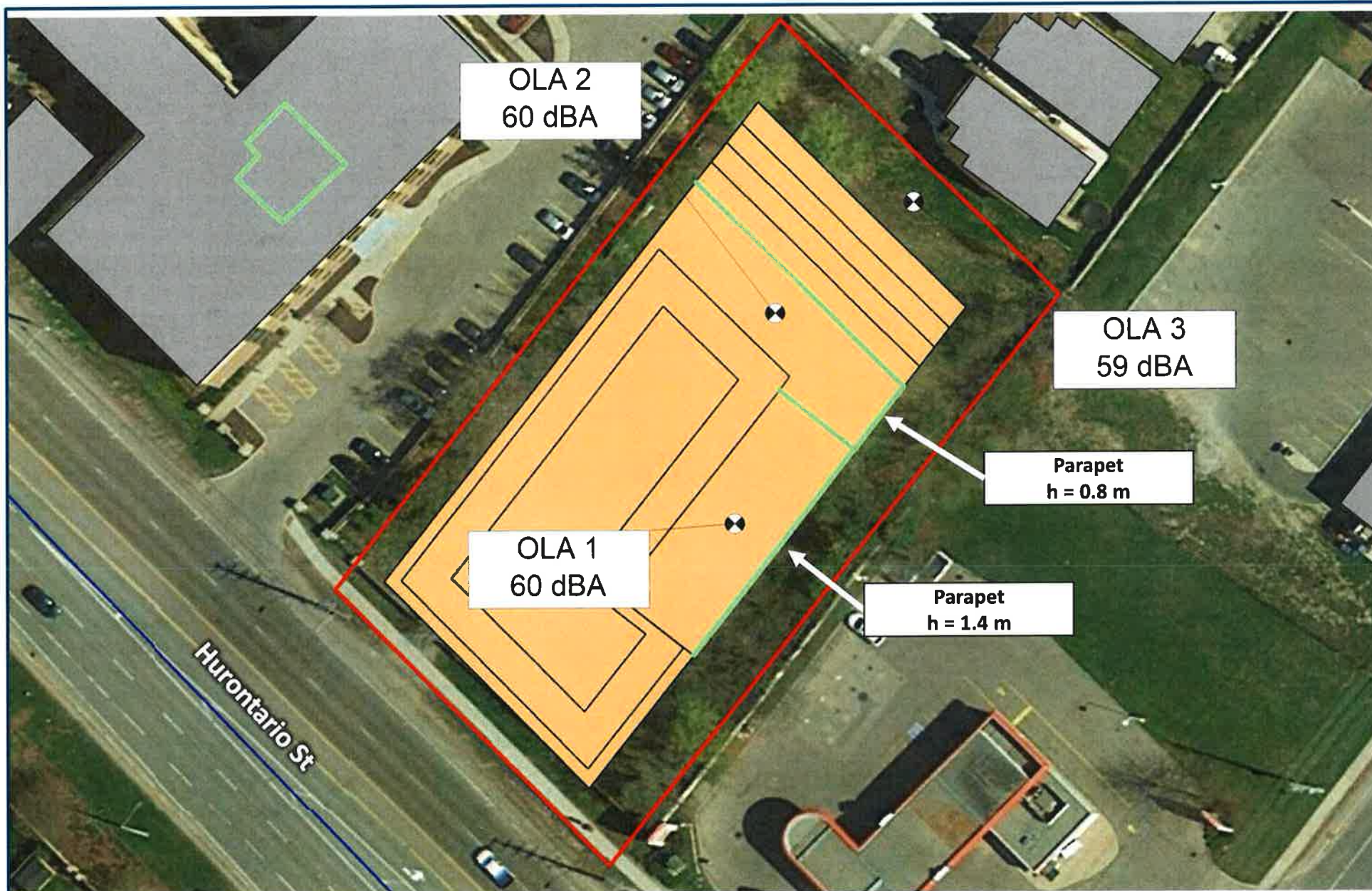
BLACK CREEK GROUP	True North	Scale: 1:7,000	METRES		
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0		Figure No.
CONTEXT PLAN		Project No. 241.30009.00000	1		





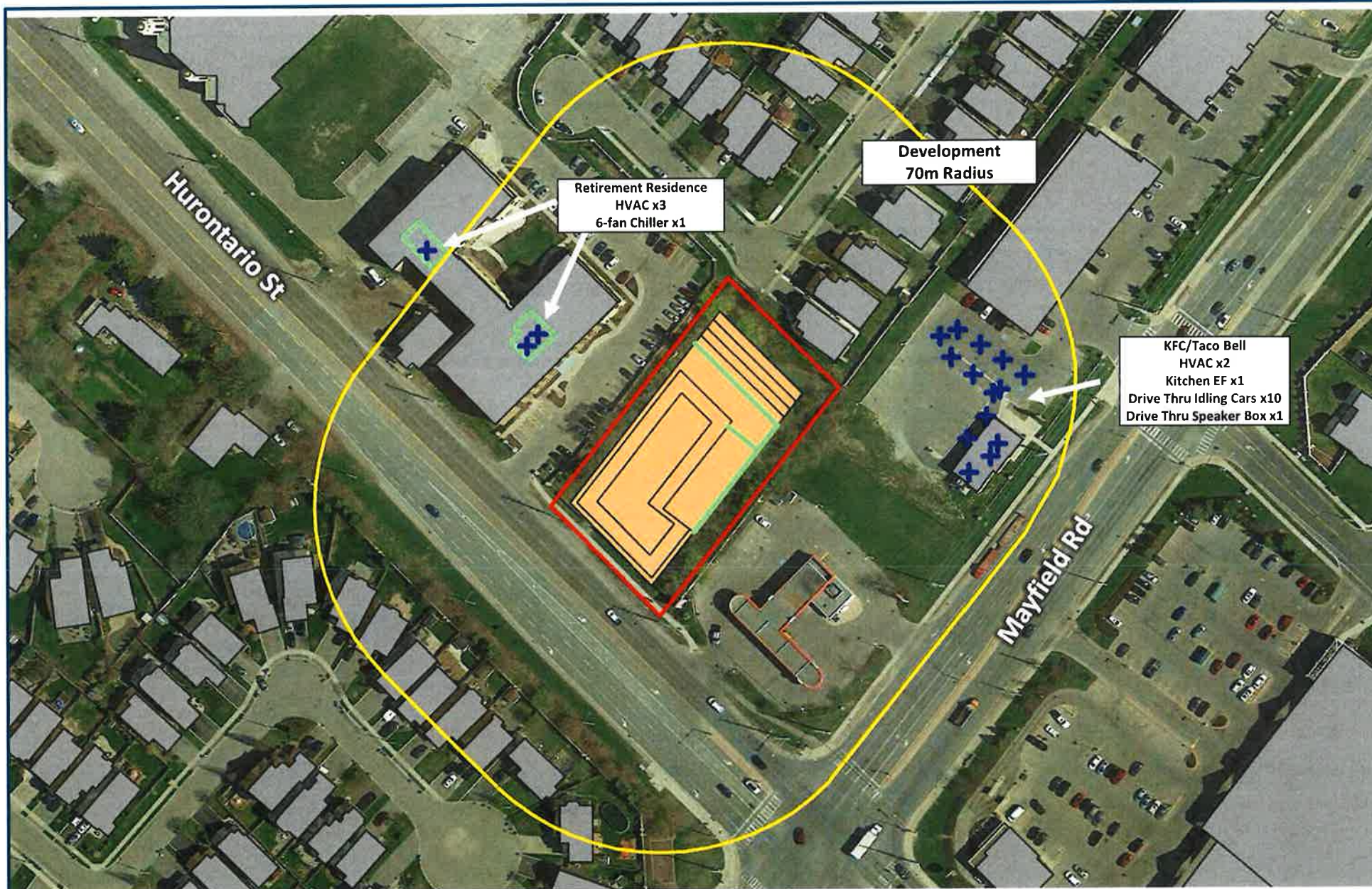
BLACK CREEK GROUP	True North	Scale: 1:600	METRES	 SLR global environmental solutions	
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0		Figure No.
FAÇADE SOUND LEVELS – DAYTIME ROAD IMPACTS		Project No. 241.30009.00000	2		



<p>BLACK CREEK GROUP</p>	<p>True North</p>	<p>Scale: 1:600</p>	<p>METRES</p>		
<p>12089 HURONTARIO STREET</p>		<p>Date: Dec. 2, 2022</p>	<p>Rev 2.0</p>		<p>Figure No.</p>
<p>FAÇADE SOUND LEVELS – NIGHTTIME ROAD IMPACTS</p>		<p>Project No. 241.30009.00000</p>	<p>3</p>		


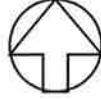


<p>BLACK CREEK GROUP</p>	<p>True North</p>	<p>Scale: 1:600</p>	<p>METRES</p>		
<p>12089 HURONTARIO STREET</p>		<p>Date: Dec. 2, 2022</p>	<p>Rev 2.0</p>		<p>Figure No.</p>
<p>OUTDOOR LIVING AREAS – ROADWAY IMPACTS</p>		<p>Project No. 241.30009.00000</p>	<p>4</p>		





<p>BLACK CREEK GROUP</p>	<p>True North</p>	<p>Scale: 1:1,500</p>	<p>METRES</p>		
<p>12089 HURONTARIO STREET</p>		<p>Date: Dec. 2, 2022</p>	<p>Rev 2.0</p>		<p>Figure No.</p>
<p>STATIONARY SOURCE LOCATION</p>		<p>Project No. 241.30009.00000</p>	<p>5</p>		





BLACK CREEK GROUP	True North	Scale: 1:600	METRES	 SLR global environmental solutions	
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0		Figure No.
MODELLED STATIONARY NOISE IMPACTS – DAYTIME/EVENING		Project No. 241.30009.00000	6		



BLACK CREEK GROUP	True North	Scale: 1:600	METRES	 SLR global environmental solutions	
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0		Figure No.
MODELLED STATIONARY NOISE IMPACTS – NIGHTTIME		Project No. 241.30009.00000	7		





BLACK CREEK GROUP	True North	Scale: 1:600	METRES		
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0		Figure No.
MODELLED EXCESS OF THE GUIDELINE LIMITS STATIONARY NOISE – DAYTIME/EVENING		Project No. 241.30009.00000	8		



BLACK CREEK GROUP	True North	Scale: 1:600	METRES		
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0		Figure No.
MODELLED EXCESS OF THE GUIDELINE LIMITS STATIONARY NOISE – NIGHTTIME		Project No. 241.30009.00000	9		



BLACK CREEK GROUP	True North	Scale: 1:600	METRES	
12089 HURONTARIO STREET		Date: Dec. 2, 2022	Rev 2.0	
OUTDOOR LIVING AREA SOUND LEVELS - SURROUNDING STATIONARY		Project No. 241.30009.00000	Figure No. 10	

 **Appendix A**

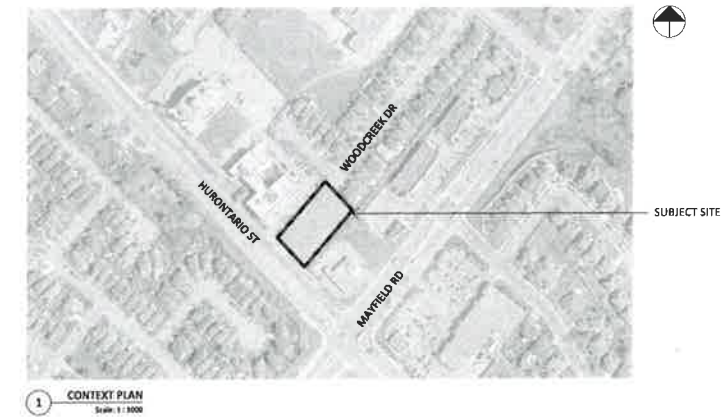


PROPOSED RESIDENTIAL DEVELOPMENT

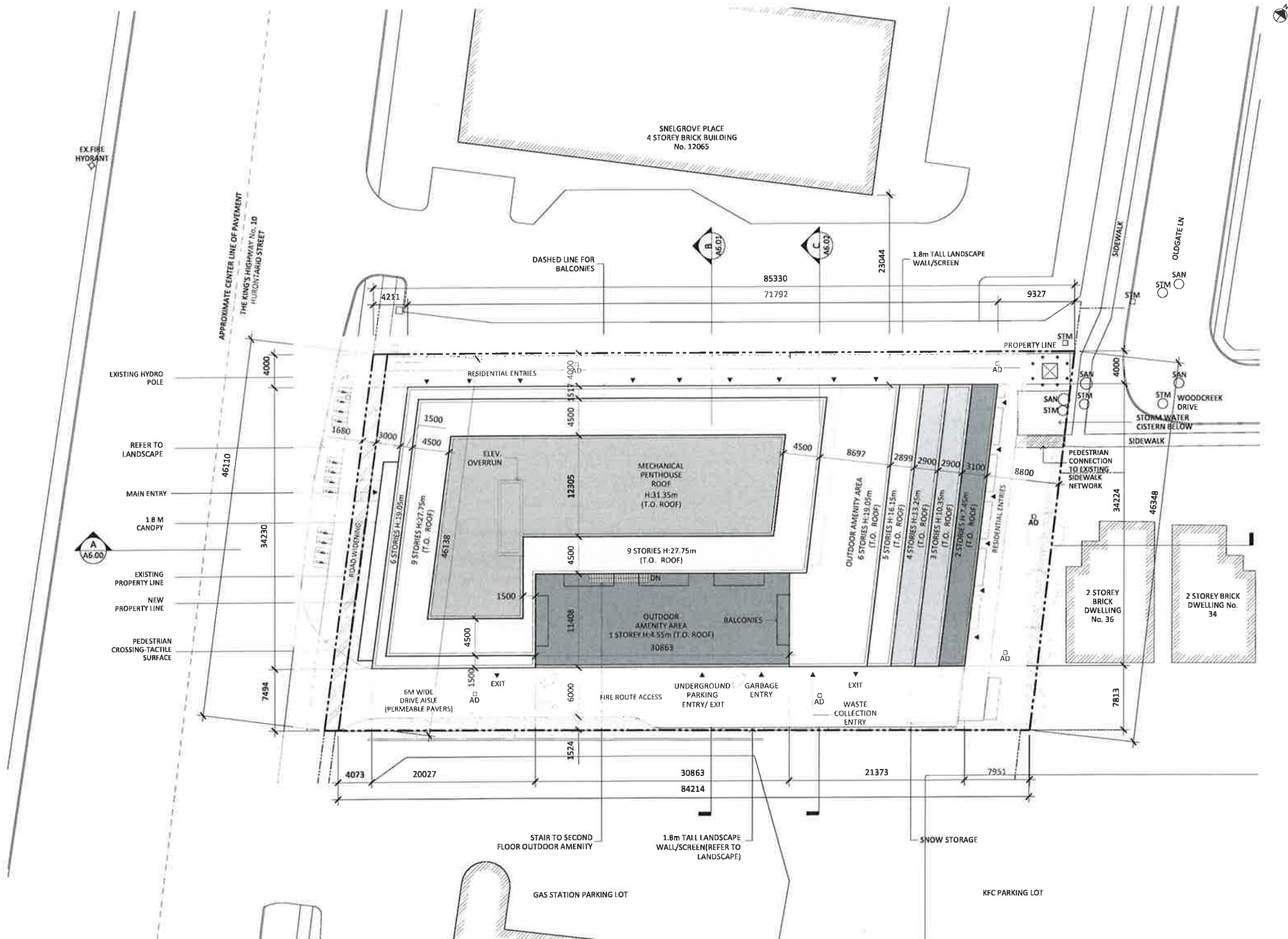
12085 Hurontario Street,
Brampton, ON L4A 1E6

