



Revised.

FILE NUMBER:

A-2024-0374

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) HENRY WILSON
Address 2 Morden crescent, Ajax, ON L1T 3Z7

Phone # 4169303577 Fax #
Email chndwilson@rogers.com

2. Name of Agent DANIEL ALLAN
Address 1009-66 MALTA AVENUE, BRAMPTON, ON L6Y 4V9

Phone # 647.968.3358 Fax #
Email DTECHLINE@GMAIL.COM

3. Nature and extent of relief applied for (variances requested):
To permit a below grade entrance window and window well to be less than 1.2m from the property line proposed 0.67m
To permit a unobstructed tenant side path way to be less than 1.2m which we requesting to be 0.870m
To permit fire rated windows on a wall less than 1.2m from the property line
To permit 0.0m wood landing on the side
To permit a reduction of garage size to 3.83m x 4.69m

4. Why is it not possible to comply with the provisions of the by-law?
Because there is not way to increase the space between the property line and the house and most of the windows are already installed and to be fire rated

5. Legal Description of the subject land:
Lot Number BLK 242 Parts 22 and 23 Survey subject lot is part 22t 22
Plan Number/Concession Number Plan M763
Municipal Address 52 Donna drive, Brampton, ON L6Z 3V2

6. Dimension of subject land (in metric units)
Frontage 6.756
Depth 33.500
Area 226.326 sq.m

7. Access to the subject land is by:
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground floor area 64 sq.m
gross Floor area 201 sq.m
2 storey building plus finished basement
Building width 5.79m
Building length 18.67m
Building length 18.67m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

None

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.16m
Rear yard setback 8.37m
Side yard setback 0.00m
Side yard setback 0.98m

PROPOSED

Front yard setback Same as above
Rear yard setback Same as above
Side yard setback Same as above
Side yard setback 0.67 from window well

10. Date of Acquisition of subject land: 2019

11. Existing uses of subject property: Residential single family dwelling

12. Proposed uses of subject property: Residential Two family dwelling

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: Not sure

15. Length of time the existing uses of the subject property have been continued: Note sure

16. (a) What water supply is existing/proposed?

Municipal Well [X] Other (specify)

(b) What sewage disposal is/will be provided?

Municipal Septic [X] Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers Ditches Swales [X] Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No X

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No X Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

[Handwritten Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE Brampton OF Peel
THIS 07 DAY OF January, 20 25

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, DANIEL ALLAN, OF THE CITY OF BRAMPTON

IN THE CITY OF PEEL REGION SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
OF
IN THE OF
THIS DAY OF
, 20

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer Date

DATE RECEIVED \_\_\_\_\_





**PERMISSION TO ENTER**

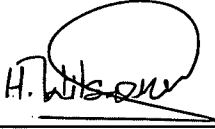
To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: \_\_\_\_\_ 52 Donna Drive , Brampton, Ontario \_\_\_\_\_

I/We, \_\_\_\_\_ Henry Wilson \_\_\_\_\_  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 07th day of January , 2025.

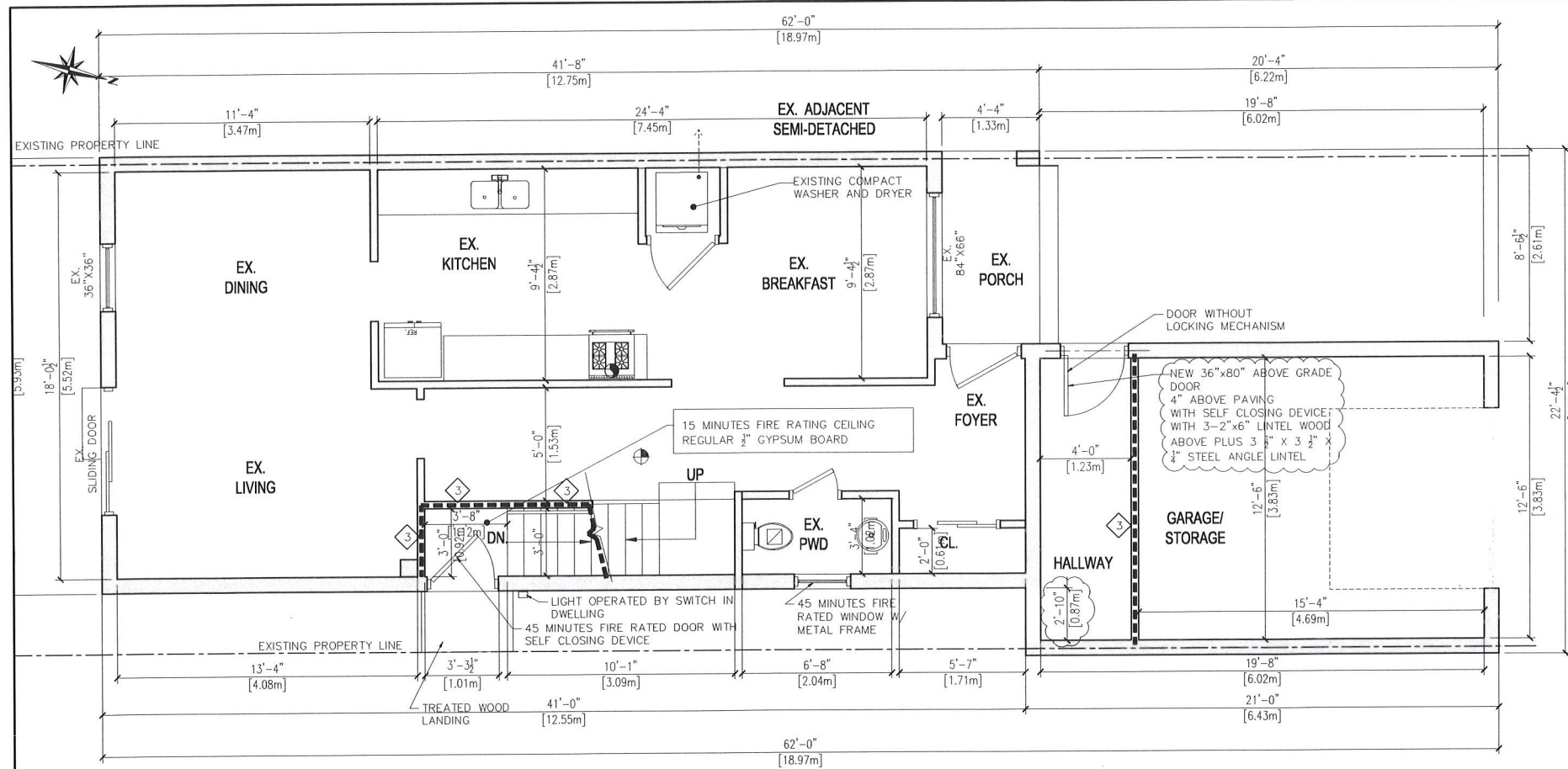
  
H. Wilson

\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



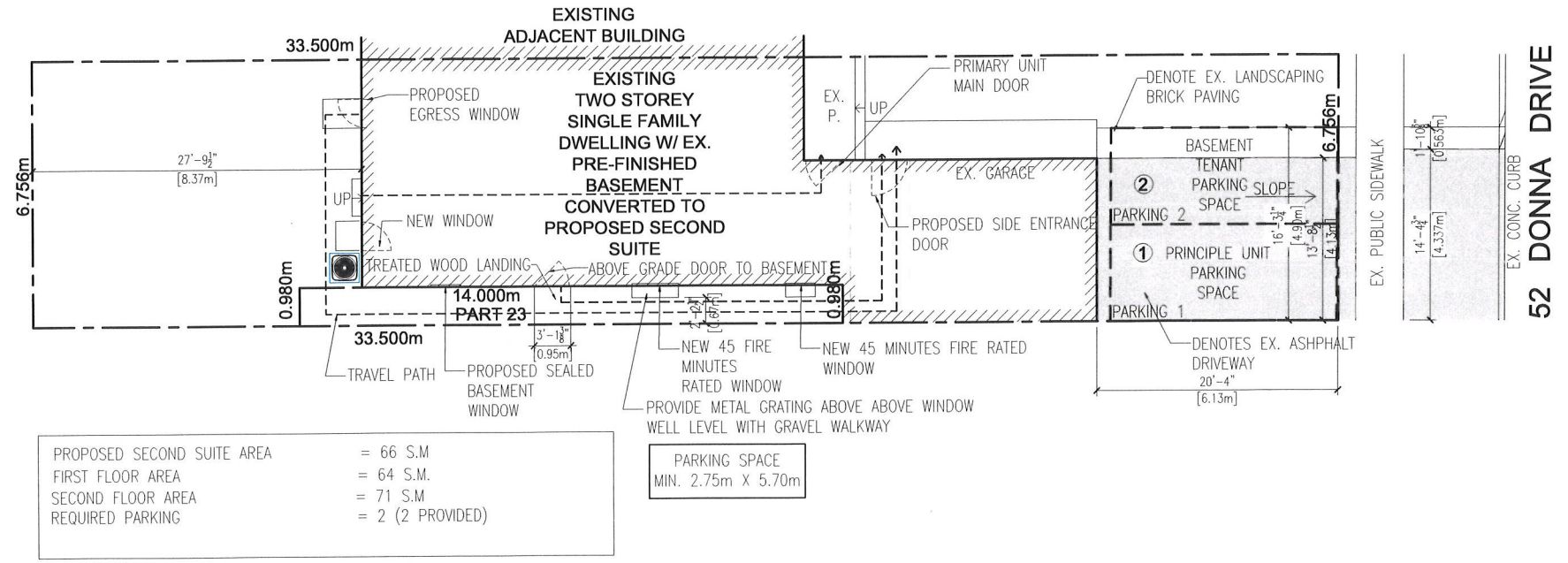
LEGEND	
	EXISTING EXTERIOR BRICK AND FRAME WALL
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	30 MINUTES VERTICAL FIRE RATED WALL (SB-3 W1c) REGULAR 12.7mm(1/2") GYPSUM BOARD BOTH SIDES, 2"x4" STUDS @16" O.C. WITH 89mm ABSORPTIVE MATERIAL
	DENOTES EXHAUST FAN
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA FLEX .DUCT
	SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (TWO STROB)
	NEW AIR SUPPLY GRILL

PROPOSED FIRST FLOOR PLAN  
SCALE : 3/16" = 1'-0"



No. REVISION 1 <b>12.08.2024</b> 2 <b>18.10.2024</b> 3 <b>18.12.2024</b> 4 <b>07.01.2024</b> 5 6 7	SPECIAL NOTES	Owner Name & Address:	Sheet Title		Coordinator by:			
	CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL, AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.	52 DONNA DRIVE BRAMPTON, ON	PROPOSED FIRST FLOOR PLAN		1009-66 Malta avenue Brampton, ON Canada, L6Y 4V9			
		Project Address/Name:	Date:		Client	Scale:	Drawn by:	
		52 DONNA DRIVE BRAMPTON, ON	19.07.2024	1415	As shown	DANIEL	Reviewed by:	Project No.
		Project Description:	Duplex					Drawing No.
								A1.5

