



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A. 2024.0451

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Isha Isha
Address 181 Fernforest Drive, Brampton, ON, L6R 1T7

Phone # 647-972-5307 **Fax #** _____
Email sukhnaibss@gmail.com

2. **Name of Agent** Harry Sahi (12941775 Canada Inc.- dba Sahi Designs)
Address 77 City Centre Drive, 501, Mississauga

Phone # 226-747-7966 **Fax #** _____
Email sahidesigns21@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
Original driveway width for this semi- detached house is 13feet.

Concrete pavement is constructed on the left of the driveway of 5feet 5" in width. We need a relief for this pavement so that the owner does not have to break.

Property was purchased like this by the current owner.

4. **Why is it not possible to comply with the provisions of the by-law?**
Concrete pavement is constructed on the left of the driveway of 5feet 5" in width. We need a relief for this pavement so that the owner does not have to break it.

5. **Legal Description of the subject land:**
Lot Number Part-17
Plan Number/Concession Number _____
Municipal Address 181 Fernforest Drive, Brampton

6. **Dimension of subject land (in metric units)**
Frontage 8.97m
Depth 31.20m
Area 279.86 m2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single dwelling unit _____

Ground Floor area: 575 sq.ft. _____

Second Floor area: 800 sq.ft. _____

Gross floor area: 1375 Sq.ft. _____

Number of storeys: 2 _____

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Second dwelling unit. _____

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 8.97m _____

Rear yard setback 4.48m _____

Side yard setback Left side 1.5m _____

Side yard setback _____

PROPOSED

Front yard setback 8.97m _____

Rear yard setback 4.48m _____

Side yard setback Left side 1.5m _____

Side yard setback _____

10. Date of Acquisition of subject land: July 2023

11. Existing uses of subject property: Single Dwelling unit

12. Proposed uses of subject property: Second Dwelling unit

13. Existing uses of abutting properties: Residential houses

14. Date of construction of all buildings & structures on subject land: 2004

15. Length of time the existing uses of the subject property have been continued: 20years

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Harry Sahi
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS Friday DAY OF 23rd November, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Harry Sahi (12941775 Canada Inc.), OF THE City OF Brampton

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Province OF

Ontario THIS Friday DAY OF

23rd November, 2024.

A Commissioner etc.

Harry
sahi

Digitally signed by Harry sahi
DN: cn=Harry sahi, o=Sahi Designs
12941775 Canada Inc, ou,
email=sahidesigns21@gmail.com, c=CA
Date: 2023.07.14 13:42:04 -04'00'

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R2A-107

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2024/11/28
Date

DATE RECEIVED Dec 11, 2024

Date Application Deemed Complete by the Municipality

Clara

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 181 Fernforest Drive

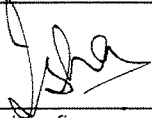
I/We, Isha Isha
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Harry Sahi (12941775 Canada Inc. -dba Sahi Designs)
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this Friday day of 23rd November, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Isha Isha

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

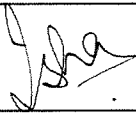
LOCATION OF THE SUBJECT LAND: 181 Fernforest Drive

I/We, Isha Isha

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this Friday day of 23rd November, 2024.



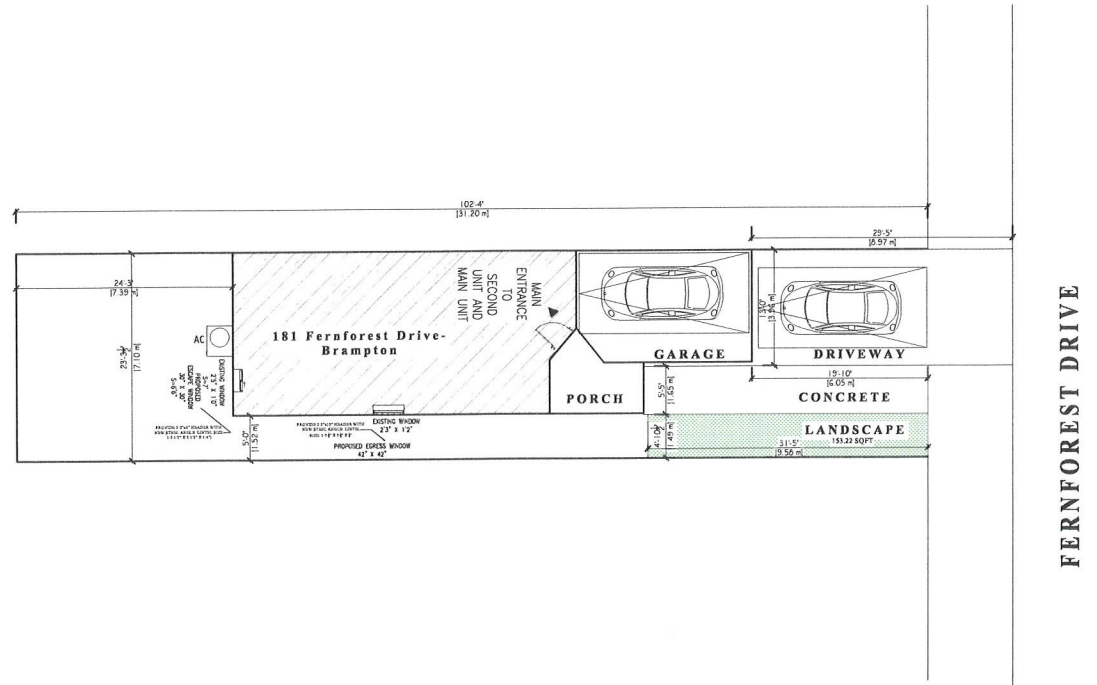
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Isha Isha