ARCHITECTURAL DRAWING LIST

A0 00	PROJECT STATISTICS
A1 00	SITE PLAN
A1 01	GROUND FLOOR SITE PLAN
A3 00	P2 LEVEL
A3 01	P1 LEVEL
A3 02	GROUND FLOOR PLAN
A3 03	2ND FLOOR PLAN
A3 04	3RD FLOOR PLAN
A3 05	4TH FLOOR PLAN
A3 06	5TH FLOOR PLAN
A3 07	6TH FLOOR PLAN
A3 08	7TH FLOOR PLAN
A3 09	8TH-8TH FLOOR PLAN
A3 09	MICH. FLOOR PLAN
A3 10	MICH. FLOOR PLAN
A3 11	ROOF PLAN
A5 00	SOUTH ELEVATION
A5 01	NORTH ELEVATION
A5 02	EAST ELEVATION
A5 03	WEST ELEVATION
A6 00	SECTION A
A6 01	SECTION B
A6 02	SECTION C
A7 00	PERSPECTIVE VIEWS
A7 01	PERSPECTIVE VIEWS



ISSUED FOR SPA RESUBMISSION
SEPTEMBER 9, 2022



Revisions:

DESCRIPTION	DATE

General Notes:
 1. These General Conditions are the property of the Architect. They shall remain the property of the Architect and shall not be used for any other project without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused by negligence or otherwise.
 2. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 3. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

Site Plan File App. No.: SPA-2022-0106
 ARCHITECT:
STUDIO JCI
 ARCHITECTS

HURONTARIO RESIDENTIAL BUILDING
 ADDRESS:
 1100 Hurontario St, Brampton, ON L7A 1E8
 SITE PLAN
 PROJECT NO.: 2024
 SCALE: 1:200
 DATE: September 6, 2022
 DRAWN BY: SP
 DRAWING NO.:

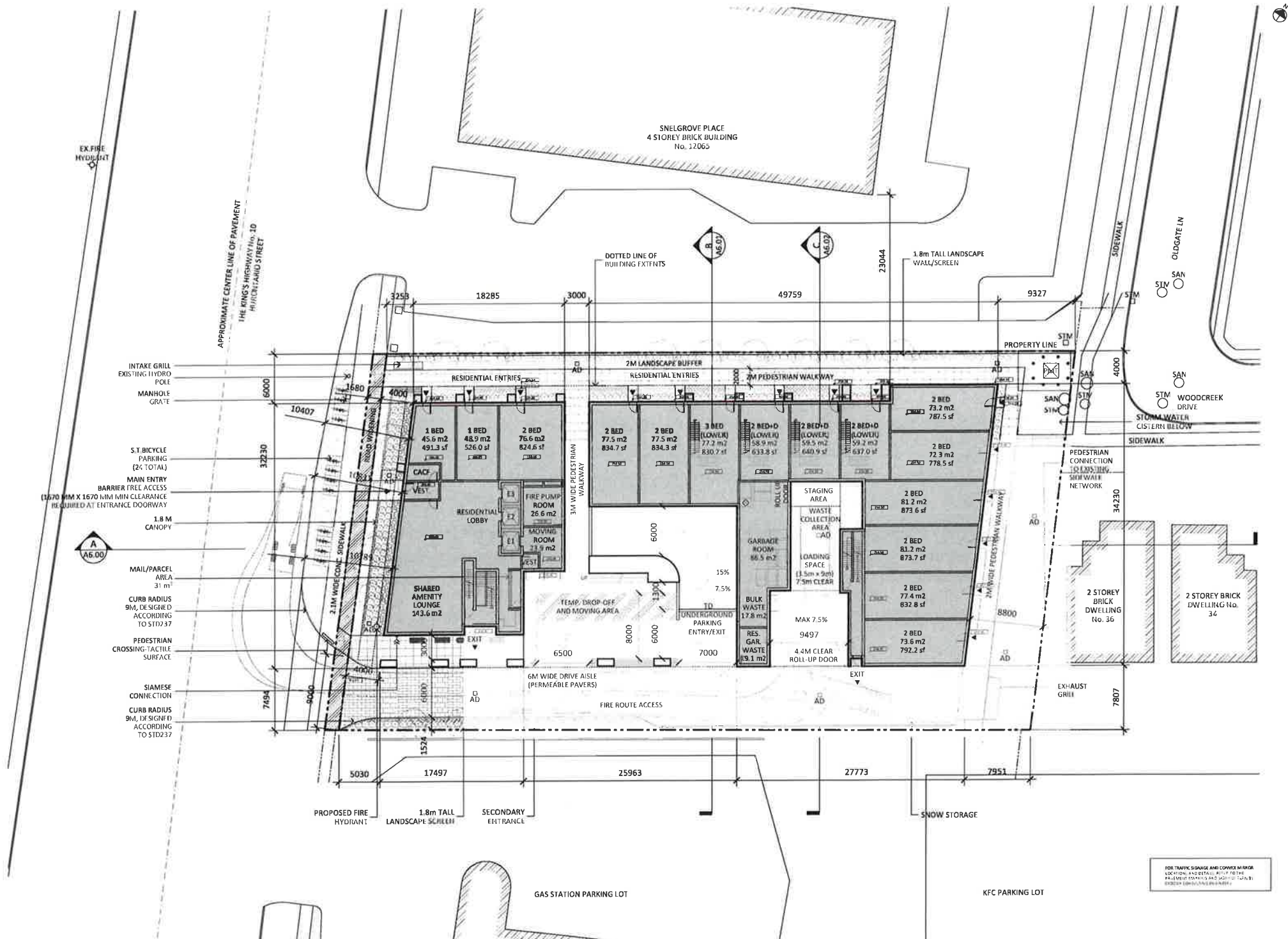
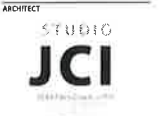
Revisions:

NO.	DESCRIPTION	DATE
1	SPR	SEP 9, 2022
2	ISSUED FOR I.A.	MAY 11, 2022
3	ISSUED FOR O.A./ZBA	MAY 11, 2022
4	ISSUED FOR O.A./C.M.	SEP 10, 2022
5	ISSUED FOR I.A.	SEP 10, 2022

NOTES:

1. These drawings are the property of the architect and shall remain the property of the architect. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.
2. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities. The architect shall be responsible for providing the necessary information to the owner to facilitate the permitting process.
3. The architect is not responsible for any errors or omissions in these drawings that may result from the use of these drawings by anyone other than the architect or the owner.

Site Plan File App. No:
SPA-2022-0106



FOR TRAFFIC SIGNAGE AND COVER MIRROR LOCATION, AND DETAIL REF. TO THE PLANNING DEPARTMENT'S OFFICE (CITY OF OTTAWA) FOR APPROVAL.

HURONTARIO RESIDENTIAL BUILDING

ADDRESS
1205.5 HURONTARIO ST, BRAMPTON, ON L7A 1E6

PROJECT NO.: 2024
SCALE: 1:200
DATE: September 9, 2022
DRAWN BY: JCI



Revisions:

DESCRIPTION:	DATE:

SFA Re-submission Sep 9, 2022
 Issued for SFA May 31, 2022
 Issued for OPA/ZBA Mar. 24, 2021
 Issued for OPA/ZBA Dec. 10, 2021

General Notes:

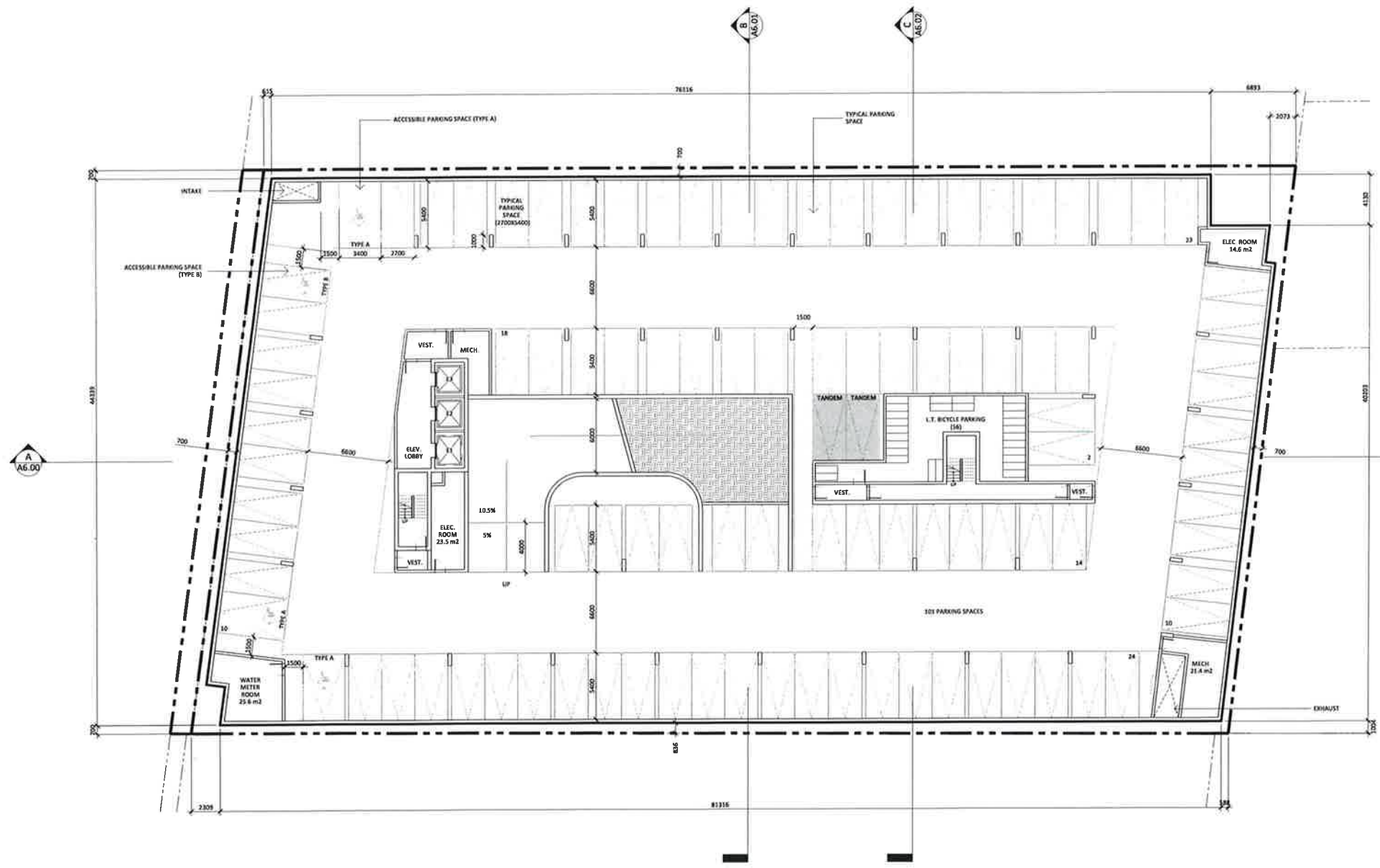
1. These General Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. User without application of the Architect's seal or professional registration constitutes a violation of the Professional Code of Ethics. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

2. Through use only to be used for information purposes. Contractor is solely responsible for the verification and determination of existing conditions and dimensions. The Contractor shall be responsible for any discrepancies with the General Documents to the Architect before commencing work.

3. A schedule of work is to be submitted for information purposes. The Contractor shall be responsible for the verification and determination of existing conditions and dimensions. The Contractor shall be responsible for any discrepancies with the General Documents to the Architect before commencing work.

Site Plan File No. : SPA-2022-0106

ARCHITECT:
STUDIO JCI
 ARCHITECTS INC.



LEGEND

	TYPICAL PARKING SPACE
	ACCESSIBLE PARKING SPACE (TYPE A)
	ACCESSIBLE PARKING SPACE (TYPE B)
	TANDEM BICYCLE PARKING
	L.T. BICYCLE PARKING
	ELECTRIC ROOM
	MECHANICAL ROOM
	WATER METER ROOM
	ELEVATOR LOBBY
	VESTIBULE

FOR TRAFFIC SIGNALS AND CORNER MIRROR LOCATIONS AND DETAILS, REFER TO THE PAVEMENT MARKING AND SIGNAGE PLAN BY CROSSING CONSULTING ENGINEERS.

