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FILE NUMBER: A-2024 - 0458

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

1.	Name of	Owner(s) Kuldip Singh & Jasvir Kau	ur Sekhon		
	Address	46 Bromley Cres., Brampton, ON	L6T 1Z1		
	Phone #	647 - 924 - 7283		Fax #	
	Email	kuldip.sekhon@icloud.com	_		-
				_	
2.	Name of	Agent Haroon Malik			
۷.		14 Torrance Woods, Brampton, C	ON L6V 2N3		
		14 TOTTATICE VVOCUS, DIAMPION,	SIN LOT ZINS		
	Phone # Email	647 - 770 - 3230	_	Fax #	
	Emaii	haroon@wedesignbuild.ca		-	
3.	Nature ar	nd extent of relief applied for (var	riances requested):	
	To requi	est the permission to allow a	gross floor area	of 586 sq. ft./ 51.28 sq.	m for the
		d garden suite whereas the n			
		ft./ 35 sq.m.	•		
		·			
	L				
4.	Why is it	not possible to comply with the	provisions of the	by-law?	
		perty owner possesses a larg			e spacious
		suite featuring two bedrooms			
		viduals. This vision aligns wit			
		urther, the proposed lot cover			
		maximum 30% for this zone.	•	io iio ii gaii aani aani ia ii a	20.01. 10
5.		scription of the subject land:			
		ber Lot 123 nber/Concession Number	600		
		Address 46 Bromley Cres., Brampto	688 on ON L6T 171	7	
	mamorpa	To Brown of Cross, Brampto	, 011 201 121		
6.		on of subject land (<u>in metric units</u>	<u>s</u>)		
	Frontage				
	Depth	36.66			
	Area	0.056 Ha.			
7.	Access t	o the subject land is by:			
	Provincia	al Highway	⊒	Seasonal Road	
		al Road Maintained All Year	4	Other Public Road	
	Private R	Right-of-Way	_	Water	

Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible) EXISTING BUILDINGS/STRUCTURES on the subject land: <u>List all structures (dwelling, shed, gazebo, etc.)</u> Existing Two story Single Dwelling Unit Ground Floor Gross Floor Area: 708 Sq. ft. / 65.78 Sq. M Width: 12.04M length: 9.77 M Height: 9 M (Appx.) Existing to remain PROPOSED BUILDINGS/STRUCTURES on the subject land: Proposed Single story Garden suite Ground Floor Gross Floor Area: 586 Sq. ft. / 54.44 Sq. M Width: 8.0 M length: 6.81 M Height: 4.1 M 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units) **EXISTING** Front yard setback 11.27 (Set Backs of Principal Dwelling to Remain) Rear yard setback 15.27 (Set Backs of Principal Dwelling to Remain) 1.89 (Set Backs of Principal Dwelling to Remain) Side yard setback Side yard setback 1.26 (Set Backs of Principal Dwelling to Remain) **PROPOSED** Front yard setback 4.77 (Set Back of the New Garden suit to Principal Dwelling) Rear yard setback 3.05(Set Back of the New Garden suit from Property Line) Side yard setback 2.21 (Set Back of the New Garden suit from Property Line) Side yard setback 5.03 (Set Back of the New Garden suit from Property Line) 10. Date of Acquisition of subject land: Not Known 11. Existing uses of subject property: Two Dwelling Unit Two Dwelling Unit + Garden Suit 12. Proposed uses of subject property: 13. Existing uses of abutting properties: Residential - Detached Date of construction of all buildings & structures on subject land: 1965 15. Length of time the existing uses of the subject property have been continued: 59 16. (a) What water supply is existing/proposed? Municipal ~ Other (specify) Well (b) What sewage disposal is/will be provided? Municipal Other (specify) Septic

Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers Ditches

Swales

17.			ject proper on or conse		ect of an a	application u	nder ti	he Planning	Act, for	approval of a plan of
	Yes			No 🗸						
	If ans	swer	is yes, prov	/ide details:	File #	#			Status	
18.	Has a	a pre-	consultation	on applicati	on been fil	led?				
	Yes			No 🗸						
19.	Has t	the su	ubject prop	erty ever be	en the sul	bject of an a	pplicat	ion for mino	r varian	ce?
	Yes			No 🔽		Unknown				
	If ans	swer	is yes, prov	/ide details:	:					
		File # File #		Decision Decision		•		Relief Relief		
		File #		Decision			—	Relief_		· · · · · · · · · · · · · · · · · · ·
								4 Cargi	Mz	
						Siç	gnature	of Applicant(s) or Au	thorized Agent
DATE	ED AT	THE	City		OF	Brampton				-
THIS	5th		DAY OF	December		, 20 _24				
THE SUB	JECT PLICAN	LAND NT IS	S, WRITTE A CORP	EN AUTHOR ORATION,	RIZATION O	OF THE OWN	NER MU HALL	UST ACCOM BE SIGNED	PANY T	HAN THE OWNER OF THE APPLICATION. IF N OFFICER OF THE
1.	, Haroo	n Mali	k			_, OF TH	HE <u>s</u>	city	OF	Brampton
IN THE	Regio	n	OF	Peel		SOLEMNLY	/ DECL	ARE THAT:		
BELIEVIN OATH.	G IT T ED BEF C Regio	O BE		D KNOWING	a Comproving	IS OF THE S deep Jaswal S missioner, etc ice of Ontario e Corporation if Brampton res Septembe	of the	26	EFFEC*	N CONSCIENTIOUSLY T AS IF MADE UNDER horized Agent
<u> </u>	AG	ommi	ssioner etc.							
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				Designation aw Classific			_			
				been review	ed with res	spect to the va			d the re	sults of the
			Zonin	g Officer		_	_		Date	
			DATE	RECEIVED	De	c. 13	, 2C	264		
	C			ion Deemed Municipality		/				Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

I/We, Kuldip Singh & Jasvir Kaur Sekhon

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

weDesignBuild Inc. o/o Haroon Malik

please print/type the full name of the agent(s)

to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.

Dated this sin day of December , 2024.

(signature of the owner(s), or where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

coa@brampton_ca

LOCATION OF THE SUBJECT LAND: 46 Bremiey Cres., Brampt: DION L6T 1Z1
I/We, Kuldip Singh & Jasvir Kaur Sekhon
please print/type the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.
Dated this si h day of December , 2024
(signature of the owner[s], or whete the owner is a firm or corporation the signature of an officer of the owner.)
(where the owner is a firm or corporation, please print or type the full name of the person signing.)
, and the state of

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

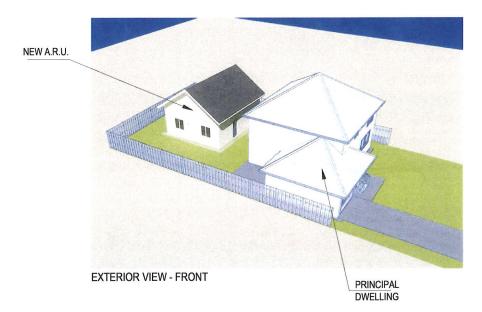
NEW ARU UNIT AT REAR YARD

46 BROMLEY CRESCENT, BRAMPTON. ON L6T 1Z1

Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	EXISTING SITE LAYOUT PLAN	A102
4	NEW SITE LAYOUT PLAN	A103
5	NEW ARU UNIT	A104
6	NEW ROOF PLAN	A105
7	NEW / FRONT ELEVATION	A106
8	NEW / LEFT SIDE ELEVATION	A107
9	NEW / RIGHT SIDE ELEVATION	A108
10	NEW / REAR ELEVATION	A109
11	NEW / SECTION -"A A"	A110
12	NEW / SECTION -"B B"	A111
13	WALL SECTION DETAIL	A112
14	NEW ARU ELECTRICAL PLAN	E101



LOCATION





GENERAL NOTES:

COPPRISAT REMAINS THE PROPERTY OF WIDESQUARDLE NO. THESE PLANS, DESIGN AND HYPELECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESQUARDLESS HERE OUT OR OTHERWISE COPIED WITHOUT THE WASTERN CONSENT OF THE OWNERS.

THE BUILDER SHALL VERIETY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION ROUNDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SHORK HOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAT

WHETTEN DRIEBRISONER AND SPECIFIC MOTES SHALL TAKE PRECEDEDIC OVER SCALED DRIMESSONS AND GENERAL HOTES. THE DESIRER SHALL BE CONSULTED FROM THE DRIVEN SHALL BE CONSULTED PROCOUNTEED AND EXPERIENCES ARE FOUND IN THE PLANS OF THE FLANS OR HOTES. CONTRACTOR SHALL VERIF-OF THE FLANS OR HOTES. CONTRACTOR SHALL VERIF-OF THE FLANS OR HOTES. CONTRACTOR SHALL VERIF-THE FLANS OR HOTES. CONTRACTOR SHALL VERIF-SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS SHEEN DETAILED FROM ALL RESPECTIVE AUTHORITIES.





THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBIL FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE DESIGN THE WORK SHOWN ON THE ATTACHED DOCUME! QUALIFICATION INFORMATION REQUIRED UNLISS DESIGN IN DEMPT LINCIP ON, C. 12.51. OF THE BUILDING OF

Taroon Mails 102

weDesignBuild Inc.

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weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TIT

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
LIST OF DRAWINGS

PROJECT NO. 20230322

DRAWN M.N. CHECKED

DRAWING

A000

DECEMBER OF 303

CONSTRUCTION NOTES

EXTERIOR WALL (VINYL SIDING)
 EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)

INTERIOR WALLS

- NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- AND INTERIOR PARTITIONS (PLUMBING & HVAC WALLS)
 38X140 (2"X6") STUDS @ 400mm (16") O.C. 2X TOP
 PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS,
 12.7mm (X") DRYWALL 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN
 CONC. AND WOOD

SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON FINGINEERED

FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE).

CONVENTIONAL FRAMING
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR O

FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID BLOCKING @ 1200mm (3'-11") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.

NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.1. (IP)), 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.

MECHANICAL VENTILATION

- 50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP.
 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- TINTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE)
 ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA
 INCLUDING BASEMENT AS PER OBC 9.10.19
- 8 INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19

ALL STAIRS/EXTERIOR STAIRS

ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Table 9.8.4.1 Rise for Rectangular Treads, Tapered Treads & Winders and Run For Rectangular Treads Forming Part of Sentences 9.8.4.1 (1) and 9.8.4.2. (1)

Stair Type	Max. Rise,mm, for All Steps	Min. Rise,mm, for All Steps	Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950 (C	.B.C. 9.8.2.)	Min. Width	860

GUARD/HANDRAIL 9.8.7.4

ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.

HAND RAIL @ LNT. LANDING = 865mm (2'-10") HAND RAIL @ LNT. STIAR = 865mm (2'-10")

GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")

HAND RAIL @ LNT. LANDING = 865mm (2'-10") HAND RAIL @ LNT. STIAR = 865mm (2'-10")

HAND RAIL @ LNT. STIAR = 865mm (2'-1' WOOD / METAL PICKETS < 100mm (4") BETWEEN

NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") & 900mm (2"-11") ABOVE SURFACE WILL FACILITATE CLIMBING.

- EXHAUST & VENTS:
- PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.
- CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS. PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.

ROOF CONSTRUCTION

- (33) SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN. FINISH & SLOPE TO MATCH WITH EXISTING.
- PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- MAINTAIN VENTILATION AS PER 9.19.1. OBC
- WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M² IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 ½"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSUI ATTION.
- ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- 19 PRE-FINISHED VINYL SOFFIT
- 38X140 (2"X6") WOOD FASCIA, ALUMINUM CLAD
- 21 PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- (22) PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- (23) REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- CERAMIC TILE WALLS, AND CEILING IN SHOWER C/W PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN A CCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(g) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- ZE CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHFET
- PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 500X150 (20"X6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO BE 75 KPa
- PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- 29 PRE-CAST CONCRETE SILL.
- 30 ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
- MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB, 150X150 (9"X9") W.W.M.
 REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- 33 MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- (34) EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING * BEYOND EXTERIOR WALL.

- (36) FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141,
 EMERGENCY LIGHTING EQUIPMENT AS PER OBC 9.9.12
- EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF
- BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOE TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY WEDESIGNBUILD INC, THESE PLANS, DESIGN AN INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY WEDESIGNBUILD BICK, AND MUST NOT BE LENT, RESOL HIRED OUT OR OTHERWISE COPIED WITHOUT TI MONTTHE COMMENT OF THE PROMETS.

THE BILLDER SHALL VISIENT THAT STEE CONTITIONS ARE CONSISTENT WITH THE REPORMATION PROVIDED IN THESE DRAWINGS REFORE START OF ARY JOS AT STIEL WORK MOT SECREPLEALLY DETAILED HEREWITH SHALL BE DECLUTED TO THE SAME QUALITY IS SAME STANDARDS THAT ARE MEDITIONED FOR SHALLAW WORK STANDARDS THAT ARE MEDITIONED FOR SHALLAW WORK CURRENT ON TAKIO SHALLOWS COPE & RESPECTIVE CITY'S ZOMME BY LAWY AND STANDARDS.

WHITTEN DIMERSIONS AND SPECIFIC NOTES SHALL TAKE RECEDENCE OVER SCALE DIMERSIONS AND BENERAL HOYES. THE DESIGNER SHALL BE CONSULTE FOR CLARIFICATION. IF THE SPIT CONSULTE SPIT CONSULTED ARE DEFENDED THAN SHOWN IN THE SPIT CONSULTED ARE DEFENDED THAN SHOWN IN THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE OF HOTE, OF IT OF A OURSTION ARREST OVER THE HITTEN OF THE PLANS OR HOTES. CONTRACTOR SHALL VERSING AND SHALL BE RESPONDING FOR ALL DIMERSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL DRIVE ORGANICAL STEEP SERIES APPROVALLY. AND SHALL DRIVE ORGANICAL STEEP SERIES APPROVALLY AND SHALL DRIVE ORGANICAL STEEP SERIES APPROVALLY.

REV DATE DESCRIPTION





INED HAS REVIEWED AND TAKES RESPONSIBILITY
GN, AND HAS THE QUALIFICATION AND MEET THE
IS SET OUT IN THE ONTARIO BUILDING CODE TO
VORK SHOWN ON THE ATTACHED DOCUMENTS
JALIFICATION INFORMATION

HIGHER UNIES DESIGN IN EXEMPT LINGUIS ON. C - 125.5. OF THE BUILDING HAPPEN MAIN 10.

REGISTRATION INFOI required unuses design in Example under div. weDesignificial direc. from Name.

111



weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
GENERAL NOTES

PROJECT NO. 20230322

M.N.

H.M.

DRAWING NO.

A100

NATE MODICIED

SCHEDULES

ROOM FINISH SCHEDULE

ROOM ROOM	FLOOR		В	BASE		WALLS		CEILING		REMARKS
NO. NAME	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	KEWAKKO
NEW ARU										
1 LIVING/DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	
2 BEDROOMS (2 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	
3 BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	

		DC	JORS	AND W	INDOWS SCHE	JULE
NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
				DOC	RS	
D1	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-6"X6'-8"	0'-0"	02	WOODEN DOOR	NEW BED ROOMS	
D4	2'-0"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
		-		WIND	OWS	
W1	4 - 0"X 4'-0"	2'-10"	04	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOMS	AS PER MANUFACTURER SPECS & STANDARDS

DOOR SCHEDULE NOTES

1-ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS. 2-EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

3- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

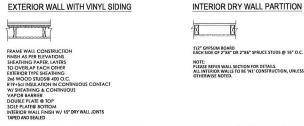
ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	\$3
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE CW WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	GFI C WP
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	Ø
EXHAUST FAN	0
FD: FLOOR DRAIN	0
SPRINKLER	+
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	0
CO: CARBON MONOXIDE DETECTOR	⊗
LIGHT	Ø
EMERGENCY LIGHT	~
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	€A

WALL LEGEND



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WINTTEN DIMENSIONS AND SPECIFIC NOTES SHALL YAME PRECEDENCE OVER SCALED DOMINISIONS AND BERRINAL NOTES. THE DESIGNERS SHALL BE CONSULTED GOOD CLARGES CONTROLLED BERRINAL BY CONSULTED CONTROLLED BERRINAL BY CONSULTED TO SHALL BE SENSION OF THE STATE DRAMMING, SP DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OF IT OURSTOON AND SOVET THE BITTENT OF THE FLANS OR HOTES. CONTRACTOR SHALL VEREY WAS SHALL BE RESPONSIBLE FOR A DOMESTICATION SHALL ON THE SENSION OF THE PRIMER APPROVAL HAS BERRIN OF THE STATE PRIMER APPROVAL HAS BERRIN OF THE SHALL BERRING ALTHOUGH AUTHORITIES.

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weDesignBuild Inc.

MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6T 4V9

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
LEGENDS & DOOR
WINDOW SCHEDULES

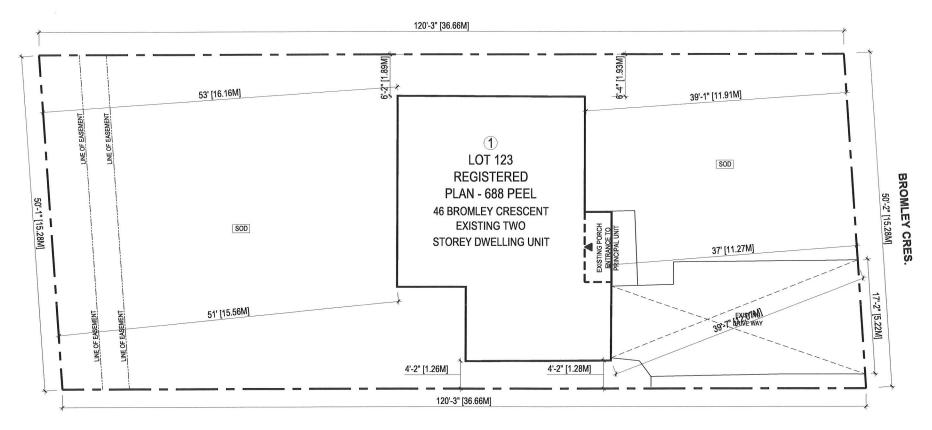
PROJECT NO. 20230322

DRAWN M.N.

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DRAWING

A10:



EXISTING SITE PLAN

SCALE : 32" = 1'-0"

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WRITTEN DIMENSIONS AND SPECIFIC NOTES SHAT TAKE PRECEDING OVER SCALE DIMENSIONS AS GENERAL NOTES. THE DESIGNER SHALL IS CONSULT FOR CLASHICATOR. IF THE STEE COMPOSITION DICOUNTEED ARE DIFFERENT THAN SHOWN IN IT TO NOTES, OR IT AD QUESTION ASSESS OVER THE INTER-OF THE FLANS OR NOTES, CONTRACTOR SHALL VERS AND SHALL IS RESPONSIBLE FOR ALL DIMENSION INCLUDING ROUSE OVER THE INTER-TOR THE STATE OF THE STATE OF THE STATE OF THE STATE OF THE SHALL SHAP OF THE STATE OF THE STATE OF THE STATE OF THE SHAPE OF THE STATE OF THE STATE OF THE STATE OF THE STATE OF THE SHAPE OF THE STATE OF THE STATE OF THE STATE OF THE STATE OF THE SHAPE OF THE STATE OF THE

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
EXISTING SITE PLAN

PROJECT NO. 20230322

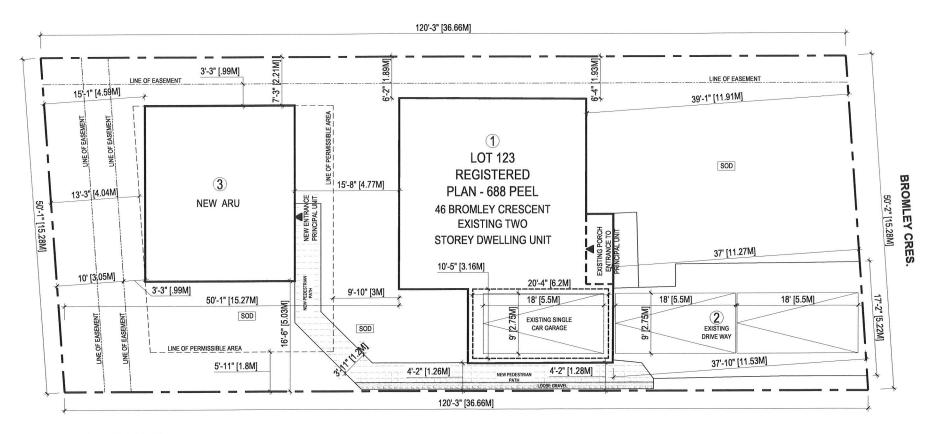
DRAWN M.N.

H.M.

DRAWING

A102

DATE MODIFIED



NEW SITE PLAN

SCALE : $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

(2) EXISTING DRIVEWAY

(3) NEW ARU

120'-3" = 36.66 M

LOT STATISTICS ZONING: R1B (1)

LOT DEPTH:

LOT NO: 123
PLAN NO: 688
LOT AREA: 558.81 M²
LOT FRONTAGE: 50'-2" = 15.28 M

ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

LOT AREA = $6015 \text{ SFT} / 558.81 \text{ M}^2$ EXISTING BUILDING LOT COVERAGE AREA = $1084 \text{ SFT} / 100.70 \text{ M}^2$

NEW A.R.U COVERED AREA = 586 SFT / 54.44 M²

NEW LOT COVERAGE AREA (INCLUDING NEW ARU) = 1670 SFT / 155.14 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 27.76 %

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW SITE PLAN

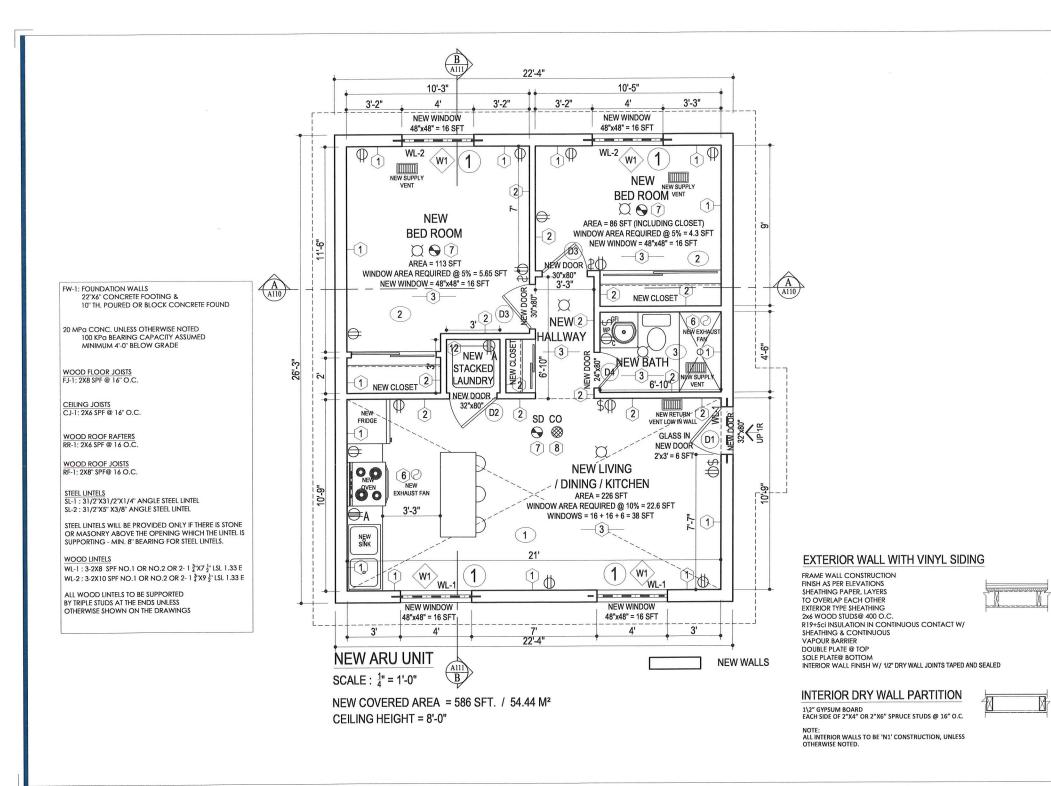
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW ARU UNIT

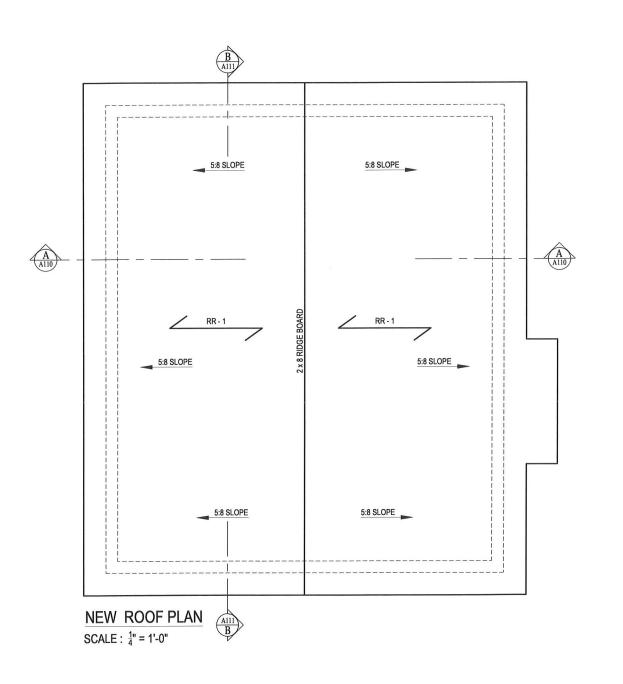
PROJECT NO. 20230322

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DRAWING NO.