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



1 SITE PLAN
Scale: 3/32" = 1'-0"

SITE STATISTIC

1. **LOT NO.:** NA
2. **PLAN NO.:** NA
3. **LOT FRONTAGE:** 23'-3 1/2" [7.10 M]
4. **LOT DEPTH:** 102'-4" [31.20 M]
5. **LOT AREA:** 2383.95 SQFT (221.47 SQM)
6. **NO. OF STORIES:** BASEMENT + 2 STOREY
7. **ASPHALT AREA:** 3.96M X 8.97M
8. **STRUCTURE HEIGHT:** ~26'-4"
9. **LOT COVERAGE:** 1176 SF
10. **LOT FRONT SET BACK:** 19'-10" [6.05 M]
11. **LOT REAR SET BACK:** 24'-3" [7.39 m]
12. **LOT SIDE SET BACK:** 5'-0" [1.52 M]

GENERAL NOTE

- DO NOT SCALE THE DRAWINGS
- CONTRACTORS TO CARRY LIABILITY INSURANCE FOR PERFORMING THE WORK
- CONTRACTORS RESPONSIBLE TO ENSURE PROPER SAFETY PRECAUTIONS ARE IN PLACE THROUGH OUT THE CONSTRUCTION FOR ALL CONSTRUCTION METHODS AND MATERIAL SUPPLIES.
- OWNER AND CONTRACTOR ARE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING ANY SAFETY PRECAUTIONS.
- PRECAUTIONS DURING CONSTRUCTION
- EXISTING STRUCTURE TO BE PROTECTED DURING CONSTRUCTION FROM ANY WEATHER ISSUES, SECURITY OR RELATED DAMAGES.
- VERIFY/ REINFORCE EXISTING VERIFY EXISTING SITE CONDITIONS DURING CONSTRUCTION.
- INSPECTIONS
- ALL CONSTRUCTION TO ADHERE TO THE ONTARIO BUILDING CODE REQUIREMENT AS WELL AS OTHER CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTACTOR ARE RESPONSIBLE TO ARRANGE FOR REQUIRED INSPECTIONS BY LOCAL BUILDING AUTHORITIES

NOTE : PROFESSIONAL ENGINEER SIGNING ON THE ARCHITECTURAL DRAWINGS ONLY. FOR THIS SECOND DWELLING UNIT.



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501, Mississauga, ON L5B 1M5
226-747-7966
sahidesigns21@gmail.com

Project Title:
SECOND DWELLING UNIT
PERMIT

Project Address:
181 Fernforest Drive-
Brampton

Drawing Title:
SITE PLAN

Scale: Scale: 3/32" - 1' 0"	Date: 28/11/24
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






Designed :
NIRBHAYPAL SINGH,P.ENG.

Project Number:	Sheet Number: A1
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BASEMENT APARTMENT GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS
2. FRAMING NOTES:
 - 2.1. DIMENSIONAL LUMBER TO BE S-P-F GRADE 1 OR 2.
 - 2.2. INSULATION WALLS R12 OR R14.
 - 2.3. VAPOUR BARRIER 6MIL POLY.