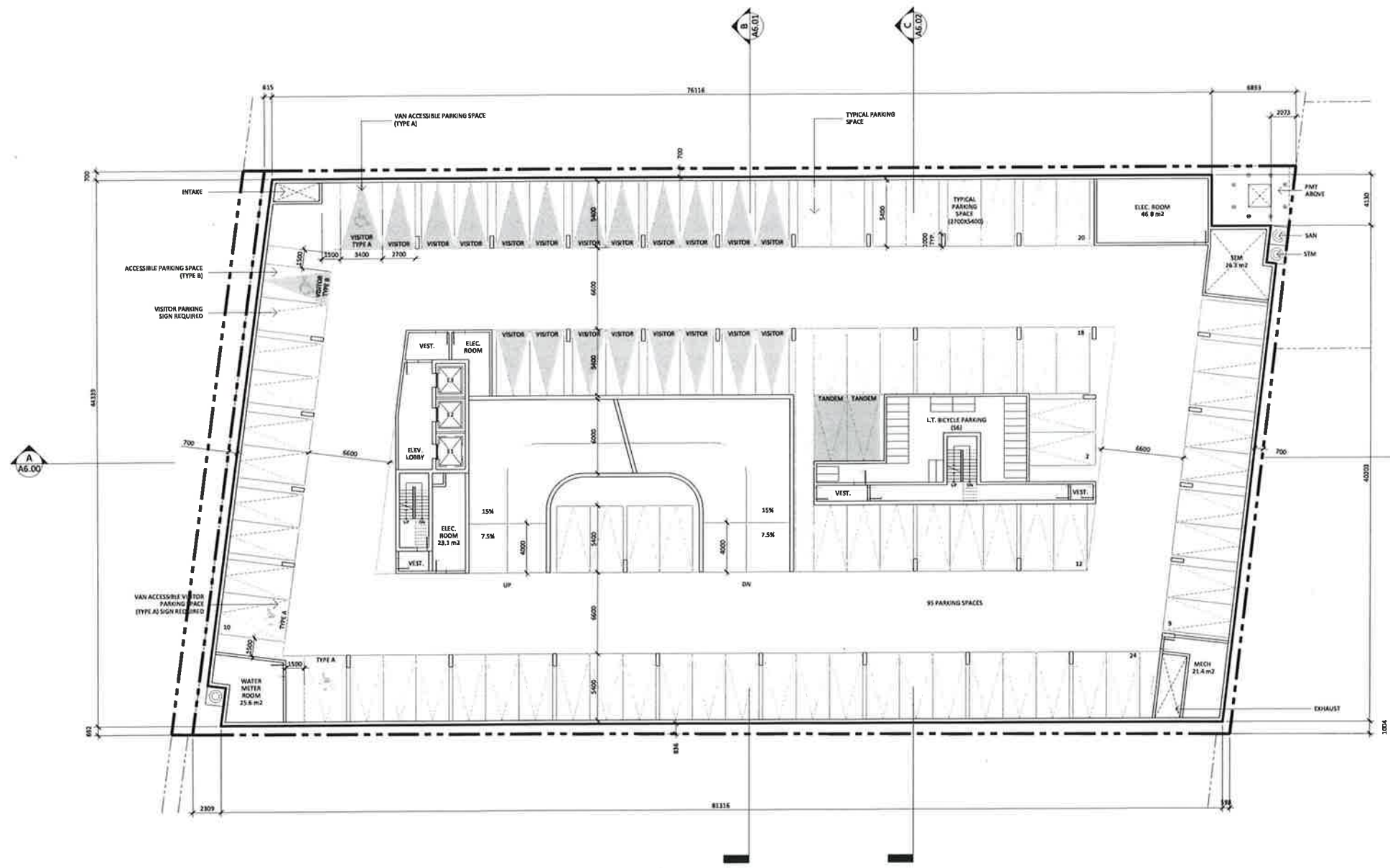
MURKIN RESIDENTIAL BUILDING

ADDRESS:
 12085 Hurontario St., Brampton, ON L7A 1A6

P2 PARKING LEVEL

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: September 9, 2022
 DRAWN BY: SP

DRAWING NO.: **A3.00**



Revisions:

DESCRIPTION	DATE
SPA Remediation	Sep. 8, 2022
Issued for SPA	May 31, 2022
Issued for OPA/ZBA	Mar. 24, 2021
Issued for OPA/ZBA	Dec. 10, 2021

Source: Public

1. These General Documents are the property of the Architect. The Architect shall be responsible for the interpretation of these documents. No part of these documents shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect will accept no responsibility for any errors or omissions in these documents.

2. Drawings are to be used for construction. Contractors are to verify all dimensions and elevations on-site before the start of work. All dimensions are to be taken from the General Documents to the finished surface unless otherwise noted.

3. Methods of ground or structure movement or existing walls, floors, and stairs are indicated on the architectural drawings. The location, extent, and structural strength of any existing walls, floors, and stairs are to be verified by the contractor before construction.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT: **STUDIO JCI**

70 LaSalle St. Suite 1100
Toronto, ON M5C 1A5
Tel: 416.593.8128
www.studiojci.com

LEGEND

	TYPICAL PARKING SPACE
	VAN ACCESSIBLE PARKING SPACE (TYPE A)
	ACCESSIBLE PARKING SPACE (TYPE B)
	VISITOR PARKING SIGN REQUIRED
	VAN ACCESSIBLE VISITOR PARKING SPACE (TYPE A) SIGN REQUIRED
	WATER METER ROOM
	ELEC ROOM
	MECH
	SAN
	STAM
	VEST.
	ELEV LOBBY
	TANDEM TANDEM
	L.T. BICYCLE PARKING (E6)
	UP/DN
	EXHAUST

FOR TRAFFIC SIGNAGE AND CORNER MIRROR LOCATIONS AND DETAILS, REFER TO THE CIVIL/TRAFFIC MARKINGS AND SIGNAGE PLAN BY CROZIER CONSULTING ENGINEERS.

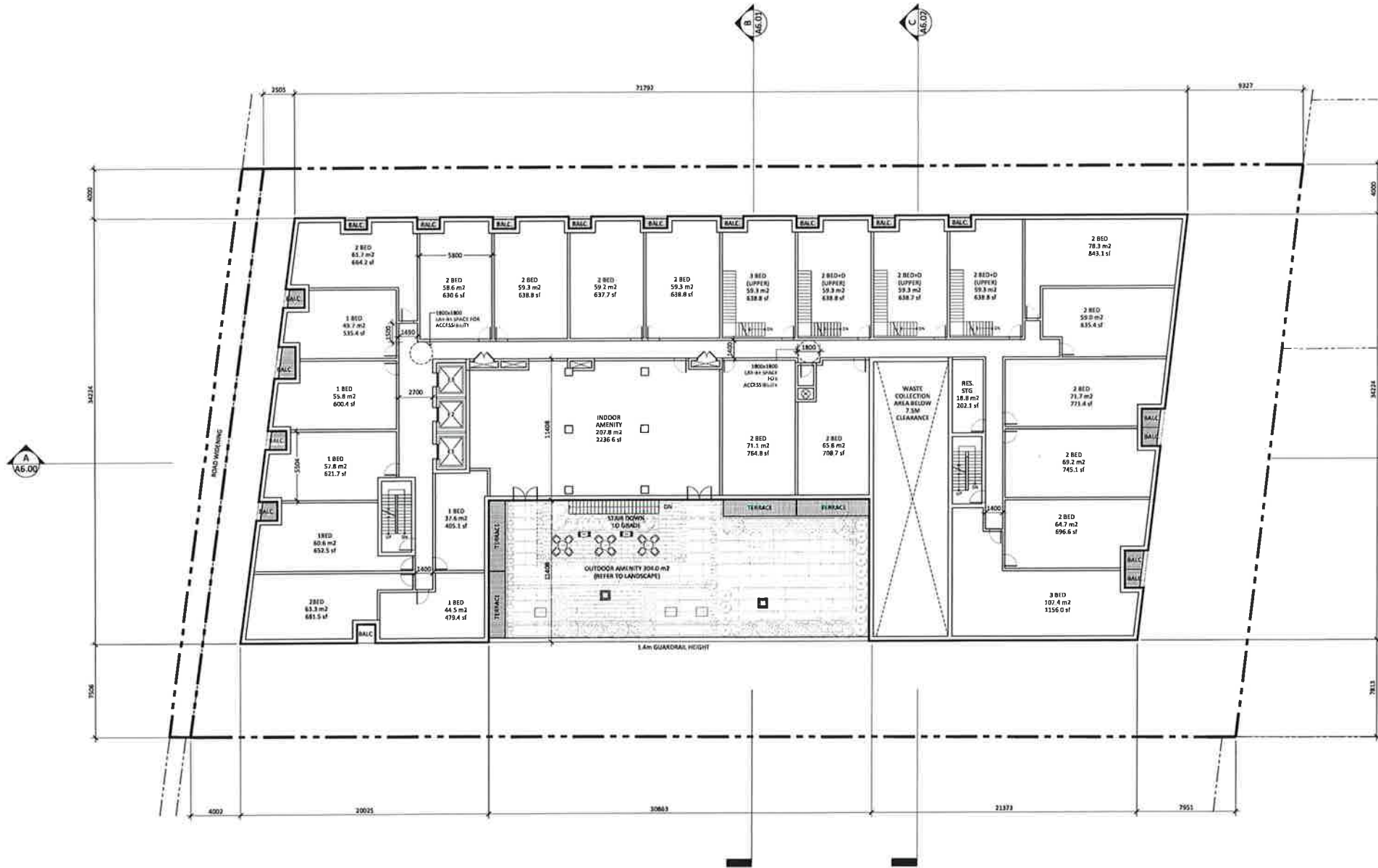
HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 12985 Hurontario St., Brampton, ON L7A 1E6

P1 PARKING LEVEL

PROJECT NO.: 2024
SCALE: 1:150
DATE: September 9, 2022
DRAWN BY: SP

DRAWING NO.: **A3.01**



Revisions:

DESCRIPTION	DATE
SPA Redomination	Sep. 9, 2022
Issued for SPA	May 31, 2022
Issued for OPA/ZBA	Mar. 24, 2021
Issued for OPA/ZBA	Dec. 10, 2021

General Notes:

- These General Notes are for the primary of the architect. The architect shall be responsible for the interpretation of these notes. In the event of any conflict between these notes and the contract documents, the contract documents shall prevail.
- Drawings are not to be used for construction without the written approval of the architect. No liability shall be accepted by the architect for any construction errors or omissions.
- Readers of these drawings should be advised that the drawings are not to be used for any purpose other than the construction of the building shown hereon. The architect shall not be held responsible for any damage or injury caused by the use of these drawings for any purpose other than the construction of the building shown hereon.

Site Plan File App. No:
SPA-2022-0106

ARCHITECT:
STUDIO
JCI
JCI Architectural & Interiors Inc.
4044 Woodbine Ave., Suite 200
Markham, Ontario L3R 1W1
(416) 479-3000

HURONTARIO RESIDENTIAL BUILDING

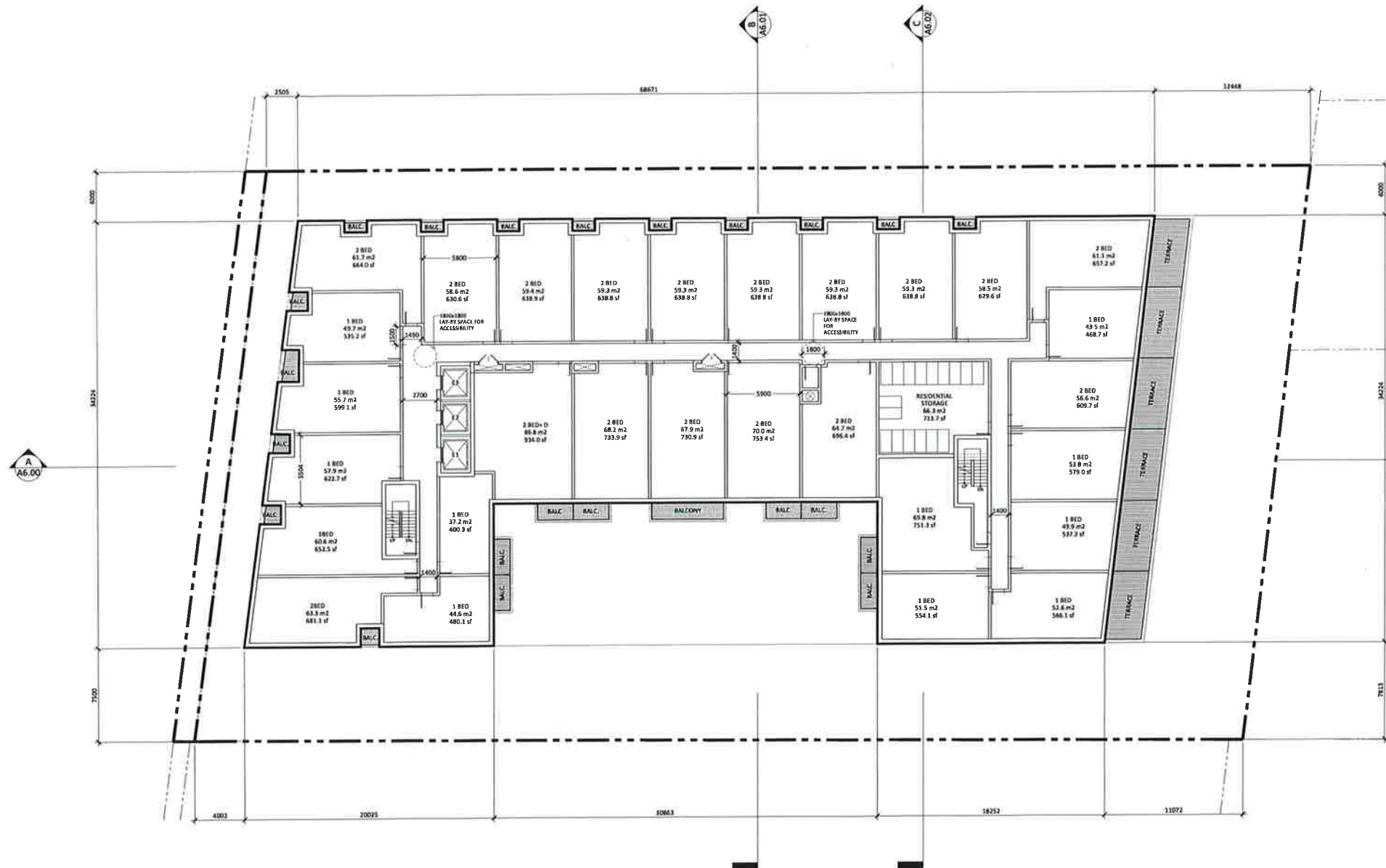
ADDRESS:
1208 Hurontario St., Brampton, ON L7A 1E6

2ND FLOOR PLAN

PROJECT NO.: 2024
SCALE: 1/150
DATE: September 9, 2022
DRAWN BY: SP

DRAWING NO.:

A3.03



Revisions:

DESCRIPTION:	DATE:

General Notes:

1. These Contract Documents are the property of the Architect. The Applicant agrees to indemnify and hold the Architect harmless from and against all claims, damages, losses, and expenses, including reasonable attorney's fees, that may be asserted against the Architect for design services rendered only.