DEFAULT SHEET SIZE : 11x17



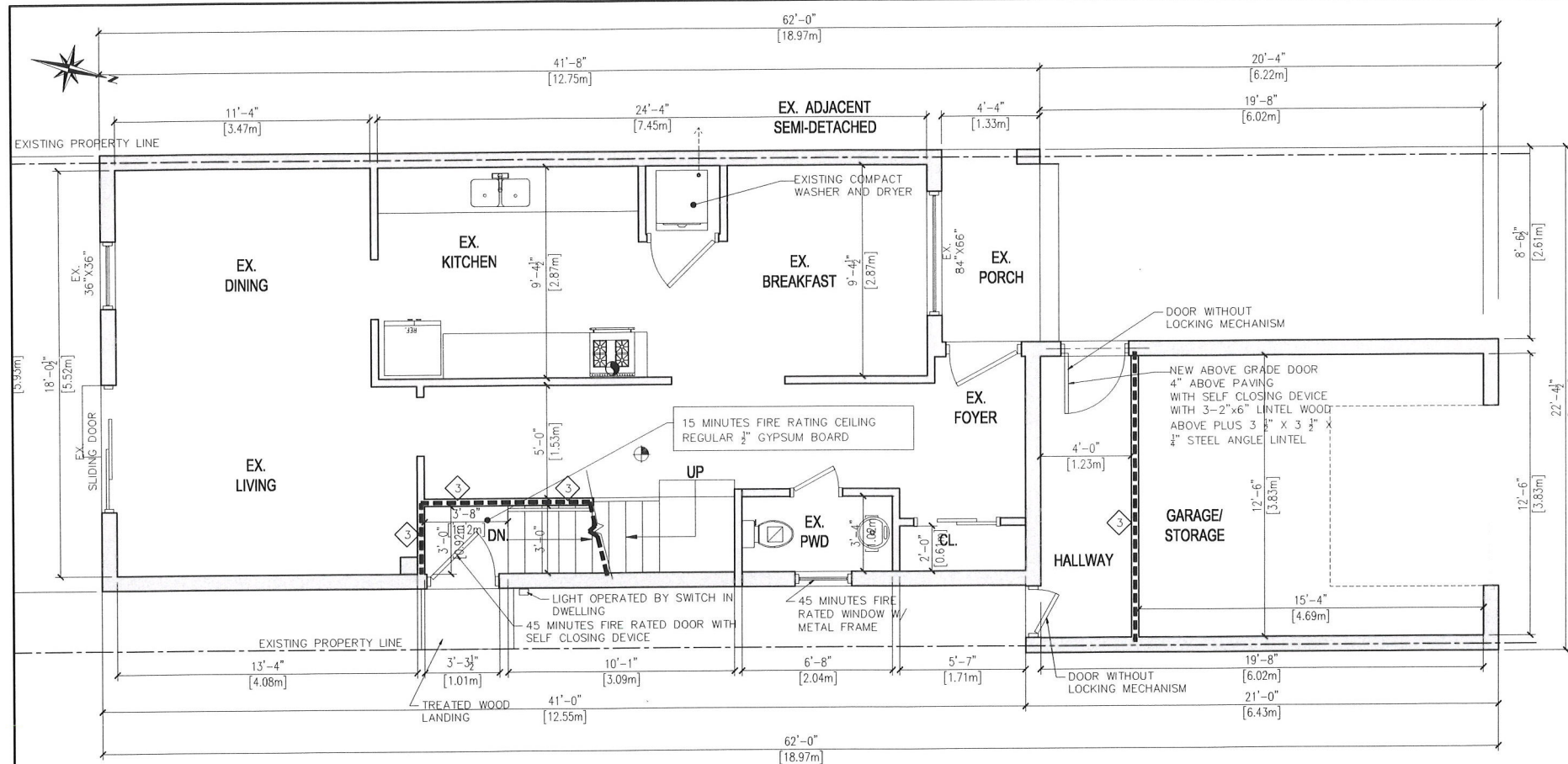
**PROPOSED SITE PLAN**  
 SCALE : 3/32" = 1'-0"



**LOCATION PLAN**  
 N.T.S.

No.	REVISION	SPECIAL NOTES CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION. PRIOR TO COMMENCEMENT OF THE WORK, THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.	Owner Name & Address: - <b>52 DONNA DRIVE BRAMPTON, ON</b>		Sheet Title <b>PROPOSED SITE PLAN LOCATION PLAN</b>		Coordinator by: <b>DTECHLINE INTERNATIONAL</b> 1009-66 Malta avenue Brampto, ON Canada, L6Y 4V9		
	1		<b>01.08.2024</b>	Project Address/Name: <b>52 DONNA DRIVE BRAMPTON, ON</b>		Date:	Client:	Home Design Inc. Email : dtechline@gmail.com	
	2		<b>12.08.2024</b>	Project Description: DUPLEX		19. 07. 2024	1415	TEL. : 647.968.3358	
	3		<b>18.10.2024</b>			Scale:	As shown	Website: www.dtechline.com	
	4		<b>18.12.2024</b>			Drawn by:	DANIEL	Reviewed by:	-
	5		<b>07.01.2024</b>			Project No.	DP2024-2559	Drawing No.	
	6							A1.1	
7				DEFAULT SHEET SIZE : 11x17					





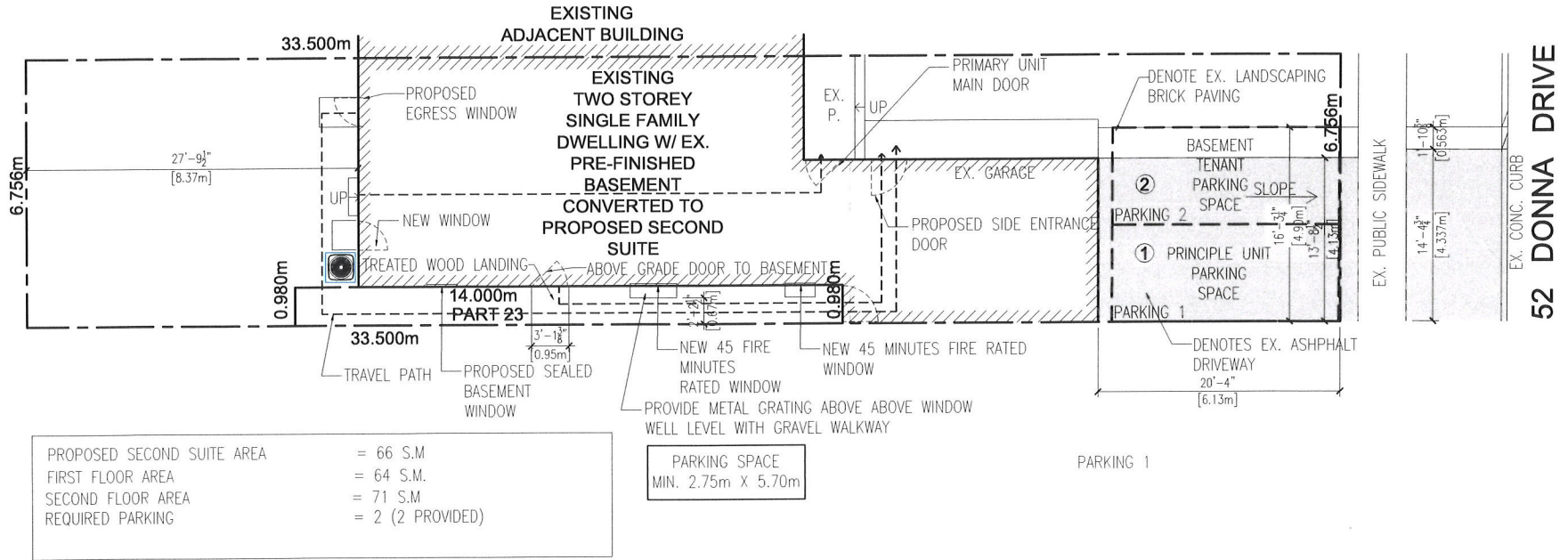
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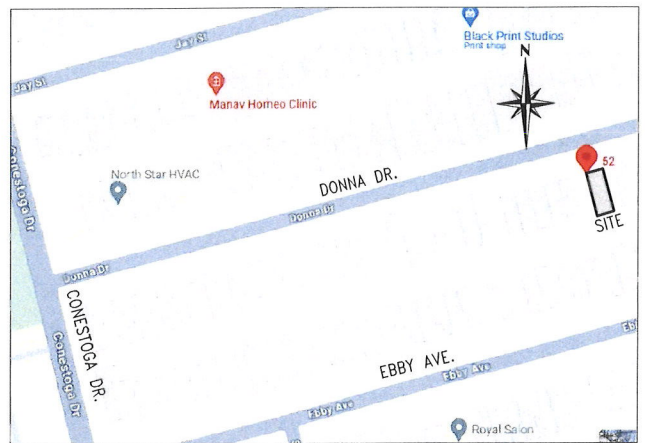


No.	REVISION	SPECIAL NOTES	Owner Name & Address:	Sheet Title	Coordinator by:	
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3	18.12.2024		52 DONNA DRIVE BRAMPTON, ON		Home Design Inc. Email : dtechline@gmail.com TEL. : 647.968.3358 Website: www.dtechline.com	
4			Project Discription: DUPLEX	Date: 19.07.2024	Client: 1415	Scale: As shown
5					Drawn by: DANIEL	Reviewed by: -
6						Project No. DP2024-2559
7						Drawing No. A1.5

DEFAULT SHEET SIZE : 11x17



PROPOSED SITE PLAN  
SCALE : 3/32" = 1'-0"



LOCATION PLAN  
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3	18. 10. 2024	
4	18. 12. 2024	
5		
6		
7		

Owner Name & Address:  
-  
52 DONNA DRIVE  
BRAMPTON, ON

Project Address/Name:  
52 DONNA DRIVE  
BRAMPTON, ON

Project Description:  
DUPLX

Sheet Title  
PROPOSED SITE PLAN  
LOCATION PLAN

Date:	Client:	Scale:
19. 07. 2024	1415	As shown

Coordinator by:  
**DTECHLINE INTERNATIONAL**  
Home Design Inc. Email : dtechline@gmail.com  
TEL. : 647.968.3358 Website: www.dtechline.com

1009-66 Malta avenue  
Brampto, ON  
Canada, L6Y 4V9

Drawn by:	Reviewed by:	Project No.	Drawing No.
DANIEL	-	DP2024-2559	A1.1





8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground floor area 64 sq.m
gross Floor area 201 sq.m
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Building length 18.67m
Building length 18.67m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

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9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

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Rear yard setback 8.37m
Side yard setback 0.00m
Side yard setback 0.98m

PROPOSED

Front yard setback Same as above
Rear yard setback Same as above
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Side yard setback 0.67 from window well

10. Date of Acquisition of subject land: 2019

11. Existing uses of subject property: Residential single family dwelling

12. Proposed uses of subject property: Residential Two family dwelling

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: Not sure

15. Length of time the existing uses of the subject property have been continued: Note sure

16. (a) What water supply is existing/proposed?

Municipal [X] Other (specify)
Well [ ]

(b) What sewage disposal is/will be provided?

Municipal [X] Other (specify)
Septic [ ]

(c) What storm drainage system is existing/proposed?