WALL DETAILS

 	<p>EXTERIOR WALL CONSTRUCTION : (EXISTING)</p> <ul style="list-style-type: none"> • FOLLOWING ORDER TO EXISTING CONCRETE WALL • R12 MINERAL FIBRE INSULATION • 2"X4" WOOD STUDS @ 16" O.C. • 6MIL POLY VAPOR BARRIER • 1/2" DRYWALL
 	<p>INTERIOR WALL CONSTRUCTION : (PROPOSED)</p> <ul style="list-style-type: none"> • 1/2" DRYWALL • 2" X 4" WOOD STUD @ 16" O.C. • 1/2" DRYWALL
 	<p>30MIN FIRE SEPARATION WALL : (PROPOSED)</p> <ul style="list-style-type: none"> • 1/2" DRYWALL ON ONE SIDE • 2" X 4" WOOD STUD @ 16" O.C. • 89mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE & SOUND) • 1/2" DRYWALL
	<p>CEILING HEIGHT :</p> <ul style="list-style-type: none"> • 7'7" FROM BASEMENT UNFINISHED FLOOR LEVEL • 6'8" BELOW DUCT AND BEAMS
	<p>CEILING CONSTRUCTION : 15 MIN FIRE SEPARATION (PROPOSED) OBC COMPLIANCE C147 (b) ON CEILING</p> <ul style="list-style-type: none"> • EXISTING 2"X10" WOOD FLOOR JOISTS • NEW LAYER 1/2" GYPSUM BOARD ON CEILING

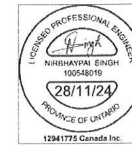
DOOR REFERENCE

(D1)	32"X80" 20 min. FIRE RATED DOOR & FRAME WITH SELF CLOSING DEVICE
(D2)	32"X80" DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
(D3)	30"X80" DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
(D4)	26"X80" DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR

REFERENCE

 1	AIR SUPPLY REGISTER AT CEILING
 2	AIR RETURN REGISTER AT FLOOR LEVEL
(S)	INTERCONNECTED SMOKE ALARM : SHOULD HAVE VISUAL SIGNALING COMPONENT INTEGRATED
(C)	CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	COLUMN
	GLASS BULB TYPE SPRINKLER HEAD FED BY CITY WATER SUPPLY
(SD)	SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR
\$3	3-WAY ELECTRICAL SWITCH

NOTE : PROFESSIONAL ENGINEER SIGNING ON THE ARCHITECTURAL DRAWINGS ONLY. FOR THIS SECOND DWELLING UNIT.



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sahidesigns21@gmail.com

Project Title:
SECOND DWELLING UNIT PERMIT

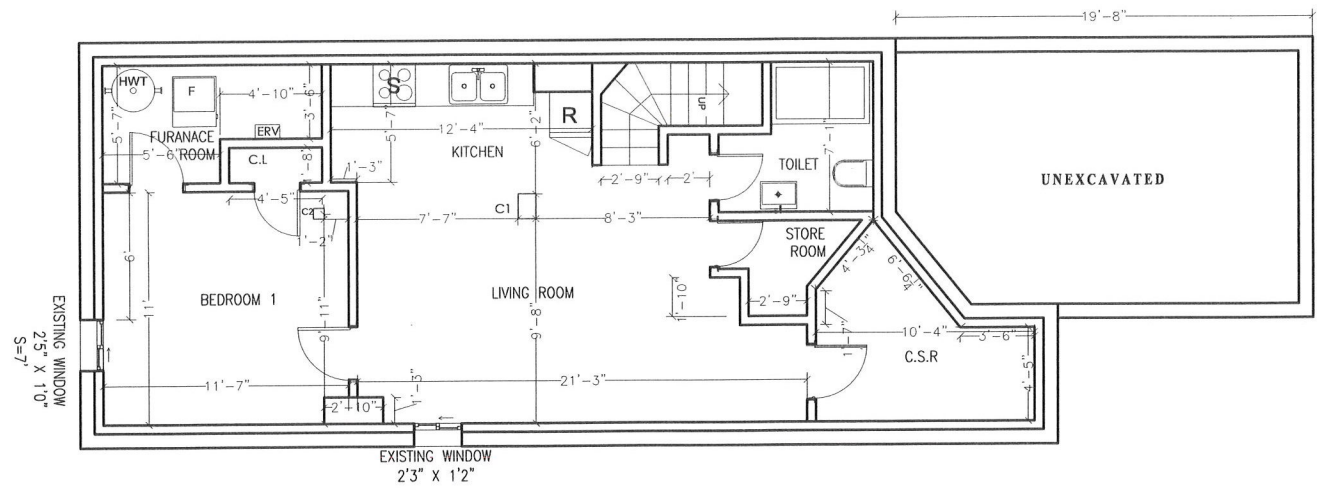
Project Address:
181 Fernforest Drive- Brampton

Drawing Title:
GENERAL NOTES

Scale: N.T.S. Date: 04/01/24

Designed by:
NIRBHAYPAL SINGH, P.ENG.