2. The Applicant shall be responsible for obtaining all necessary permits, licenses, and approvals from the relevant governmental authorities. The Applicant shall coordinate with the Architect to ensure that all design and construction requirements are met.

3. The Applicant shall be responsible for obtaining all necessary permits, licenses, and approvals from the relevant governmental authorities. The Applicant shall coordinate with the Architect to ensure that all design and construction requirements are met.

4. The Applicant shall be responsible for obtaining all necessary permits, licenses, and approvals from the relevant governmental authorities. The Applicant shall coordinate with the Architect to ensure that all design and construction requirements are met.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI

JCI ARCHITECTURE INC.
11111 17th Ave S.
Seattle, WA 98148
PH: 206.451.1111

HERONTARIO RESIDENTIAL BUILDING

ADDRESS:
12085 Huronville St, Brampton, ON L7A 1E6

3RD FLOOR PLAN

PROJECT NO: 2024
SCALE: 1/16" = 1'-0"
DATE: September 9, 2022
DRAWN BY: SP

DATE PLOTTED: 2022-09-09 10:50:00 AM



Revisions:

DESCRIPTION:	DATE:

Drawn by:

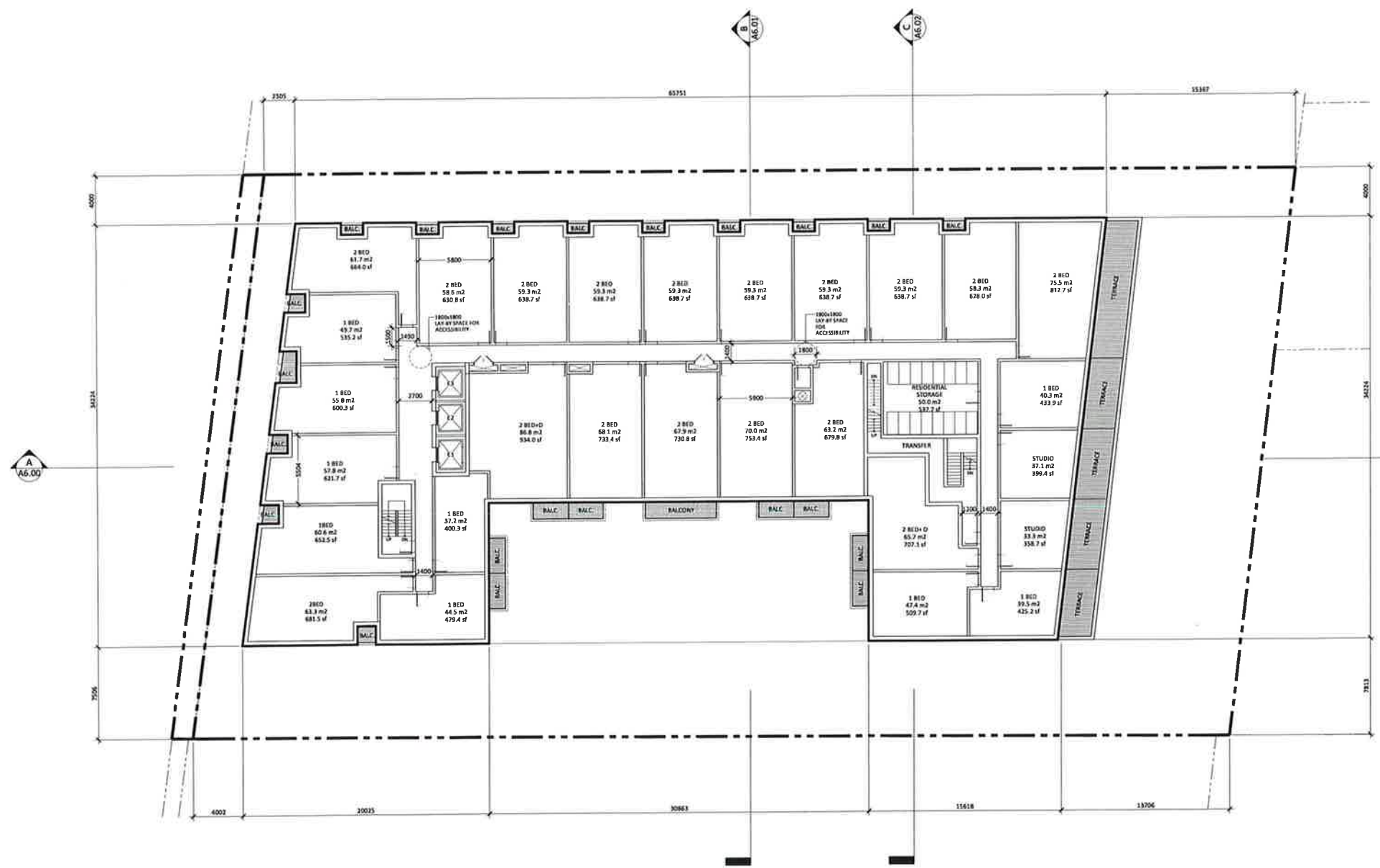
1. These General Documents are the property of the Architect. The Architect shall not be responsible for the interpretation of these documents by the Contractor. Any changes to these documents shall be made by the Architect and shall be noted on the General Documents. The Architect will reserve the right to modify these documents at any time without notice.

2. Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals required to carry out the Work and shall coordinate with the General Documents to the Architect before proceeding with the Work.

3. Portions of general or typical documents or details shown, revised, and deleted are indicated on the Architectural drawings. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals required to carry out the Work and shall coordinate with the General Documents to the Architect before proceeding with the Work.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
12085 Hurontario St, Brampton, ON L7A 1K6

4TH FLOOR PLAN

PROJECT NO.: 2024
SCALE: 1:150
DATE: September 5, 2023
DRAWN BY: SP

DRAWING NO.:

A3.05



Revisions:

DESCRIPTION:	DATE:

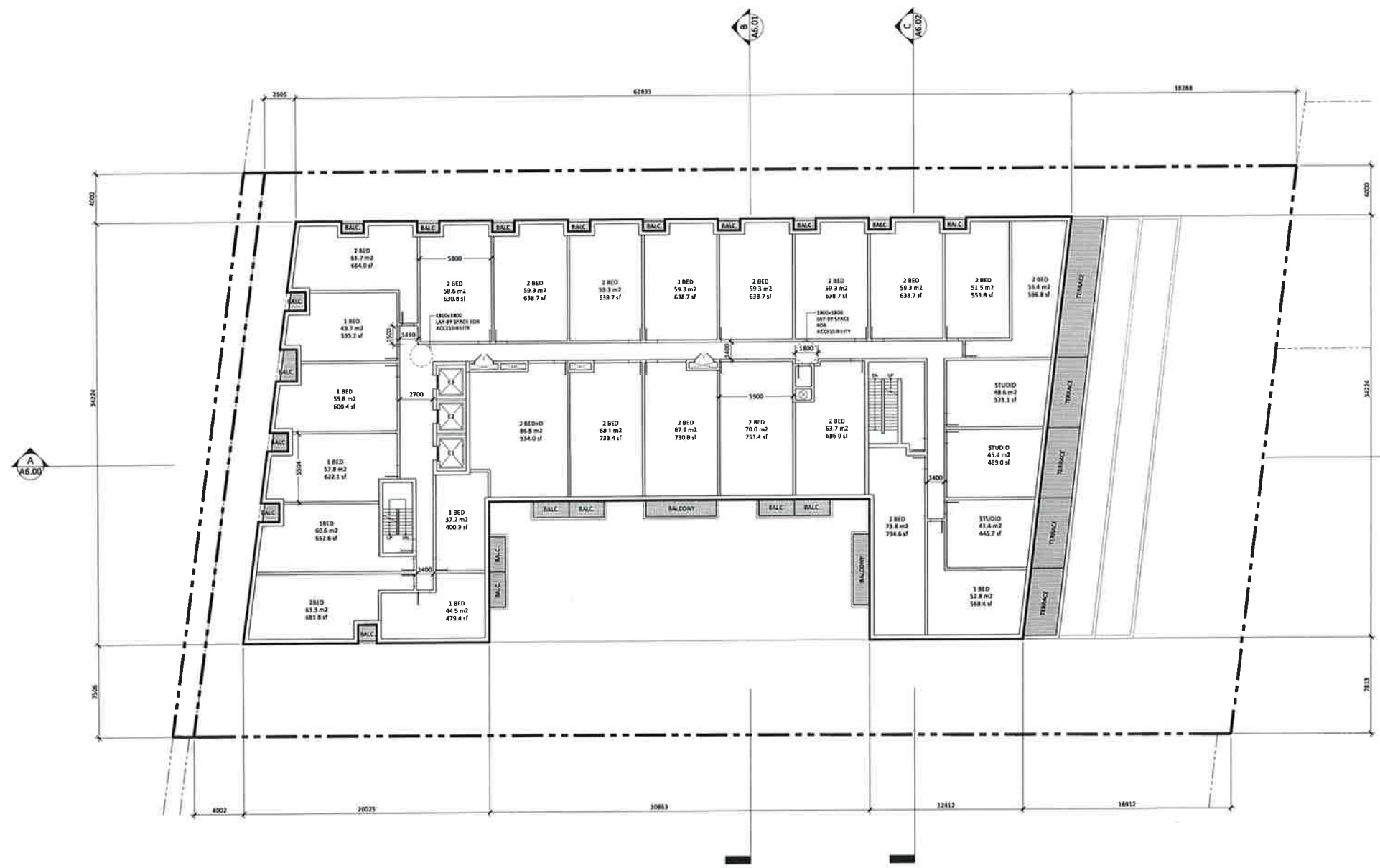
SPR Approval: Sep. 9, 2022
Issued for SPA: May 31, 2022
Issued for OFA/22A: Mar. 24, 2021
Issued for OFA/22A: Dec. 10, 2021

Source: 1. These General Conditions are the property of the Architect. The Architect hereby disclaims any liability for the consequences of their application to the construction documents. 2. Through use of the General Conditions, the Architect will provide the services of a professional design consultant. 3. Through use of the General Conditions, the Architect will provide the services of a professional design consultant. 4. Through use of the General Conditions, the Architect will provide the services of a professional design consultant.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI
 ARCHITECTS
 1000 SHEPPARD AVENUE EAST
 SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T2
 TEL: (416) 291-1111
 WWW.STUDIOJCI.COM



HORIZONTAL RESIDENTIAL BUILDING

ADDRESS:
 1206 Hurontario St, Brampton, ON L7A 1E6

5TH FLOOR PLAN

PROJECT NO.: 2024
SCALE: 1:150
DATE: September 9, 2022
DRAWN BY: SP

DRAWING NO.:
 A3.06



Revisions:

DESCRIPTION:	DATE:

SPA Submission: Sep. 9, 2022
 Issued for SPA: May 23, 2022
 Issued for OPA/PSA: Mar. 24, 2021
 Issued for OPA/PSA: Dec. 10, 2021