Sewers [X] Other (specify)
Ditches [ ]
Swales [ ]

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No X

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

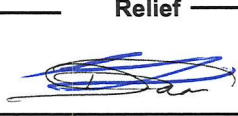
Yes No X

19. Has the subject property of an application for minor variance? ever been the subject

Yes No X Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

 H. Wilson

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 19<sup>th</sup> DAY OF September, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ~~DANIEL ALLAN~~ Henry Wilson; OF THE Town City OF Ajax BRAMPTON  
IN THE Region City OF Durham PEEL REGION SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

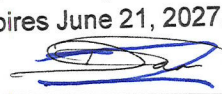
IN THE REGION OF

PEEL THIS 19 DAY OF

Sept, 2024

  
A Commissioner etc.

Valerie Low  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires June 21, 2027.

 H. Wilson

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: R3A(3)-314 Residential

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato  
Zoning Officer

September 12, 2024  
Date

DATE RECEIVED Sept 19, 2024

VL



**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 52 Donna, Drive, Brampton Ontario

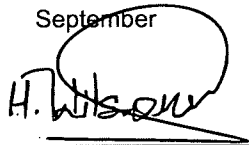
I/We, Henry Wilson  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Daniel Allan / Dtechline  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 10<sup>th</sup> day of September, 2024. Text

  
H. Wilson

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

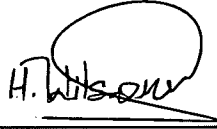
To: The Secretary-Treasurer  
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LOCATION OF THE SUBJECT LAND: 52 Donna Drive , Brampton, Ontario

I/We, Henry Wilson  
please print/type the full name of the owner(s)

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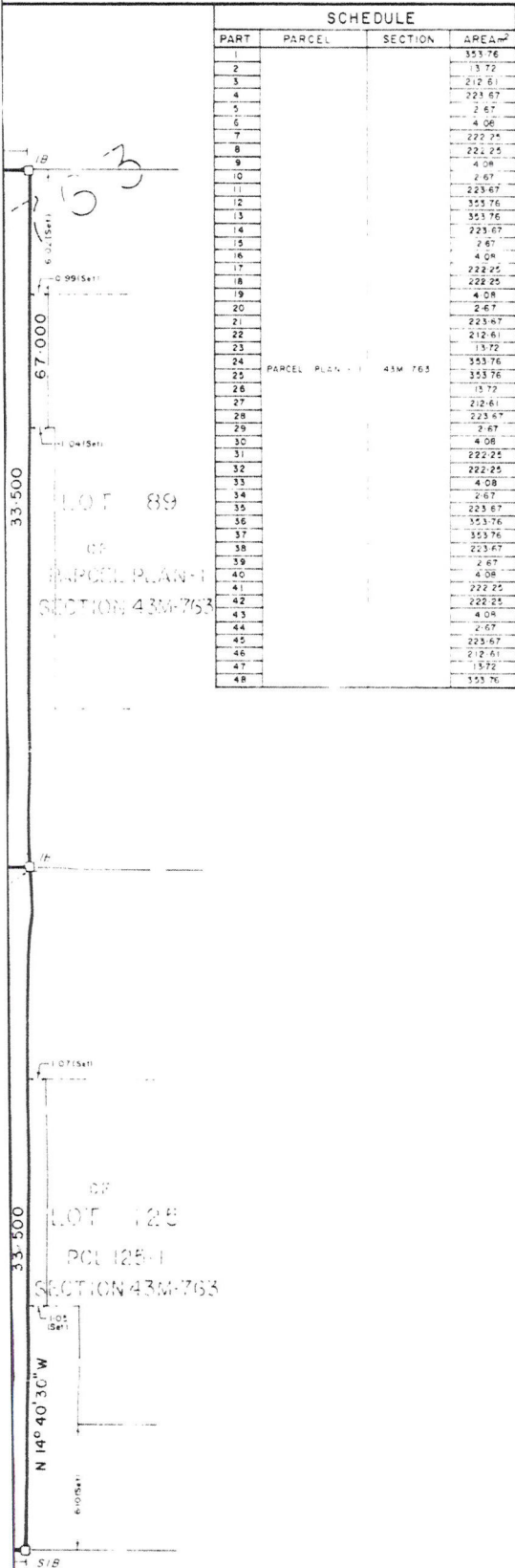
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**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

**DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS**



SCHEDULE			
PART	PARCEL	SECTION	AREA <sup>m<sup>2</sup></sup>
1			353.76
2			13.72
3			212.61
4			223.67
5			2.67
6			4.08
7			222.25
8			222.25
9			4.08
10			2.67
11			223.67
12			353.76
13			353.76
14			223.67
15			2.67
16			4.08
17			222.25
18			222.25
19			4.08
20			2.67
21			223.67
22			212.61
23			13.72
24			353.76
25	PARCEL PLAN 43M-763		353.76
26			13.72
27			212.61
28			223.67
29			2.67
30			4.08
31			222.25
32			222.25
33			4.08
34			2.67
35			223.67
36			353.76
37			353.76
38			223.67
39			2.67
40			4.08
41			222.25
42			222.25
43			4.08
44			2.67
45			223.67
46			212.61
47			13.72
48			353.76

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

PLAN 43R-15981

RECEIVED AND DEPOSITED

DATE August 15, 1988

DATE AUG. 16, 1988

*Duncan Ashworth*  
DUNCAN ASHWORTH, O.L.S.

*Robert Johnson*  
DEP. LAND REGISTRAR FOR THE  
LAND TITLES DIVISION OF PEEL  
(N<sup>o</sup> 43)

**CAUTION** THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT

**METRIC** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PARTS 1 TO 48 BOTH INCLUSIVE PART OF PARCEL PLAN 43M-763

PLAN OF SURVEY OF  
**BLOCKS 241, 242, 243 & 244**  
**REGISTERED PLAN 43M-763**  
**CITY OF BRAMPTON**  
**REGIONAL MUNICIPALITY OF PEEL**

SCALE = 1:250



DUNCAN ASHWORTH SURVEYING LTD. - 1988.

**NOTES**

BEARINGS SHOWN HEREON ARE ASTRONOMIC, REFERRED TO THE N 75° 19' 30" E OF DONNA DRIVE AS SHOWN ON REGISTERED PLAN 43M-763.

- S.I.B DENOTES STANDARD IRON BAR
- I.B DENOTES IRON BAR
- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- CF DENOTES CONCRETE FOUNDATION
- WH DENOTES WITNESS.

LIMITS OF BLOCKS 241, 242, 243 & 244 ARE SET FROM FIELD NOTES BY DUNCAN ASHWORTH SURVEYING LTD

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
2. THE SURVEY WAS COMPLETED ON THE 4th DAY OF AUGUST, 1988.

DATE August 4, 1988

*Duncan Ashworth*  
DUNCAN ASHWORTH  
ONTARIO LAND SURVEYOR



**DUNCAN ASHWORTH SURVEYING LTD.**

227 MAIN ST. S. BRAMPTON, ONTARIO. L6Y 1N5 (416) 453-1770

DRAWN BY

AFM

SCALE:

1:250

CHECKED BY

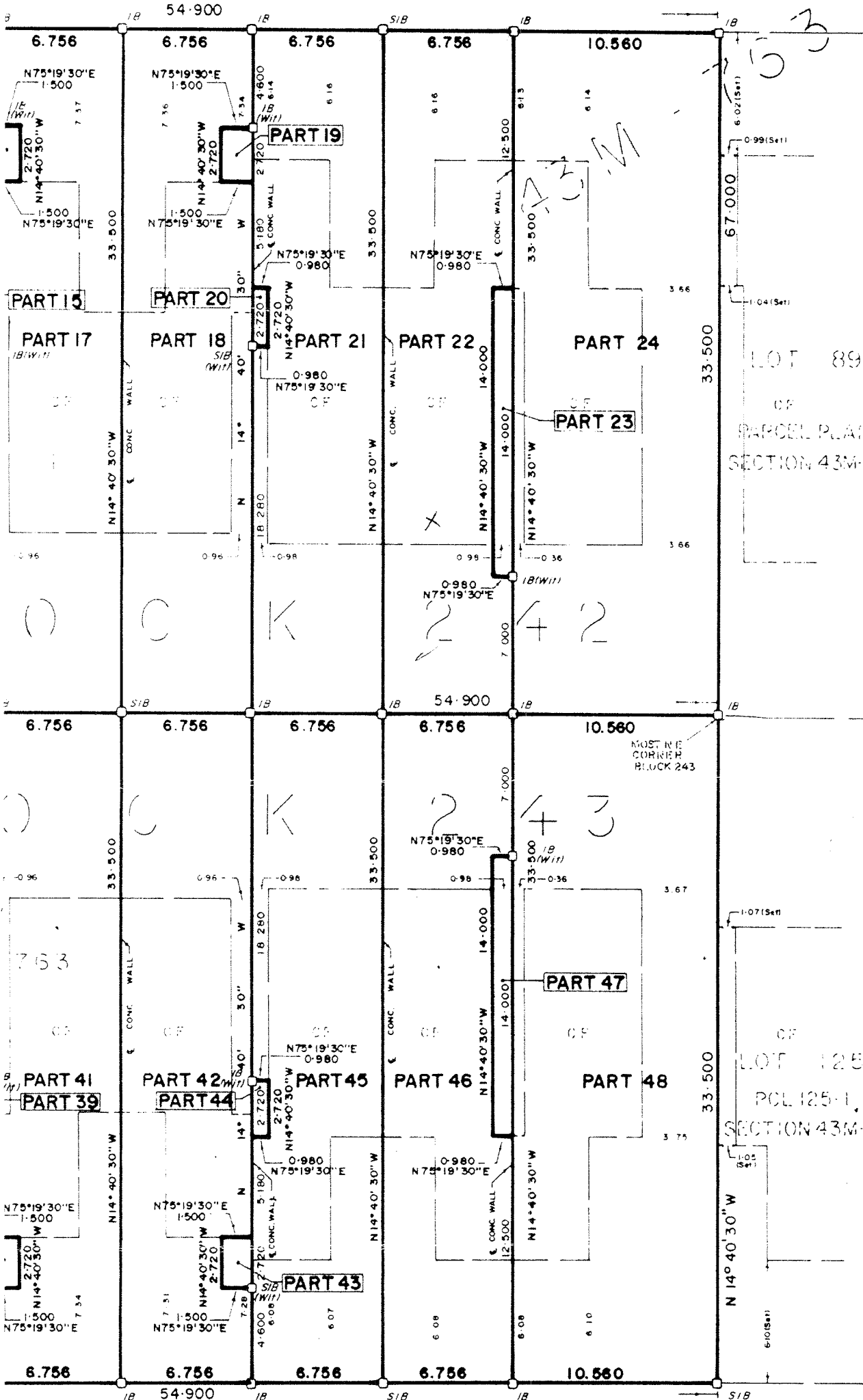
AC

REF. N<sup>o</sup>

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DRIVE

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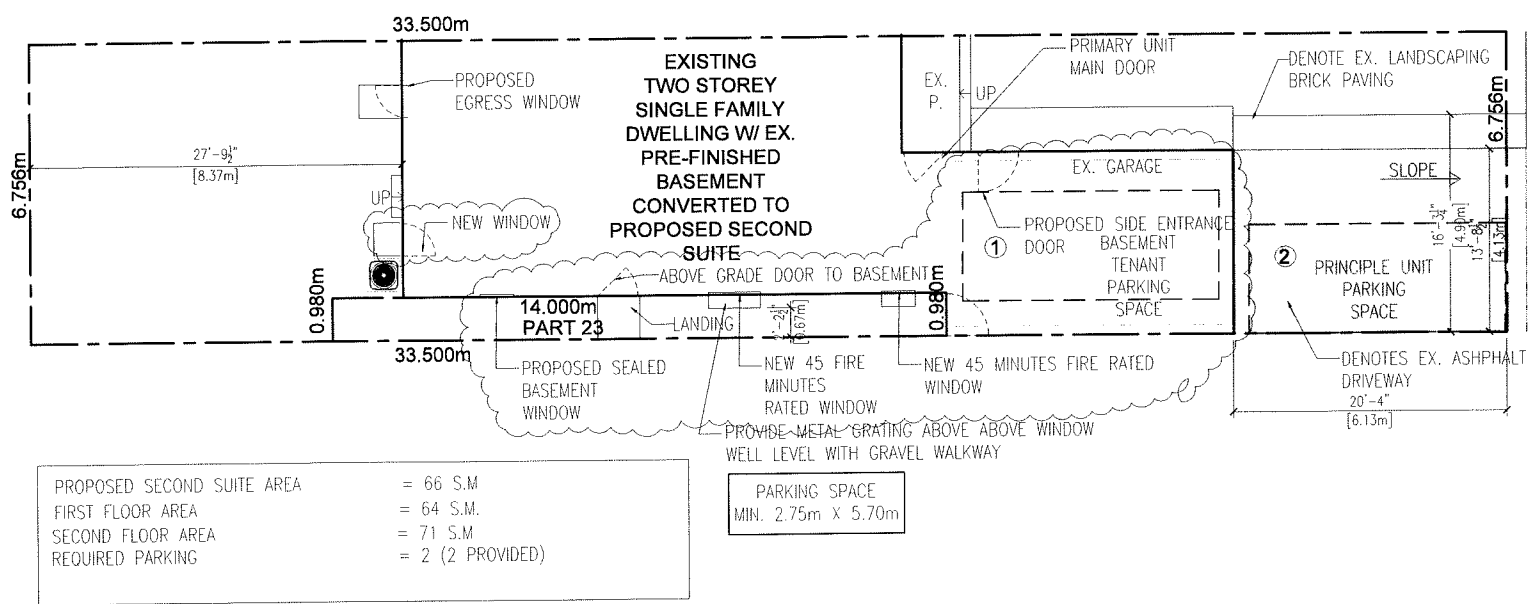


PART
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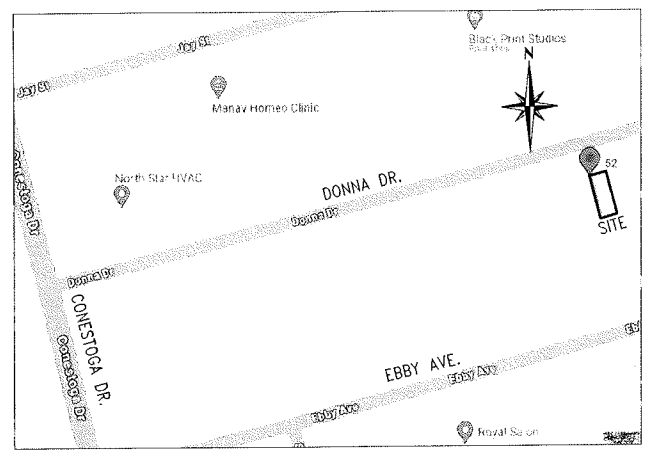
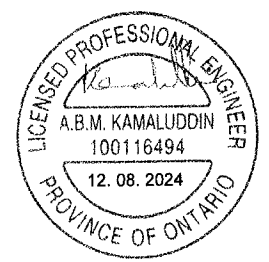
LOT 89  
 OF  
 PARCEL PLAN-1  
 SECTION 43M-763

LOT 125  
 PCL 125-1,  
 SECTION 43M-763

AVENUE



PROPOSED SITE PLAN  
SCALE : 3/32" = 1'-0"



LOCATION PLAN  
N.T.S.

52 DONNA DRIVE

No.	REVISION
1	01.08.2024
2	12.08.2024
3	
4	
5	
6	
7	

SPECIAL NOTES  
CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION. PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.

Owner Name & Address:  
52 DONNA DRIVE  
BRAMPTON, ON

Project Address/Name:  
52 DONNA DRIVE  
BRAMPTON, ON

Project Description:  
DUPLEX

Sheet Title  
PROPOSED SITE PLAN  
LOCATION PLAN

Date: 19. 07. 2024

Client: 1415

Scale: As shown

Coordinator by:  
**DTECHLINE INTERNATIONAL**  
Home Design Inc. Email : dtechline@gmail.com  
TEL. : 647.968.3358 Website: www.dtechline.com

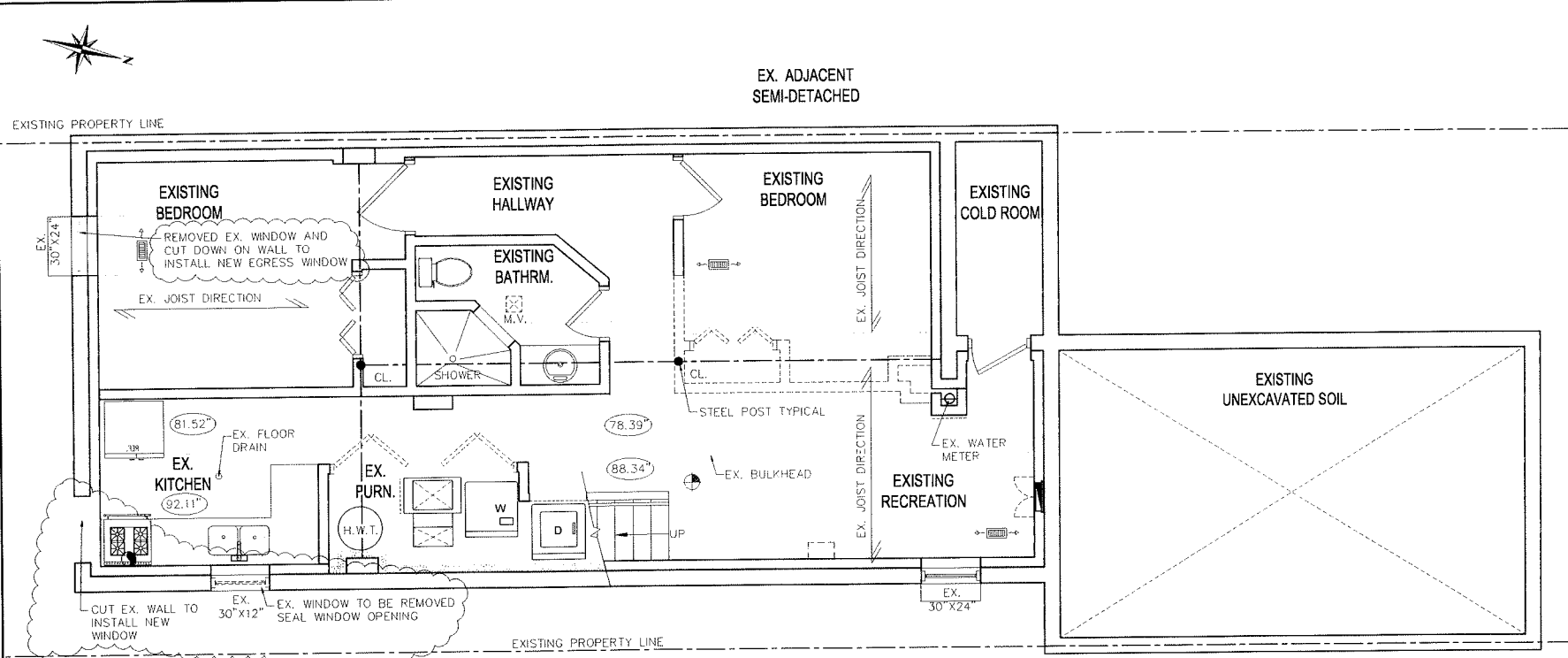
1009-66 Malta avenue  
Brampton, ON  
Canada, L6Y 4V9

Drawn by: DANIEL

Reviewed by: -

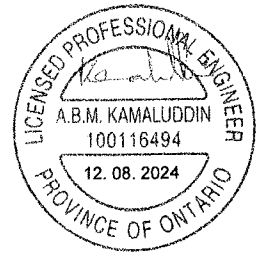
Project No. DP2024-2559

Drawing No. A1.1



**LEGEND**

- EXISTING FOUNDATION WALL, BUILDERS INSULATION, 6MIL POLY CONTINUOUS, 2X4 WOOD STUDS @ 16" O.C. GYPSUM BOARD.
- EXISTING PARTITION WALL 2"x4" STUDS @16" O.C.
- EXISTING PARTITION NON LOAD BEARING WALL TO BE REMOVED
- AIR SUPPLY GRILL
- SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS.
- DENOTES EXHAUST FAN
- MECHANICAL EXHAUST VENT, VENTED OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA. DUCT



**EXISTING FINISHED BASEMENT FLOOR PLAN**  
SCALE : 3/16" = 1'-0"

No.	REVISION
1	12.08.2024
2	
3	
4	
5	
6	
7	

**SPECIAL NOTES**

CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION. PRIOR TO COMMENCEMENT OF THE WORK, THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL, AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL WRITTEN AUTHORITY.