Project Number: Sheet Number:
A2

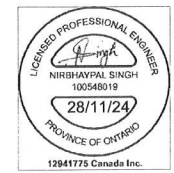


1 EXISTING BASEMENT PLAN
Scale: 4" = 1'-0"

NOTE:
 - INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
 - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 910.19
 - EXISTING SECOND FLOOR WALL & CEILING IS ½" DRYWALLED

③ SMOKE ALARM
 - SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM.
 - SHALL HAVE A BATTERY BACKUP

NOTE : PROFESSIONAL ENGINEER SIGNING ON THE ARCHITECTURAL DRAWINGS ONLY. FOR THIS SECOND DWELLING UNIT.



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 sahidesigns21@gmail.com

Project Title:
SECOND DWELLING UNIT PERMIT

Project Address:
181 Fernforest Drive- Brampton

Drawing Title:
EXISTING BASEMENT PLAN

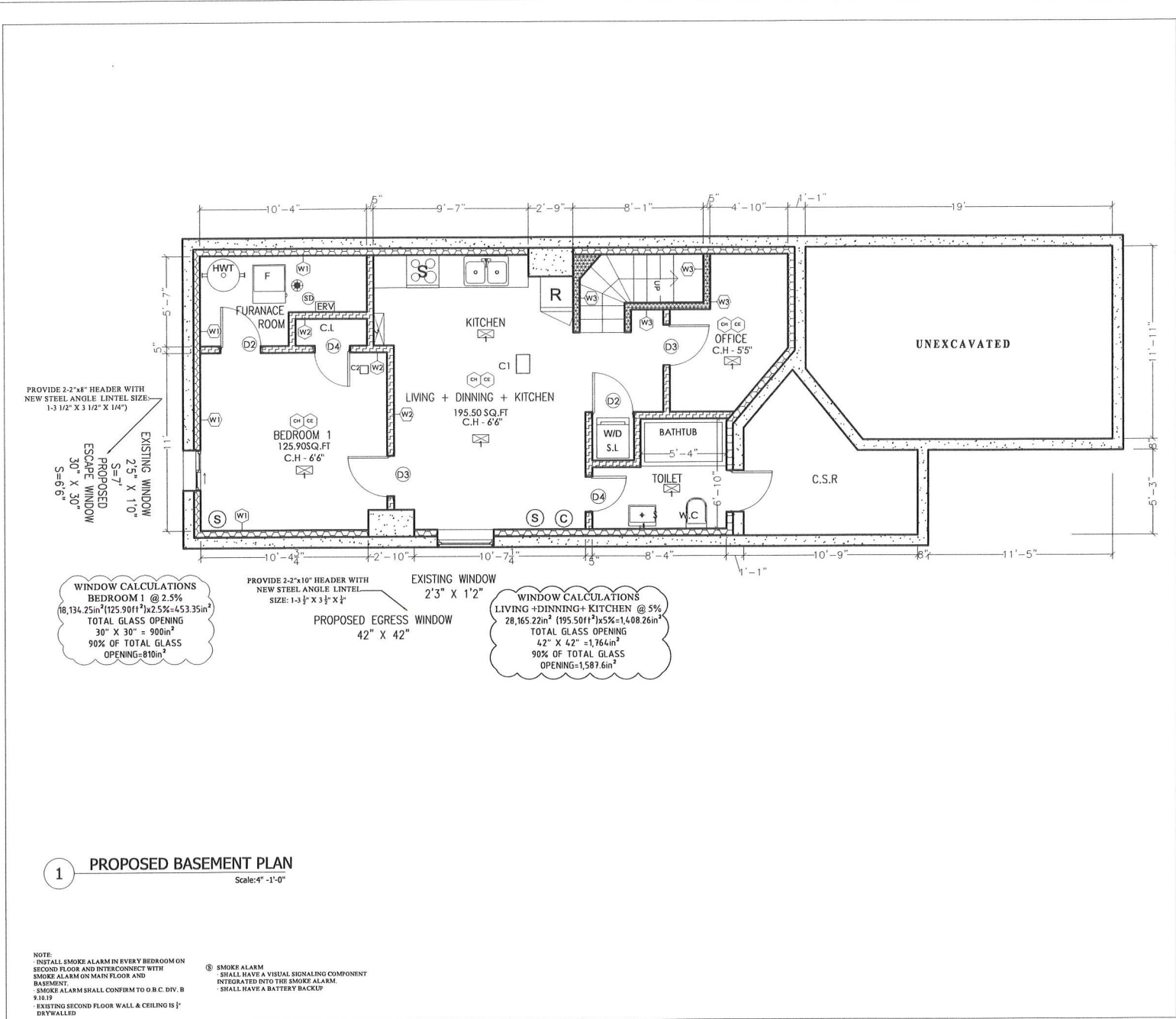
Scale:
 4" = 1'-0"