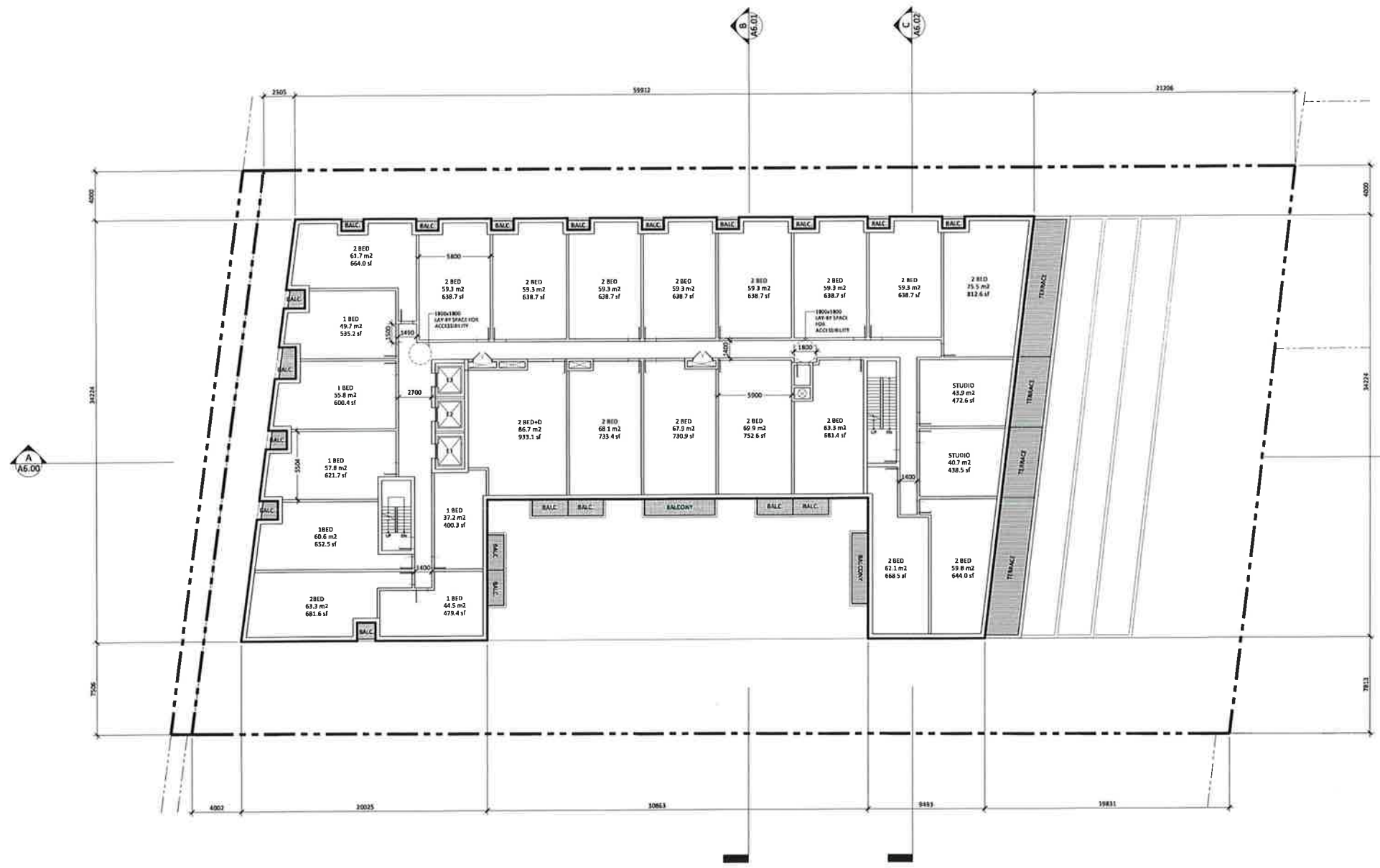
SPRINT: 2024
 SCALE: 1:100
 DATE: September 9, 2022
 DRAWN BY: SP

1. These General Documents are the property of the Architect. The Architect shall be responsible for the interpretation of these documents. No part of these documents shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect will retain design and copyright in the drawings and documents prepared by the Architect for the project.

2. Drawings are to be used for construction. Contractors are to verify all existing conditions and dimensions before construction. The Architect is not responsible for any errors or omissions in the drawings or documents prepared by the Architect for the project.

3. The Architect is not responsible for any errors or omissions in the drawings or documents prepared by the Architect for the project.

Site Plan File App. No:
 SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
 1206 Hurontario St., Brampton, ON L7A 1R8

5TH FLOOR PLAN

PROJECT NO.: 2024
 SCALE: 1:100
 DATE: September 9, 2022
 DRAWN BY: SP

DRAWING NO.:

A3.07



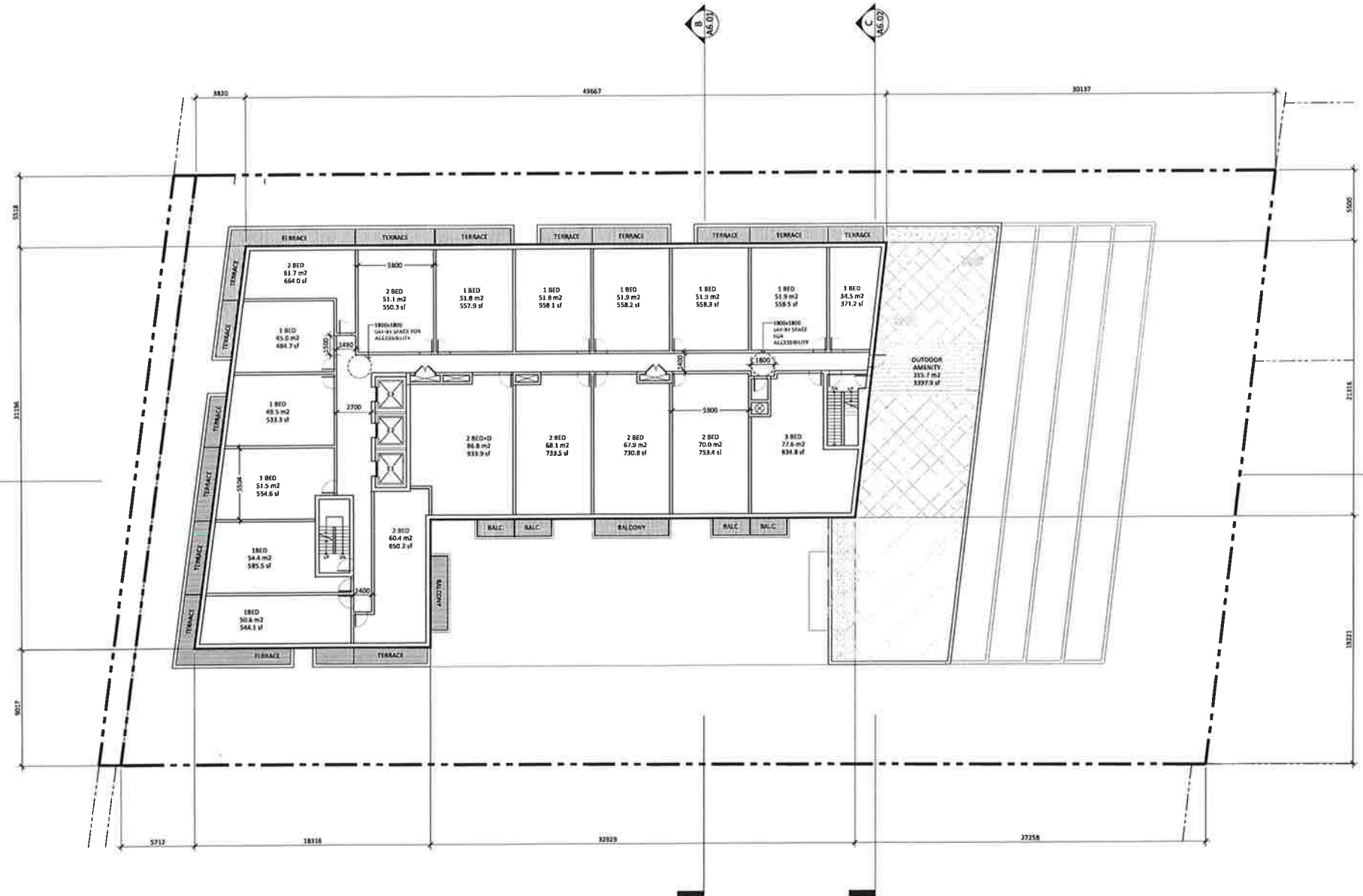
Revisions:

DESCRIPTION	DATE

Current Notes:

- These Apartment Measurements are the primary of the contract. Any variation shall be made subject to the interpretation of the Architect and the Client. No further variations shall be allowed. The Client and the Architect shall be responsible for any variation of the contract measurements.
- Drawings are not to be used for construction without the written approval of the Architect and the Client. Any variation shall be made subject to the interpretation of the Architect and the Client.
- Measurements are based on finished floor level unless otherwise stated. Measurements are taken to the centerline of the wall or to the centerline of the column or to the centerline of the beam.

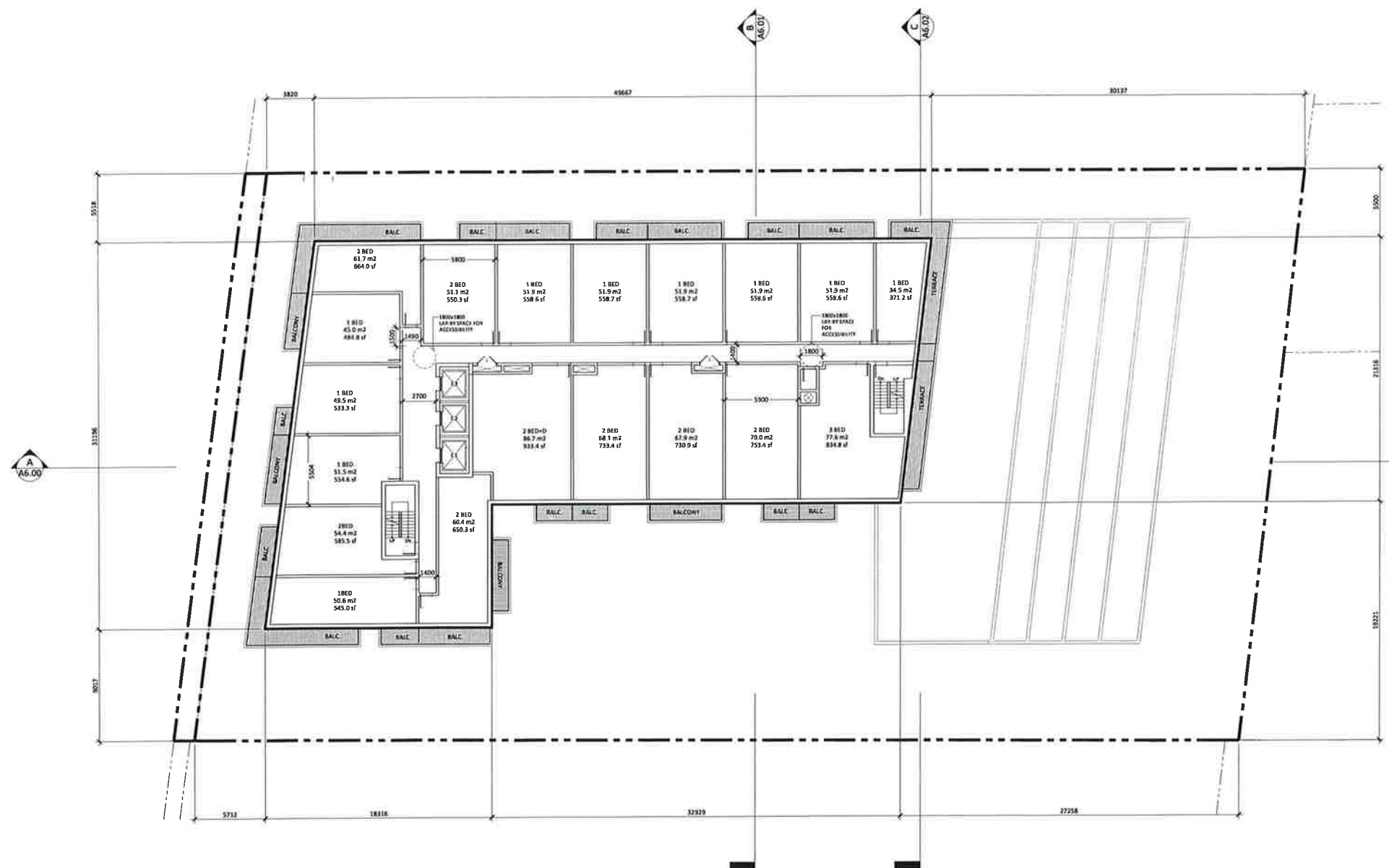
Site Plan File App. No.: SPA-2022-0106



HORIZONTAL RESIDENTIAL BUILDING

ADDRESS: 1280 Hurontario St, Brampton, ON L7A 1G6
 PROJECT NO: 2024
 SCALE: 1:150
 DATE: November 9, 2022
 DRAWN BY: SP

DRAWING NO: A3.08



Revisions:

DESCRIPTION:	DATE:

3. Drawings shall not be used for construction, construction, or other purposes without the written approval of the Architect. The Architect shall assume no responsibility for the use of these drawings for any purposes not intended by the Architect. The Architect shall assume no responsibility for the use of these drawings for any purposes not intended by the Architect. The Architect shall assume no responsibility for the use of these drawings for any purposes not intended by the Architect.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI

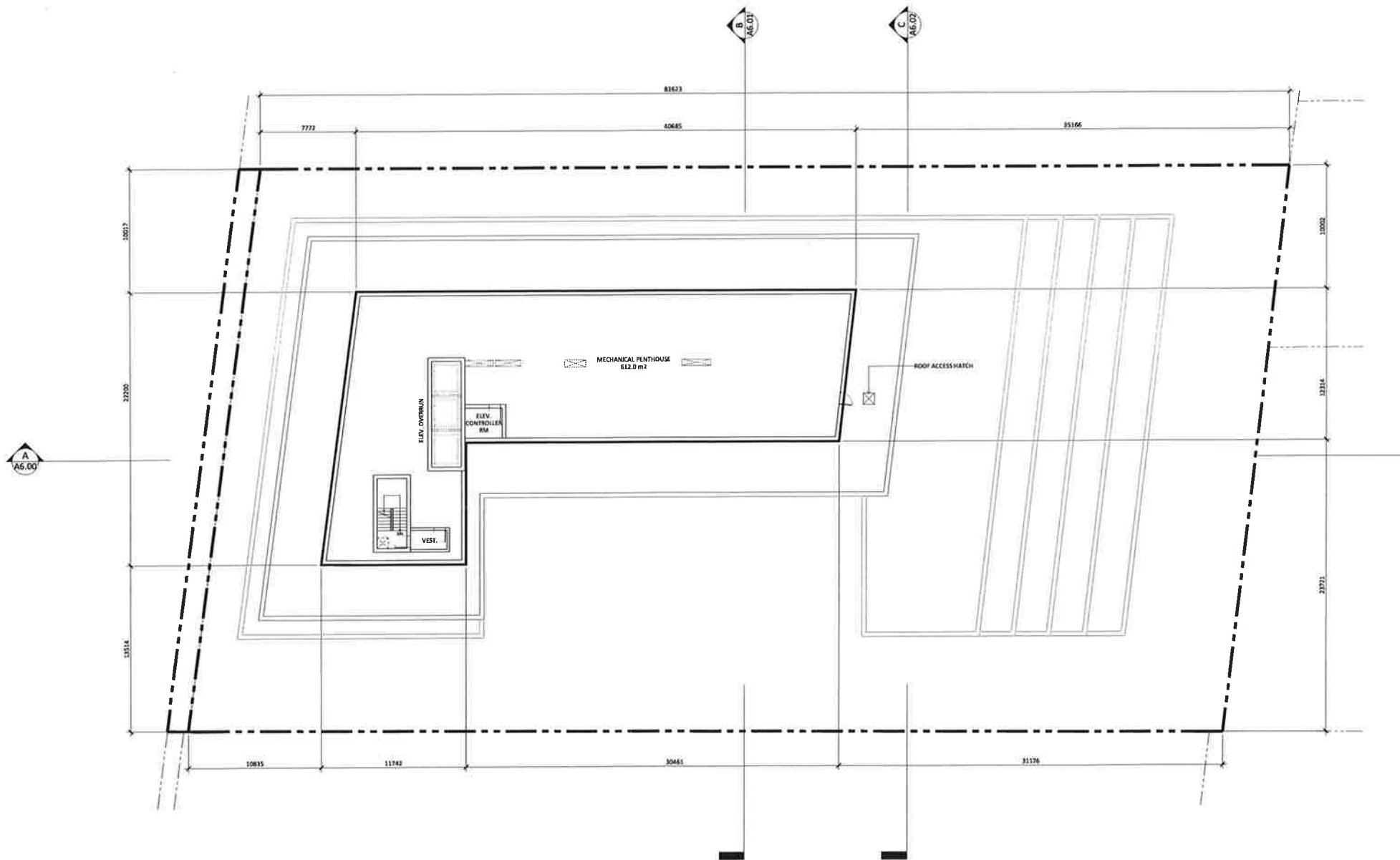
1000 Lakeshore Blvd. East, Suite 400
 Toronto, Ontario M5E 1A5
 Tel: (416) 597-7000
 www.studiojci.com

HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
12081 Hurontario St., Brampton, ON L7A 1E6

BTH-9TH FLOOR PLAN

PROJECT NO.: 2024
 SCALE: 1:150
 DATE: September 9, 2022
 DRAWN BY: SP



Revisions:

DESCRIPTION	DATE
SPA Re-submission	Sep. 8, 2022
Issued for SPA	May 23, 2022
Issued for OPA/2BA	Mar. 24, 2021
Issued for OPA/2BA	Dec. 10, 2020

1. These Contract Documents are the property of the Architect. The Architect shall be responsible for the coordination of these documents. By the Contractor's use of these documents, the Contractor shall warrant and hold the Architect harmless from and against all claims, damages, costs and expenses, including reasonable attorney's fees, arising out of or from the use of these documents by the Contractor for any purpose whatsoever.

2. Drawings are not to be relied on for construction. Construction is only to follow conditions and dimensions contained in the contract documents and drawings, including the Contract Documents for the Architect before construction begins.

3. Builders of approval or structural mechanical or electrical systems, piping, and fixtures are indicated on the Architectural drawings. The location, position and dimensions of these systems shall be determined by the Architectural drawings and the Mechanical and Electrical drawings. These items and their location shall be indicated on drawings by the Architect.

Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 12085 Hurontario St, Brampton, ON L7A 1E6

MECH. FLOOR PLAN

PROJECT NO.: 2024
 SCALE: 1/8" = 1'-0"
 DATE: September 8, 2022
 DRAWN BY: SP

DRAWING NO.:

A3.10



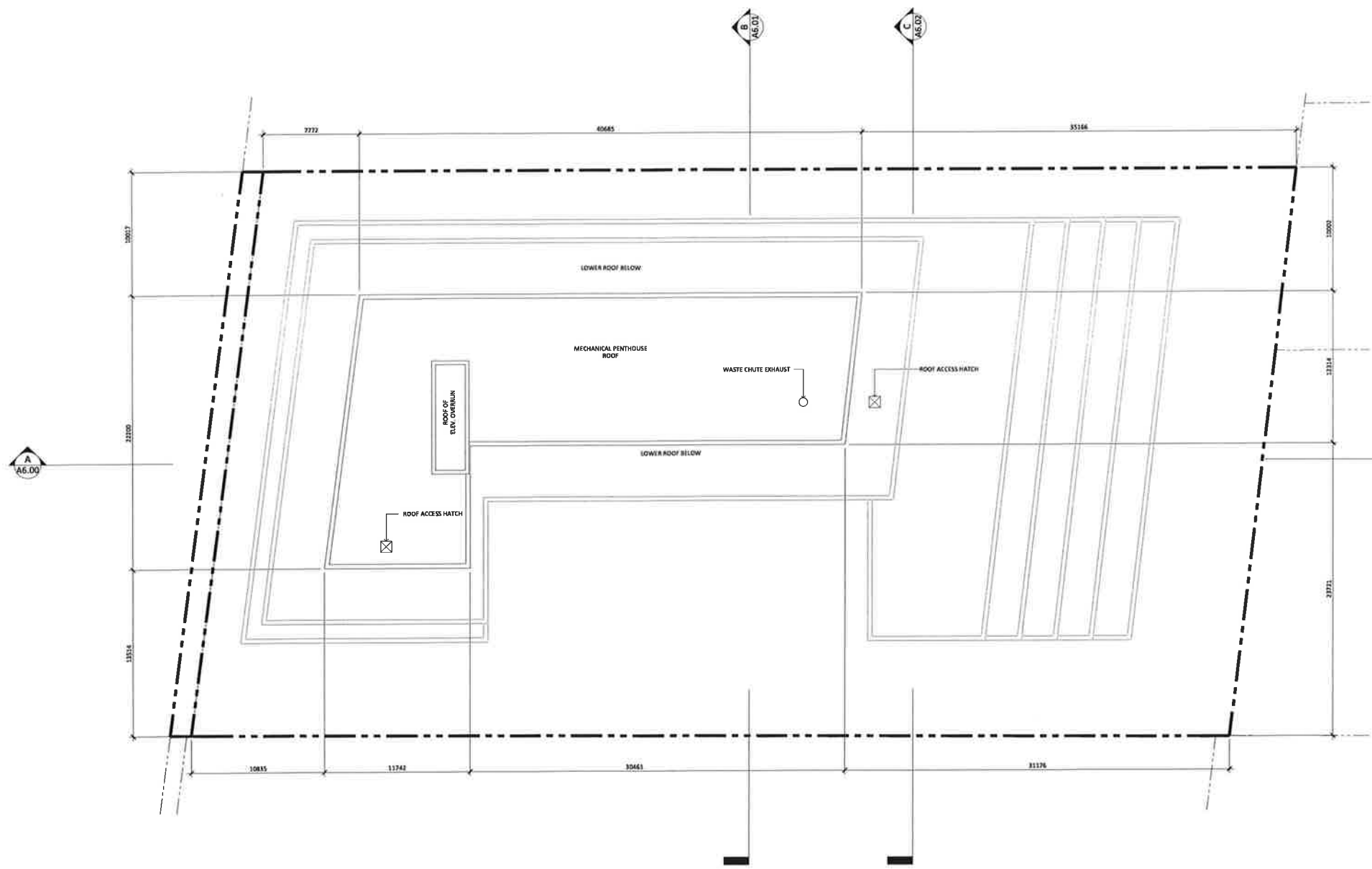
Revisions:

DESCRIPTION:	DATE:

SFA Resubmission: Sep. 9, 2021
 Issued for SFA: May 31, 2021
 Issued for OPA/ZBA: Mar. 24, 2021
 Issued for OPA/ZBA: Dec. 10, 2021

Notes:
 1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the Contractor. Upon written notification, the Architect will provide written clarification or a Change Order if necessary. Regarding the intent of the Contract Documents, the Architect will review Shop Drawings submitted by the Contractor for design coordination only.
 2. Contractor shall not be liable for construction. Contractor shall verify all existing conditions and alterations. Contractor shall verify all dimensions and elevations with the Contract Documents by the Architect before commencing work.
 3. A Schedule of Values for Budget and financial control for material, labor, and other items shall be submitted to the Architect during the bidding phase of the project. All changes shall be approved by the Architect and the Contractor before work is commenced. These items shall be included in the Contract Documents by the Architect before commencing work.

Site Plan File App. No.: SPA-2022-0106
 ARCHITECT:
STUDIO JCI
 ARCHITECTS
 1000 BROADVIEW AVE.
 SUITE 1000
 WILLOWDALE, ONTARIO M2H 1R7
 TEL: (416) 491-1100
 WWW.STUDIOJCI.COM



MURONTARIO RESIDENTIAL BUILDING
 ADDRESS:
 13081 Murontario St, Brampton, ON L7A 2E6
 PROJECT NO.: 2024
 SCALE: 1/8"=1'-0"
 DATE: September 9, 2022
 DRAWN BY: SP

DRAWING NO.: A3.11

Revisions:

DESCRIPTION	DATE
SPA Resubmission	Sep. 8, 2022
Issued for SPA	May 31, 2022
Issued for SPA/27A	Mar. 24, 2022
Issued for SPA/27A	Dec. 20, 2021

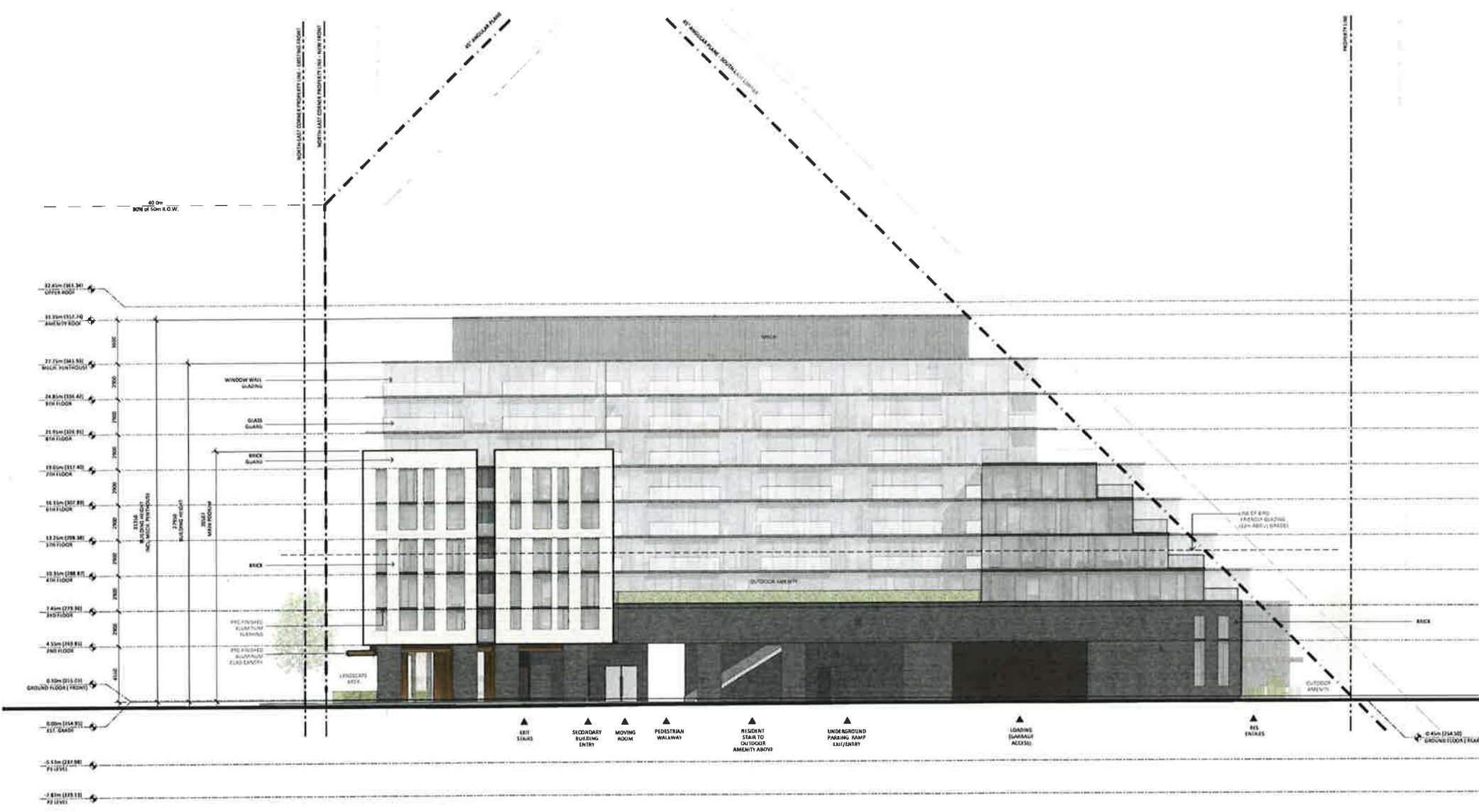
Notes:

1. These General Conditions are the property of the architect and shall remain the property of the architect and shall be used only for the project and shall not be used for any other project without the written consent of the architect.
2. Drawings are not to be used for construction without the written consent of the architect and shall be used only for the project and shall not be used for any other project without the written consent of the architect.
3. The architect shall be responsible for the design and construction of the building and shall not be responsible for the design and construction of any other building or structure.

Site Plan File App. No.: SPA-2022-0106

ARCHITECT:

STUDIO JCI
 JCI ARCHITECTURE
 1000 ...
 ...



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1290 Hurontario St, Brampton, ON L7A 1E8

SOUTH ELEVATION

PROJECT NO.: 2024
 SCALE: 1:50
 DATE: November 9, 2022
 DRAWN BY:

DRAWING NO.:

A5.00

Revisions:

DESCRIPTION	DATE
SPA Re-submission	Sep. 9, 2022
Issued for SPA	May 21, 2022
Issued for OPA/ZBA	Mar. 24, 2021
Issued for OPA/ZBA	Dec. 10, 2021

General Notes

- These General Documents are the property of the Architect. The Architect shall not be responsible for the interpretation of these documents by the contractor. The contractor shall verify all dimensions and conditions of the site prior to construction. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Toronto. The Architect shall not be responsible for any delays or costs incurred by the contractor for any reason.
- Drawings are not to be used for construction without the written consent of the Architect. Any changes to the drawings shall be made in accordance with the Architect's written instructions.
- Nothing is shown or stated to be in place or to be done unless specifically indicated. The contractor shall be responsible for verifying all conditions of the site prior to construction.

Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1206 Hurontario St, Brampton, ON L7A 1E6

NORTH ELEVATION

PROJECT NO.: 2024
SCALE: 1/8" = 1'-0"
DATE: September 9, 2023
DRAWN BY:

DRAWING NO.:

A5.01



ALL WINDOWS 13M FROM GRADE OR ABOVE GREEN BELTS TO HAVE 6M MINIMUM BIRD FRST WITH SPACING LESS THAN 10cm X 10cm



Revisions:

DESCRIPTION	DATE
SPA Re-evaluation	Sep 8, 2022
Issued for SPA	May 31, 2022
Issued for CPA/ZBA	Mar. 24, 2021
Issued for CPA/ZBA	Dec. 10, 2021

- General Notes:
- These General Documents are the property of the architect. The drawings shall not be reproduced or used in any manner without the written consent of the architect. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall verify that all materials and workmanship are in accordance with the Contract Documents. The contractor shall verify that all materials and workmanship are in accordance with the Contract Documents.
 - Drawings not noted as "not to scale" are for informational purposes only. Contractors shall verify all dimensions and quantities with the Contract Documents. The architect shall not be responsible for any errors or omissions in the drawings.
 - Conditions of approval or building department or similar authority approval are shown and indicated on the drawings. The contractor shall verify that all conditions of approval are met. The contractor shall verify that all conditions of approval are met. The contractor shall verify that all conditions of approval are met.

Site Plan File App. No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 2480 Hurontario St, Brampton, ON L7A 1E6

EAST ELEVATION

PROJECT NO: 2024
 SCALE: 1:150
 DATE: September 9, 2022
 DRAWN BY:

DRAWING NO:

A5.02



Revisions:

DESCRIPTION	DATE
SPA Resubmission	Aug. 8, 2022
Issued for SPA	May 21, 2022
Issued for CPA/IMA	Mar. 24, 2021
Issued for CPA/IMA	Dec. 10, 2021

Notes:

- These General Remarks are the property of the architect and may be used in connection with the construction of other works only if the architect is specifically notified in writing by the client or architect that such use is intended. All other uses are prohibited. The architect is not responsible for any errors or omissions in the drawings or specifications.
- Changes are not to be made for construction without the written approval of the architect. Any changes to the drawings or specifications must be approved in writing by the architect.
- Sections of general or standard conditions of contract documents, including but not limited to, the architect's contract documents, shall apply to this project unless otherwise specified in writing.

Site Plan File App. No:
SPA-2022-0106



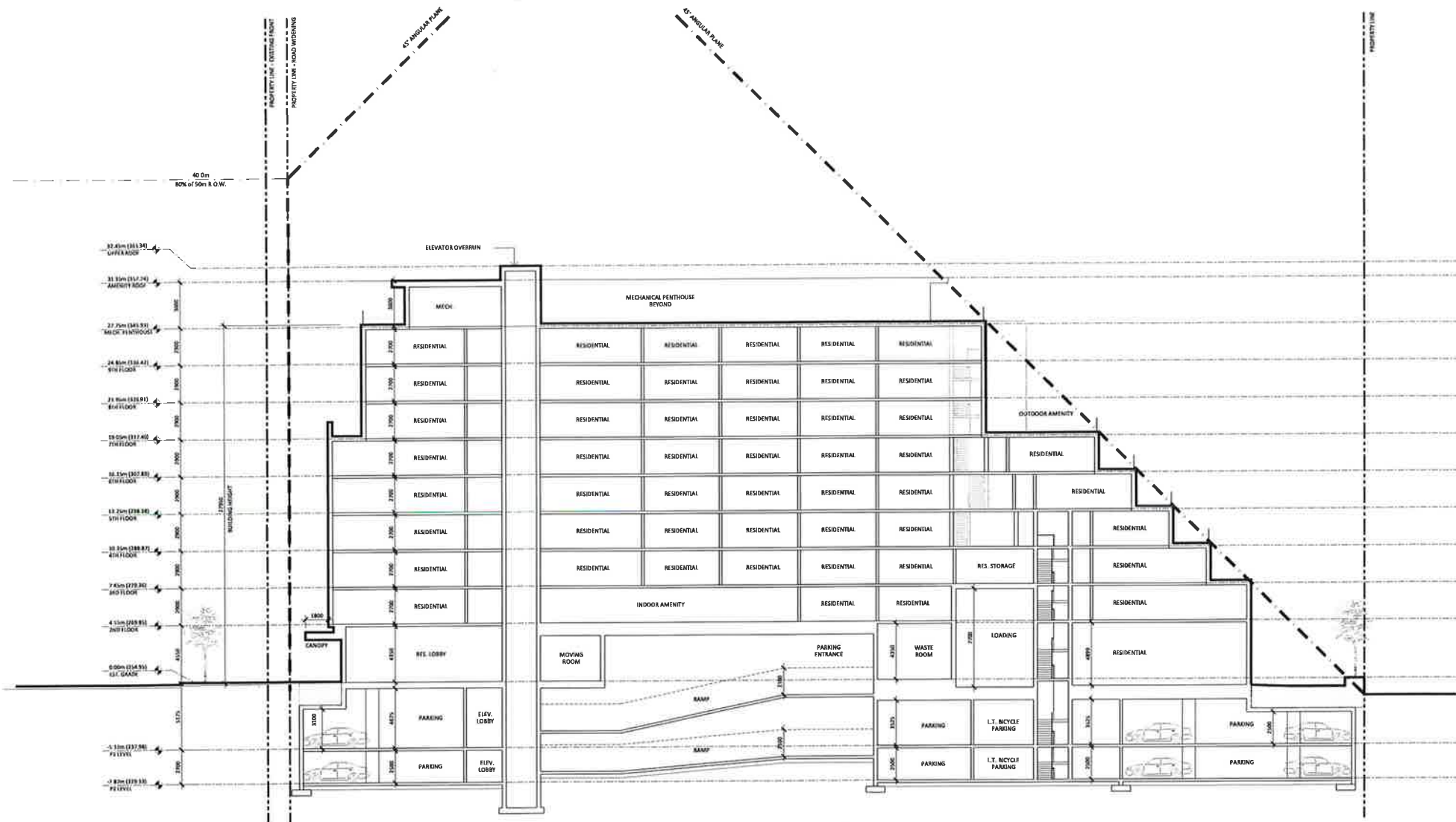
HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
1200 Hurontario St., Brampton, ON L7A 1E6

WEST ELEVATION

PROJECT NO.: 2018
SCALE: 1/50
DATE: September 9, 2022
DRAWN BY:

© RAWING INC.



Revisions:

DESCRIPTION:	DATE:

SPR Submittal: Sep. 8, 2022
 Issued for SPA: May 31, 2022
 Issued for CPA/ZBA: Mar. 24, 2021
 Issued for CPA/ZBA: Dec. 10, 2021

1. These Contract Documents are the property of the Architect. The Architect accepts no responsibility for the reproduction of these documents by the Contractor. Any use, without approval of the Architect, and without the written consent of the Architect, shall constitute an infringement of the Architect's copyright. The Architect will accept no responsibility for the Contractor's use of these documents for any other project.

2. Drawings are not to be used for construction. Contractor is solely responsible for the accuracy and completeness of the information provided to the Contractor. The Contractor shall verify all dimensions and conditions before commencing work.

3. Materials of equal or better mechanical or electrical quality, fittings and details are allowed on the drawings. The Contractor shall be responsible for the approval of any substitutions. There shall be no substitutions without the written approval of the Architect.

Site Plan File App No: SPA-2022-0106



MURCHLAND RESIDENTIAL BUILDING

ADDRESS:
 12081 Murchland St, Brampton, ON L7A 1E8

SECTION A

PROJECT NO: 2024
 SCALE: 1/8" = 1'-0"
 DATE: September 9, 2022
 DRAWN BY: SP

DRAWING NO:

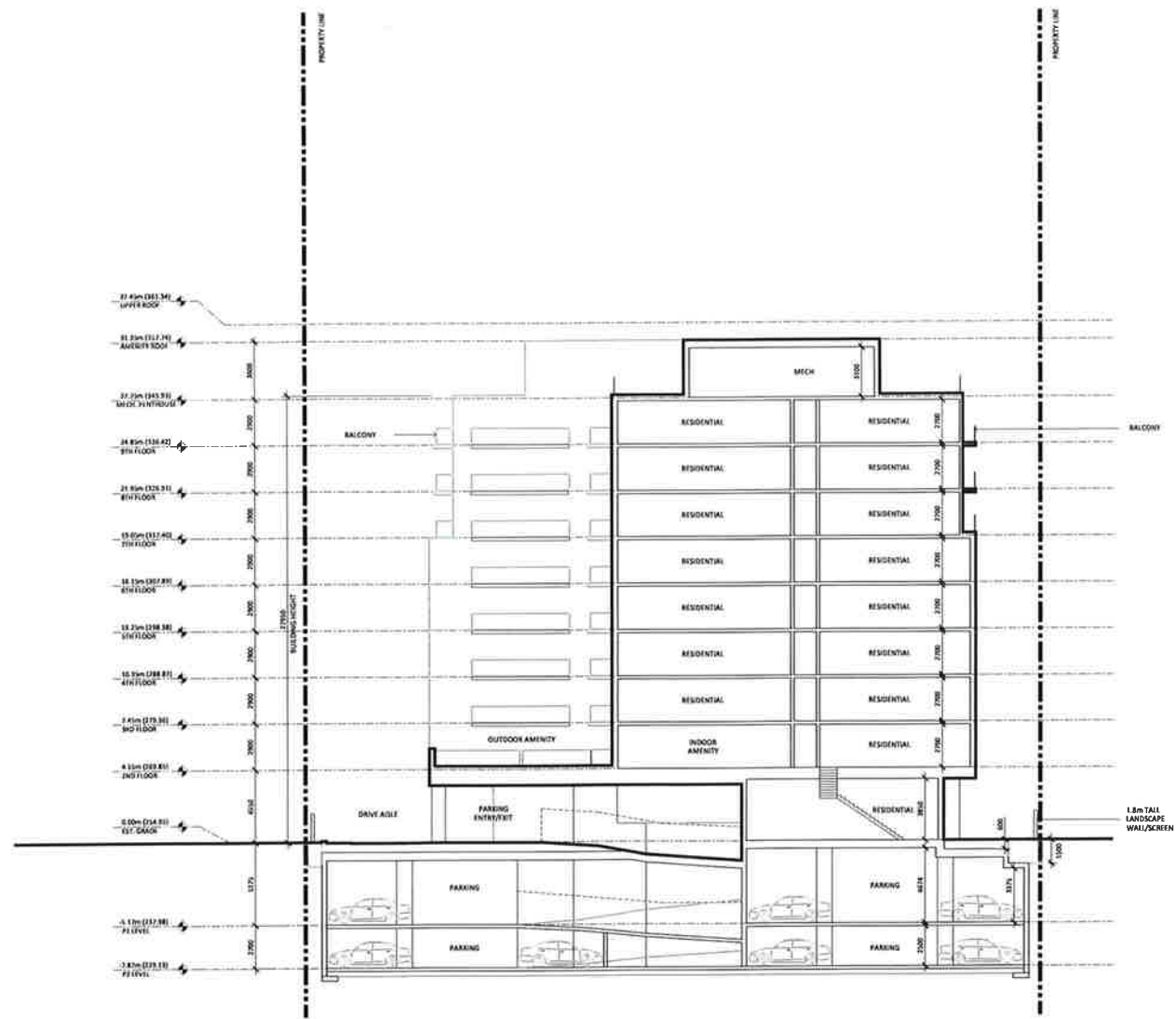
Revisions:

SPA Re-submission	Sep. 5, 2022
Issued for SPA	May 21, 2022
Issued for OPA/ZBA	Mar. 24, 2021
Issued for OPA/ZBA	Dec. 10, 2021

DESCRIPTION:	DATE:

General Notes:

1. These General Documents are the property of the Architect. The Architect bears no responsibility for the reproduction of these documents by the Contractor. Users without authorization of the Architect will be deemed to be in violation of the Architect's intellectual property rights. The Architect will not be responsible for any errors or omissions in these documents. The Architect will accept no liability for any damages, including consequential, arising out of the use of these documents.
2. Drawings are not to be copied, reproduced, distributed or used in any way without the written consent of the Architect. Any unauthorized use of these drawings without the written consent of the Architect will be deemed to be a violation of the Architect's intellectual property rights. The Architect will not be responsible for any errors or omissions in these drawings. The Architect will accept no liability for any damages, including consequential, arising out of the use of these drawings.
3. Positions of structural columns and beams are indicated on the architectural drawings. The structural system is the responsibility of the structural engineer. These drawings shall not be used as a basis for construction unless approved in writing by the Architect.



Site Plan File App. No.:
SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
12061 Hurontario St, Brampton, ON L7A 1T6

SECTION B

PROJECT NO.: 2024
SCALE: 1/32"=1'-0"
DATE: September 8, 2023
DRAWN BY: SP

DRAWING NO.:

A6.01



HURONTARIO ST WEST VIEW



HURONTARIO ST SOUTH ELEVATION



HURONTARIO ST SOUTH WEST VIEW



OLDGATE LANE ELEVATION (REAR)

Revisions:

NO.	DESCRIPTION	DATE

SFA Resubmission: Sep. 9, 2022
 Issued for IFA: May 11, 2022
 Issued for CPA/PSA: Mar. 24, 2021
 Issued for CPA/PSA: Dec. 10, 2021

DESCRIPTION: DATE:

Scale: 1/8"=1'-0"

1. These General Specifications are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the Contractor. Upon written notification in duplicate, the Architect will provide clarification and/or amendments to the specifications, providing the values of the General Specifications. The Architect will review Shop Drawings submitted by the Contractor for design compliance only.

2. Drawings are not to be used for construction. Contractors are to refer to the specifications and calculations required to perform the work and report any discrepancies with the General Specifications to the ARCHITECT before commencing work.