Owner Name & Address:  
52 DONNA DRIVE  
BRAMPTON, ON

Project Address/Name:  
52 DONNA DRIVE  
BRAMPTON, ON

Project Description:  
DUPLEX

Sheet Title  
EXISTING FINISHED BASEMENT FLOOR PLAN

Date: 19. 07. 2024

Client: 1415

Scale: As shown

Coordinator by:  
 DTECHLINE INTERNATIONAL

Home Design Inc. TEL. : 647.968.3358

1009-66 Malta avenue  
Brampto, ON  
Canada, L6Y 4V9

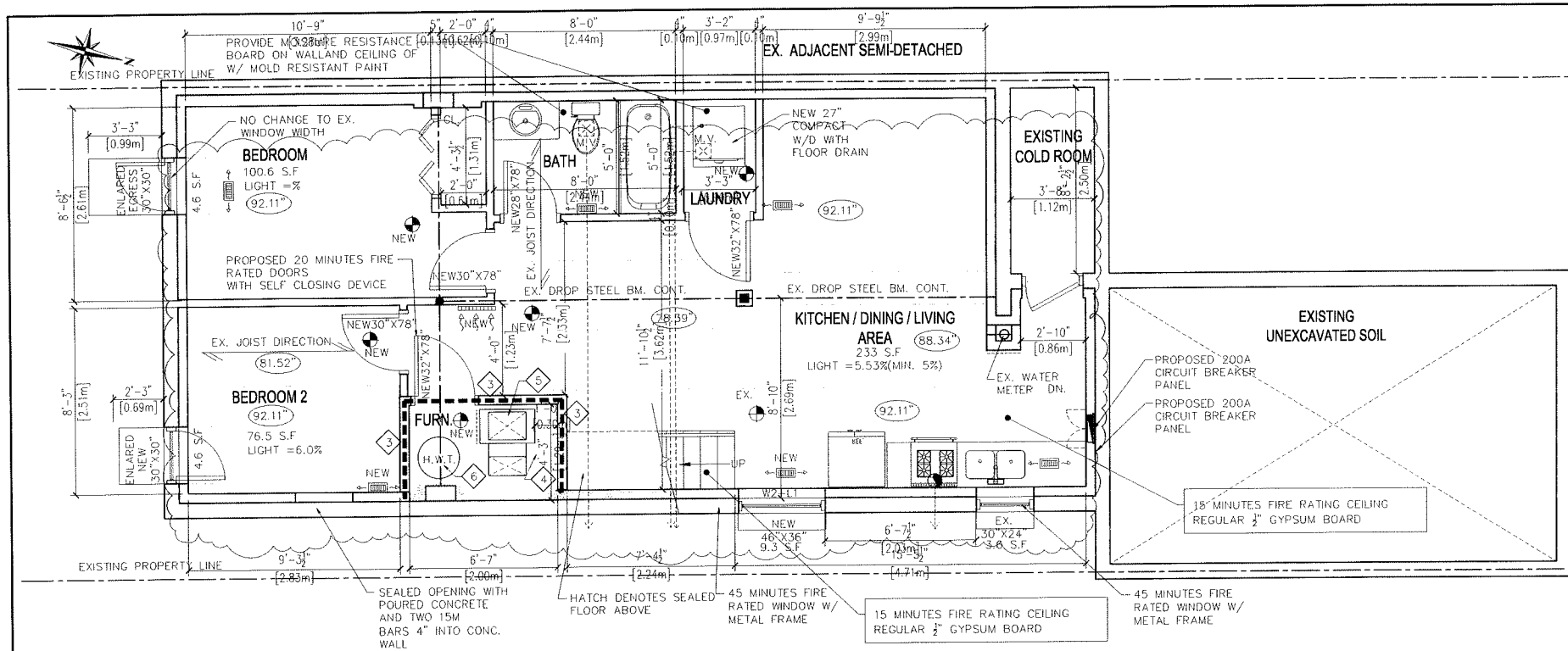
Email : dtechline@gmail.com  
Website: www.dtechline.com

Drawn by: DANIEL

Reviewed by: -

Project No. DP2024-2559

Drawing No. A1.2



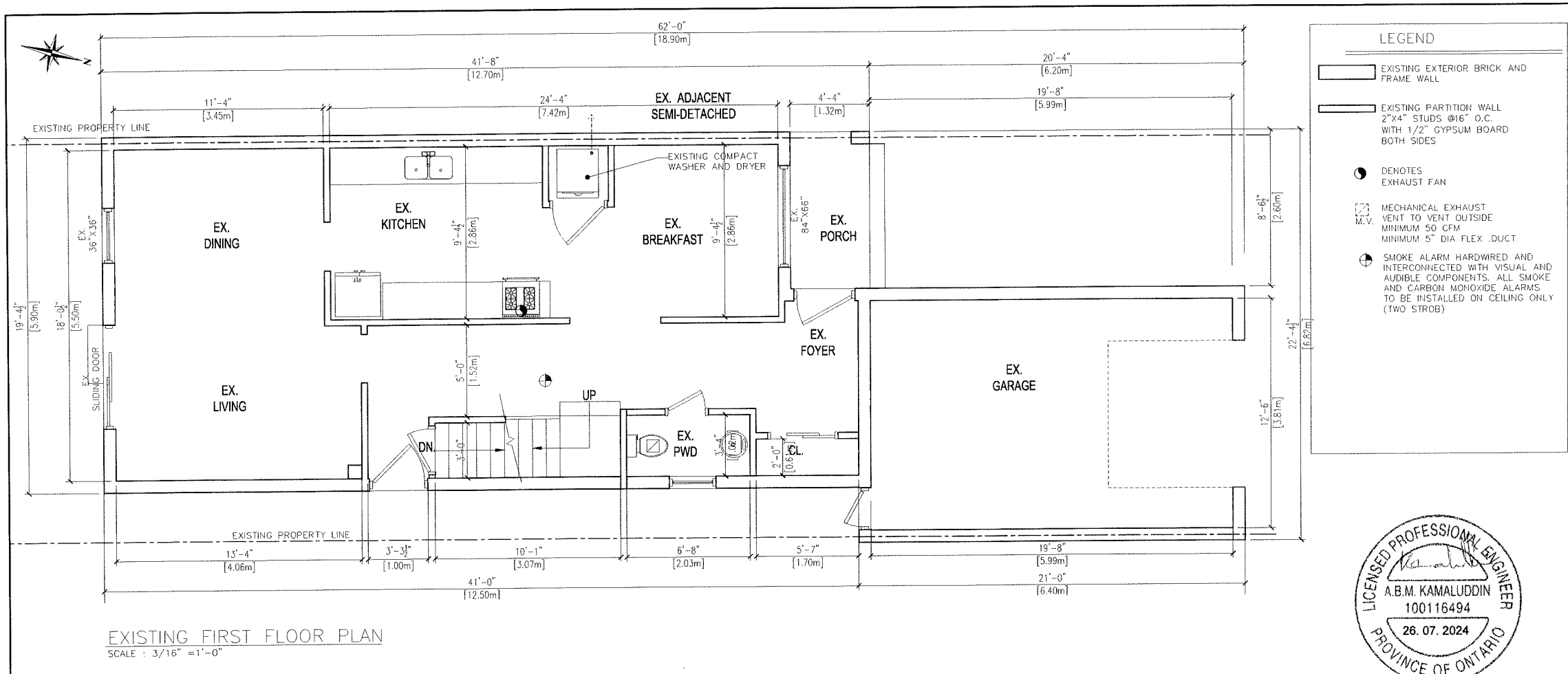
PROPOSED BASEMENT FLOOR PLAN  
SCALE : 3/16" = 1'-0"



DOING ELECTRICAL WORK? A NOTIFICATION MUST BE FILED WITH THE ELECTRICAL SAFETY AUTHORITY. HIRING SOMEONE TO DO ELECTRICAL WORK? THEY MUST BE A LICENSED ELECTRICAL CONTRACTOR. IT'S THE LAW.  
FOR MORE INFORMATION GO TO ESASAFE.COM OR CALL 1-877-372-7233.

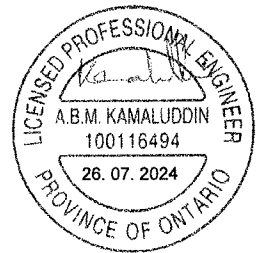
LEGEND	
	EXISTING FOUNDATION WALL. BUILDERS INSULATION . 6MIL POLY CONTINUOUS, 2X4 WOOD STUDS @ 16" O.C. GYPSUM BOARD.
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	NEW PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	30 MINUTES VERTICAL FIRE RATED WALL (SB-3 W/C) REGULAR 12.7mm(1/2") GYPSUM BOARD BOTH SIDES, 2"x4" STUDS @16" O.C. WITH 89mm ABSORPTIVE MATERIAL
	DENOTEX EXHAUST FAN
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA FLEX DUCT
	SMOKE AND CARBON MONOXIDE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (3 IN 1 STROB)
	SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (TWO STROB)
	AIR SUPPLY GRILL
	RETURN AIR INTAKE GRILL
	PROVIDE RESIDENTIAL SPRINKLER HEAD WHERE HORIZONTAL F.R.R. CEILING IS NOT PROVIDED IN FURNACE ROOM IN ALL SHADOW AREAS
	INSTALL DUCT TYPE SMOKE DETECTOR IN RETURN OR SUPPLY DUCT
	INSTALL SEPARATE CUT OFF VALVE FOR BASEMENT AND UPSTAIRS HOT AND CALLED WATER MAIN TO BE 1/2" DIA. PLUS 3 1/2" X 3 1/2" X 1/4" STEEL ANGLE 6" END TO END BEARING

No.	REVISION	SPECIAL NOTES	Owner Name & Address:	Sheet Title	Coordinator by:
1	12.08.2024	CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.	52 DONNA DRIVE BRAMPTON, ON	PROPOSED BASEMENT FLOOR PLAN	1009-66 Malta avenue Brampto, ON Canada, L6Y 4V9
2			Project Address/Name:		Home Design Inc. Email : dtechline@gmail.com
3			Project Description:		TEL. : 647.968.3358 Website: www.dtechline.com
4				Date:	Drawn by:
5				19. 07. 2024	DANIEL
6				Client	Reviewed by:
7				1415	-
DEFAULT SHEET SIZE : 11x17				Scale:	Project No.
				As shown	DP2024-2559
					Drawing No.
					A1.3



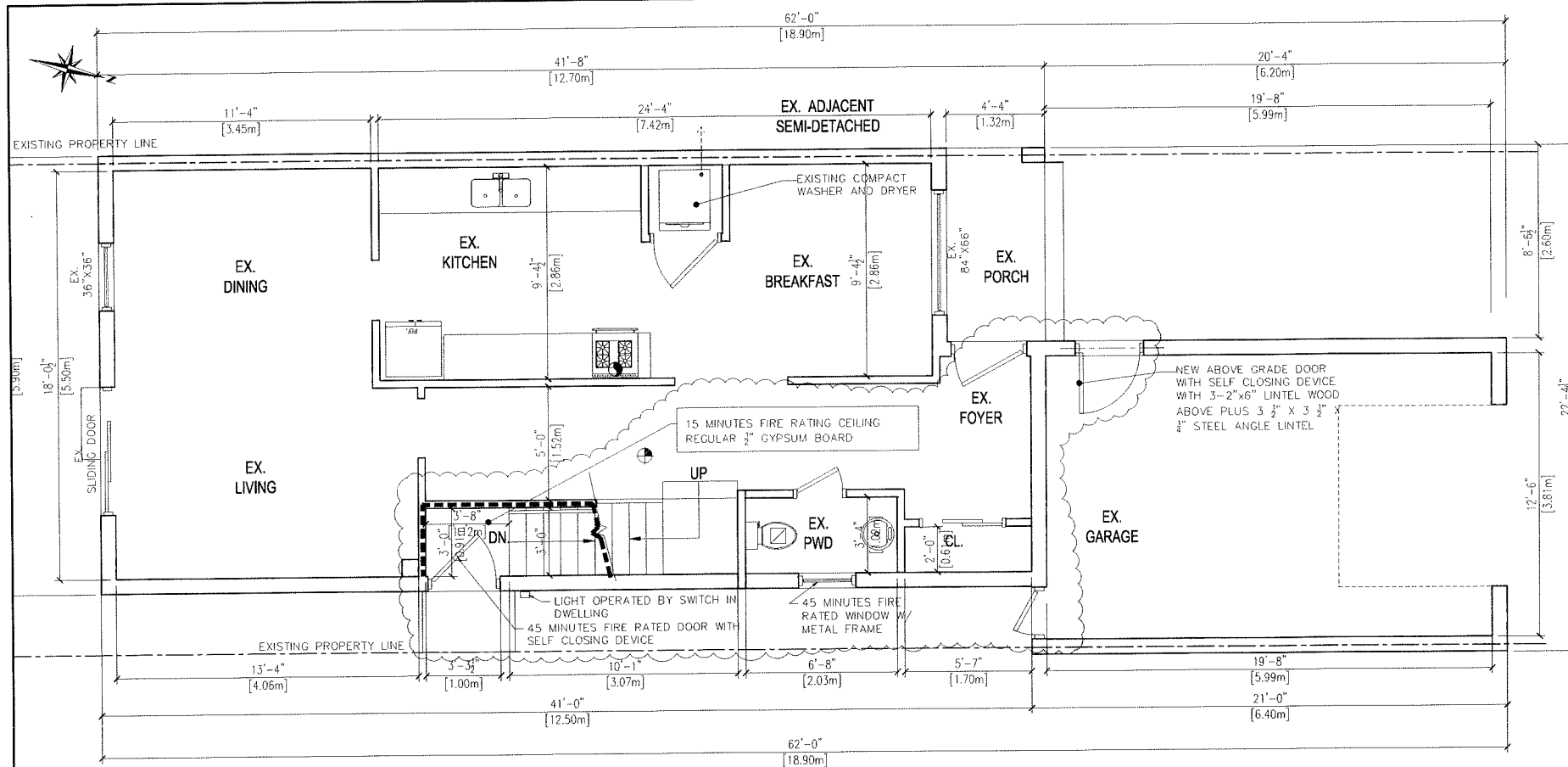
**EXISTING FIRST FLOOR PLAN**  
SCALE : 3/16" = 1'-0"