A104

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GENERAL NOTES:



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

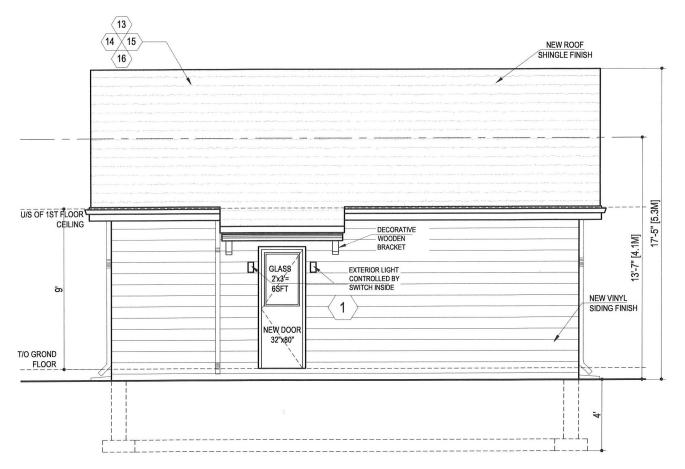
DRAWING TITLE **NEW ROOF PLAN**

PROJECT NO. 20230322

DRAWN M.N.

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DRAWING NO.



NEW / FRONT ELEVATION

SCALE : \frac{1}{4}" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 253 SFT / 23.50 M² LIMITING DISTANCE = 25.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.34%)

WINDOW AREA ALLOWED: 100%

GENERAL NOTES:







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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

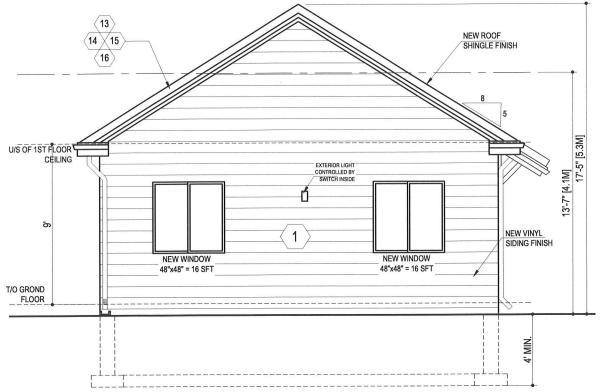
DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

DRAWN M.N.

H.M.

DRAWING NO.



NEW / LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M²

LIMITING DISTANCE = 5.05 M

WINDOW AREA PROVIDED: 16+ 16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 67%

GENERAL NOTES:



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.

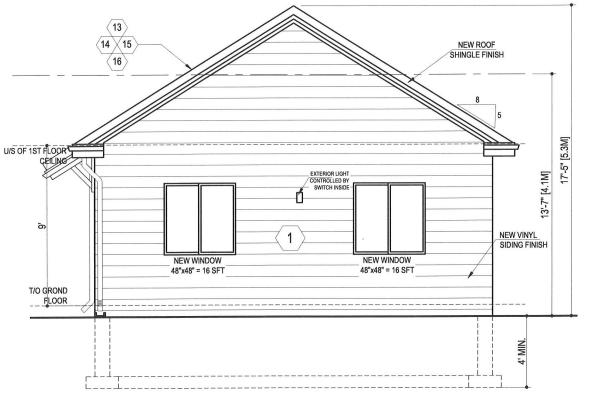
BRAMPTON DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

DATE MODIFIED



NEW / RIGHT SIDE ELEVATION

SCALE : \frac{1}{4}" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M² LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16+16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 17%

GENERAL NOTES:

PROJECT NORTH



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. **BRAMPTON**

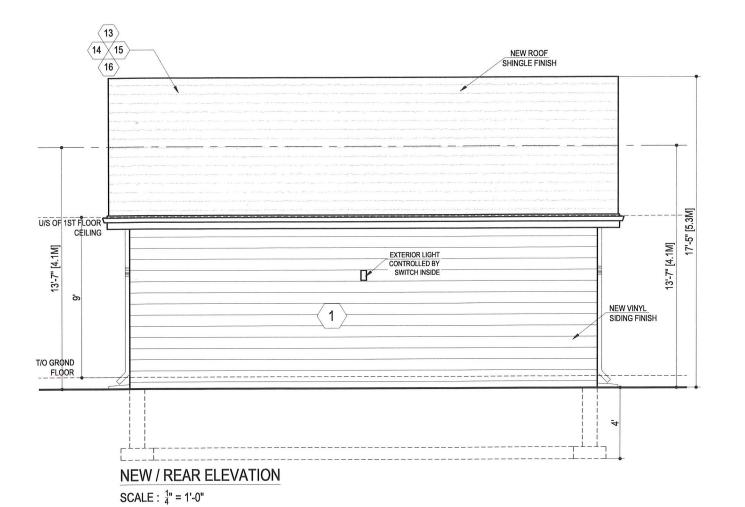
DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

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PROJECT TITLE

NEW ARU / GARDEN SUITE

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46 BROMLEY CRES. **BRAMPTON**

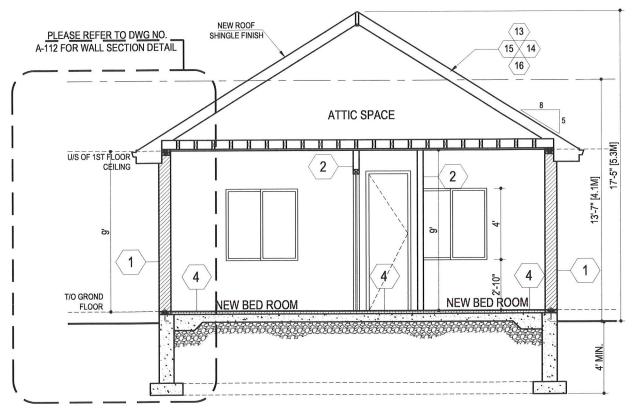
DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

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DRAWING NO.



SECTION "A-A"

SCALE : ¹/₄" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION A"-A"

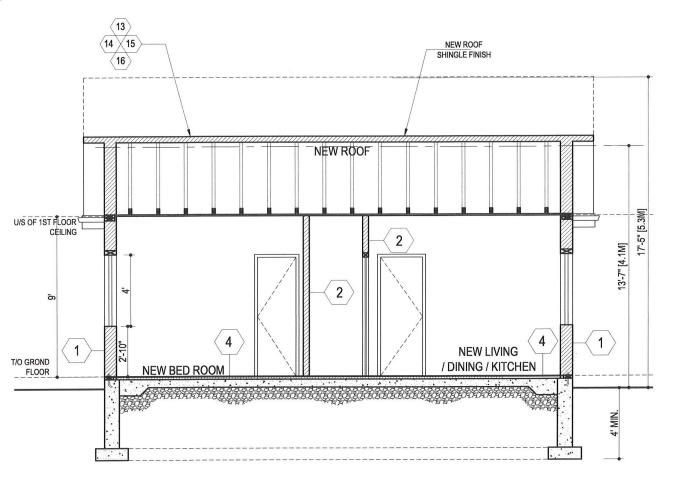
PROJECT NO. 20230322

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DRAWING NO.

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SECTION "B-B"

SCALE : ¹/₄" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION B"-B"

