



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0458

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kuldip Singh & Jasvir Kaur Sekhon
Address 46 Bromley Cres., Brampton, ON L6T 1Z1

Phone # 647 - 924 - 7283 **Fax #** _____
Email kuldip.sekhon@icloud.com

2. **Name of Agent** Haroon Malik
Address 14 Torrance Woods, Brampton, ON L6Y 2N3

Phone # 647 - 770 - 3230 **Fax #** _____
Email haroon@wedesignbuild.ca

3. **Nature and extent of relief applied for (variances requested):**
To request the permission to allow a gross floor area of 586 sq. ft./ 51.28 sq.m for the proposed garden suite whereas the maximum permitted area in all residential zones is 376. sq. ft./ 35 sq.m.

4. **Why is it not possible to comply with the provisions of the by-law?**
The property owner possesses a larger lot and he intends to construct a more spacious garden suite featuring two bedrooms, designed to accommodate a small family of up to four individuals. This vision aligns with the objectives of the More Homes, More Choice Act, 2019. Further, the proposed lot coverage including the new garden suit is well below the allowed maximum 30% for this zone.

5. **Legal Description of the subject land:**
Lot Number Lot 123
Plan Number/Concession Number 688
Municipal Address 46 Bromley Cres., Brampton, ON L6T 1Z1

6. **Dimension of subject land (in metric units)**
Frontage 15.28
Depth 36.66
Area 0.056 Ha.

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Two story Single Dwelling Unit
 Ground Floor Gross Floor Area: 708 Sq. ft. / 65.78 Sq. M
 Width: 12.04M length: 9.77 M Height: 9 M (Appx.) Existing to remain

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed Single story Garden suite
 Ground Floor Gross Floor Area: 586 Sq. ft. / 54.44 Sq. M
 Width: 8.0 M length: 6.81 M Height: 4.1 M

- 9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

EXISTING

Front yard setback 11.27 (Set Backs of Principal Dwelling to Remain)
 Rear yard setback 15.27 (Set Backs of Principal Dwelling to Remain)
 Side yard setback 1.89 (Set Backs of Principal Dwelling to Remain)
 Side yard setback 1.26 (Set Backs of Principal Dwelling to Remain)

PROPOSED

Front yard setback 4.77 (Set Back of the New Garden suit to Principal Dwelling)
 Rear yard setback 3.05(Set Back of the New Garden suit from Property Line)
 Side yard setback 2.21 (Set Back of the New Garden suit from Property Line)
 Side yard setback 5.03 (Set Back of the New Garden suit from Property Line)

- 10. **Date of Acquisition of subject land:** Not Known
- 11. **Existing uses of subject property:** Two Dwelling Unit
- 12. **Proposed uses of subject property:** Two Dwelling Unit + Garden Suit
- 13. **Existing uses of abutting properties:** Residential - Detached
- 14. **Date of construction of all buildings & structures on subject land:** 1965
- 15. **Length of time the existing uses of the subject property have been continued:** 59

- 16. (a) **What water supply is existing/proposed?**
 Municipal **Other (specify)** _____
 Well
- (b) **What sewage disposal is/will be provided?**
 Municipal **Other (specify)** _____
 Septic
- (c) **What storm drainage system is existing/proposed?**
 Sewers **Other (specify)** _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 5th DAY OF December, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Haroon Malik, OF THE city _____ OF Brampton _____

IN THE Region _____ OF Peel _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF Brampton _____

IN THE Region _____ OF _____

Peel THIS 13 DAY OF

December, 2024.

A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant or Authorized Agent

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Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED Dec. 13, 2024

Date Application Deemed Complete by the Municipality _____

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 46 Bromley Cres., Brampton, ON L6T 1Z1

I/We, Kuldip Singh & Jasvir Kaur Sekhon
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

waDesignBuild Inc. c/o Haroon Malik
please print/type the full name of the agent(s)

to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.

Dated this 5th day of December, 2024

Kuldip Singh / AND. Jasvire Kaur Sekhon
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 46 Bramley Cres., Brampton, ON L6T 1Z1

I/We, Kuldip Singh & Jasvir Kaur Sekhon
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 51 h day of December, 2024.

Kuldip Singh / AND Jasvir Kaur Sekhon
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

CONSTRUCTION NOTES

- 1 EXTERIOR WALL (VINYL SIDING)
EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)
- 2 INTERIOR WALLS
NEW OR EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- 2A INTERIOR PARTITIONS (PLUMBING & HVAC WALLS)
38X140 (2"x6") STUDS @ 400mm (16") O.C. 2X TOP PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS, 12.7mm (1/2") DRYWALL - 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN CONC. AND WOOD
- 3 NEW CEILING
1/2" REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. JOINTS TAPED AND SEALED AND PAINTED.
- 4 SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON ENGINEERED FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE). CONVENTIONAL FRAMING
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID BLOCKING @ 1200mm (3'-11") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.
- 5 NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)) , 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.
- 6 MECHANICAL VENTILATION
50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP.
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- 7 INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE) ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA INCLUDING BASEMENT - AS PER OBC 9.10.19
- 8 INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19

9

ALL STAIRS/EXTERIOR STAIRS
ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Table 9.8.4.1
Rise for Rectangular Treads, Tapered Treads & Winders and Run for Rectangular Treads
Forming Part of Sentences 9.8.4.1 (1) and 9.8.4.2. (1)

Stair Type	Max. Rise, mm, for All Steps	Min. Rise, mm, for All Steps	Max. Run, mm, for Rect. Treads	Min. Run, mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950	(O.B.C. 9.8.2.)	Min. Width	860

- 10 GUARD/HANDRAIL 9.8.7.4
ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STAIR = 865mm (2'-10")
GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STAIR = 865mm (2'-10")
WOOD / METAL PICKETS < 100mm (4") BETWEEN
NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") & 900mm (2'-11") ABOVE SURFACE WILL FACILITATE CLIMBING.

- 11 EXHAUST & VENTS:
PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.
- 12 CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS.
PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.
- ROOF CONSTRUCTION
- 13 SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., CW "H" CLIPS ROOF FRAMING AS PER PLAN. FINISH & SLOPE TO MATCH WITH EXISTING.
- 14 PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- 15 PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- 16 MAINTAIN VENTILATION AS PER 9.19.1. OBC
WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M² IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 1/2"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSULATION.
- 17 ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- 18 PRE-FINISHED VINYL SOFFIT
- 19 38X140 (2"x6") WOOD FASCIA, ALUMINUM CLAD.
- 20 PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- 21 PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- 22 REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- 23 CERAMIC TILE WALLS, AND CEILING IN SHOWER CW PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(g) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- 24 CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- 25 PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 26 500X150 (20"x6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO BE 75 KPa
- 27 PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- 28 PRE-CAST CONCRETE SILL.
- 29 ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- 30 PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
MIN. 32 MPa 150mm (6") Poured concrete slab, 150X150 (9"x9") W.W.M. REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- 31 MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- 32 EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- 33 WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING 3/8" BEYOND EXTERIOR WALL.
- 34
- 35

- 36 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- 37 SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* - AS PER OBC 9.9.12
- 38 EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

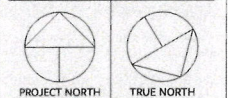
- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

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THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION, IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES OR IF A QUESTION ARISES OVER THE INTEREST OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DRAWINGS

QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 19.01 OF THE BUILDING CODE

Haroon Malik	102742
Name	R604

REGISTRATION INFORMATION
REGISTERED UNDER SECTION 19.01 OF THE BUILDING CODE

weDesignBuild Inc.	111001
Firm Name	R604



weDesignBuild Inc.
MAKE IDEAS HAPPEN

705 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE
GENERAL NOTES

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A100

DATE MODIFIED
DECEMBER 04, 2024

SCHEDULES

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
NEW ARU											
1	LIVING/DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	
2	BEDROOMS (2 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	
3	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	

DOORS AND WINDOWS SCHEDULE

NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
DOORS						
D1	2'-8" X 6'-8"	0'-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8" X 6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-6" X 6'-8"	0'-0"	02	WOODEN DOOR	NEW BED ROOMS	
D4	2'-0" X 6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
WINDOWS						
W1	4'-0" X 4'-0"	2'-10"	04	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOMS	AS PER MANUFACTURER SPECS & STANDARDS

DOOR SCHEDULE NOTES

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS.
- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

- ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN
- ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3" ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	
EXHAUST FAN	
FD: FLOOR DRAIN	
SPRINKLER	
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	
CO: CARBON MONOXIDE DETECTOR	
LIGHT	
EMERGENCY LIGHT	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	

WALL LEGEND

<p>EXTERIOR WALL WITH VINYL SIDING</p> <p>FRAME WALL CONSTRUCTION FINISH AS PER ELEVATIONS SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING 2x4 WOOD STUDS @ 400 O.C. R19+SGI INSULATION IN CONTINUOUS CONTACT W/ SHEATHING & CONTINUOUS VAPOR BARRIER DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM INTERIOR WALL FINISH W/ 1/2" DRY WALL JOINTS TAPED AND SEALED</p>	<p>INTERIOR DRY WALL PARTITION</p> <p>1 1/2" GYPSUM BOARD EACH SIDE OF 2"x4" OR 2"x6" SPRUCE STUDS @ 16" O.C.</p> <p>NOTE: PLEASE REFER WALL SECTION FOR DETAILS. ALL INTERIOR WALLS TO BE "M" CONSTRUCTION, UNLESS OTHERWISE NOTED.</p>
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THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV DATE DESCRIPTION

PROJECT NORTH TRUE NORTH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 14.1 OF THE BUILDING CODE

Haroon Malik 102742
Name

REGISTRATION INFORMATION
REQUIRED UNDER SECTION 14.2 OF THE BUILDING CODE

weDesignBuild Inc. 111001
Firm Name

weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 9230 info@weDesignBuild.ca

www.weDesignBuild.ca

PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS

46 BROMLEY CRES. BRAMPTON

DRAWING TITLE

LEGENDS & DOOR WINDOW SCHEDULES

PROJECT NO.

20230322

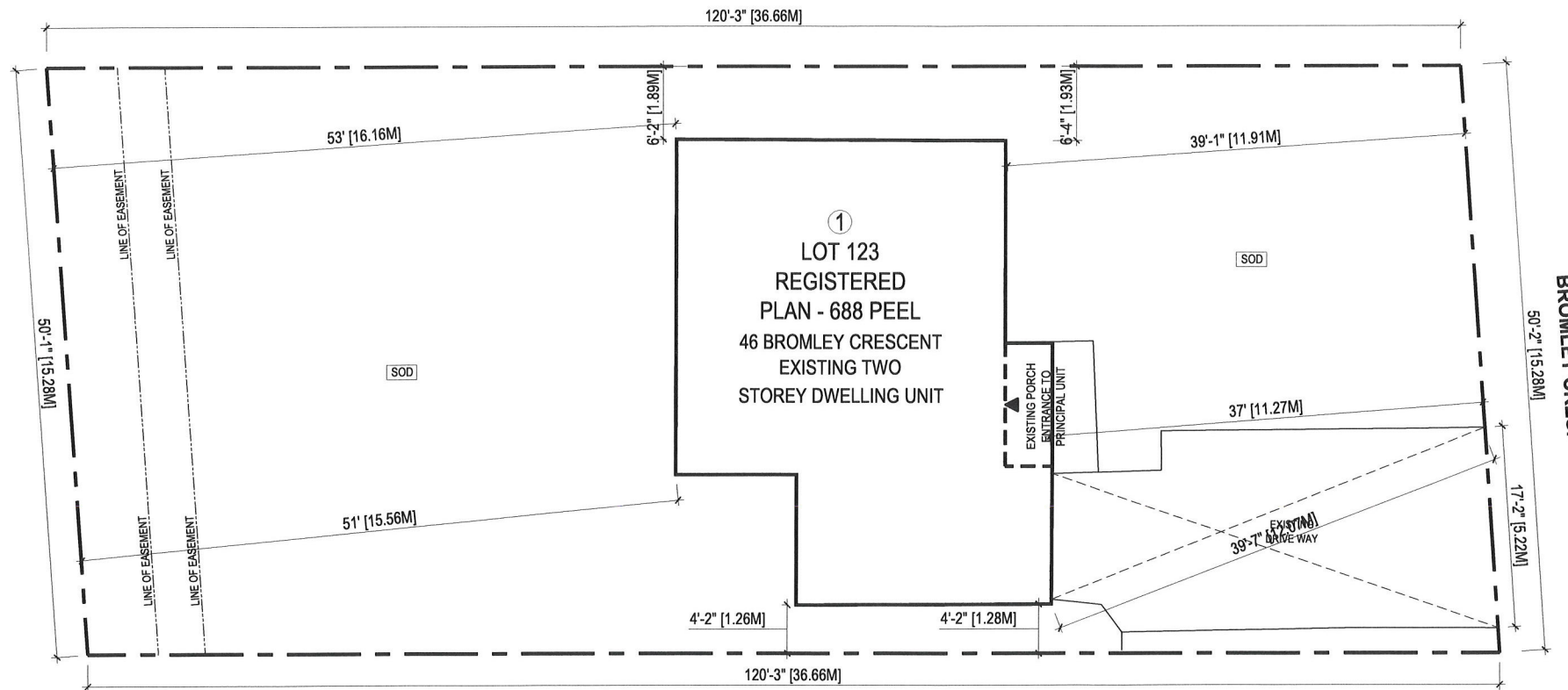
DRAWN M.N. CHECKED H.M.

DRAWING NO.