Date:
 04/01/24

Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

Sheet Number:
A3



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Project Title:
SECOND DWELLING UNIT PERMIT

Project Address:
181 Fernforest Drive- Brampton

Drawing Title:
PROPOSED BASEMENT PLAN

Scale: 4" = 1'-0"	Date: 11/06/24
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Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:	Sheet Number: A4
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1 PROPOSED BASEMENT PLAN
Scale: 1/4" = 1'-0"

NOTE
-INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
-SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
-EXISTING SECOND FLOOR WALL & CEILING IS DRYWALLED

SMOKE ALARM
-SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM.
-SHALL HAVE A BATTERY BACKUP

**NOTE : PROFESSIONAL ENGINEER
SIGNING ON THE ARCHITECTURAL
DRAWINGS ONLY. FOR THIS
SECOND DWELLING UNIT.**



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Project Title:
**SECOND DWELLING UNIT
PERMIT**

Project Address:
**181 Fernforest
Drive- Brampton**

Drawing Title:
MAIN LEVEL PLAN

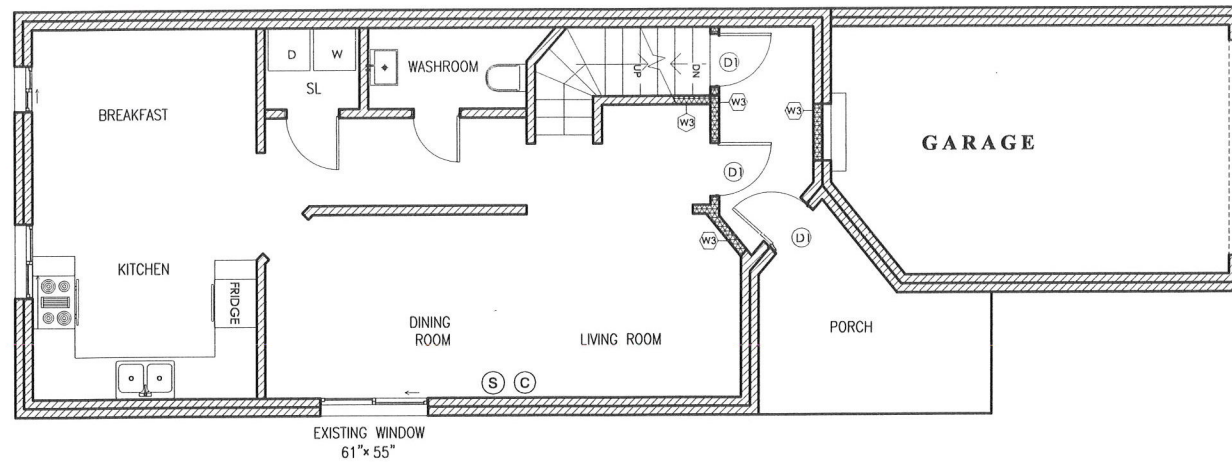
Scale:
4" = 1'-0"

Date:
11/06/24

Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

Sheet
Number:
A5



1 MAIN LEVEL PLAN
Scale: 4" = 1'-0"

NOTE:
-INSTALL SMOKE ALARM IN EVERY BEDROOM ON
SECOND FLOOR AND INTERCONNECT WITH
SMOKE ALARM ON MAIN FLOOR AND
BASEMENT.
-SMOKE ALARM SHALL CONFORM TO O.B.C. DIV. B
9.10.13
-EXISTING SECOND FLOOR WALL & CEILING IS 1/2"
DRYWALLED