PROJECT NO. 20230322

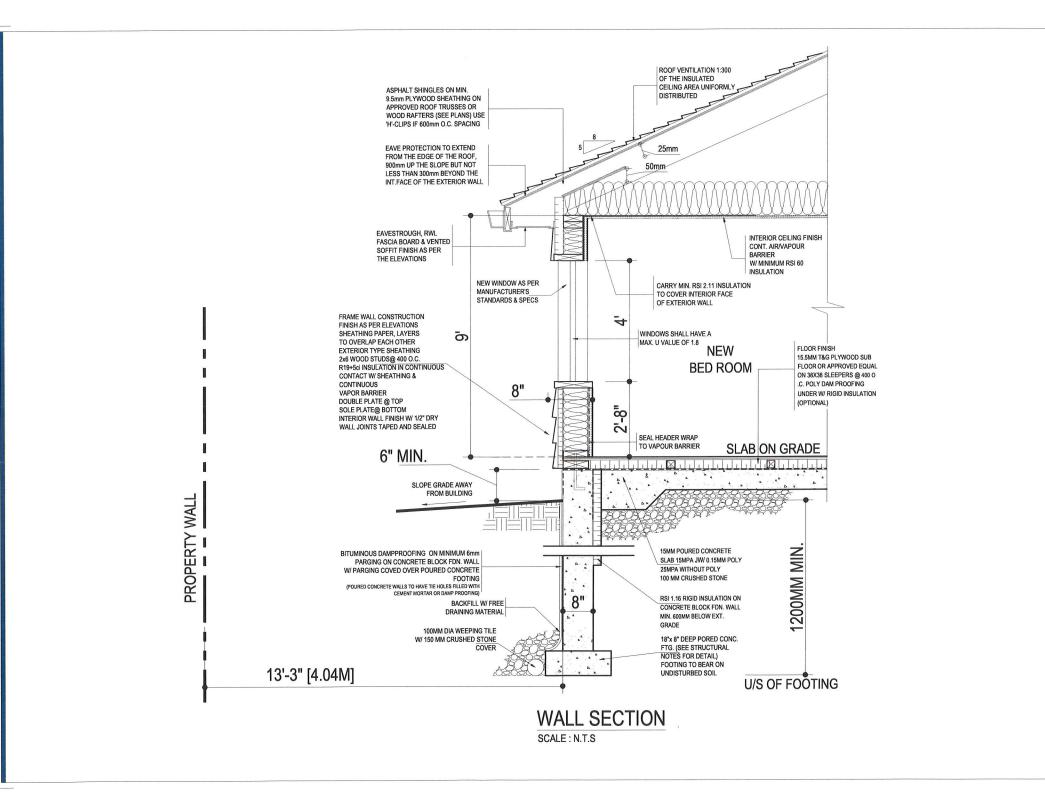
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTIONAL DETAIL

PROJECT NO. 20230322

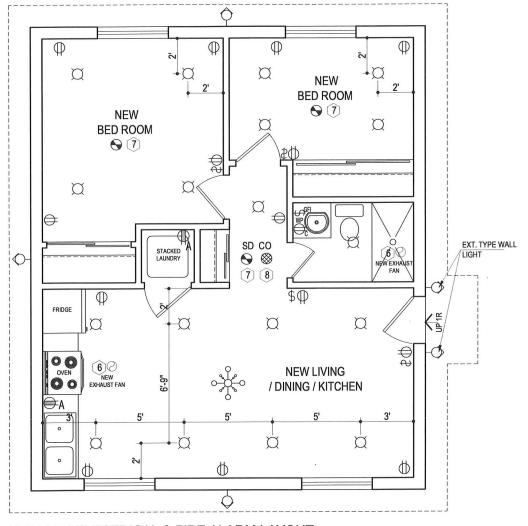
DRAWN M.N.

CHECKED H.M.

DRAWING NO.

A11

DATE MODIFIED



ELECTRICAL LEGEND

NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4	\$	CHANDELIER (AS APPROVED)	
DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	3	48" LED LINEAR WRAP LIGHT, 30W	
WEATHERPROOF RECEPTACLE		EXHAUST FAN	0
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3"ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR	\Longrightarrow WP	SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
EXTERIOR USE.	,	CO: CARBON MONOXIDE DETECTOR	⊗
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE	→ GFI	4" RECESSED POT LIGHT	Ø
C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	C WP	PENDANT LIGHT	#
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕ _A	EXTERIOR TYPE WALL MOUNTED LIGHT	\mapsto

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REGISTRATION

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weDesignBuild Inc.

MAKE IDEAS HAPP

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE

NEW ARU UNIT ELECTRICAL PLAN

PROJECT NO. 20230322

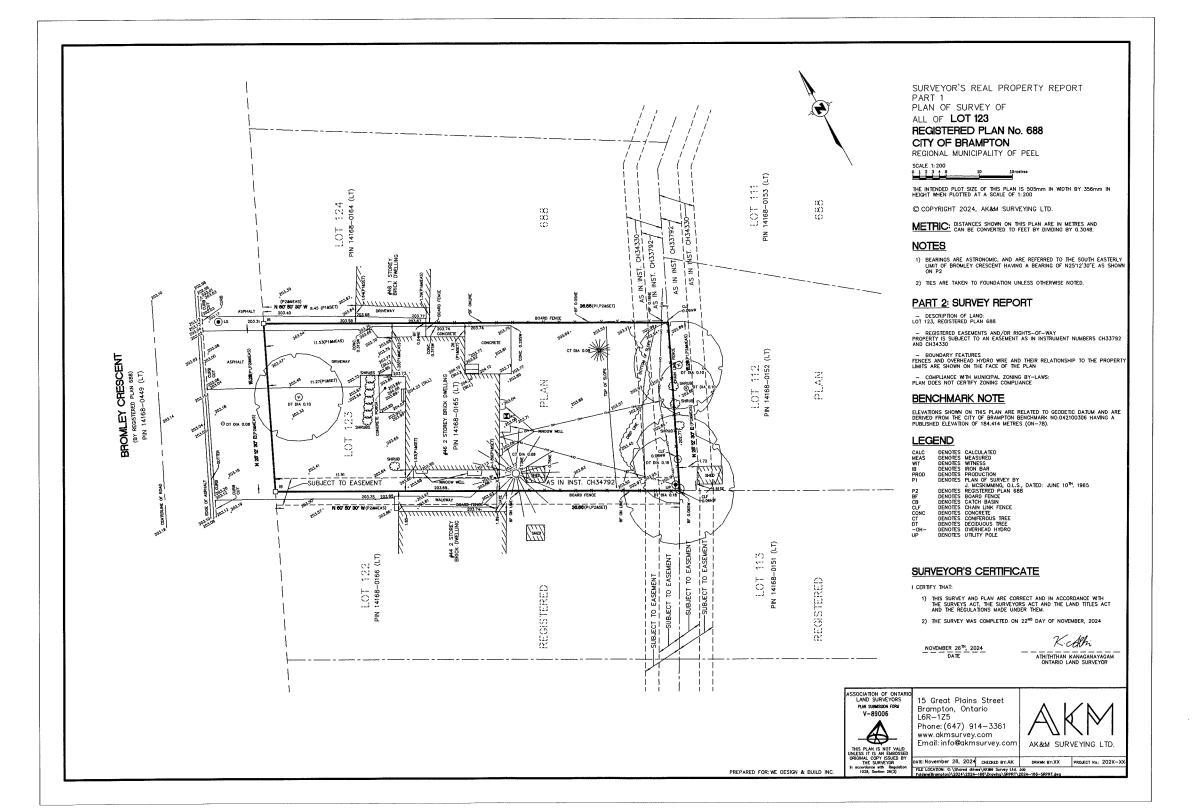
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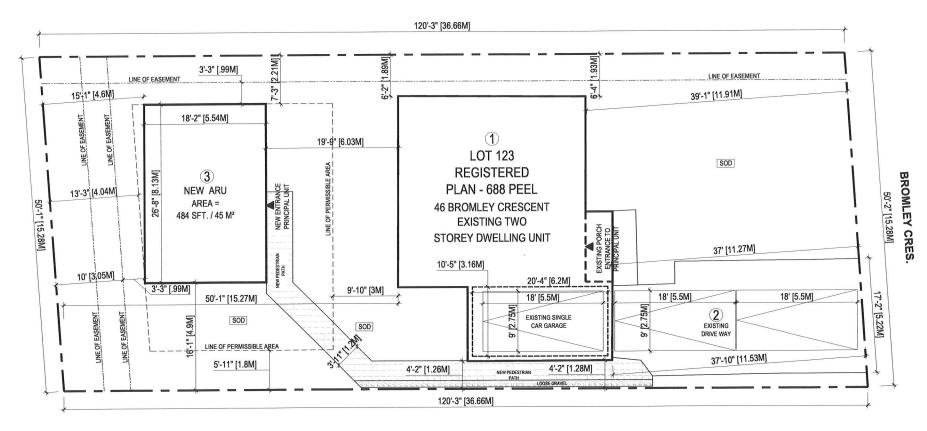
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NEW SITE PLAN

SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

2 EXISTING DRIVEWAY

▲ ENTRANCE / EGRESS

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1)
LOT NO: 123
PLAN NO: 688
LOT AREA: 558.81 M²
LOT FRONTAGE: 50'-2" = 45.28 M
LOT DEPTH: 120'-3" = 36.66 M

LOT COVERAGE STATISTICS

LOT AREA = 6015 SFT / 558.81 M²

EXISTING BUILDING LOT COVERAGE AREA = 1084 SFT / 100.70 M²

NEW A.R.U COVERED AREA = 484 SFT / 45.00 M²

NEW LOT COVERAGE AREA (INCLUDING NEW ARU) = 1568 SFT / 145.70 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 26.07 %

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PROJECT NORTH



weDesignBuild Inc.

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205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW SITE PLAN

PROJECT NO. 20230322

DRAWN M.N.