A101

DATE MODIFIED

DECEMBER 04, 2024



EXISTING SITE PLAN

SCALE : $\frac{3}{32}$ " = 1'-0"

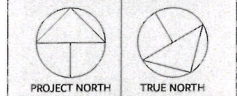
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION

REGISTERED ARCHITECT IN ONTARIO (PROFESSIONAL C. 2242 OF THE BUILDING CODE)

Heron Mark: **weDesignBuild Inc.** 302742
 Name: **weDesignBuild Inc.**
 REGISTRATION INFORMATION
 REGISTERED ARCHITECT IN ONTARIO (PROFESSIONAL C. 2242 OF THE BUILDING CODE)
weDesignBuild Inc. 111001
 Firm Name: **weDesignBuild Inc.**

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

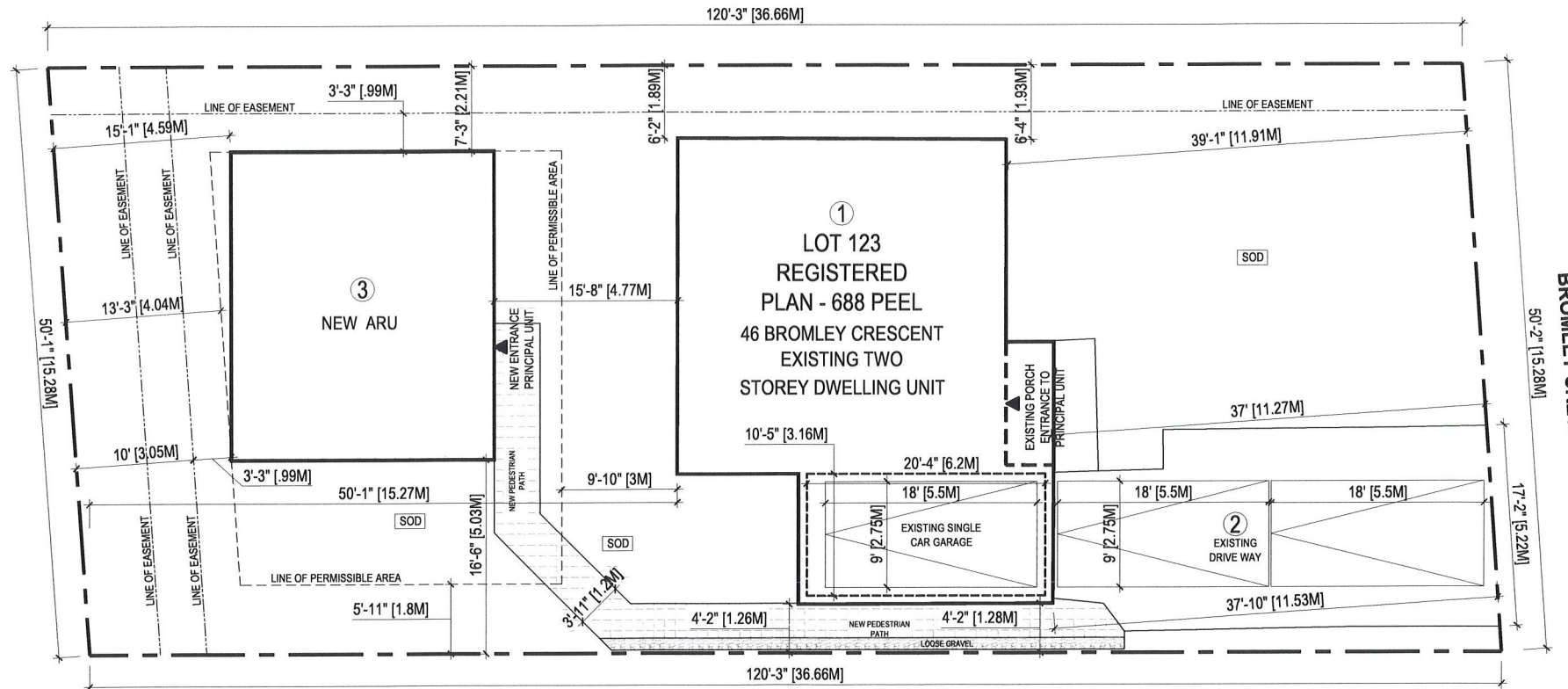
DRAWING TITLE
EXISTING SITE PLAN

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A102

DATE MODIFIED
 DECEMBER 04, 2024



NEW SITE PLAN

SCALE: $\frac{3}{32}'' = 1'-0''$

SCOPE OF WORK

NEW A.R.U. UNIT IN THE REAR YARD

LOT STATISTICS

ZONING: R1B (1)
 LOT NO: 123
 PLAN NO: 688
 LOT AREA: 558.81 M²
 LOT FRONTAGE: 50'-2" = 15.28 M
 LOT DEPTH: 120'-3" = 36.66 M

- ① EXISTING TWO STOREY DWELLING TO REMAIN
- ② EXISTING DRIVEWAY
- ③ NEW ARU
- ▲ ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

LOT AREA	= 6015 SFT / 558.81 M ²
EXISTING BUILDING LOT COVERAGE AREA	= 1084 SFT / 100.70 M ²
NEW A.R.U. COVERED AREA	= 586 SFT / 54.44 M ²
NEW LOT COVERAGE AREA (INCLUDING NEW ARU)	= 1670 SFT / 155.14 M ²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 27.76 %

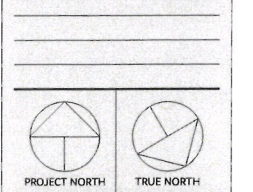
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QUALIFICATION INFORMATION

Haroon Malik 302742
 Reg. No. 331001
 WeDesignBuild Inc. 331001
 Reg. No. 3081

REGISTRATION INFORMATION

REGULATED UNDER THE PROFESSIONAL DESIGNERS ACT, 2007 OF THE PROVINCE OF ONTARIO

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE
NEW SITE PLAN

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A103

DATE MODIFIED
 DECEMBER 04, 2024

FW-1: FOUNDATION WALLS
22"x6" CONCRETE FOOTING &
10" TH. POURED OR BLOCK CONCRETE FOUND

20 MPa CONC. UNLESS OTHERWISE NOTED
100 KPa BEARING CAPACITY ASSUMED
MINIMUM 4'-0" BELOW GRADE

WOOD FLOOR JOISTS
FJ-1: 2X8 SPF @ 16" O.C.

CEILING JOISTS
CJ-1: 2X6 SPF @ 16" O.C.

WOOD ROOF RAFTERS
RR-1: 2X6 SPF @ 16 O.C.

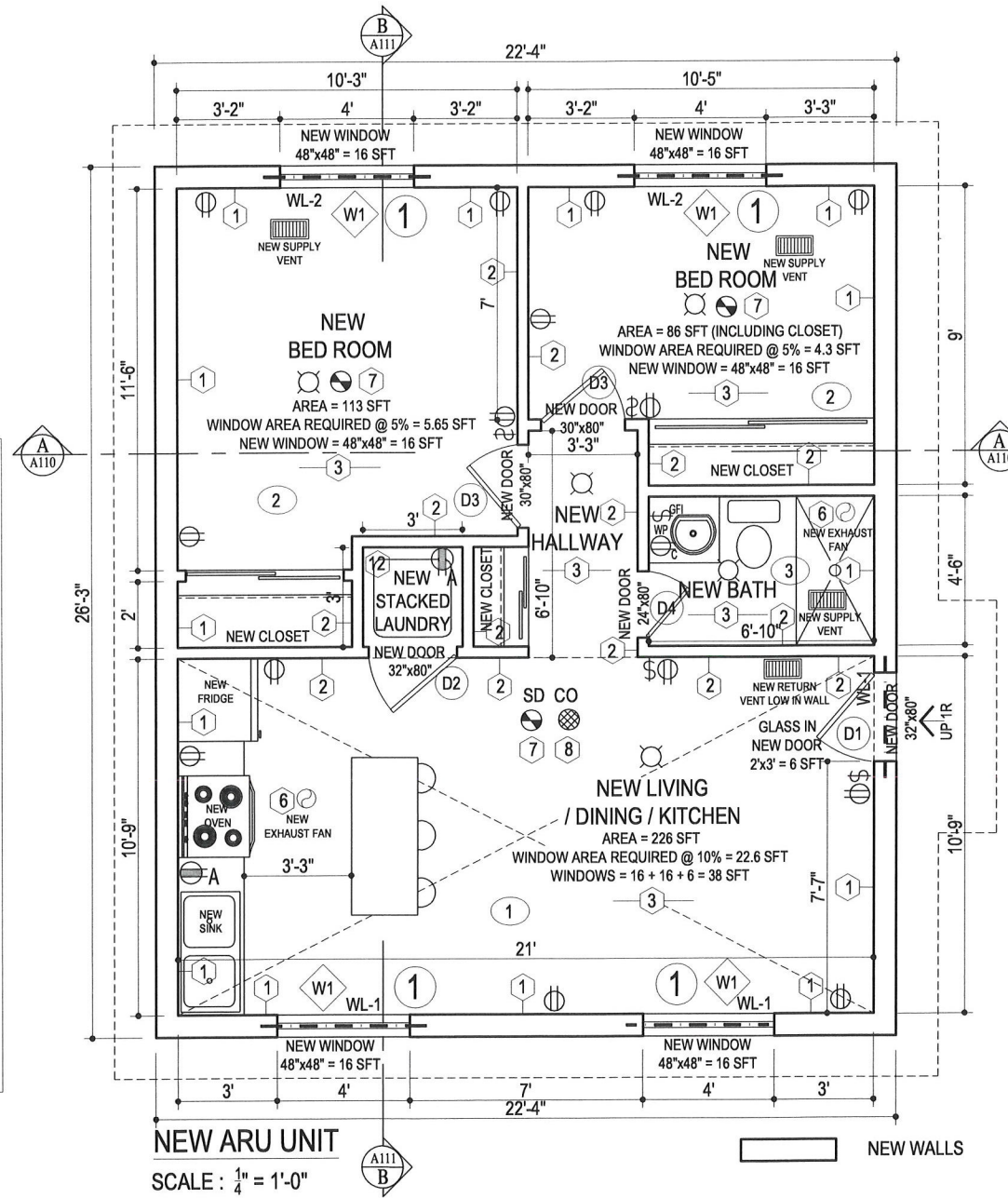
WOOD ROOF JOISTS
RF-1: 2X8" SPF @ 16 O.C.

STEEL LINTELS
SL-1 : 31/2"x31/2"x1/4" ANGLE STEEL LINTEL
SL-2 : 31/2"x5" X3/8" ANGLE STEEL LINTEL

STEEL LINTELS WILL BE PROVIDED ONLY IF THERE IS STONE
OR MASONRY ABOVE THE OPENING WHICH THE LINTEL IS
SUPPORTING - MIN. 8" BEARING FOR STEEL LINTELS.

WOOD LINTELS
WL-1 : 3-2X8 SPF NO.1 OR NO.2 OR 2- 1 3/4"x7 1/2" LSL 1.33 E
WL-2 : 3-2X10 SPF NO.1 OR NO.2 OR 2- 1 3/4"x9 1/2" LSL 1.33 E

ALL WOOD LINTELS TO BE SUPPORTED
BY TRIPLE STUDS AT THE ENDS UNLESS
OTHERWISE SHOWN ON THE DRAWINGS



NEW ARU UNIT

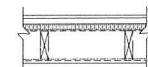
SCALE : 1/4" = 1'-0"

NEW COVERED AREA = 586 SFT. / 54.44 M²

CEILING HEIGHT = 8'-0"

EXTERIOR WALL WITH VINYL SIDING

FRAME WALL CONSTRUCTION
FINISH AS PER ELEVATIONS
SHEATHING PAPER, LAYERS
TO OVERLAP EACH OTHER
EXTERIOR TYPE SHEATHING
2x6 WOOD STUDS @ 400 O.C.
R19+5ci INSULATION IN CONTINUOUS CONTACT W/
SHEATHING & CONTINUOUS
VAPOUR BARRIER
DOUBLE PLATE @ TOP
SOLE PLATE @ BOTTOM
INTERIOR WALL FINISH W/ 1/2" DRY WALL JOINTS TAPED AND SEALED



INTERIOR DRY WALL PARTITION

1 1/2" GYPSUM BOARD
EACH SIDE OF 2"x4" OR 2"x6" SPRUCE STUDS @ 16" O.C.



NOTE:
ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS
OTHERWISE NOTED.

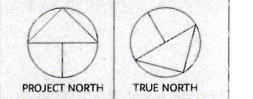
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REV	DATE	DESCRIPTION
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QUALIFICATION INFORMATION

REGISTERED UNDER REGIONS OF ONTARIO UNDER O.C. 226.1 OF THE BUILDING CODE

Harrison Mall: 102742
Name: 7024
REGISTRATION INFORMATION
REGISTERED UNDER REGIONS OF ONTARIO UNDER O.C. 226.1 OF THE BUILDING CODE
weDesignBuild Inc. 111003
Prof Name: 8028

weDesignBuild Inc.
MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE
NEW ARU UNIT