Ⓢ SMOKE ALARM
- SHALL HAVE A VISUAL SIGNALING COMPONENT
- INTEGRATED INTO THE SMOKE ALARM.
- SHALL HAVE A BATTERY BACKUP

**NOTE : PROFESSIONAL ENGINEER
SIGNING ON THE ARCHITECTURAL
DRAWINGS ONLY. FOR THIS
SECOND DWELLING UNIT.**



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sahidesigns21@gmail.com

Project Title:
**SECOND DWELLING UNIT
PERMIT**

Project Address:
**181 Fernforest
Drive- Brampton**

Drawing Title:
SECOND LEVEL PLAN

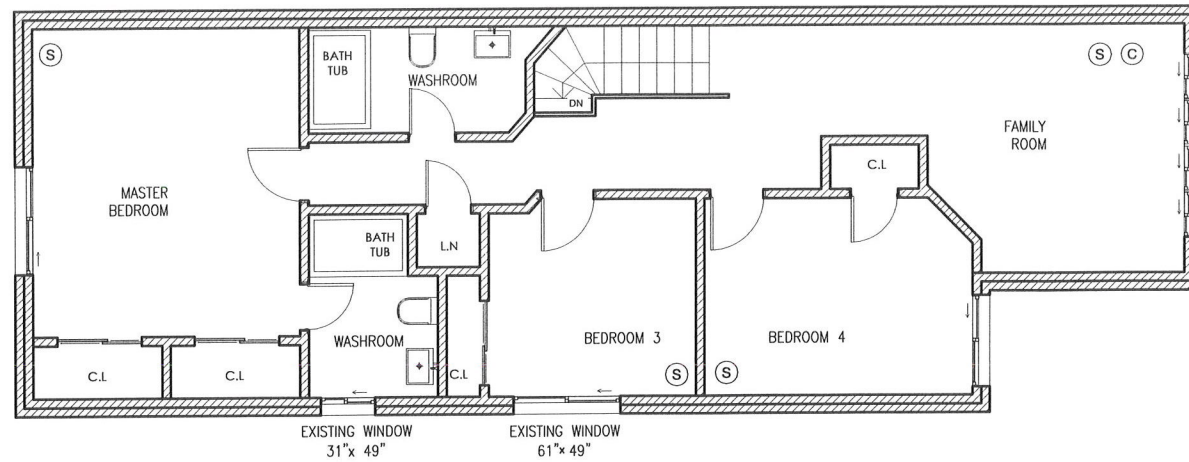
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4" = 1'-0"

Date:
04/01/24

Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

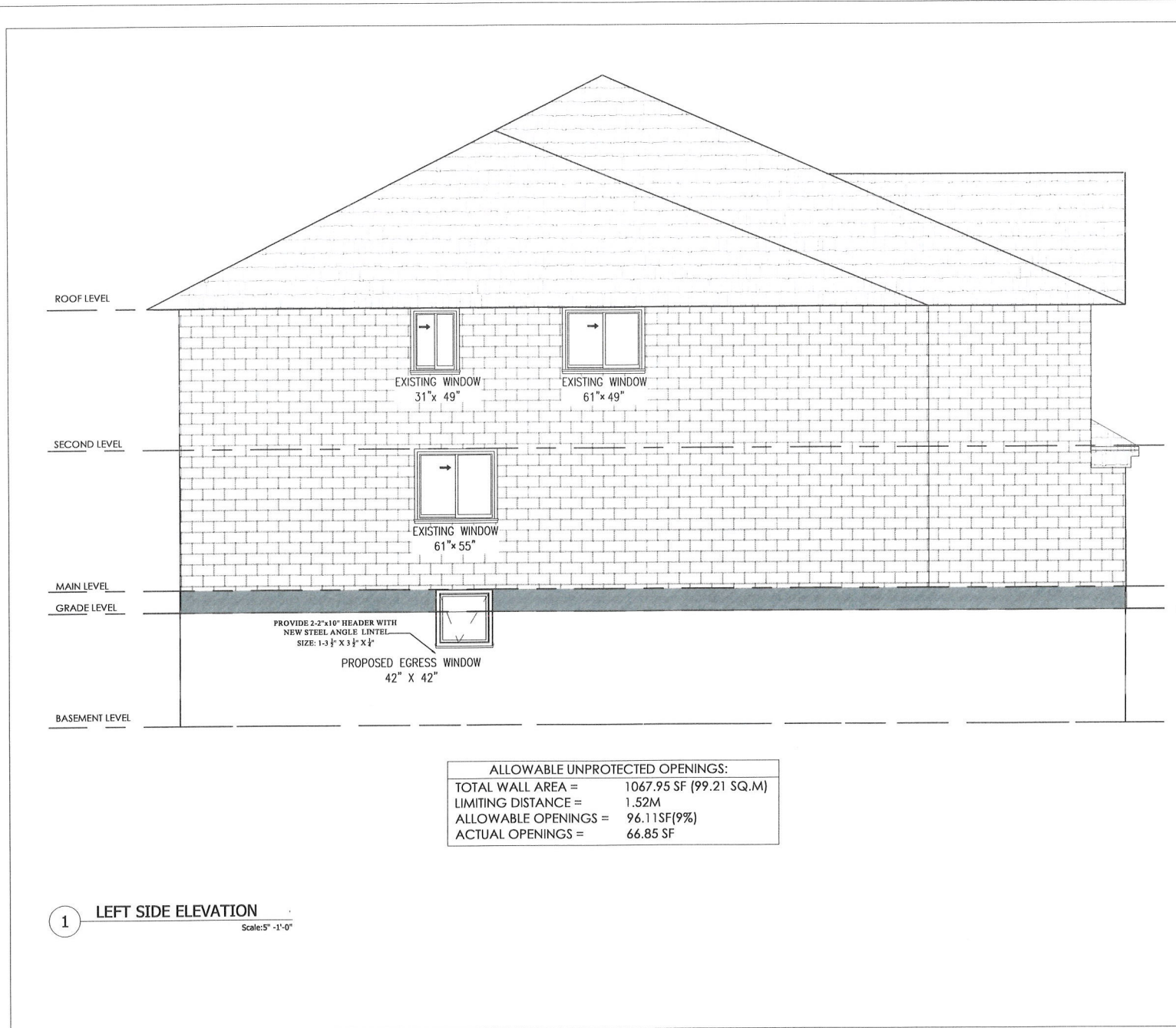
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Number:
A6