DRAWING NO

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DATE MODIFIED

FEBRUARY 08, 2024

CHECKED

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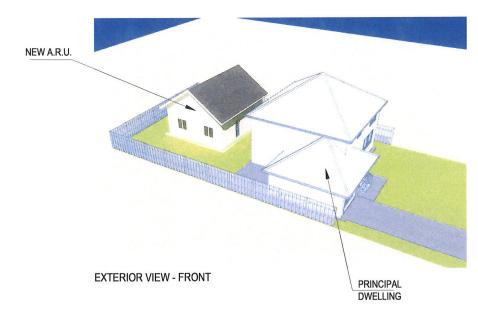
NEW ARU UNIT AT REAR YARD

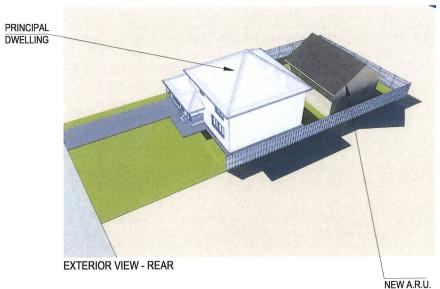
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	LIST OF DRAWINGS	
Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	EXISTING SITE LAYOUT PLAN	A102
4	NEW SITE LAYOUT PLAN	A103
5	NEW ARU UNIT	A104
6	NEW ROOF PLAN	A105
7	NEW / FRONT ELEVATION	A106
8	NEW / LEFT SIDE ELEVATION	A107
9	NEW / RIGHT SIDE ELEVATION	A108
10	NEW / REAR ELEVATION	A109
11	NEW / SECTION -"A A"	A110
12	NEW / SECTION -"B B"	A111
13	WALL SECTION DETAIL	A112
14	NEW ARU ELECTRICAL PLAN	E101



LOCATION





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weDesignBuild Inc.

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PROJECT TIT

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
LIST OF DRAWINGS

PROJECT NO. 20230322

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CONSTRUCTION NOTES

EXTERIOR WALL (VINYL SIDING) EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)

INTERIOR WALLS

- NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- INTERIOR PARTITIONS (PLUMBING & HVAC WALLS) 38X140 (2"X6") STUDS @ 400mm (16") O.C. 2X TOP PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS, 12.7mm (1/2") DRYWALL - 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN CONC. AND WOOD
- **NEW CEILING**

1/2" REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY (16) ABOVE. JOINTS TAPED AND SEALED AND PAINTED.

SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS

FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON **ENGINEERED**

FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE). CONVENTIONAL FRAMING

FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID BLOCKING @ 1200mm (3'-11") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.

NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)), 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.

MECHANICAL VENTILATION

- 50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP. 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE)
- ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA INCLUDING BASEMENT - AS PER OBC 9.10.19
- INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19

ALL STAIRS/EXTERIOR STAIRS

ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Table 9.8.4.1 Rise for Rectangular Treads, Tapered Treads & Winders and Run For Rectangular Treads Forming Part of Sentences 9 8 4 1 (1) and 9.8.4.2. (1)

Stair Type	Max. Rise,mm for All Steps	Min. Rise,mm, for All Steps	Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950 (O.B.C. 9.8.2.)	Min. Width	860

GUARD/HANDRAIL 9.8.7.4

ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.

= 865mm (2'-10") HAND RAIL @ LNT. LANDING HAND RAIL @ LNT. STIAR = 865mm (2'-10")

GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")

HAND RAIL @ LNT. LANDING = 865mm (2'-10") HAND RAIL @ LNT. STIAR = 865mm (2'-10")

WOOD / METAL PICKETS < 100mm (4") BETWEEN

NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") & 900mm (2'-11 ") ABOVE SURFACE WILL FACILITATE CLIMBING.

- **EXHAUST & VENTS**
- PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.
- CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS. PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.

ROOF CONSTRUCTION

- SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN. FINISH & SLOPE TO MATCH WITH EXISTING.
- PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- MAINTAIN VENTILATION AS PER 9.19.1. OBC
- WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M2 IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 1/2"). OR MIN DIMENSION 500mm X 700mm, MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSULATION
- ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- (19) PRE-FINISHED VINYL SOFFIT
- 38X140 (2"X6") WOOD FASCIA, ALUMINUM CLAD.
- PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER
- (22) PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- CERAMIC TILE WALLS, AND CEILING IN SHOWER C/W PREFORMED SHOWER BASE OR MOSAIC FLOOR, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(g) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON
- PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 500X150 (20"X6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO 27 BE 75 KPa
- PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- 29 PRE-CAST CONCRETE SILL.
- ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR (30) ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
- MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB. 150X150 (9"X9") W.W.M. REINFORCING, MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING & BEYOND

- (36) FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* - AS PER OBC 9.9.12
- EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF
- BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOE TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

GENERAL NOTES:

THE BUILDER SHALL VERIEY THAT SITE CONDITIONS ARE CONSISTENT WITH THE SEPORMATION PROVIDED IN HESE DIAWNINGS BEFORE STATE OF ANY JOB AT SITE. HESE DIAWNINGS BEFORE STATE OF ANY JOB AT SITE. BE DECUTED TO THE SAME QUALITY IS SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK, ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARD BUILDINGS CODE & RESPECTIVE CITY'S

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weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **GENERAL NOTES**

PRO IECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

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SCHEDULES

ROOM FINISH SCHEDULE

ROOM ROOM	FLOOR		BASE		WALLS		CEILING			REMARKS
NO. NAME	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	KEMPARKO
NEW ARU			,							
1 LIVING/DINING/KITCHE	N WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	
2 BEDROOMS (1 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	
3 ватн	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	

		DO	oors	AND W	INDOWS SCHE	DULE
NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
				DOC	RS	
D1	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-6"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BED ROOM	
D4	2'-0"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
D5	2'-9"X6'-8"	0'-0"	01	WOODEN DOOR	CLOSET	
				WIND	QWS	
W1	4'-0"X 4'-0"	2'-10"	02	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOM	AS PER MANUFACTURER SPECS & STANDARDS
W2	4'-0"X 4'-0"	2'-10"	02	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOM	AS PER MANUFACTURER SPECS & STANDARDS

DOOR SCHEDULE NOTES

1-ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS. 2- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

3- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION WIA MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	\$ ₃
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	GFI C WP
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	Ø
EXHAUST FAN	0
FD: FLOOR DRAIN	0
SPRINKLER	
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
CO: CARBON MONOXIDE DETECTOR	⊗
LIGHT	Ø
EMERGENCY LIGHT	5
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕ _A

WALL LEGEND

EXTERIOR WALL WITH VINYL SIDING FRAME WALL CONTRUCTION FRAME WALL CONTRUCTION FRAME WALL CONTRUCTION SHEATHING PAPEL LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING DOWNER AS PELCH OTHER EXTERIOR TYPE SHEATHING A CONTINUOUS CONTACT W/ SHE

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weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
LEGENDS & DOOR
WINDOW SCHEDULES

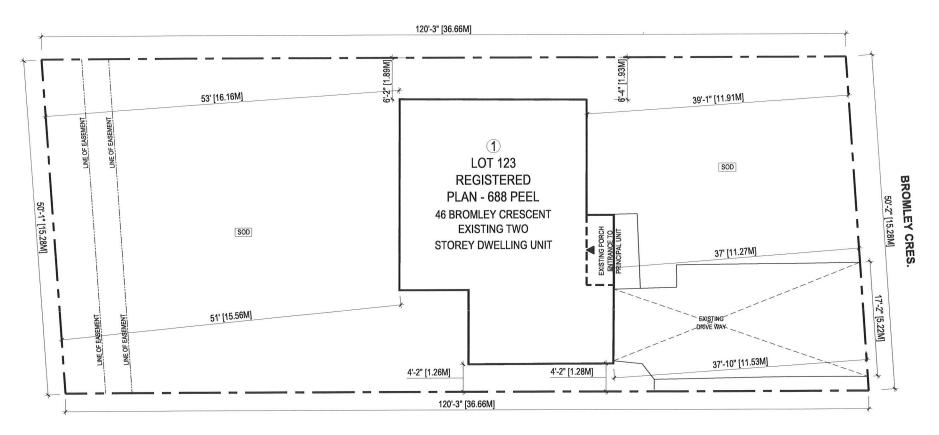
PROJECT NO. 20230322 DRAWN

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DRAWING NO.

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EXISTING SITE PLAN

SCALE : 32" = 1'-0"

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weDesignBuild Inc.