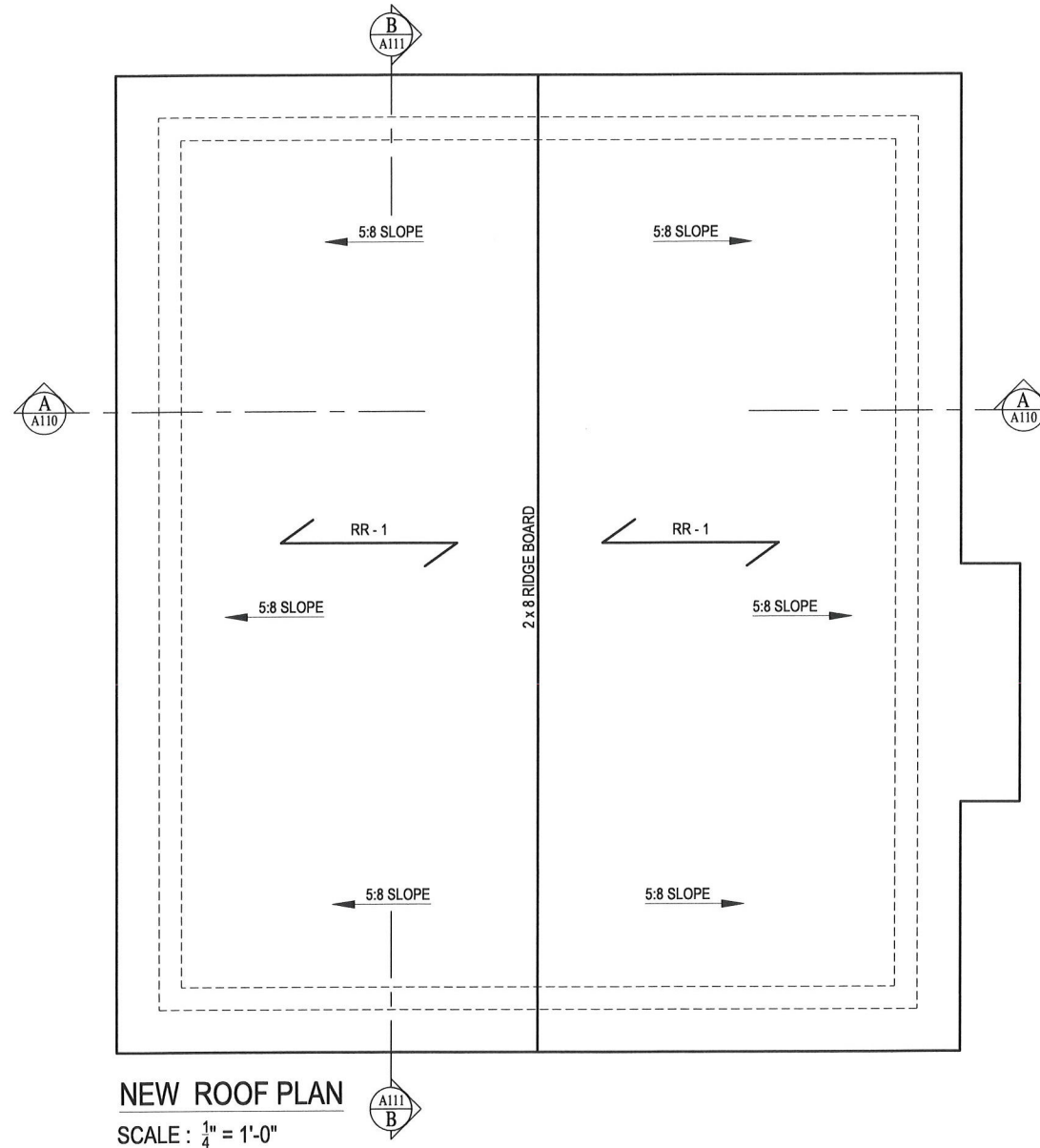
PROJECT NO.
20230322

DRAWN
M.N.

CHECKED
H.M.

DRAWING NO.
A104

DATE MODIFIED
DECEMBER 04, 2024



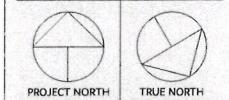
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 19 OF THE ONTARIO BUILDING CODE (O.B.C.) - 1995 OF THE BUILDING CODE
Marcos Malli
302243
1241
REGISTRATION INFORMATION
REQUIRED UNDER SECTION 19 OF THE ONTARIO BUILDING CODE (O.B.C.) - 1995 OF THE BUILDING CODE
weDesignBuild Inc.
111001
5011



weDesignBuild Inc.
MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

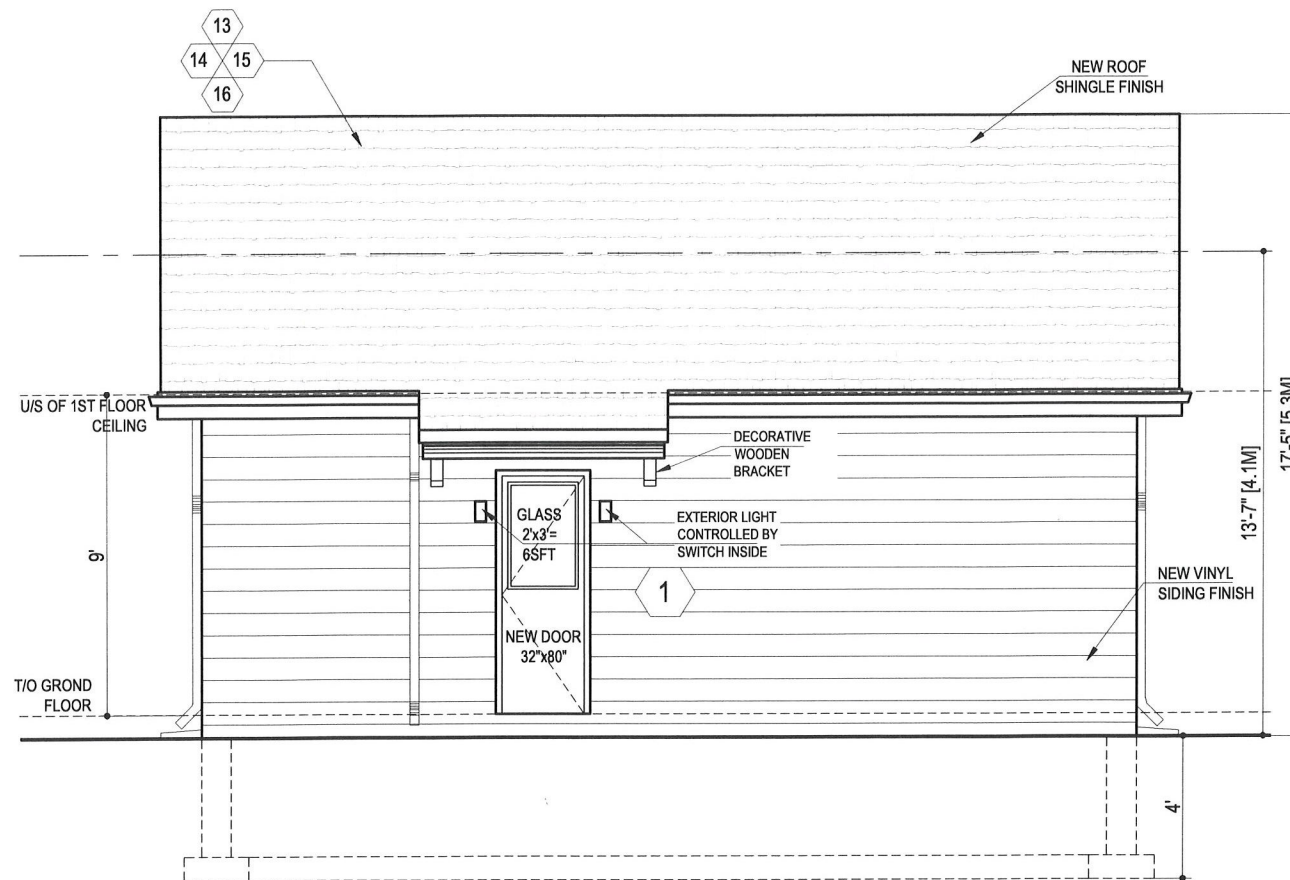
PROJECT TITLE
NEW ARJ / GARDEN SUITE
PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON
DRAWING TITLE
NEW ROOF PLAN

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A105

DATE MODIFIED
DECEMBER 04, 2024



NEW / FRONT ELEVATION

SCALE : $\frac{1}{4}'' = 1'-0''$

GLAZED OPENINGS:

WALL AREA: 253 SFT / 23.50 M²

LIMITING DISTANCE = 25.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.34%)

WINDOW AREA ALLOWED: 100%

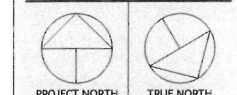
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REGISTERED UNDER CODES BY ONTARIO BUILDING CODE C-33.3 OF THE BUILDING CODE
 Haroon Malik
 3027A2
 2018

REGISTRATION INFORMATION
 REGISTERED UNDER CODES BY ONTARIO BUILDING CODE C-33.3 OF THE BUILDING CODE
 weDesignBuild Inc.
 111001
 2018

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARJ / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

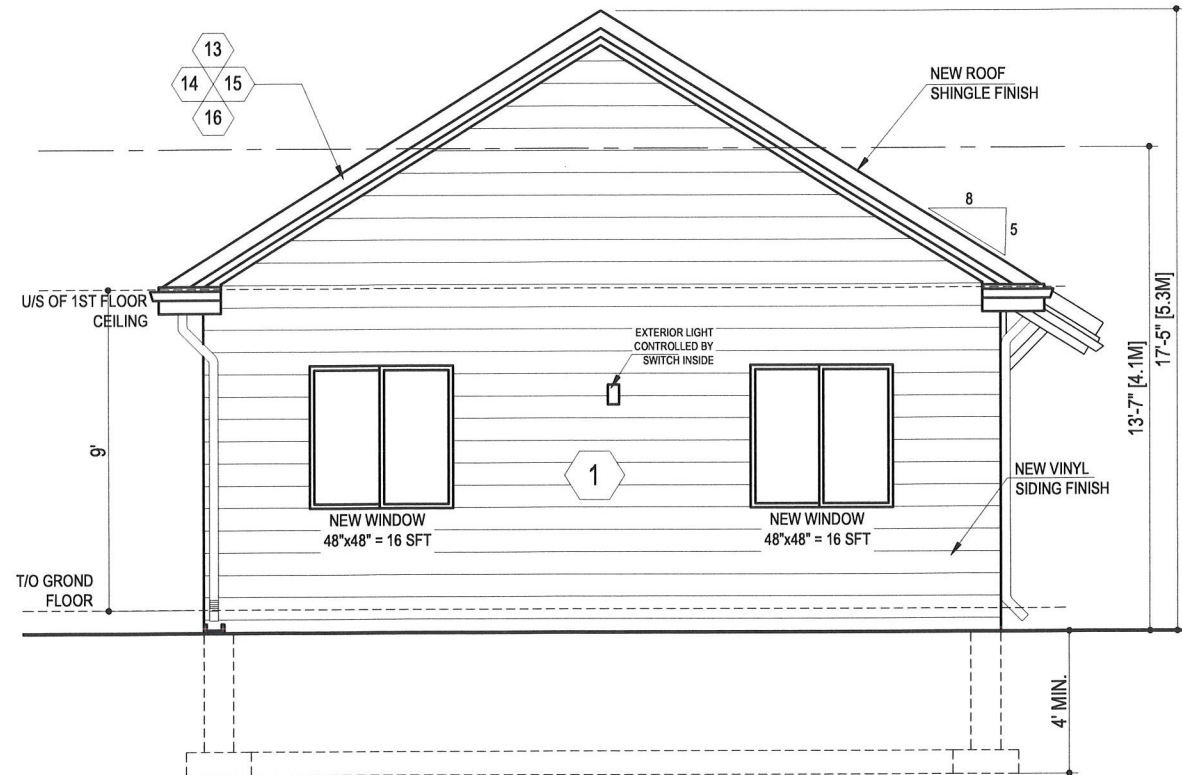
DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A106

DATE MODIFIED
 DECEMBER 04, 2024



NEW / LEFT SIDE ELEVATION

SCALE : $\frac{1}{4}$ " = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M²

LIMITING DISTANCE = 5.05 M

WINDOW AREA PROVIDED: 16+ 16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 67%

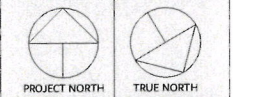
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QUALIFICATION INFORMATION

REQUIRED UNDER SECTION 1.10.01(1) OF THE ONTARIO BUILDING CODE (O.B.C.) 1997

Haroon Malik	102742
NAME	102742
REGISTRATION INFORMATION	
weDesignBuild Inc.	110001
Firm Name	110001



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

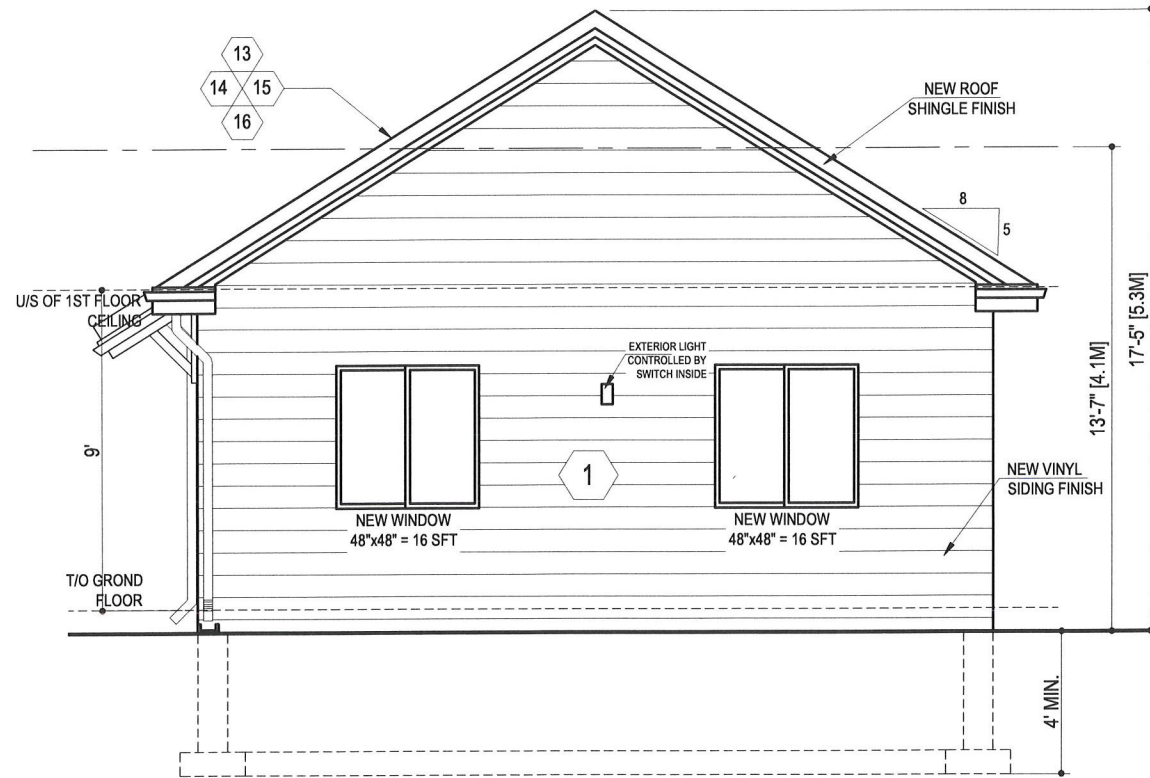
DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A107