1 SECOND LEVEL PLAN
Scale: 4" = 1'-0"

NOTE:
- INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
- SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
- EXISTING SECOND FLOOR WALL & CEILING IS 1/2" DRYWALLED

Ⓢ SMOKE ALARM
- SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM.
- SHALL HAVE A BATTERY BACKUP



1 LEFT SIDE ELEVATION
Scale: 5" = 1'-0"

NOTE : PROFESSIONAL ENGINEER SIGNING ON THE ARCHITECTURAL DRAWINGS ONLY. FOR THIS SECOND DWELLING UNIT.



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Project Title:
SECOND DWELLING UNIT PERMIT

Project Address:
181 Fernforest Drive- Brampton

Drawing Title:
LEFT SIDE ELEVATION

Scale:
4" = 1'-0"

Date:
04/01/24

Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

Sheet Number:
A7

**NOTE : PROFESSIONAL ENGINEER
SIGNING ON THE ARCHITECTURAL
DRAWINGS ONLY. FOR THIS
SECOND DWELLING UNIT.**



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Project Title:
**SECOND DWELLING UNIT
PERMIT**

Project Address:
**181 Fernforest
Drive- Brampton**

Drawing Title:
REAR ELEVATION

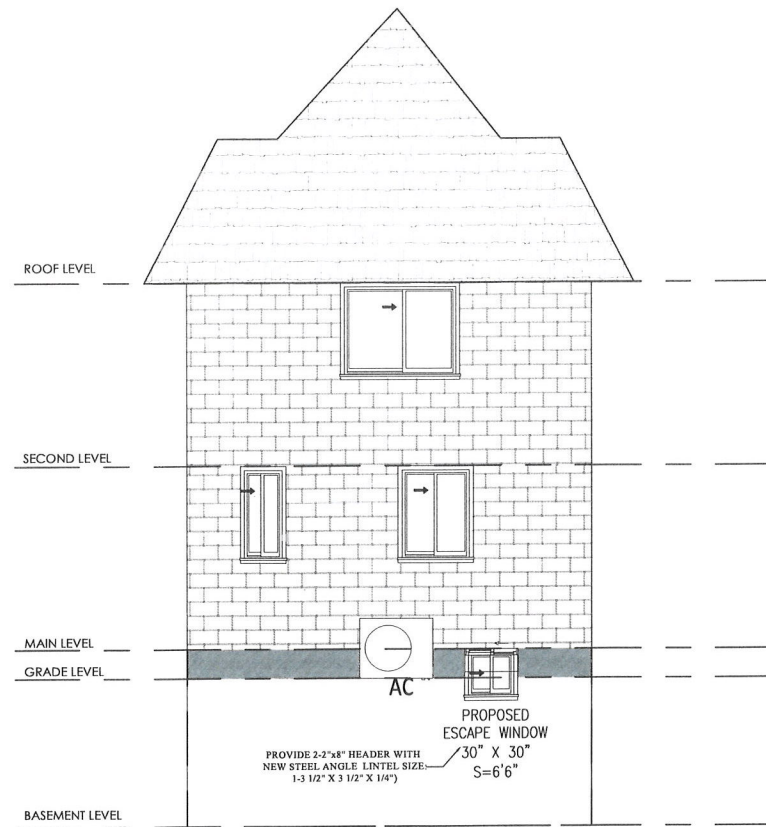
Scale:
4" = 1'-0"

Date:
11/06/24

Designed :
NIRBHAYPAL SINGH,P.ENG.