LEGEND	
	EXISTING EXTERIOR BRICK AND FRAME WALL
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	EXPLORES EXHAUST FAN
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA FLEX .DUCT
	SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (TWO STROB)



No. REVISION 1 2 3 4 5 6 7	SPECIAL NOTES	Owner Name & Address:	Sheet Title			Coordinator by:				
	CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL, AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL, WRITTEN AUTHORITY.	52 DONNA DRIVE BRAMPTON, ON	EXISTING FIRST FLOOR PLAN			1009-66 Malta avenue Brampton, ON Canada, L6Y 4V9				
		Project Address/Name:	52 DONNA DRIVE BRAMPTON, ON			Home Design Inc. Email : dtechline@gmail.com				
		Project Description:	DUPLEX	Date:	Client:	Scale:	Drawn by:	Reviewed by:	Project No.:	Drawing No.:
				19. 07. 2024	1415	As shown	DANIEL	-	DP2024-2559	A1.4
DEFAULT SHEET SIZE : 11x17										





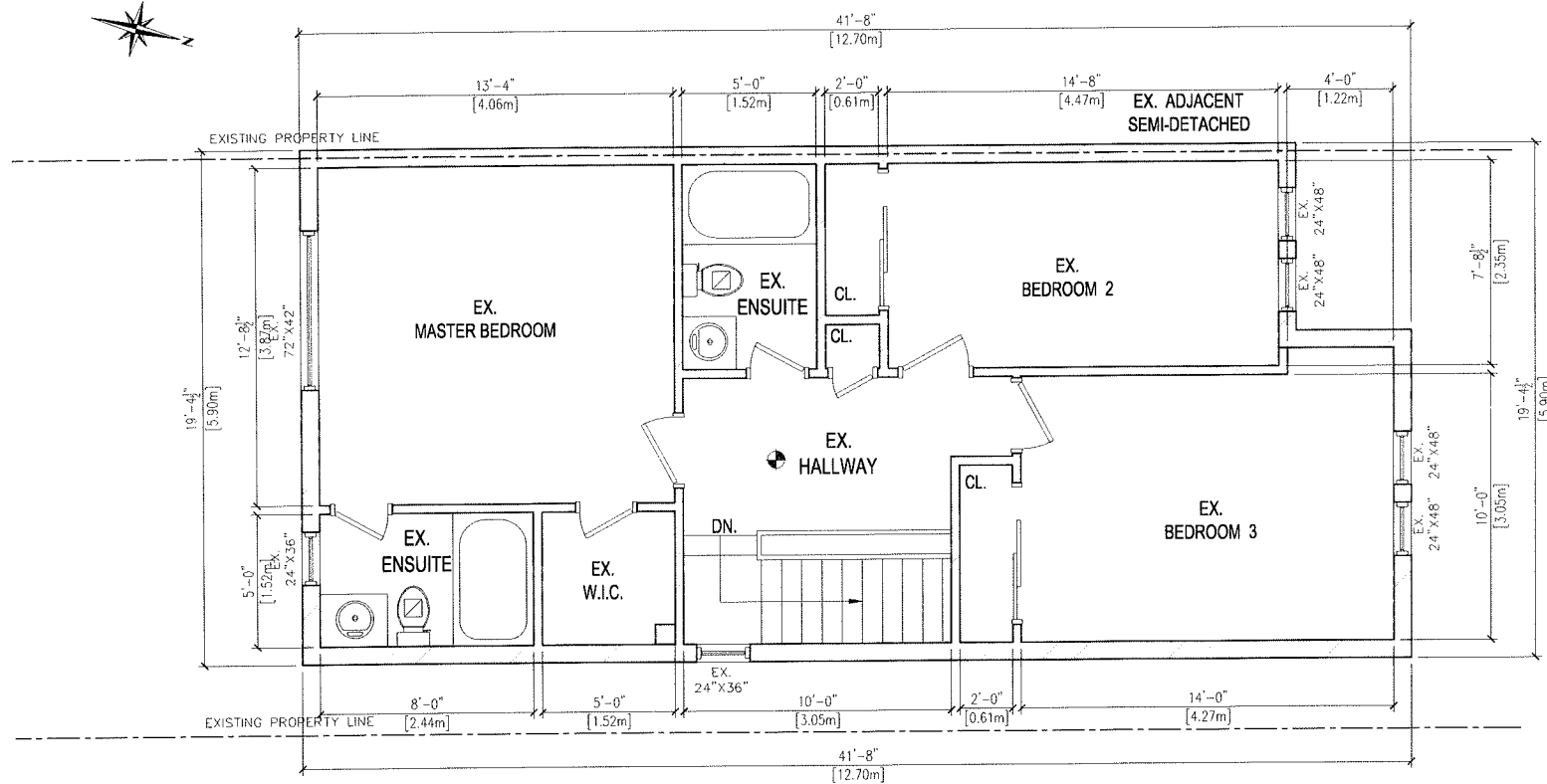
LEGEND	
	EXISTING EXTERIOR BRICK AND FRAME WALL
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	30 MINUTES VERTICAL FIRE RATED WALL (SB-3 w/c) REGULAR 12.7mm(1/2") GYPSUM BOARD BOTH SIDES, 2"x4" STUDS @16" O.C. WITH 89mm ABSORBIVE MATERIAL
	DENOTES EXHAUST FAN
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE M.V. MINIMUM 50 CFM MINIMUM 5" DIA FLEX DUCT
	SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (TWO STROB)
	NEW AIR SUPPLY GRILL

PROPOSED FIRST FLOOR PLAN  
SCALE : 3/16" = 1'-0"



No. REVISION 1 12.08.2024 2 3 4 5 6 7	SPECIAL NOTES	Owner Name & Address:	Sheet Title			Coordinator by:	
	CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL WRITTEN AUTHORITY.	52 DONNA DRIVE BRAMPTON, ON	PROPOSED FIRST FLOOR PLAN			1009-66 Malta avenue Brampton, ON Canada, L6Y 4V9	
		Project Address/Name:				Home Design Inc. Email : dtechline@gmail.com	
		52 DONNA DRIVE BRAMPTON, ON				TEL. : 647.968.3358 Website: www.dtechline.com	
		Project Description:	Date:	Client:	Scale:	Drawn by:	Reviewed by:
		DUPLEX	19. 07. 2024	1415	As shown	DANIEL	-
						Project No.	Drawing No.
					DP2024-2559	A1.5	

DEFAULT SHEET SIZE : 11x17



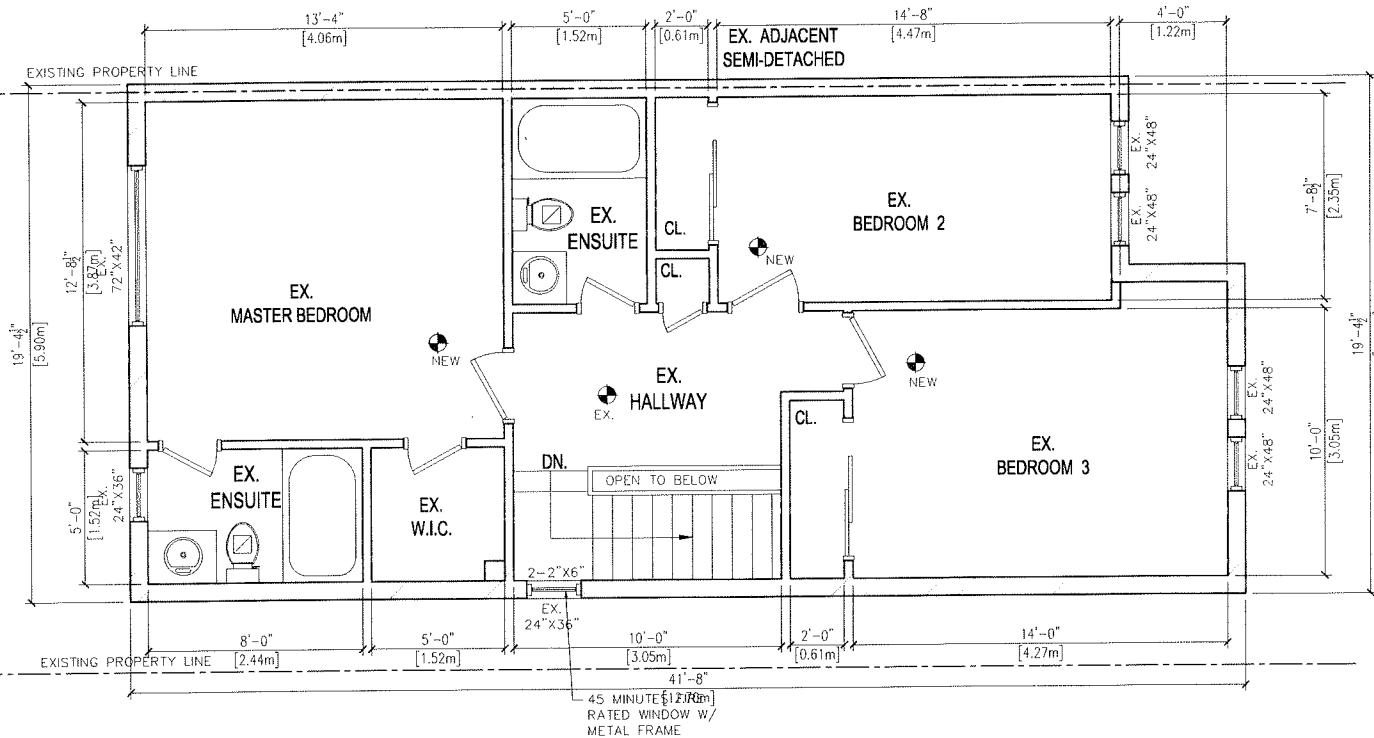
LEGEND	
	EXISTING EXTERIOR BRICK AND FRAME WALL
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	EXISTING PARTITION NON LOAD BEARING WALL TO BE REMOVED
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA FLEX DUCT
	SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (TWO STROB)