DATE MODIFIED
DECEMBER 04, 2024



NEW / RIGHT SIDE ELEVATION

SCALE : $\frac{1}{4}'' = 1'-0''$

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M²

LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16+16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 17%

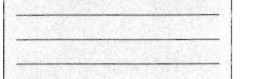
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QUALIFICATION INFORMATION
 REQUIRED UNDER REGINA BY-LAW 1000, C. 333.1 OF THE BUILDING CODE
 Haroon Mulla 302742
 3228
REGISTRATION INFORMATION
 REQUIRED UNDER REGINA BY-LAW 1000, C. 333.1 OF THE BUILDING CODE
 weDesignBuild Inc. 331001
 P. N. Name BCR



weDesignBuild Inc.
 MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARJ / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

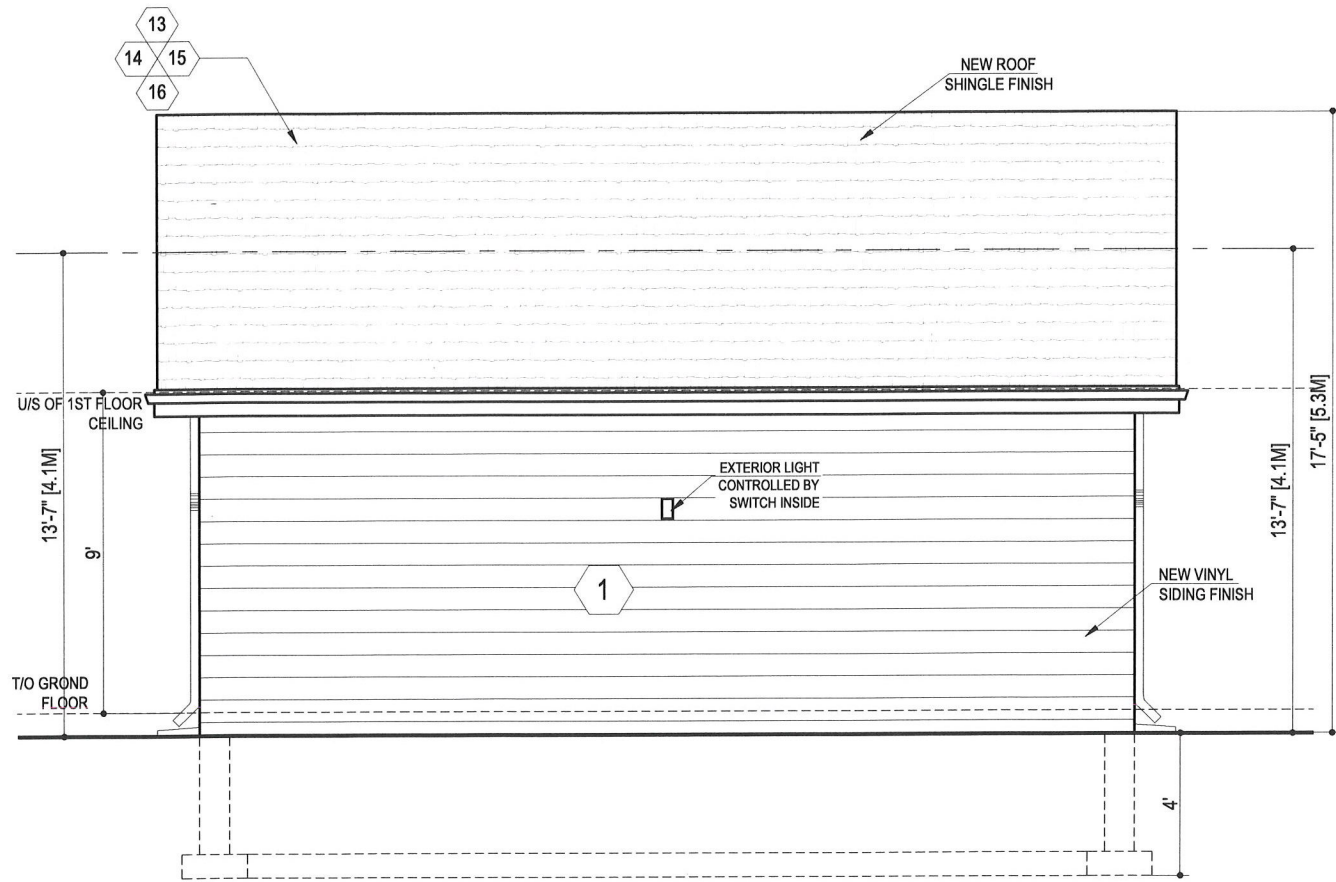
DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A108

DATE MODIFIED
 DECEMBER 04, 2024



NEW / REAR ELEVATION

SCALE : $\frac{1}{4}'' = 1'-0''$

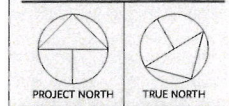
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 3.2.1. OF THE BUILDING CODE
 Harmon Mills 302742
 Name
 REGISTRATION INFORMATION
 REG. UNDER SECTION 3.2.1. OF THE BUILDING CODE
 weDesignBuild Inc. 111801
 Firm Name RCH

weDesignBuild Inc.
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 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

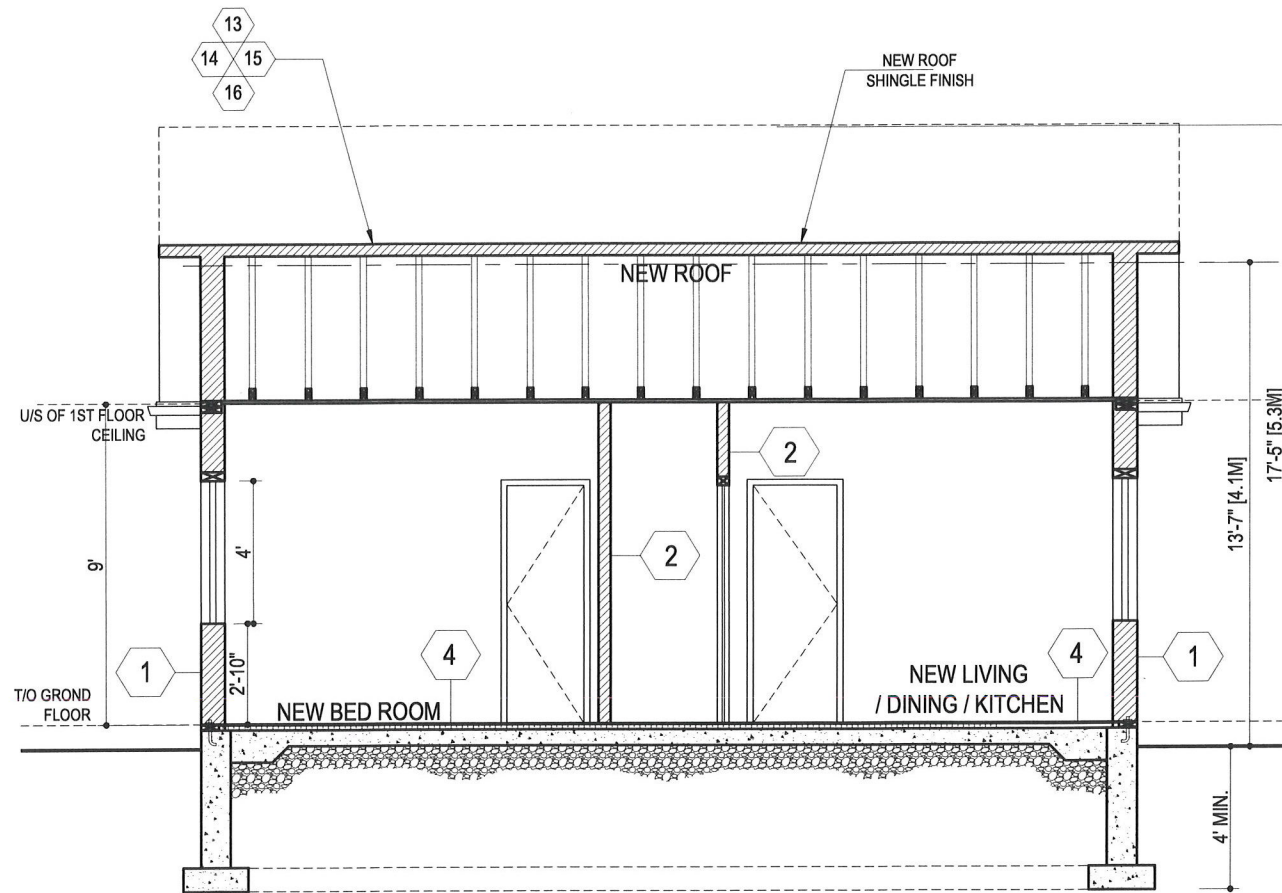
DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A109

DATE MODIFIED
 DECEMBER 04, 2024



SECTION "B-B"

SCALE : $\frac{1}{4}'' = 1'-0''$

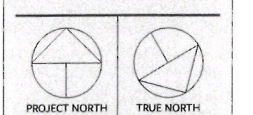
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE
 Name: **Marlene MacNeil** REG. NO. **102742** B.O.C.
 REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE
 Name: **weDesignBuild Inc.** REG. NO. **11000** B.O.C.

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PROJECT TITLE
 NEW ARU / GARDEN SUITE

PROJECT ADDRESS
 46 BROMLEY CRES.
 BRAMPTON

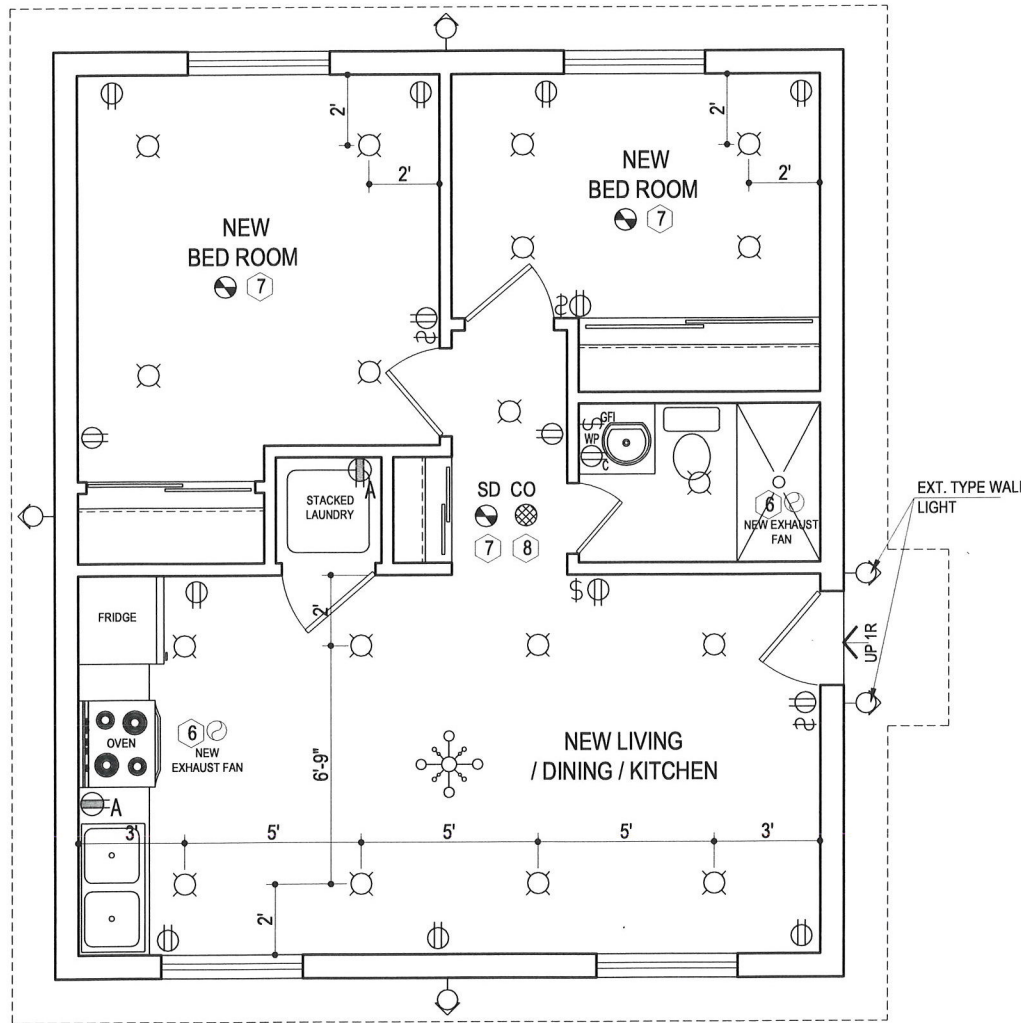
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 SECTION B"-B"

PROJECT NO.
 20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A111

DATE MODIFIED
 DECEMBER 04, 2024



ELECTRICAL LEGEND

NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3" ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	3 4	CHANDELIER (AS APPROVED)	
WEATHERPROOF RECEPTACLE 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3" ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR EXTERIOR USE.	WP	48" LED LINEAR WRAP LIGHT, 30W	
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	GFI WP	EXHAUST FAN	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	A	SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	
		CO: CARBON MONOXIDE DETECTOR	
		4" RECESSED POT LIGHT	
		PENDANT LIGHT	
		EXTERIOR TYPE WALL MOUNTED LIGHT	

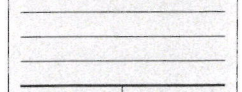
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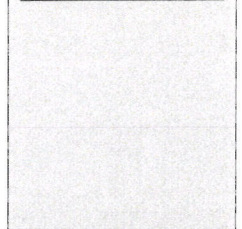
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QUALIFICATION INFORMATION
 REG. NO. 11301
 Name: Hanson Mallik
 Title: 102742
 REGISTRATION INFORMATION
 REG. NO. 11301
 Name: weDesignBuild Inc.
 Title: 11301