Project Number:

Sheet
Number:
A8



1 REAR ELEVATION
Scale: 4" = 1'-0"

SURVEYOR'S CERTIFICATE

VE)

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
2. THE SURVEY WAS COMPLETED ON THE 12th DAY OF APRIL, 1994

DATE June 8th, 1994

C.P. Edward
 C.P. EDWARD
 ONTARIO LAND SURVEYOR

CAUTION

THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

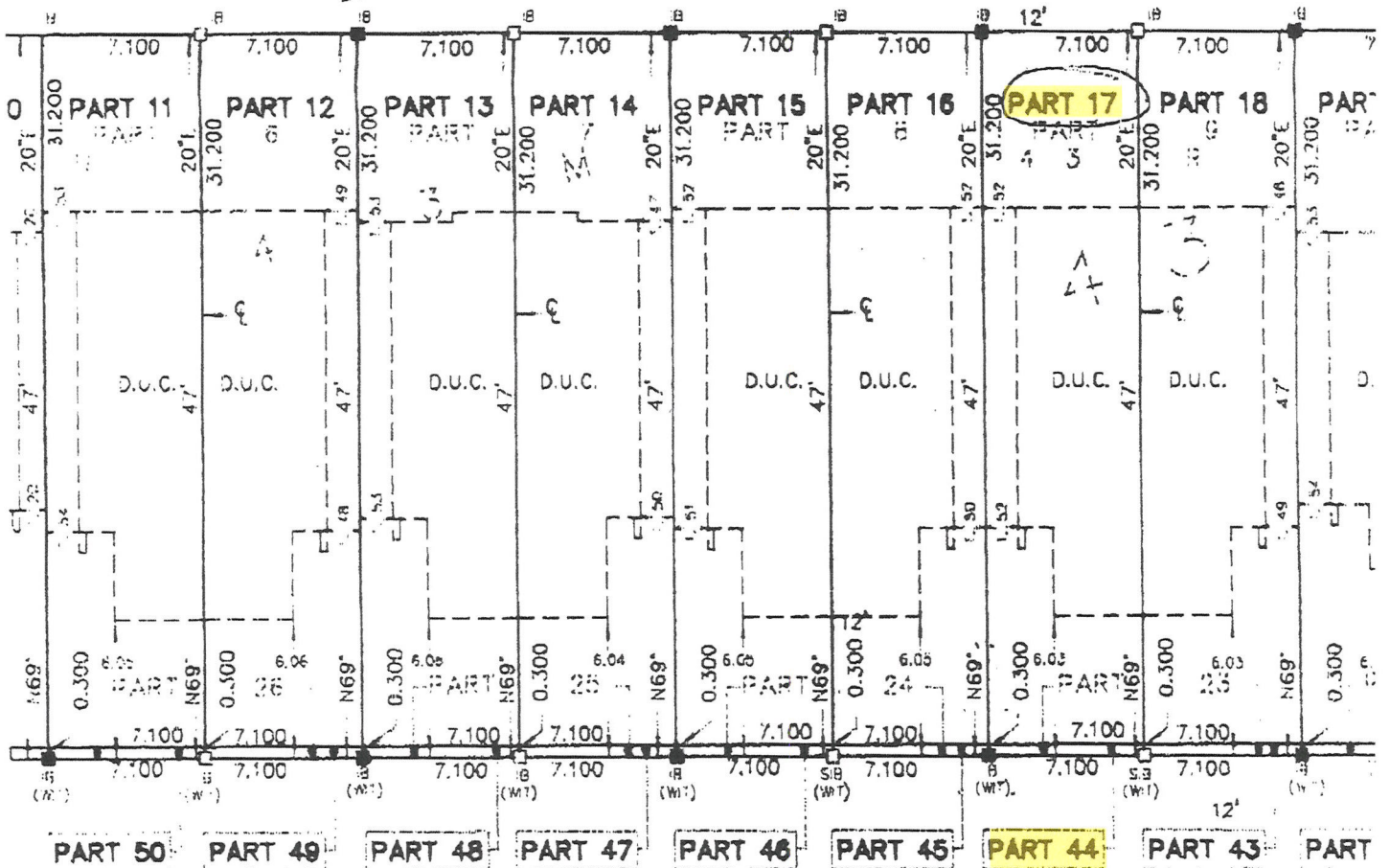
DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

PLAN

4 3 R

BLOCK

108



O C K

3 1

PARCEL 0.30 RESERVES - 2 SECTION

FERNFOREST

DRIVE

Zoning Non-compliance Checklist

File No.
A.2024.0457

Applicant: Harry Sahi
 Address: 181 Fernforest Dr
 Zoning: R2A-701
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH	To permit a driveway width of 5.61m,	whereas the by-law permits a maximum driveway width of 4.9m.	10.9.1
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/11/28

Date