3. Sections of material or technical equipment or electrical services, fittings, and fixtures are indicated on the Architect's drawings. The sections shown on the Architect's drawings govern over the Manufacturer and Supplier's drawings. These items will always remain as indicated or directed by the Architect.

Site Plan File App. No.:
 SPA-2022-0106

ARCHITECT:

STUDIO JCI

2200 Hurontario St. #200
 Mississauga, ON L4R 3L4
 Tel: 905.871.1111
 www.studiojci.com

HURONTARIO RESIDENTIAL BUILDING

ADDRESS:
 12063 Hurontario St., Brampton, ON L7A 1B8

PERSPECTIVE VIEWS

PROJECT NO: 2024
 SCALE: September 9, 2022
 DATE:
 DRAWN BY:

DRAWING NO.:



AERIAL VIEW - SOUTH WEST



AERIAL VIEW - SOUTH EAST



AERIAL VIEW - NORTH WEST



AERIAL VIEW - NORTH EAST

Revisions:

DESCRIPTION	DATE

SPR Revisions: Sep. 9, 2022

Issued for SPA: May 21, 2022

Issued for CPA/ESA: Mar. 28, 2022

Issued for CPA/ESA: Dec. 10, 2021

DESCRIPTION DATE

Site Plan File App No.: SPA-2022-0106



HURONTARIO RESIDENTIAL BUILDING

ADDRESS: 12065 Hurontario St, Brampton, ON L7A 1E6

PERSPECTIVE VIEWS

PROJECT NO.: 2024

SCALE:

DATE: September 9, 2022

DRAWN BY:

DRAWING NO.:

A7.01

 **Appendix B**

ORNAMENT - Sound Power Emissions & Source Heights

Ontario Road Noise Analysis Method for Environment and Transportation

Road Segment ID	Roadway Name	Link Description	Speed (kph)	Period (h)	Total Traffic Volumes	Auto %	Med %	Hvy %	Auto	Med	Heavy
Hurontario_St	Hurontario Street	Daytime Impacts	70	16	25200	95.0%	2.7%	2.4%	23940	668	592
		Nighttime Impacts	70	8	2800	95.0%	2.7%	2.4%	2660	74	66
Mayfield_Rd	Mayfield Road	Daytime Impacts	60	16	43254	94.9%	2.0%	3.2%	41026	852	1375
		Nighttime Impacts	60	8	5346	96.0%	1.9%	2.2%	5130	99	117

Gustavo Elgueta

From: Adiga, Smeeta <Smeeta.Adiga@brampton.ca>
Sent: January 13, 2021 8:01 AM
To: Aaron Haniff
Subject: RE: [EXTERNAL]Huronario/Mayfield - Ultimate traffic data request

Aaron,

Further to your request for information, the table below summarized the traffic data for ultimate conditions at Hurontario Street, north of Mayfield Road in Brampton.

	<i>ROW Width (m)</i>	<i>Operating Speed (Km/hr)</i>	<i>Projected Number of Lanes</i>	<i>Projected Volume (AADT)</i>	<i>Assumed % Trucks (med/heavy)</i>
Hurontario Street , north of Mayfield Rd	40-45	70	4	28000	3-5%

Best Regards,

Smeeta Adiga

Transportation Planning Analyst
Public Works and Engineering | City of Brampton
1975 Williams Parkway, Brampton, ON L6S 6E5
T: 905.874.3452 Cell: 437.230.9025

Thankyou for your message. I am currently working remotely due to building occupancy limits during COVID-19. For information on safety, closures and reopening, please visit www.brampton.ca/reopening.

Nevertheless, I will continue to tend to business duties and be available remotely via 437-230-9025 and smeeta.adiga@brampton.ca. Please reach out to me between the business hours of 8:30 AM until 4:30 PM on weekdays. I will be reachable via email or my cell phone and I will be delighted to assist you.



Date: January 12, 2021
From: Aaron Haniff, SLR Consulting Ltd
Re: Traffic Data Request – Mayfield Road (0.8 KM East of Hurontario Street)

Aaron,
As per your request, we are providing the following 2019 traffic data:

	Existing	Ultimate
24 Hour Traffic Volume	24,097	48,600
# of Lanes	4	6
Day/Night Split	89/11	89/11
Day Trucks (% of Total Volume)	1.97% Medium 3.18% Heavy	1.97% Medium 3.18% Heavy
Night Trucks (% of Total Volume)	1.86% Medium 2.18% Heavy	1.86% Medium 2.18% Heavy
Right-of-Way Width	50 meters	
Posted Speed Limit	60 km/h	

Please note:

1. The current volume is not the Annual Average Daily Traffic, but the averaged raw volumes over three data collection days. If you need the Annual Average Traffic Volume, please visit the Peel Open Data website below:
<http://opendata.peelregion.ca/data-categories/transportation/traffic-count-stations.aspx>
2. The ultimate volume is the planned volume during a level of service 'D' where a 2 second vehicle headway and a volume to capacity ratio of 0.9 is assumed. Traffic signals and hourly variations in traffic are also incorporated into the ultimate volume.

If you require further assistance, please contact me at (905) 791-7800 ext. 4810.

Regards,

Tiggy Chen
Co-op Student, Transportation System Planning
Transportation Division, Public Works Services, Region of Peel
10 Peel Centre Drive, Suite B, 4th Floor
Brampton, ON L6T 4B9
W: (905) 791-7800 x4810 C: (647) 918-2827
E: tiggy.chen@peelregion.ca

Appendix C



BLACK CREEK GROUP
12089 HURONTARIO STREET
COMPARISON OF CADNAA AND STAMSON

	Scale:	1:600	METRES
	Date:	Dec. 2, 2022	Rev 2.0
	Project No.	241.30009.00000	
			Figure No. C.1

STAMSON 5.0 NORMAL REPORT Date: 03-02-2021 12:09:22
MINISTRY OF ENVIRONMENT AND ENERGY / NOISE ASSESSMENT

Filename: 12039.te Time Period: 16 hours
Description:

Road data, segment # 1: Hurontario

Car traffic volume : 23940 veh/TimePeriod
Medium truck volume : 668 veh/TimePeriod
Heavy truck volume : 592 veh/TimePeriod
Posted speed limit : 70 km/h
Road gradient : 0 %
Road pavement : 1 (Typical asphalt or concrete)

Data for Segment # 1: Hurontario

Angle1 Angle2 : -90.00 deg 90.00 deg
Wood depth : 0 (No woods.)
No of house rows : 0
Surface : 2 (Reflective ground surface)
Receiver source distance : 25.50 m
Receiver height : 1.50 m
Topography : 1 (Flat/gentle slope; no barrier)
Reference angle : 0.00

↑

Road data, segment # 2: Mayfield

Car traffic volume : 41026 veh/TimePeriod
Medium truck volume : 852 veh/TimePeriod
Heavy truck volume : 1375 veh/TimePeriod
Posted speed limit : 60 km/h
Road gradient : 0 %
Road pavement : 1 (Typical asphalt or concrete)

Data for Segment # 2: Mayfield

Angle1 Angle2 : 0.00 deg 90.00 deg
Wood depth : 0 (No woods.)
No of house rows : 0
Surface : 2 (Reflective ground surface)
Receiver source distance : 89.50 m
Receiver height : 1.50 m
Topography : 1 (Flat/gentle slope; no barrier)
Reference angle : 0.00

↑

Results segment # 1: Hurontario

Source height = 1.24 m

ROAD (0.00 + 69.34 + 0.00) = 69.34 dBA

Angle1	Angle2	Alpha	RefLeq	P.Adj	D.Adj	F.Adj	W.Adj	H.Adj	B.Adj	SubLeq
-90	90	0.00	71.65	0.00	-2.30	0.00	0.00	0.00	0.00	69.34

Segment Leq : 69.34 dBA

Results segment # 2: Mayfield

Source height = 1.34 m

ROAD (0.00 + 62.31 + 0.00) = 62.31 dBA

Angle1	Angle2	Alpha	RefLeq	P.Adj	D.Adj	F.Adj	W.Adj	H.Adj	B.Adj	SubLeq
0	90	0.00	73.07	0.00	-7.76	-3.01	0.00	0.00	0.00	62.31

Segment Leq : 62.31 dBA

Total Leq All Segments: 70.13 dBA

 **Appendix D**

BPN 56 Calculation Procedure - Required Glazing STC Rating (Fixed Veneer) - ROADWAY

Receptor ID	Location	Sound Levels				Room / Façade Inputs					Source Inputs			Veneer - Component 1		Glazing - Component 2	
		Façade Sound Level: (dBA)	Free-field Corr: (dBA)	Req'd Indoor Sound Level: (dBA)	Req'd Noise Red: (dBA)	Glazing as % of Wall Area	Exp Wall Ht (m)	Exp Wall Length (m)	Room Depth (m)	Room Absorption:	Incident Sound Angle: (deg)	Angle Corr Factor:	Spectrum type:	Veneer STC (STC)	Component Category:	Component Category:	Req'd Glazing STC (STC)

DAYTIME

G_to_6_BR_N	Ground to 6th Floor - Bedroom - North Façade	66	3	45	24	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	24
G_to_6_LR_N	Ground to 6th Floor - Living Room - North Façade	66	3	45	24	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	24
G_to_6_BR_S	Ground to 6th Floor - Bedroom - South Façade	68	3	45	26	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	26
G_to_6_LR_S	Ground to 6th Floor - Living Room - South Façade	68	3	45	26	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	26
G_to_6_BR_W	Ground to 6th Floor - Bedroom - West Façade	70	3	45	28	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	28
G_to_6_LR_W	Ground to 6th Floor - Living Room - West Façade	70	3	45	28	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	28
7_to_9_BR_N	7th to 9th Floor - Bedroom - North Façade	65	3	45	23	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	23
7_to_9_LR_N	7th to 9th Floor - Living Room - North Façade	65	3	45	23	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	23
7_to_9_BR_S	7th to 9th Floor - Bedroom - South Façade	67	3	45	25	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	25
7_to_9_LR_S	7th to 9th Floor - Living Room - South Façade	67	3	45	25	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	25
7_to_9_BR_W	7th to 9th Floor - Bedroom - West Façade	69	3	45	27	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	27
7_to_9_LR_W	7th to 9th Floor - Living Room - West Façade	69	3	45	27	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	27

NIGHT-TIME

G_to_6_BR_N	Ground to 6th Floor - Bedroom - North Façade	59	3	40	22	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	22
G_to_6_LR_N	Ground to 6th Floor - Living Room - North Façade	59	3	45	17	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	17
G_to_6_BR_S	Ground to 6th Floor - Bedroom - South Façade	61	3	40	24	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	24
G_to_6_LR_S	Ground to 6th Floor - Living Room - South Façade	61	3	45	19	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	19
G_to_6_BR_W	Ground to 6th Floor - Bedroom - West Façade	63	3	40	26	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	26
G_to_6_LR_W	Ground to 6th Floor - Living Room - West Façade	63	3	45	21	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	21
7_to_9_BR_N	7th to 9th Floor - Bedroom - North Façade	58	3	40	21	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	21
7_to_9_LR_N	7th to 9th Floor - Living Room - North Façade	58	3	45	16	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	16
7_to_9_BR_S	7th to 9th Floor - Bedroom - South Façade	60	3	40	23	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	45	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	23
7_to_9_LR_S	7th to 9th Floor - Living Room - South Façade	60	3	45	18	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	43	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	18
7_to_9_BR_W	7th to 9th Floor - Bedroom - West Façade	62	3	40	25	50%	3.0	3.0	3.0	Very Absorptive	0 - 90	0	D. mixed road traffic, distant aircraft	44	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	25
7_to_9_LR_W	7th to 9th Floor - Living Room - West Façade	62	3	45	20	70%	3.0	3.0	6.0	Intermediate	0 - 90	0	D. mixed road traffic, distant aircraft	43	D. sealed thick window, or exterior wall, or roof/ceiling	C. sealed thin window, or openable thick window	20

 **Appendix E**

Warning Clauses

The following Warning Clauses are suggestion of what should be registered on Title and/or included in the Agreement of Purchase and Sale or Lease and in the relevant Development Agreement:

MECP Type A – all units

"Purchasers/tenants are advised that sound levels due to increasing road traffic may occasionally interfere with some activities of the dwelling occupants as the sound levels exceed the sound level limits of the Municipality and the Ministry of the Environment."

MECP Type D – all units

"Purchasers are advised that the dwelling unit has been or will be fitted with a central air conditioning system which will enable occupants to keep windows closed if road traffic noise interferes with the indoor activities."

MECP Type E – All units

"Purchasers/tenants are advised that due to the proximity of adjacent Snelgrove Place and commercial/retail operations, noise from these facilities may at times be audible."

 **Appendix F**

Modelling Information Summary

Source Description	Maximum Sound Power Levels (1/1 Octave Band Levels)									Modelled Sound Power Level (dBA)	Notes
	32	63	125	250	500	1000	2000	4000	8000		
Snelgrove Place											
Rooftop 5 Ton HVAC	77	80	81	81	80	78	74	70	64	83.0	- Based on historical SLR data. - 15 min duty cycling applied for the night.
6-fan Chiller	--	--	--	--	89	--	--	--	--	--	- Based on OEM data from TRANE for CGAM 90 ton unit. - 30 min duty cycling applied for the night.
KFC and Taco Bell											
Rooftop 10 Ton HVAC	80	83	84	84	83	81	77	73	67	86.0	- Based on historical SLR data. - 30 min duty cycling applied for the night.
Kitchen Exhaust Fan	--	83	93	88	82	77	75	69	66	85.0	- Based on historical SLR data. - 30 min duty cycling applied for the night.
Drive-Thru Idling Car Queue	--	91	86	81	78	76	75	71	61	82.0	- Based on average idling vehicle sound level. - 60 min/car conservatively applied for 10 cars during daytime/evening. - No queue during nighttime.
Drive Thru Speakers	--	75	70	67	81	78	76	63	48	83.0	- Based on historical SLR field measurements. - No queue during nighttime.