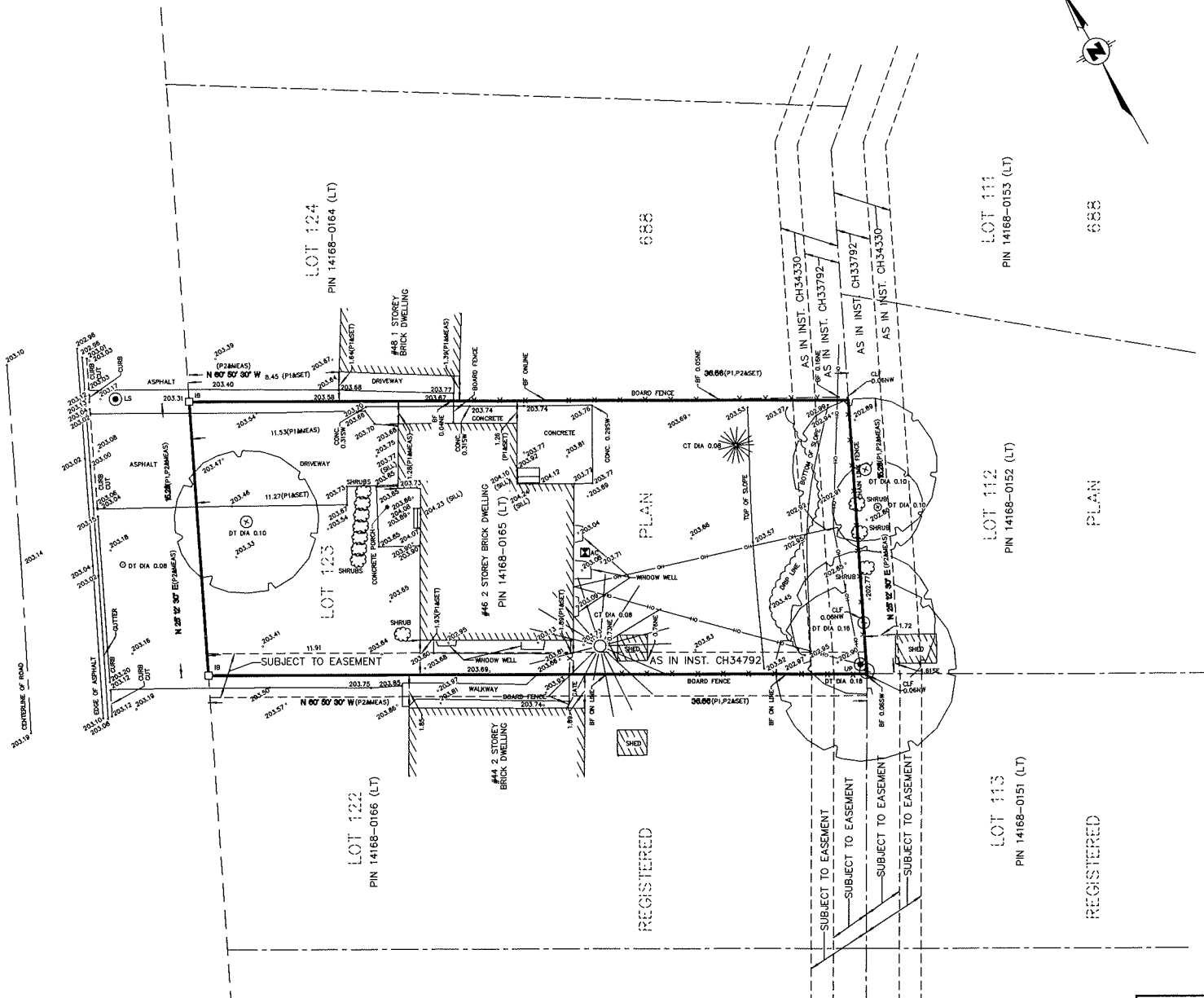
weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE
 PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON
 DRAWING TITLE
NEW ARU UNIT ELECTRICAL PLAN
 PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
E101
 DATE MODIFIED
 DECEMBER 04, 2024

BROMLEY CRESCENT
(BT REGISTERED PLAN 688)
PIN 14168-0449 (LT)



SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF SURVEY OF
ALL OF **LOT 123**
REGISTERED PLAN No. 688
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



THE INTENDED PLOT SIZE OF THIS PLAN IS 505mm IN WIDTH BY 356mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200

© COPYRIGHT 2024, AK&M SURVEYING LTD.

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- 1) BEARINGS ARE ASTRONOMIC, AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF BROMLEY CRESCENT HAVING A BEARING OF N251°2'30"E AS SHOWN ON P2
- 2) TIES ARE TAKEN TO FOUNDATION UNLESS OTHERWISE NOTED.

PART 2: SURVEY REPORT

- DESCRIPTION OF LAND:
LOT 123, REGISTERED PLAN 688
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
PROPERTY IS SUBJECT TO AN EASEMENT AS IN INSTRUMENT NUMBERS CH33792 AND CH34330
- BOUNDARY FEATURES
FENCES AND OVERHEAD HYDRO WIRE AND THEIR RELATIONSHIP TO THE PROPERTY LIMITS ARE SHOWN ON THE FACE OF THE PLAN
- COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
PLAN DOES NOT CERTIFY ZONING COMPLIANCE

BENCHMARK NOTE

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM THE CITY OF BRAMPTON BENCHMARK NO.042100306 HAVING A PUBLISHED ELEVATION OF 184.414 METRES (ON-78).

LEGEND

CALC	DENOTES CALCULATED
MEAS	DENOTES MEASURED
WT	DENOTES WITNESS
IB	DENOTES IRON BAR
PROD	DENOTES PRODUCTION
P1	DENOTES PLAN OF SURVEY BY J. MCSKIMMING, O.L.S., DATED: JUNE 10 TH , 1985
P2	DENOTES REGISTERED PLAN 688
BF	DENOTES BOARD FENCE
CB	DENOTES CATCH BASIN
CLF	DENOTES CHAIN LINK FENCE
CONC	DENOTES CONCRETE
CT	DENOTES CONIFEROUS TREE
DT	DENOTES DECIDUOUS TREE
OH	DENOTES OVERHEAD HYDRO
UP	DENOTES UTILITY POLE

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2) THE SURVEY WAS COMPLETED ON 22ND DAY OF NOVEMBER, 2024

NOVEMBER 26TH, 2024
DATE

K. Athithan
ATHITHAN KANAGANAYAGAM
ONTARIO LAND SURVEYOR

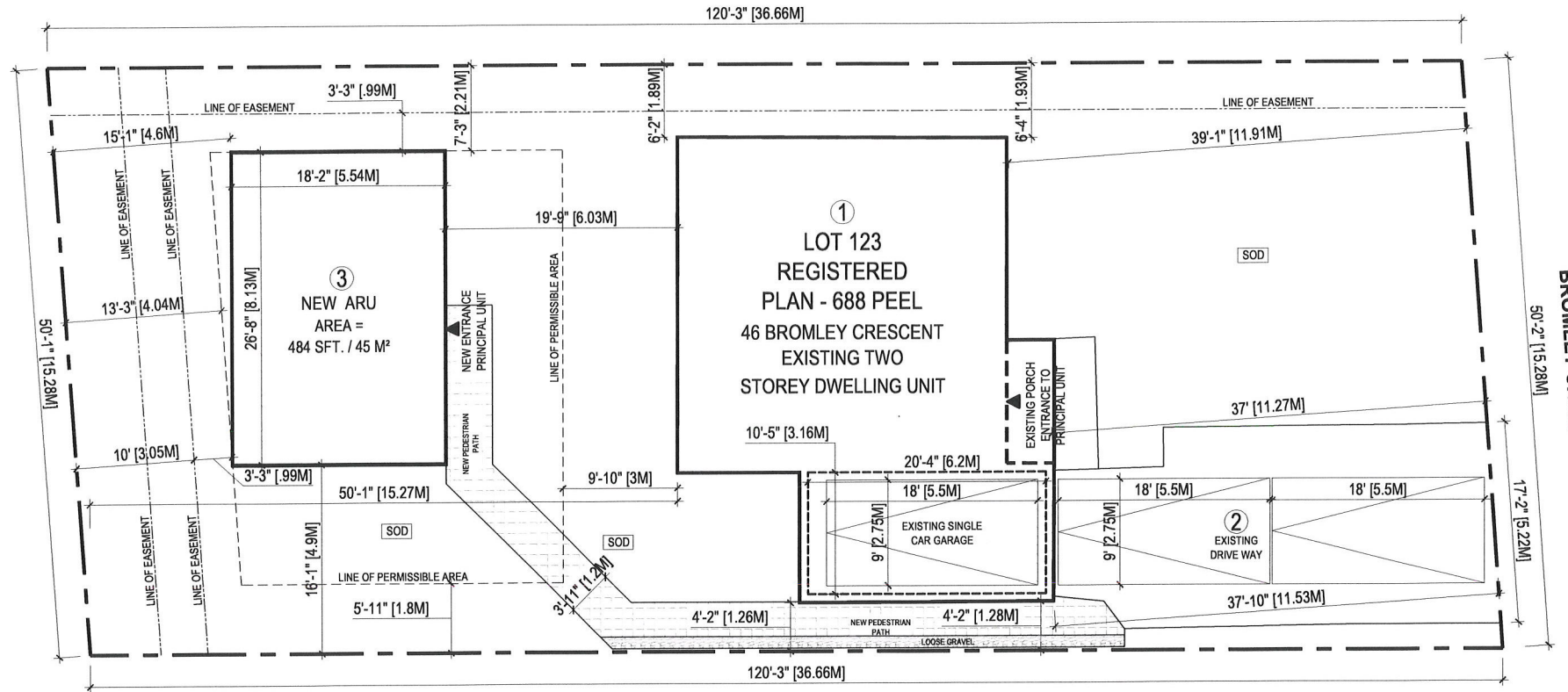
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-89006

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
In accordance with Regulation 1028, Section 24(3)

15 Great Plains Street
Brampton, Ontario
L6R-1Z5
Phone: (647) 914-3361
www.akmsurvey.com
Email: info@akmsurvey.com

AKM
AK&M SURVEYING LTD.

DATE: November 28, 2024 CHECKED BY: AK DRAWN BY: XX PROJECT No.: 202X-XX
FILE LOCATION: C:\Shared drives\AK&M Survey Ltd. Job Folder\Brampton\2024-168\Drawings\SRPRT-2024-168-SRPRT.dwg



NEW SITE PLAN

SCALE: $\frac{3}{32}'' = 1'-0''$

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

LOT STATISTICS

ZONING: R1B (1)
 LOT NO: 123
 PLAN NO: 688
 LOT AREA: 558.81 M²
 LOT FRONTAGE: 50'-2" = 15.28 M
 LOT DEPTH: 120'-3" = 36.66 M

- ① EXISTING TWO STOREY DWELLING TO REMAIN
- ② EXISTING DRIVEWAY
- ③ NEW ARU
- ▲ ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

LOT AREA	= 6015 SFT / 558.81 M ²
EXISTING BUILDING LOT COVERAGE AREA	= 1084 SFT / 100.70 M ²
NEW A.R.U COVERED AREA	= 484 SFT / 45.00 M ²
NEW LOT COVERAGE AREA (INCLUDING NEW ARU)	= 1568 SFT / 145.70 M ²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 26.07 %

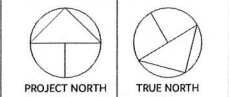
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 10.01(1) OF THE ONTARIO BUILDING CODE
 Haroon Malik 102742
 RCM

REGISTRATION INFORMATION
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 weDesignBuild Inc. 111091
 Firm Name RCM



weDesignBuild Inc.

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 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 Info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE
NEW SITE PLAN

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A103

DATE MODIFIED
 FEBRUARY 08, 2024

CONSTRUCTION NOTES

- ① EXTERIOR WALL (VINYL SIDING)
EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)
- ② INTERIOR WALLS
NEW OR EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- ②A INTERIOR PARTITIONS (PLUMBING & HVAC WALLS)
38X140 (2"x6") STUDS @ 400mm (16") O.C. 2X TOP PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS, 12.7mm (1/2") DRYWALL - 2 SIDES TAPED AND SANDED. 6ML POLY SEPARATION BETWEEN CONC. AND WOOD
- ③ NEW CEILING
1/2" REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. JOINTS TAPED AND SEALED AND PAINTED.
- ④ SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON ENGINEERED FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE). CONVENTIONAL FRAMING
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID BLOCKING @ 1200mm (3'-11 ") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.
- ⑤ NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)) , 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.
- ⑥ MECHANICAL VENTILATION
50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP. 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE) ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA INCLUDING BASEMENT - AS PER OBC 9.10.19
- ⑧ INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19

9 ALL STAIRS/EXTERIOR STAIRS
ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Table 9.8.4.1
Rise for Rectangular Treads, Tapered Treads & Winders and Run for Rectangular Treads
Forming Part of Sentences 9.8.4.1 (1) and 9.8.4.2. (1)

Stair Type	Max. Rise,mm, for All Steps	Min. Rise,mm, for All Steps	Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950	(O.B.C. 9.8.2.)	Min. Width	860

- ⑩ GUARD/HANDRAIL 9.8.7.4
ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STAIR = 865mm (2'-10")
GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STAIR = 865mm (2'-10")
WOOD / METAL PICKETS < 100mm (4") BETWEEN
NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") & 900mm (2'-11 ") ABOVE SURFACE WILL FACILITATE CLIMBING.

- ⑪ EXHAUST & VENTS:
PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.
- ⑫ CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS.
PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.
- ROOF CONSTRUCTION
- ⑬ SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN. FINISH & SLOPE TO MATCH WITH EXISTING.
- ⑭ PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- ⑮ PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- ⑯ MAINTAIN VENTILATION AS PER 9.19.1. OBC
- ⑰ WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M² IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 1/2"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSULATION.
- ⑱ ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- ⑲ PRE-FINISHED VINYL SOFFIT
- ⑳ 38X140 (2"x6") WOOD FASCIA, ALUMINUM CLAD.
- ㉑ PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- ㉒ PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- ㉓ REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- ㉔ CERAMIC TILE WALLS, AND CEILING IN SHOWER C/W PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(g) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- ㉕ CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- ㉖ PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- ㉗ 500X150 (20"x6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO BE 75 KPa
- ㉘ PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- ㉙ PRE-CAST CONCRETE SILL.
- ㉚ ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- ㉛ PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB, 150X150 (9"X9") W.W.M. REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- ㉜ MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- ㉝ EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- ㉞ WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING 3/8" BEYOND EXTERIOR WALL.