EXISTING SECOND FLOOR PLAN  
SCALE : 3/16" = 1'-0"



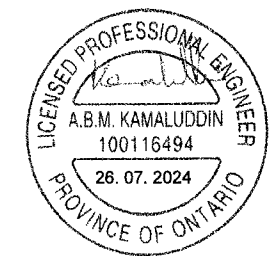
No.	REVISION	SPECIAL NOTES	Owner Name & Address:	Sheet Title	Coordinator by:
1		CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION. PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.	52 DONNA DRIVE BRAMPTON, ON	EXISTING SECOND FLOOR PLAN	DTECHLINE INTERNATIONAL 1009-66 Malta avenue Brampto, ON Canada, L6Y 4V9
2			Project Address/Name: 52 DONNA DRIVE BRAMPTON, ON	Date: 19. 07. 2024	Home Design Inc. Email : dtechline@gmail.com TEL. : 647.968.3358 Website: www.dtechline.com
3			Project Discription: DUPLEX	Client: 1415	Drawn by: DANIEL
4				Scale: As shown	Reviewed by: -
5					Project No. DP2024-2559
6					Drawing No. A1.6
7					

DEFAULT SHEET SIZE : 11x17



LEGEND	
	EXISTING EXTERIOR BRICK AND FRAME WALL
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	NEW PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA FLEX .DUCT
	SMOKE AND CARBON MONOXIDE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (3 IN 1 STROB)

PROPOSED SECOND FLOOR PLAN  
SCALE : 3/16" = 1'-0"



No.	REVISION
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**SPECIAL NOTES**

CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION. PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.

**Owner Name & Address:**  
52 DONNA DRIVE  
BRAMPTON, ON

**Project Address/Name:**  
52 DONNA DRIVE  
BRAMPTON, ON

**Project Description:**  
DUPLEX

**Sheet Title:**  
PROPOSED SECOND FLOOR PLAN

**Date:** 19. 07. 2024

**Client:** 1415

**Scale:** As shown

**Coordinator by:**  
 DTECHLINE INTERNATIONAL  
Home Design Inc. Email : dtechline@gmail.com  
TEL. : 647.968.3358 Website: www.dtechline.com

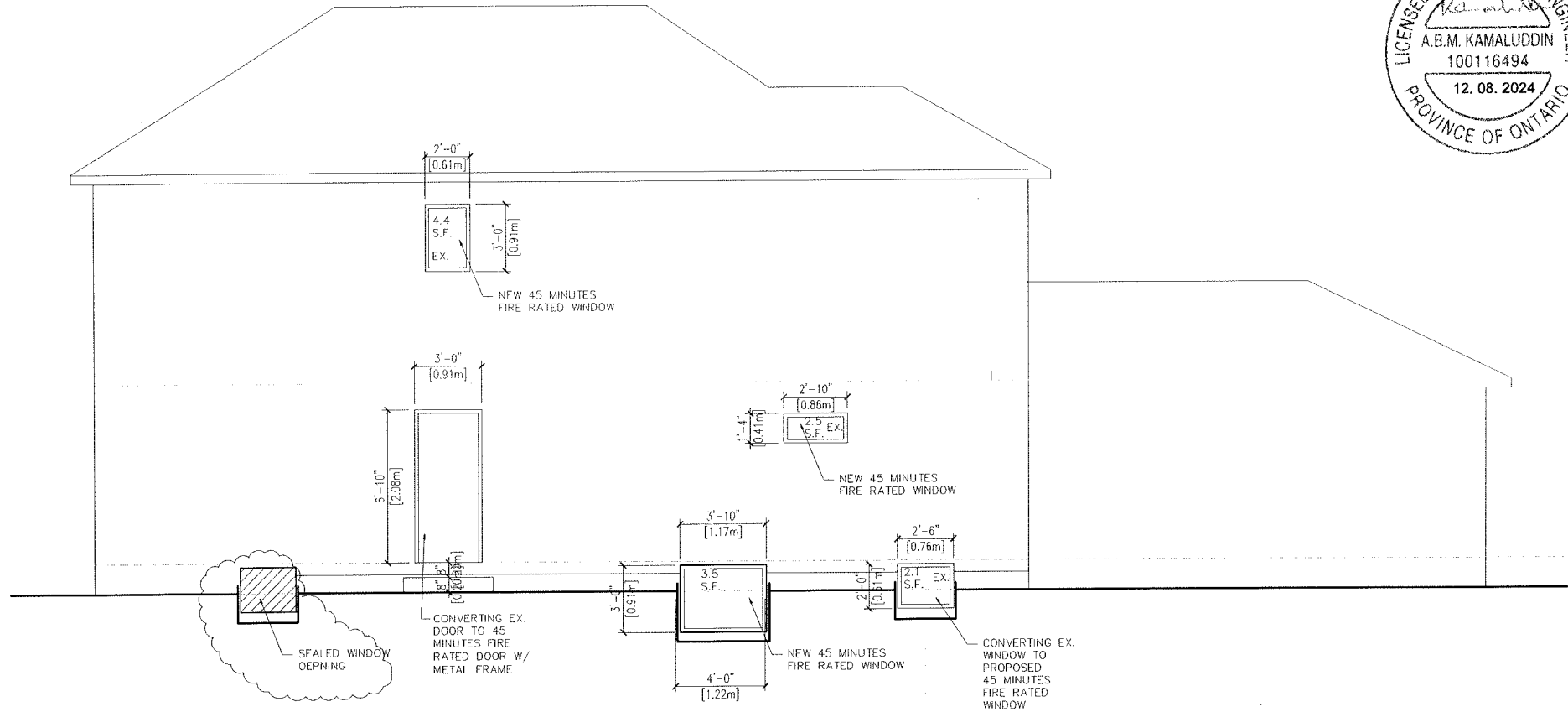
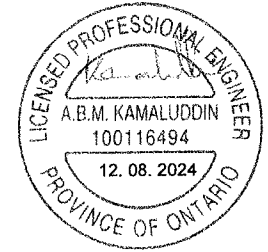
1009-66 Malta avenue  
Brampto, ON  
Canada, L6Y 4V9

**Drawn by:** DANIEL

**Reviewed by:** -

**Project No.:** DP2024-2559

**Drawing No.:** A1.7



UNPROTECTED OPENING TOTAL SQUARE FOOTAGE (PER WALL) X 100 = SPATIAL SEPARATION %

$$\frac{12.5 \text{ S.F.} \times 100}{763 \text{ SQ.FT}} = 1.6\%$$

**PROPOSED NORTH EAST ELEVATION**  
SCALE : 3/16" = 1'-0"

No.	REVISION
1	12.08.2024
2	
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5	
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7	

**SPECIAL NOTES**

CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL, AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL, WRITTEN AUTHORITY.

**Owner Name & Address:**  
52 DONNA DRIVE  
BRAMPTON, ON

**Project Address/Name:**  
52 DONNA DRIVE  
BRAMPTON, ON

**Project Description:**  
DUPLEX

**Sheet Title**  
PROPOSED NORTH EAST ELEVATION

**Date:** 19. 07. 2024

**Client:** 1415

**Scale:** As shown

**Coordinator by:**  
 1009-66 Malta avenue  
Brampton, ON  
Canada, L6Y 4V9

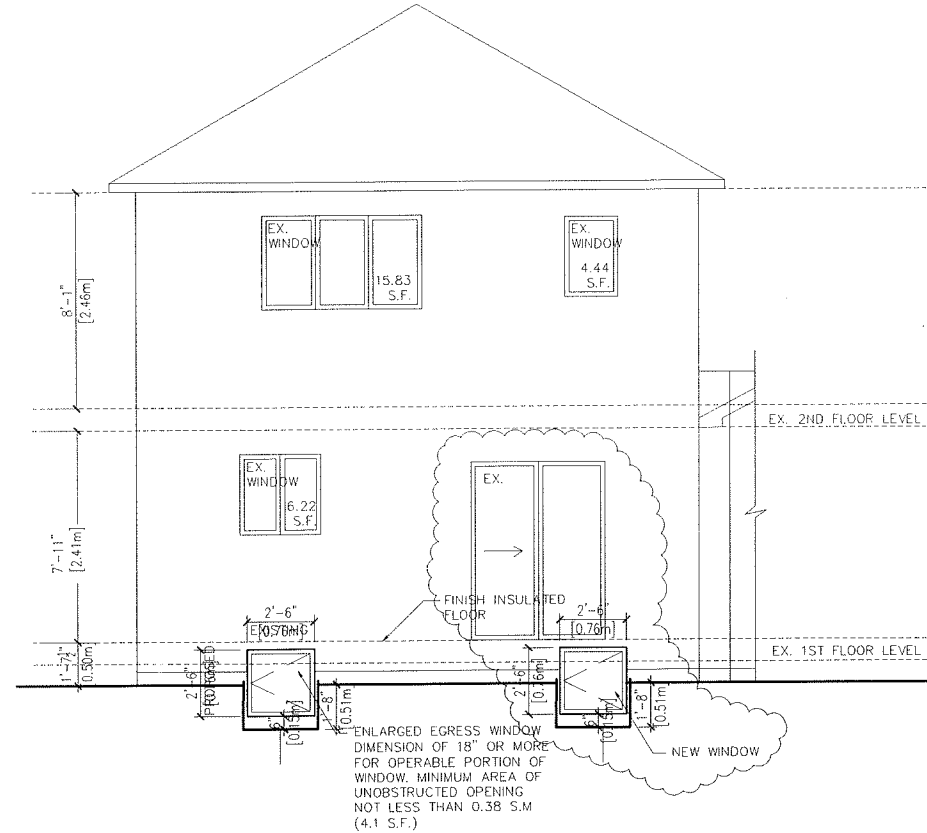
**Home Design Inc.** Email : dtechline@gmail.com  
TEL. : 647.968.3358 Website: www.dtechline.com