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
EXISTING SITE PLAN

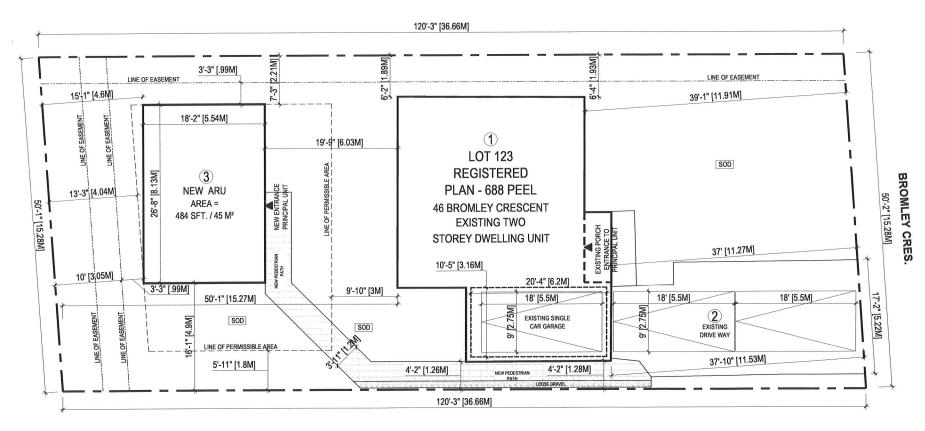
PROJECT NO. 20230322

DRAWN M.N. H.M.

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A102

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NEW SITE PLAN

SCALE : $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

2 EXISTING DRIVEWAY

▲ ENTRANCE / EGRESS

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1)
LOT NO: 123
PLAN NO: 688
LOT AREA: 558.81 M²
LOT FRONTAGE: 50'-2" = 15.28 M
LOT DEPTH: 120'-3" = 36.66 M

LOT COVERAGE STATISTICS

LOT AREA = 6015 SFT / 558.81 M²
EXISTING BUILDING LOT COVERAGE AREA = 1084 SFT / 100.70 M²

NEW A.R.U COVERED AREA = 484 SFT / 45.00 M²

NEW LOT COVERAGE AREA (INCLUDING NEW ARU) = 1568 SFT / 145.70 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE	= 18.02 %
NEW LOT COVERAGE AREA	= 26.07 %

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weDesignBuild Inc.



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW SITE PLAN

PROJECT NO. 20230322

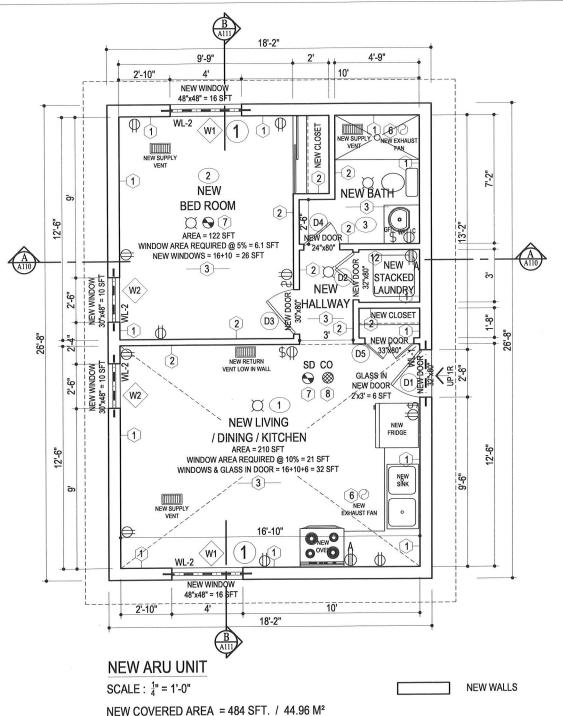
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DRAWING NO.

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CEILING HEIGHT = 8'-0"

EXTERIOR WALL WITH VINYL SIDING

FRAME WALL CONSTRUCTION FINISH AS PER ELEVATIONS SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING 2x6 WOOD STUDS@ 400 O.C. R19+5ci INSULATION IN CONTINUOUS CONTACT W/ SHEATHING & CONTINUOUS VAPOUR BARRIER DOUBLE PLATE @ TOP SOLE PLATE@ BOTTOM INTERIOR WALL FINISH W/ 1/2" DRY WALL JOINTS TAPED AND SEALED

INTERIOR DRY WALL PARTITION

1\2" GYPSUM BOARD EACH SIDE OF 2"X4" OR 2"X6" SPRUCE STUDS @ 16" O.C.

ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS OTHERWISE NOTED.

GENERAL NOTES:

PROJECT NORTH





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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE **NEW ARU UNIT**

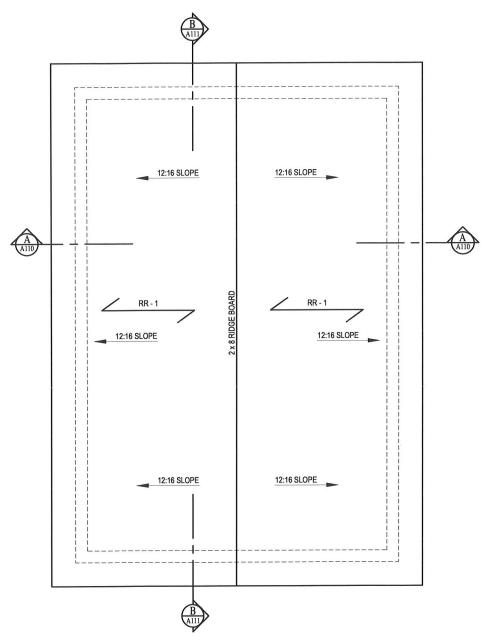
PROJECT NO. 20230322

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DRAWING NO.

A104



NEW ROOF PLAN

SCALE : 1/4" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
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BRAMPTON

NEW ROOF PLAN

PROJECT NO. 20230322

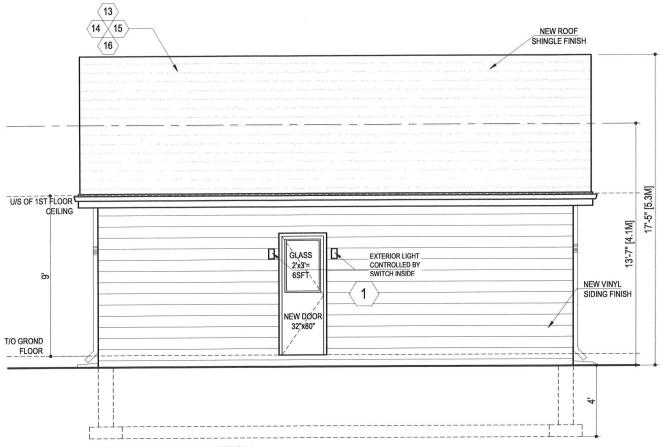
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A10

DATE MODIFIED



NEW FRONT ELEVATION

SCALE : \frac{1}{4}" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 257 SFT / 23.87 M² LIMITING DISTANCE = 26.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.30%)

WINDOW AREA ALLOWED: 100%

GENERAL NOTES:





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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **ELEVATION**

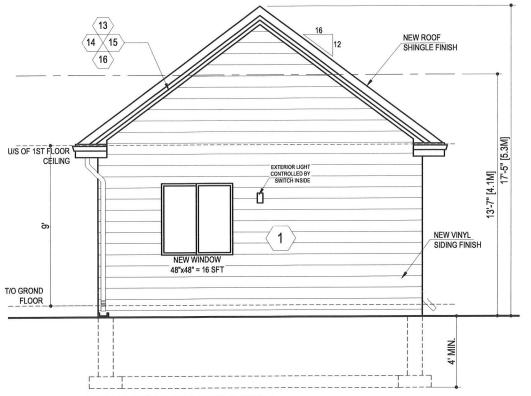
PROJECT NO. 20230322

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DRAWING NO.

A106



NEW LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 235 SFT / 21.83 M²

LIMITING DISTANCE = 4.9 M

WINDOW AREA PROVIDED: 16 = 16 SFT / 1.48 M² (6.77%)

WINDOW AREA ALLOWED: 45%

GENERAL NOTES:



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PROJECT TITLE

NEW ARU / GARDEN SUITE

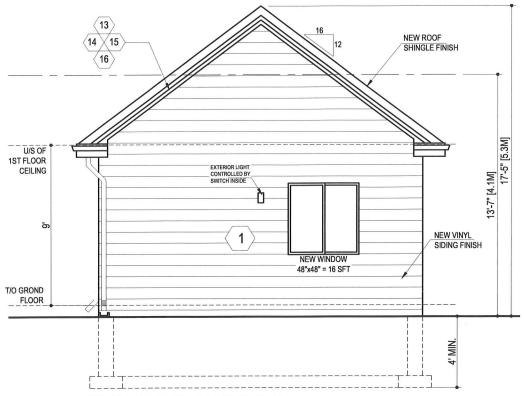
PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE ELEVATION

PROJECT NO. 20230322

DRAWN CHECKED M.N. H.M.