- ③⑥ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- ③⑦ SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, "EMERGENCY LIGHTING EQUIPMENT" - AS PER OBC 9.9.12
- ③⑧ EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

GENERAL NOTES:
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WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES OR NOTES CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



PROJECT NORTH TRUE NORTH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 2.5.0.1. (1) OF THE BUILDING CODE
Heron Mark 302742
Name Role

REGISTRATION INFORMATION
REQUIRED UNDER SECTION 2.5.0.1. (1) OF THE BUILDING CODE
weDesignBuild Inc. 111005
P. No. Role



weDesignBuild Inc.
MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 Info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
GENERAL NOTES

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A100

DATE MODIFIED
FEBRUARY 08, 2024

SCHEDULES

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
NEW ARU											
①	LIVING/DINING/KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	
②	BEDROOMS (1 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	
③	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	

DOORS AND WINDOWS SCHEDULE

NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
DOORS						
D1	2'-8" X 6'-8"	0'-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8" X 6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-8" X 6'-8"	0'-0"	01	WOODEN DOOR	NEW BED ROOM	
D4	2'-0" X 6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
D5	2'-9" X 6'-8"	0'-0"	01	WOODEN DOOR	CLOSET	
WINDOWS						
W1	4'-0" X 4'-0"	2'-10"	02	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOM	AS PER MANUFACTURER SPECS & STANDARDS
W2	4'-0" X 4'-0"	2'-10"	02	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOM	AS PER MANUFACTURER SPECS & STANDARDS

DOOR SCHEDULE NOTES

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS.
- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES












WINDOW SCHEDULE NOTES

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN



ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3" ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	
EXHAUST FAN	
FD: FLOOR DRAIN	
SPRINKLER	
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	
CO: CARBON MONOXIDE DETECTOR	
LIGHT	
EMERGENCY LIGHT	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	

WALL LEGEND

<p>EXTERIOR WALL WITH VINYL SIDING</p>  <p>FRAME WALL CONSTRUCTION FINISH AS PER ELEVATIONS SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING 2x6 WOOD STUDS @ 400 C.C. R19-50i INSULATION IN CONTINUOUS CONTACT W/ SHEATHING & CONTINUOUS VAPOR BARRIER DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM INTERIOR WALL FINISH W/ 1/2" DRY WALL JOINTS TAPED AND SEALED</p>	<p>INTERIOR DRY WALL PARTITION</p>  <p>1 1/2" GYPSUM BOARD EACH SIDE OF 2"x4" OR 2"x6" SPRUCE STUDS @ 16" O.C.</p> <p>NOTE: PLEASE REFER WALL SECTION FOR DETAILS. ALL INTERIOR WALLS TO BE "N1" CONSTRUCTION, UNLESS OTHERWISE NOTED.</p>
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GENERAL NOTES:

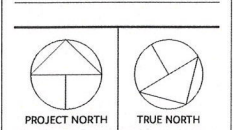
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REV DATE DESCRIPTION

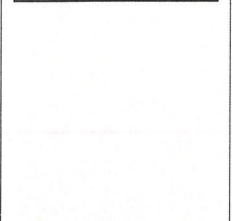
REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE
Harrison Mills 102742
10/11

REGISTRATION INFORMATION
REGISTERED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE
weDesignBuild Inc. 111005
10/11



weDesignBuild Inc.
MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6V 4V9
(647) 770 3230 info@weDesignBuild.ca
www.WeDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE
LEGENDS & DOOR WINDOW SCHEDULES

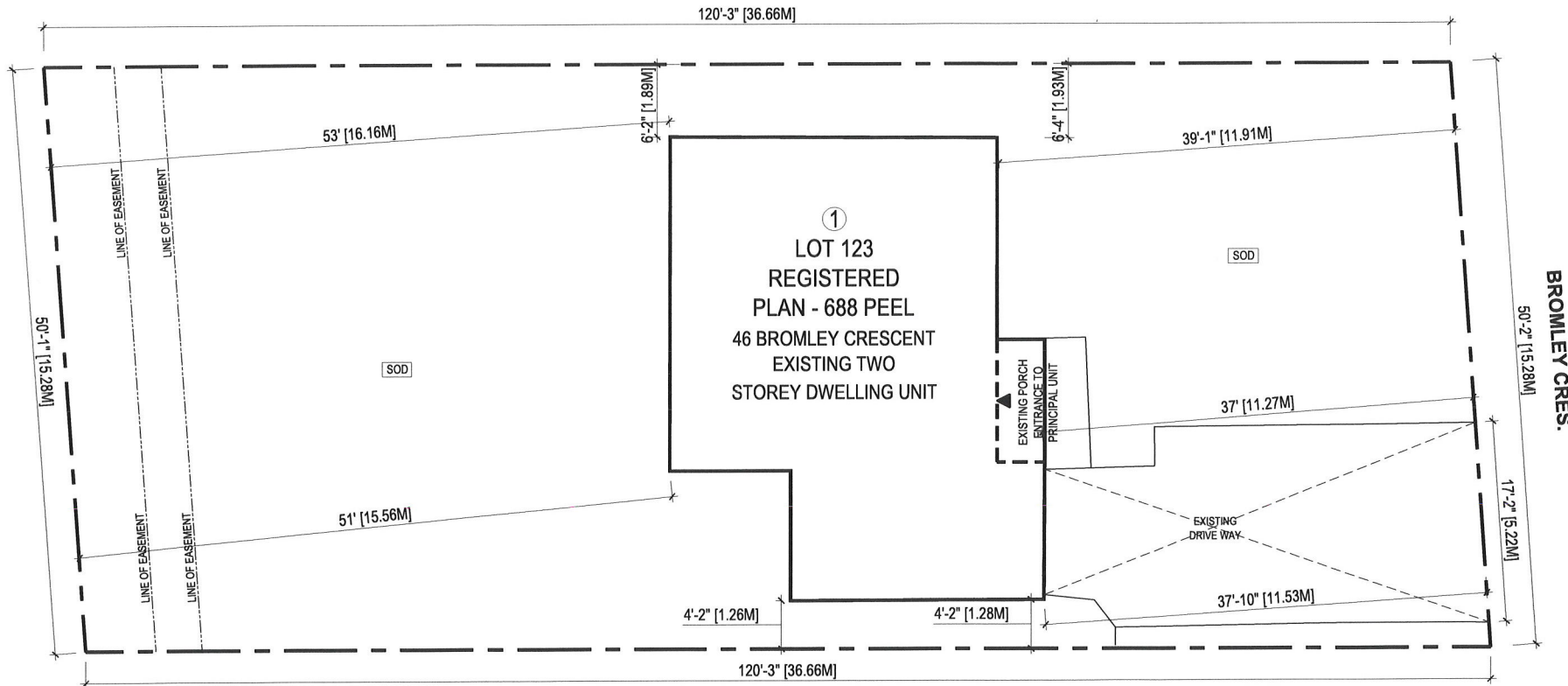
PROJECT NO.
20230322

DRAWN M.N. CHECKED H.M.

DRAWING NO.

A101

DATE MODIFIED
FEBRUARY 08, 2024



EXISTING SITE PLAN

SCALE : $\frac{3}{32}'' = 1'-0''$

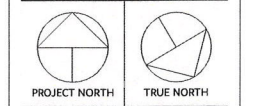
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION

REQUIRED UNDER ORDER BY PERMIT UNDER DIV. C. 3.2.1. OF THE BUILDING CODE

Haroon Malik 102752
 Name
 REGISTRATION INFORMATION
 REQUIRED UNDER ORDER BY PERMIT UNDER DIV. C. 3.2.1. OF THE BUILDING CODE
 weDesignBuild Inc. 111001
 Firm Name BCR

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 Info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW ARU / GARDEN SUITE

PROJECT ADDRESS
 46 BROMLEY CRES.
 BRAMPTON

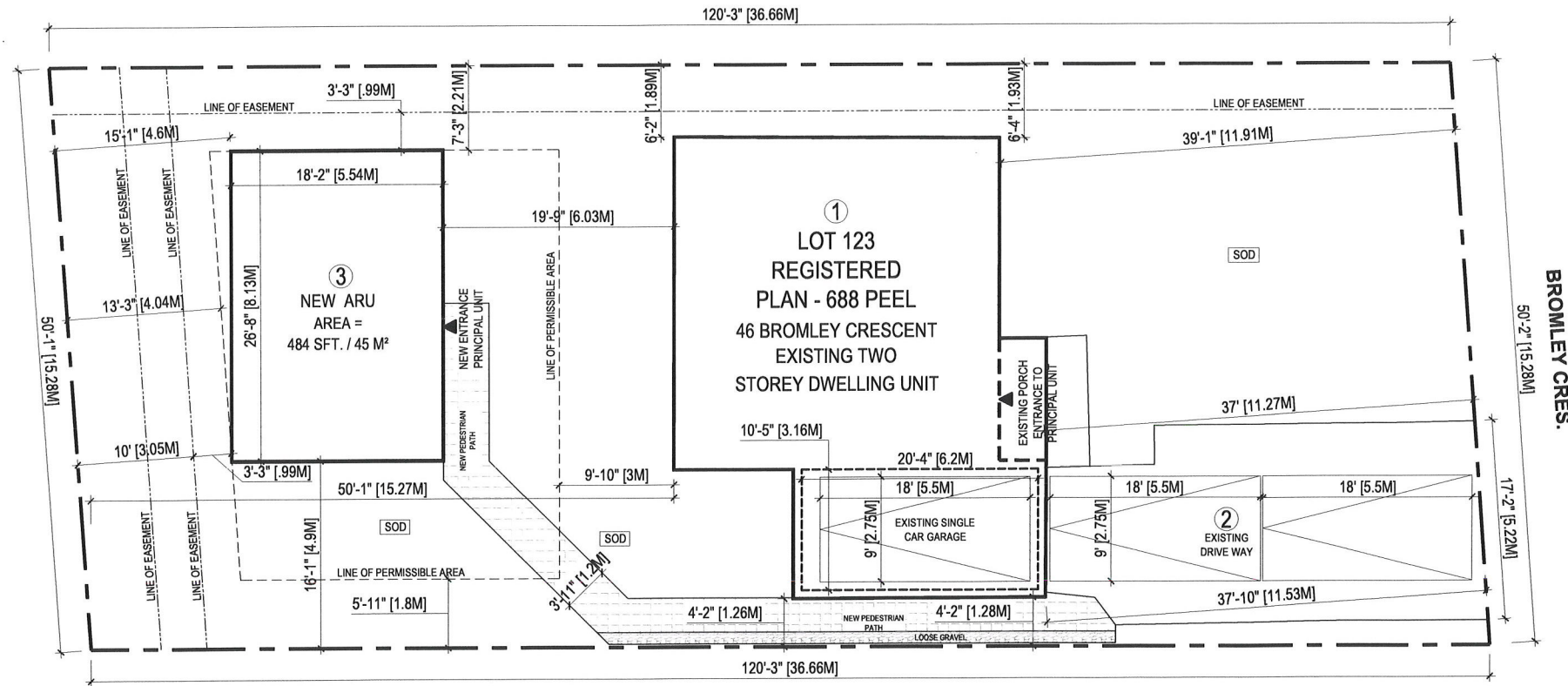
DRAWING TITLE
 EXISTING SITE PLAN

PROJECT NO.
 20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A102

DATE MODIFIED
 FEBRUARY 08, 2024



NEW SITE PLAN

SCALE: $\frac{3}{32}'' = 1'-0''$

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

LOT STATISTICS

ZONING: R1B (1)
 LOT NO: 123
 PLAN NO: 688
 LOT AREA: 558.81 M²
 LOT FRONTAGE: 50'-2" = 15.28 M
 LOT DEPTH: 120'-3" = 36.66 M

- ① EXISTING TWO STOREY DWELLING TO REMAIN
- ② EXISTING DRIVEWAY
- ③ NEW ARU
- ▲ ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

LOT AREA	= 6015 SFT / 558.81 M ²
EXISTING BUILDING LOT COVERAGE AREA	= 1084 SFT / 100.70 M ²
NEW A.R.U COVERED AREA	= 484 SFT / 45.00 M ²
NEW LOT COVERAGE AREA (INCLUDING NEW ARU)	= 1568 SFT / 145.70 M ²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 26.07 %

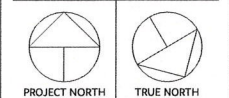
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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE - 3.3.3.1 OF THE BUILDING CODE
 Name: Haroon Malik
 Title: Architect
 REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE - 3.3.3.1 OF THE BUILDING CODE
 Firm Name: weDesignBuild Inc.
 Reg. No: 111003
 Reg. Exp: 16/01/2024



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE
 PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON
 DRAWING TITLE
NEW SITE PLAN