**Drawn by:** DANIEL

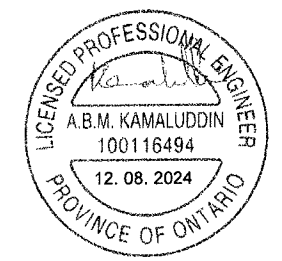
**Reviewed by:** -


**Project No.** DP2024-2559

**Drawing No.** A2.1

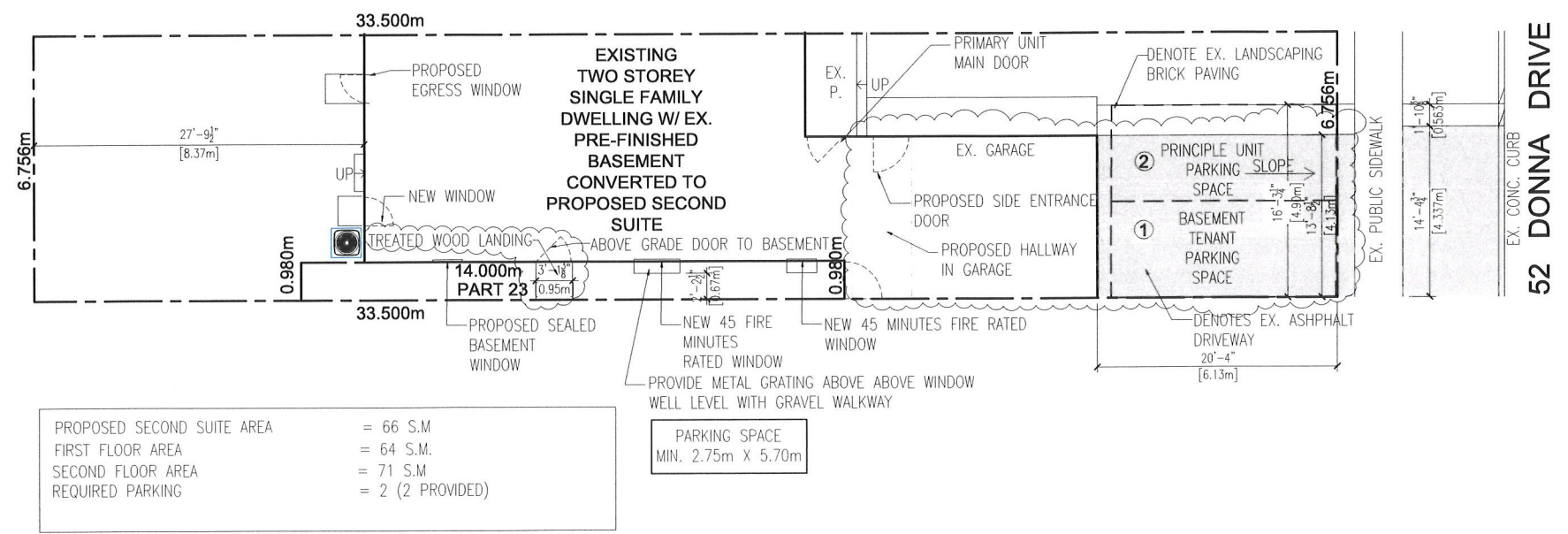


PROPOSED SOUTH EAST ELEVATION  
SCALE : 3/16" = 1'-0"



No.	REVISION	SPECIAL NOTES	Owner Name & Address:		Sheet Title		Coordinator by:					
	1		12.08.2024	52 DONNA DRIVE BRAMPTON, ON		PROPOSED SOUTH EAST ELEVATION		 1009-66 Malta avenue Brampto, ON Canada, L6Y 4V9				
	2			Project Address/Name:		Project Description:		Home Design Inc. Email : dtechline@gmail.com				
	3			52 DONNA DRIVE BRAMPTON, ON		DUPLEX		TEL. : 647.968.3358 Website: www.dtechline.com				
	4			Project Discription:		Date:	Client	Scale:	Drawn by:	Reviewed by:	Project No.	Drawing No.
	5			DUPLEX		19. 07. 2024	1415	As shown	DANIEL	-	DP2024-2559	A2.2
	6											
7												

DEFAULT SHEET SIZE : 11x17




PROPOSED SITE PLAN  
SCALE : 3/32" = 1'-0"



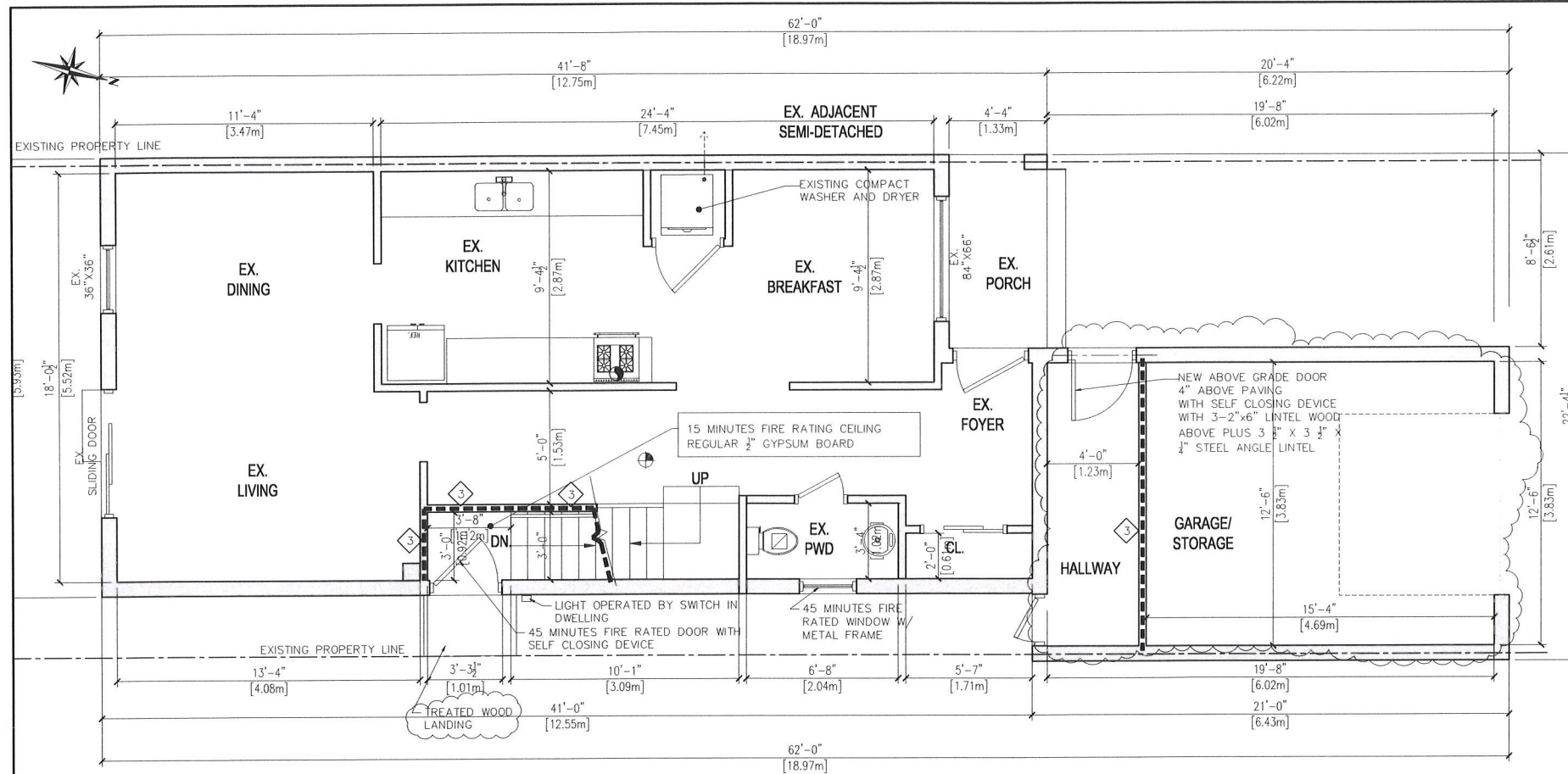
LOCATION PLAN  
N.T.S.



Received / Revised  
OCT 21 2024  
Committee of Adjustment

No.	REVISION	SPECIAL NOTES	Owner Name & Address:		Sheet Title			Coordinator by:		
	1		01.08.2024	-		PROPOSED SITE PLAN			 1009-66 Malta avenue Brampton, ON Canada, L6Y 4V9	
	2		12.08.2024	52 DONNA DRIVE BRAMPTON, ON		LOCATION PLAN				
	3		18.10.2024	Project Address/Name:		Home Design Inc.			Email : dtechline@gmail.com	
	4			52 DONNA DRIVE BRAMPTON, ON		TEL. : 647.968.3358			Website: www.dtechline.com	
	5			Project Description:		Date:	Client	Scale:	Drawn by:	Reviewed by:
	6			DUPLEX		19.07.2024	1415	As shown	DANIEL	-
7										
DEFAULT SHEET SIZE : 11x17					Project No. DP2024-2559		Drawing No. A1.1			





LEGEND	
	EXISTING EXTERIOR BRICK AND FRAME WALL
	EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES
	30 MINUTES VERTICAL FIRE RATED WALL (SB-3 W/c) REGULAR 12.7mm (1/2") GYPSUM BOARD BOTH SIDES, 2"x4" STUDS @16" O.C. WITH 89mm ABSORPTIVE MATERIAL
	DENOTES EXHAUST FAN
	MECHANICAL EXHAUST VENT TO VENT OUTSIDE MINIMUM 50 CFM MINIMUM 5" DIA FLEX DUCT
	SMOKE ALARM HARDWIRED AND INTERCONNECTED WITH VISUAL AND AUDIBLE COMPONENTS. ALL SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED ON CEILING ONLY (TWO STROB)
	NEW AIR SUPPLY GRILL

PROPOSED FIRST FLOOR PLAN  
SCALE : 3/16" = 1'-0"

Received / Revised  
OCT 21 2024  
Committee of Adjustment



No.	REVISION	SPECIAL NOTES	Owner Name & Address:	Sheet Title	Coordinator by:						
1	12.08.2024	CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR SHALL FOLLOW ALL PLANS, SECTIONS & DETAILS AS PER DTECHLINE INTERNATIONAL. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO DTECHLINE INTERNATIONAL TO RELATE TO ENGINEER BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED, THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF DTECHLINE INTERNATIONAL. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT DTECHLINE INTERNATIONAL. WRITTEN AUTHORITY.	52 DONNA DRIVE BRAMPTON, ON	PROPOSED FIRST FLOOR PLAN	A.B.M. KAMALUDDIN 1009-66 Malta avenue Brampton, ON Canada, L6Y 4V9						
2	18.10.2024										
3											
4											
5											
6											
7											
DEFAULT SHEET SIZE : 11x17			Project Address/Name: 52 DONNA DRIVE BRAMPTON, ON	Date: 19. 07. 2024	Client: 1415	Scale: As shown	Home Design Inc. TEL. : 647.968.3358	Drawn by: DANIEL	Reviewed by: -	Project No. DP2024-2559	Drawing No. A1.5

# Zoning Non-compliance Checklist

File No.

A-2024-0374

Applicant: DANIEL ALLAN

Address: 52 Donna Drive

Zoning: R3A(3)-314 Residential

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
ABOVE GRADE ENTRANCE	To permit an <i>existing</i> above grade entrance in a side yard having a minimum width of 0.98m extending from the front wall of the dwelling up to the door	whereas the by-law permits an above grade entrance when the side yard within which the door is located has a minimum width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door.	10.24.1
BELOW GRADE WINDOW	To permit an interior side yard setback of 0.98m to an <i>existing and proposed</i> below grade window	whereas the by-law requires a minimum interior side yard setback of 1.2m.	10.23.3
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

\_\_\_\_\_  
Angelo Barbato  
Reviewed by Zoning

\_\_\_\_\_  
September 13, 2024  
Date