DATE MODIFIED



NEW RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 235 SFT / 21.83 M² LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16 = 16 SFT / 1.48 M² (6.77%)

WINDOW AREA ALLOWED: 17%

GENERAL NOTES:

DATE





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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. **BRAMPTON**

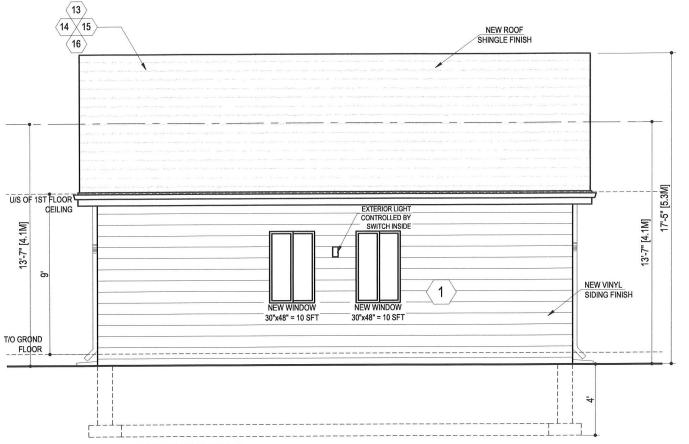
DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

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NEW REAR ELEVATION

SCALE : \frac{1}{4}" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 257 SFT / 23.87 M² LIMITING DISTANCE = 4.04 M

WINDOW AREA PROVIDED: 10+10 = 20 SFT / 1.85 M² (7.75%)

WINDOW AREA ALLOWED: 45%

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

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ELEVATION

PROJECT NO. 20230322

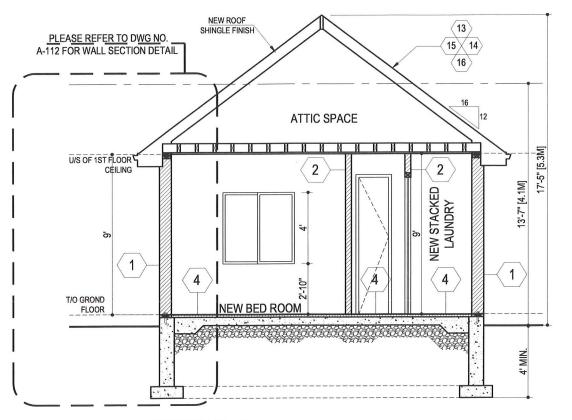
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A109

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SECTION "A-A"

SCALE : \frac{1}{4}" = 1'-0"

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PROJECT TITLE

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PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION A"-A"

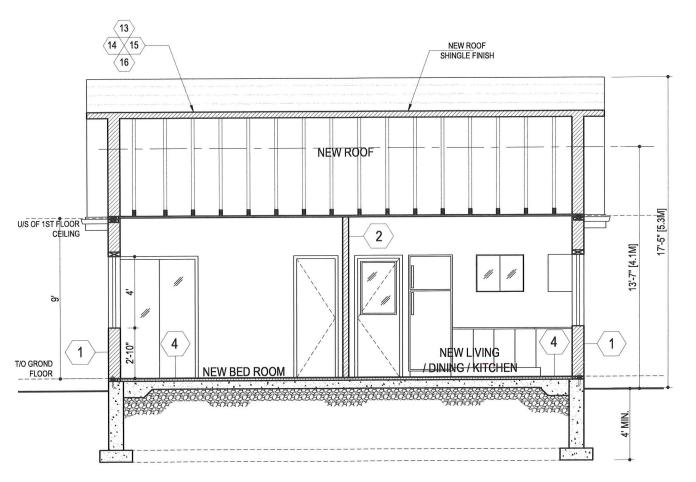
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SECTION "B-B"

SCALE: 1" = 1'-0"

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WeDealgraBuild Inc.
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION B"-B"

PROJECT NO. 20230322

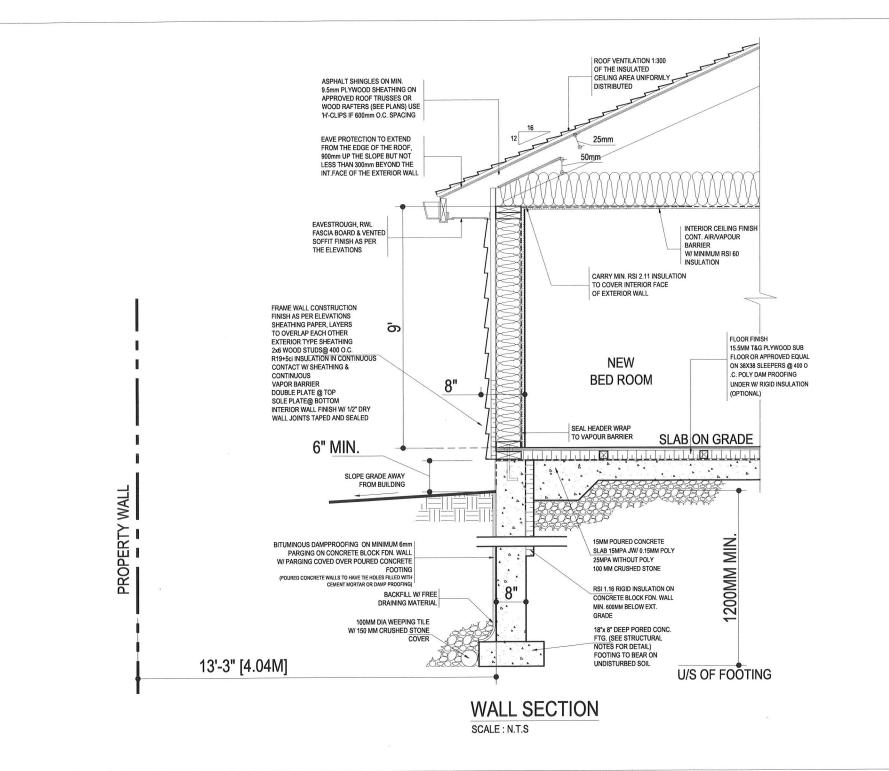
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REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IN EXEMPT UNDER DIV. C - 3,2,4.1. OF THE BURDON
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTIONAL DETAIL

PROJECT NO. 20230322

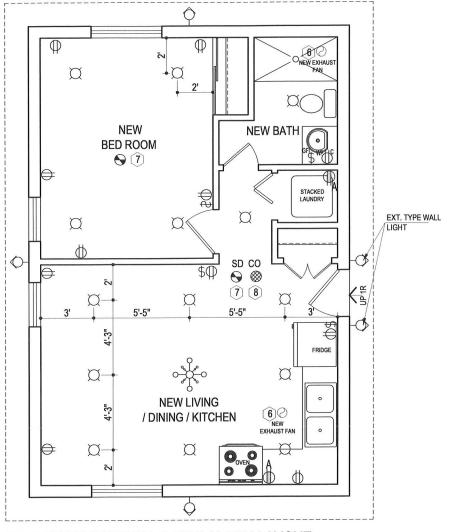
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DATE MODIEI



ELECTRICAL LEGEND

NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT	\$3	CHANDELIER (AS APPROVED)	·\\
THE ENDS OF EACH STAIRWAYS	4	48" LED LINEAR WRAP LIGHT, 30W	
WEATHERPROOF RECEPTACLE		EXHAUST FAN	(5)
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3"ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR	₩P	SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
EXTERIOR USE.		CO: CARBON MONOXIDE DETECTOR	⊗
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE	⊕ GFI	4" RECESSED POT LIGHT	Ø
C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	C WP	PENDANT LIGHT	#
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕A	EXTERIOR TYPE WALL MOUNTED LIGHT	$\vdash \Diamond$

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

NEW ARU UNIT

ELECTRICAL PLAN
PROJECT NO.
20230322

DRAWN M.N. снескер Н.М.

DRAWING NO.

E101

DATE MODIFIED

Zoning Non-compliance Checklist

File		
A	-2024	-0458

Applicant: Haroon Malik Address: 46 Bromley Cres

Zoning: R1B(1), Mature Neighbourhood

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
GARDEN SUITE	To permit a proposed garden suite having a gross floor area of 54.44 sq. m,	whereas the by-law permits a maximum gross floor area of 35 sq. m for a garden suite in all other Residential zones.	10.16.2 (c)
SCHEDULE "C"			
OTHER - DECK			

Shiza Athar	
Reviewed by Zoning	_
2024/12/09	
Date	_