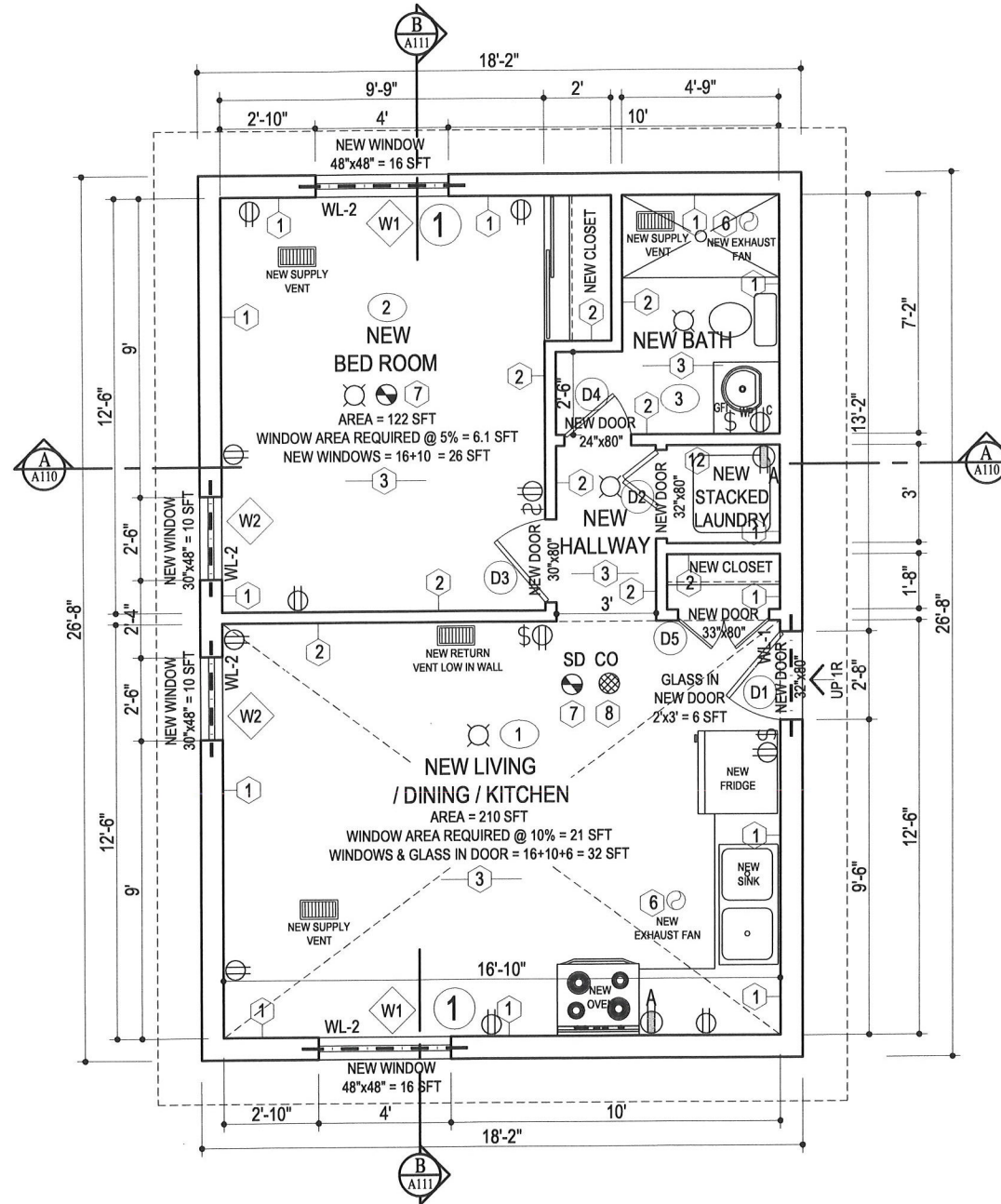
PROJECT NO.
20230322

DRAWN: M.N. CHECKED: H.M.

DRAWING NO.

A103

DATE MODIFIED
 FEBRUARY 08, 2024



NEW ARU UNIT

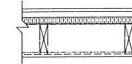
SCALE : 1/4" = 1'-0"

NEW COVERED AREA = 484 SFT. / 44.96 M²
 CEILING HEIGHT = 8'-0"



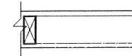
EXTERIOR WALL WITH VINYL SIDING

FRAME WALL CONSTRUCTION
 FINISH AS PER ELEVATIONS
 SHEATHING PAPER, LAYERS
 TO OVERLAP EACH OTHER
 EXTERIOR TYPE SHEATHING
 2x4 WOOD STUDS @ 400 O.C.
 R19+5ci INSULATION IN CONTINUOUS CONTACT W/
 SHEATHING & CONTINUOUS
 VAPOUR BARRIER
 DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM
 INTERIOR WALL FINISH W/ 1/2" DRY WALL JOINTS TAPED AND SEALED



INTERIOR DRY WALL PARTITION

1/2" GYPSUM BOARD
 EACH SIDE OF 2"x4" OR 2"x6" SPRUCE STUDS @ 16" O.C.



NOTE:
 ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS
 OTHERWISE NOTED.

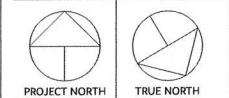
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 3.2.2. OF THE BUILDING CODE
 Haroon Malik 102752
 2024

REGISTRATION INFORMATION
 REGISTERED UNDER SECTION 3.2.2.1 OF THE BUILDING CODE
 weDesignBuild Inc. 111001
 2024



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE
NEW ARU UNIT

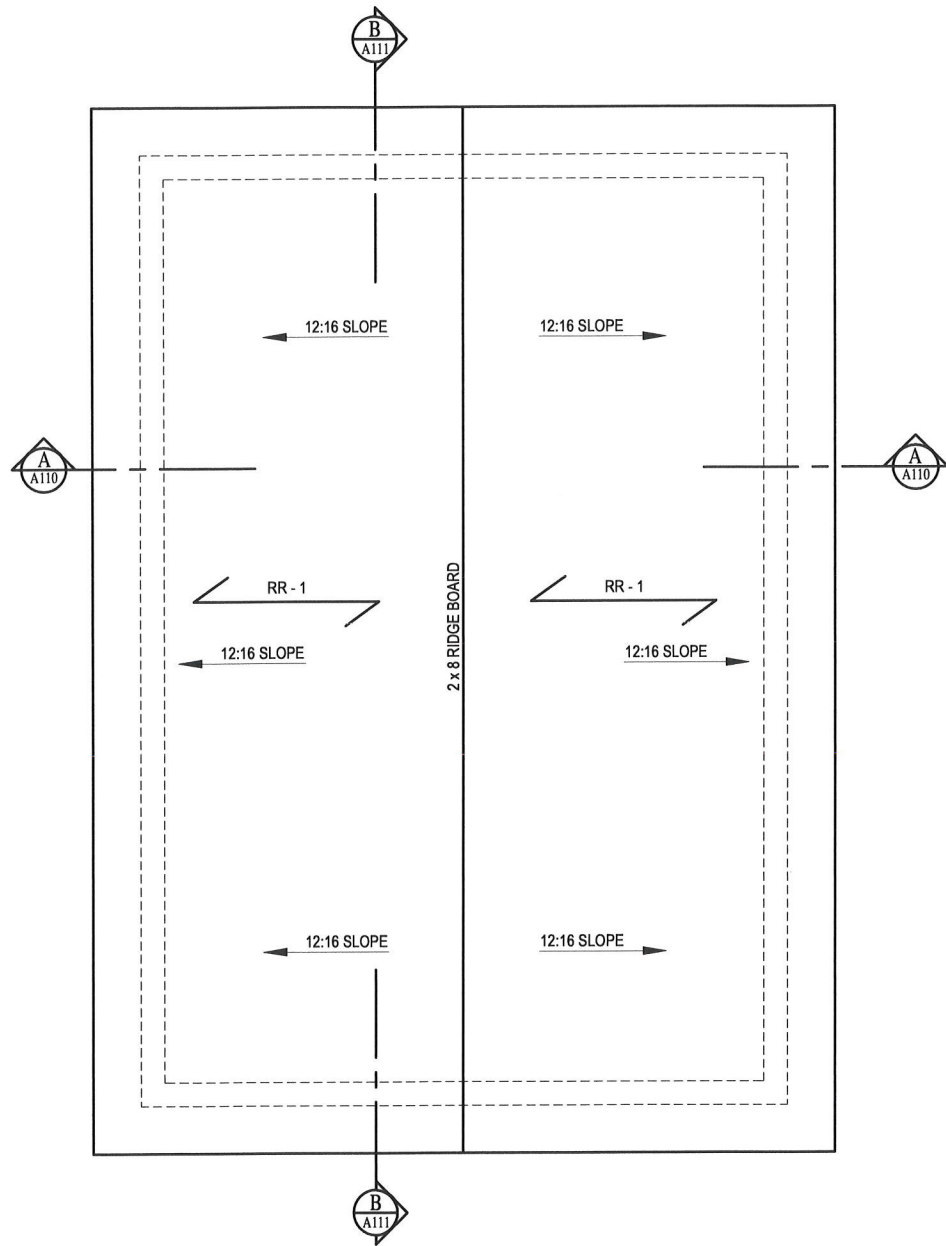
PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.

A104

DATE MODIFIED
 FEBRUARY 08, 2024



NEW ROOF PLAN

SCALE : 1/4" = 1'-0"

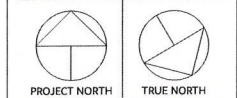
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QUALIFICATION INFORMATION

REGISTERED UNDER DESIGN IN PROFESSION UNDER O.C. 324 OF THE BUILDING CODE

Heron Malik 102742
 Name: 102742
 REGISTERED UNDER DESIGN IN PROFESSION UNDER O.C. 324 OF THE BUILDING CODE
 weDesignBuild Inc. 111001
 Firm Name: 102742

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 Info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
**46 BROMLEY CRES.
 BRAMPTON**

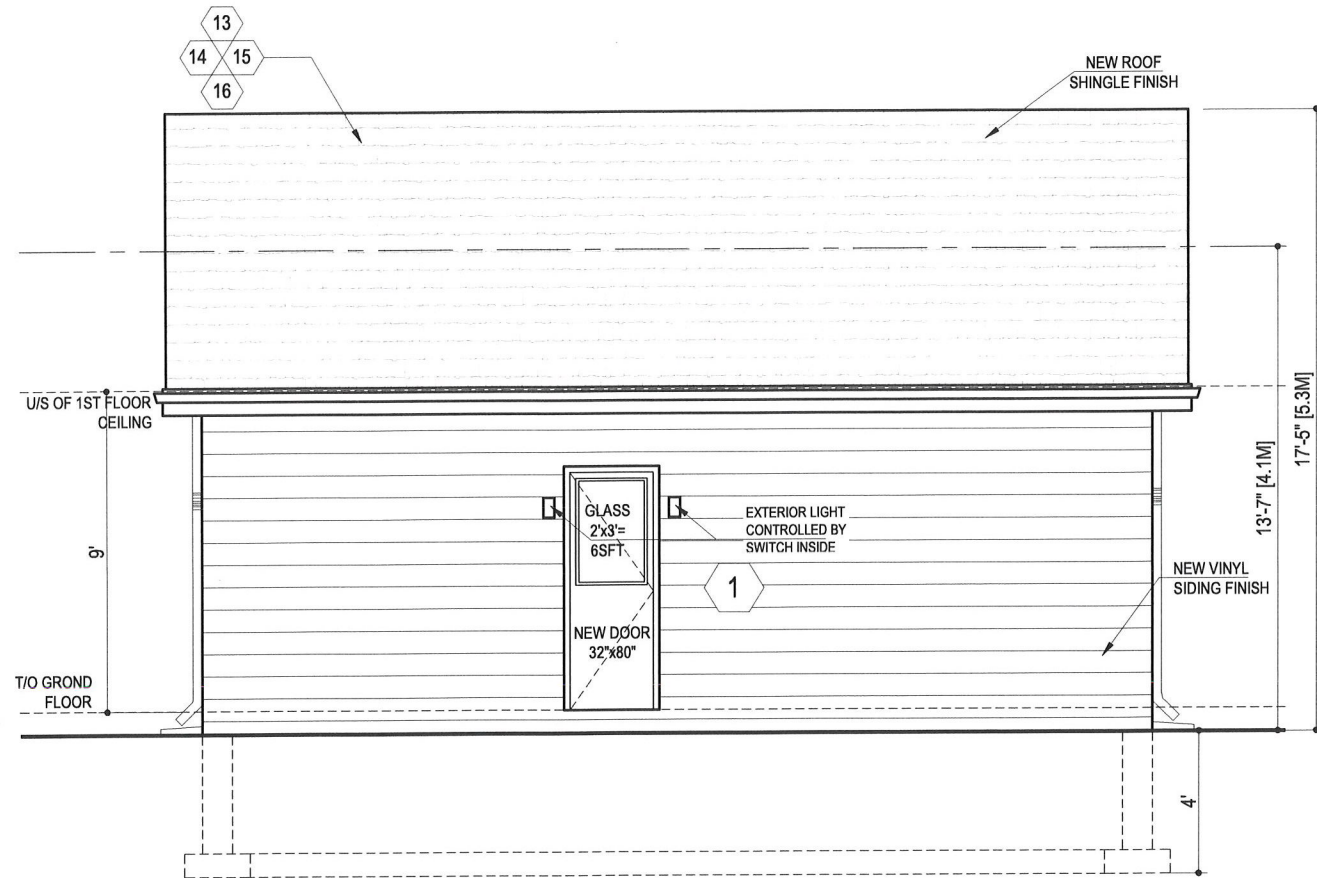
DRAWING TITLE
NEW ROOF PLAN

PROJECT NO.
20230322

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---------------	-----------------

DRAWING NO.
A105

DATE MODIFIED
 FEBRUARY 08, 2024



NEW FRONT ELEVATION

SCALE : $\frac{1}{4}" = 1'-0"$

GLAZED OPENINGS:

WALL AREA: 257 SFT / 23.87 M²

LIMITING DISTANCE = 26.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.30%)

WINDOW AREA ALLOWED: 100%

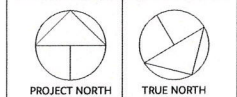
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REV	DATE	DESCRIPTION



PROJECT NORTH TRUE NORTH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE
 Haroon Malik 102742
 Name REGISTRATION INFORMATION
 REGISTRATION NO. 102742
 WEDESIGNBUILD INC. 111005
 Firm Name



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

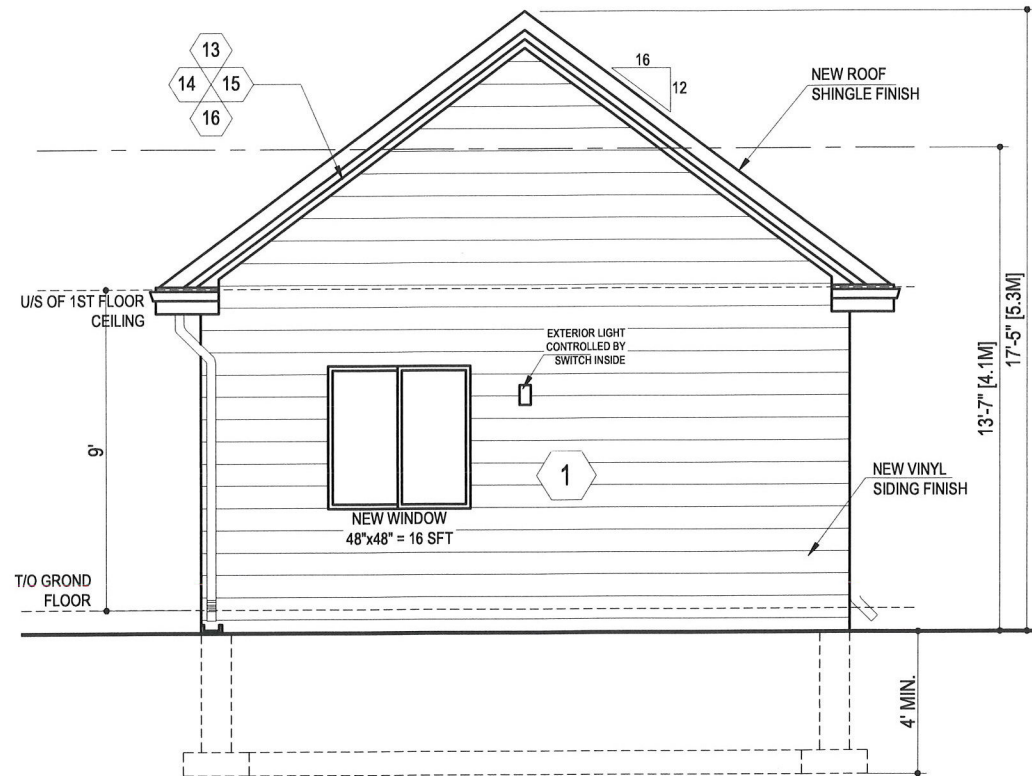
PROJECT TITLE
NEW ARU / GARDEN SUITE
 PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON
 DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A106

DATE MODIFIED
 FEBRUARY 08, 2024



NEW LEFT SIDE ELEVATION

SCALE : $\frac{1}{4}'' = 1'-0''$

GLAZED OPENINGS:

WALL AREA: 235 SFT / 21.83 M²

LIMITING DISTANCE = 4.9 M

WINDOW AREA PROVIDED: 16 = 16 SFT / 1.48 M² (6.77%)

WINDOW AREA ALLOWED: 45%

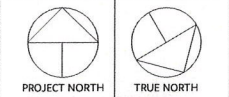
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 19.08(1) UNDER O.C. 324.1 OF THE BUILDING CODE
 Heron Mark 102742
 Name: [Signature]

REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 19.08(1) UNDER O.C. 324.1 OF THE BUILDING CODE
 weDesignBuild Inc. 111001
 Firm Name: [Signature]



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

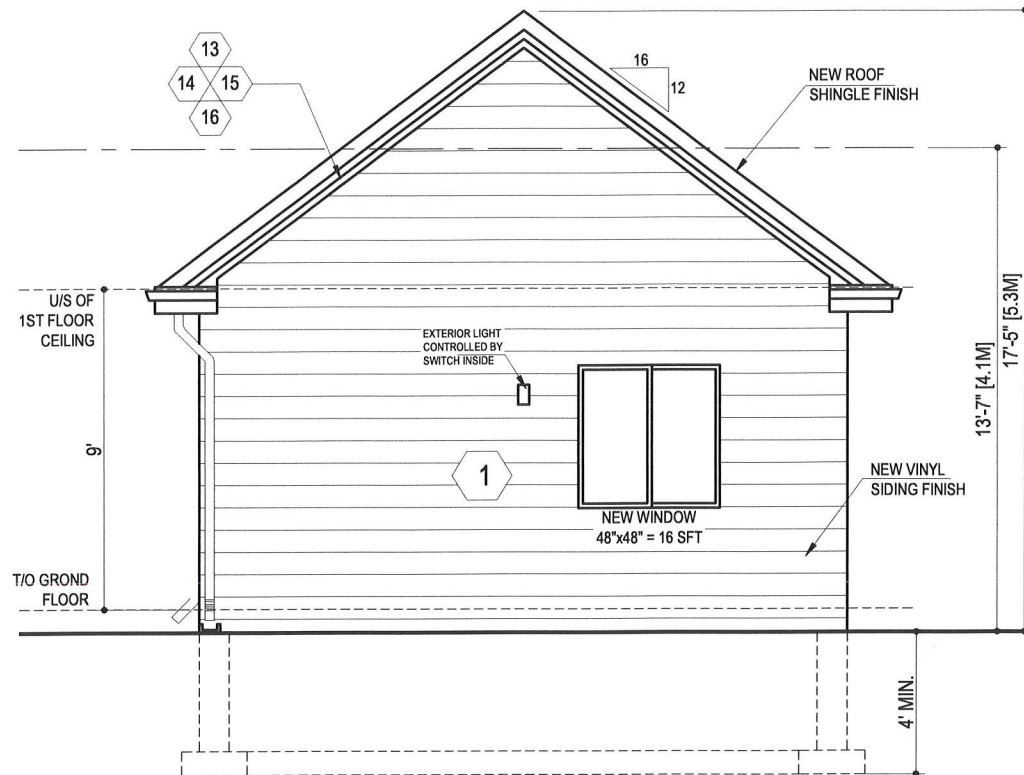
DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A107

DATE MODIFIED
 FEBRUARY 08, 2024



NEW RIGHT SIDE ELEVATION

SCALE : $\frac{1}{4}'' = 1'-0''$

GLAZED OPENINGS:

WALL AREA: 235 SFT / 21.83 M²

LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16 = 16 SFT / 1.48 M² (6.77%)

WINDOW AREA ALLOWED: 17%

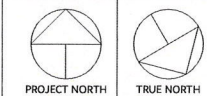
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 3.2.1. OF THE BUILDING CODE
 Name: **Haroon Malik**  102762
 Firm Name: **weDesignBuild Inc.** 111001
 BCR

REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 3.2.2.1. OF THE BUILDING CODE
 Name: **weDesignBuild Inc.** 111001
 Firm Name: **weDesignBuild Inc.** 111001
 BCR



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

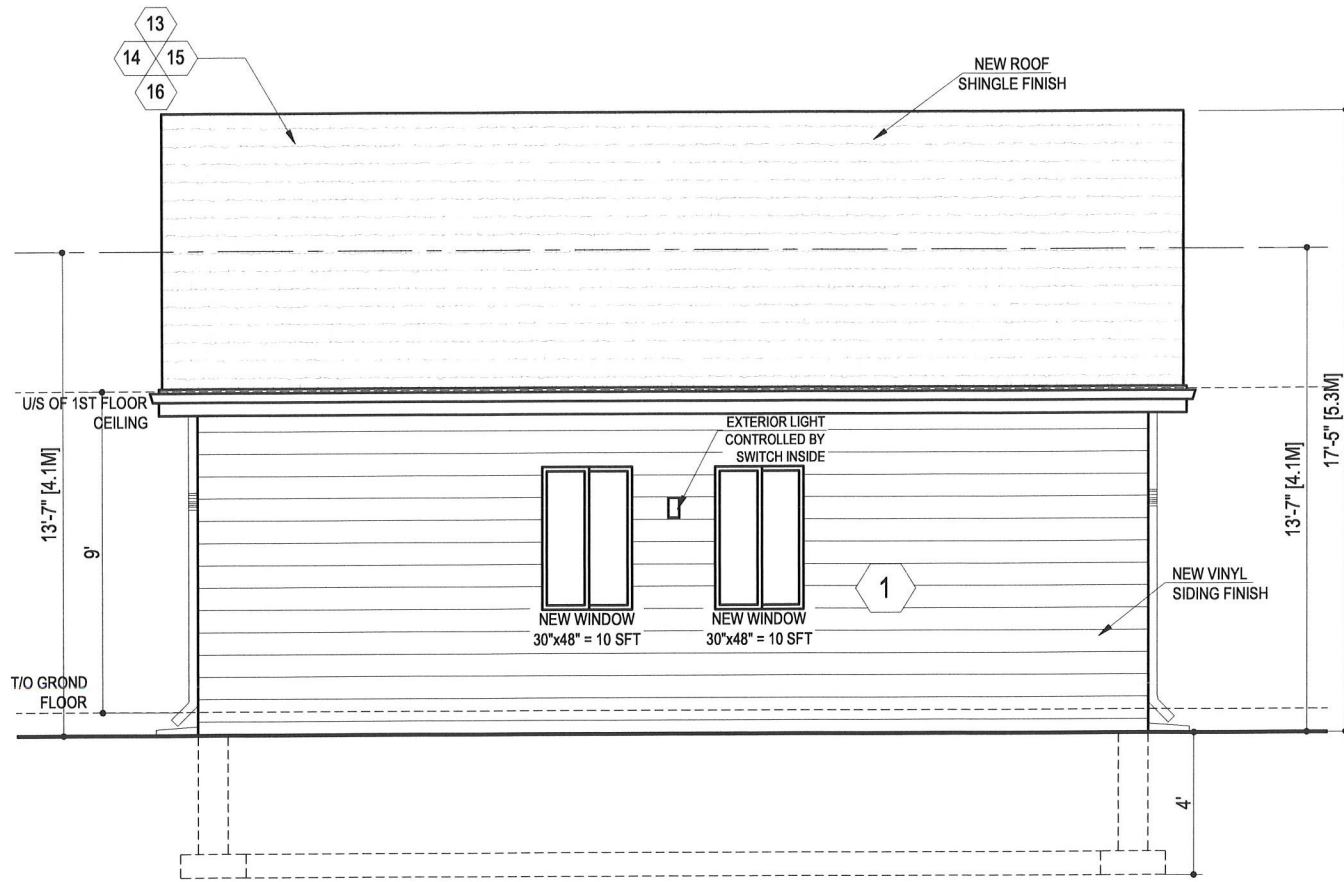
PROJECT TITLE
NEW ARU / GARDEN SUITE
 PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON
 DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A108

DATE MODIFIED
 FEBRUARY 08, 2024



NEW REAR ELEVATION

SCALE : $\frac{1}{4}'' = 1'-0''$

GLAZED OPENINGS:

WALL AREA: 257 SFT / 23.87 M²

LIMITING DISTANCE = 4.04 M

WINDOW AREA PROVIDED: 10+10 = 20 SFT / 1.85 M² (7.75%)

WINDOW AREA ALLOWED: 45%

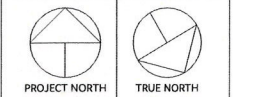
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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 19.08(1) OF THE ONTARIO BUILDING CODE, 2018
 Name: *[Signature]* 102742
 REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 19.08(1) OF THE ONTARIO BUILDING CODE, 2018
 weDesignBuild Inc. 111091
 Firm Name: *[Signature]* RCM



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 Info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

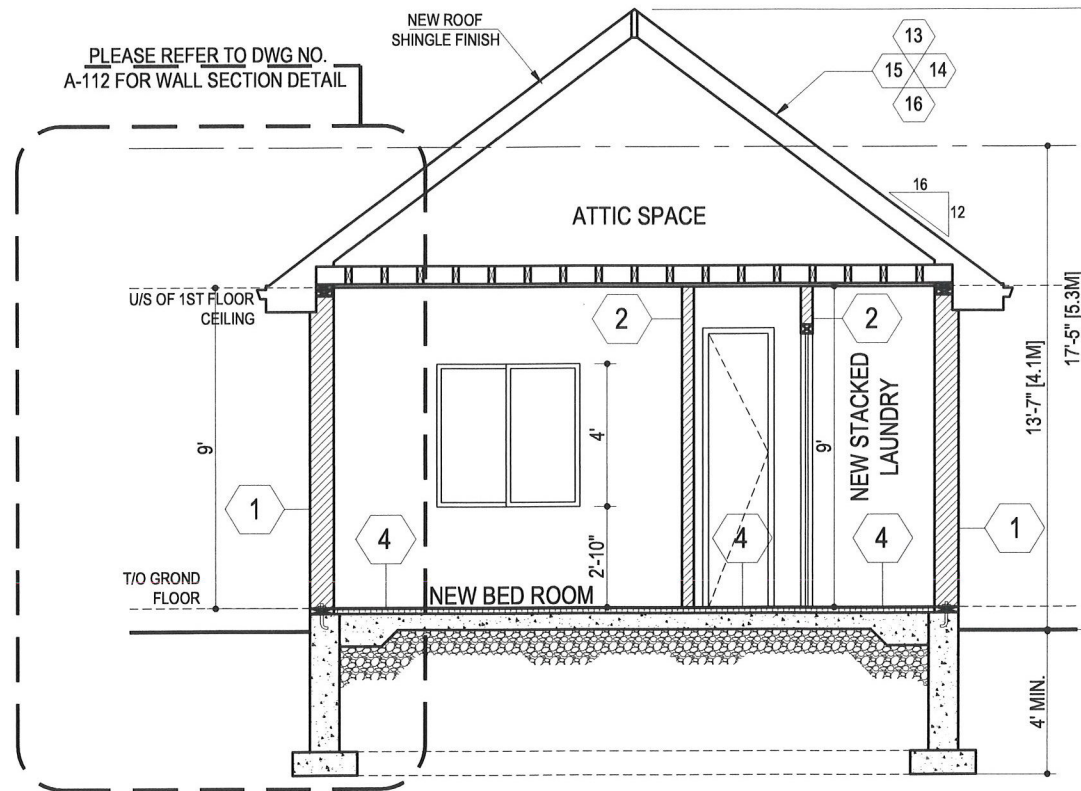
DRAWING TITLE
ELEVATION

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A109

DATE MODIFIED
 FEBRUARY 08, 2024



PLEASE REFER TO DWG NO. A-112 FOR WALL SECTION DETAIL

SECTION "A-A"

SCALE : $\frac{1}{4}" = 1'-0"$

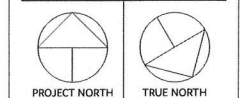
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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 1.1.1. OF THE ONTARIO BUILDING CODE
 Haroon Malik 102742
 REGD.
REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 1.1.1. OF THE ONTARIO BUILDING CODE
 weDesignBuild Inc. 111001
 Firm Name REGD.

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

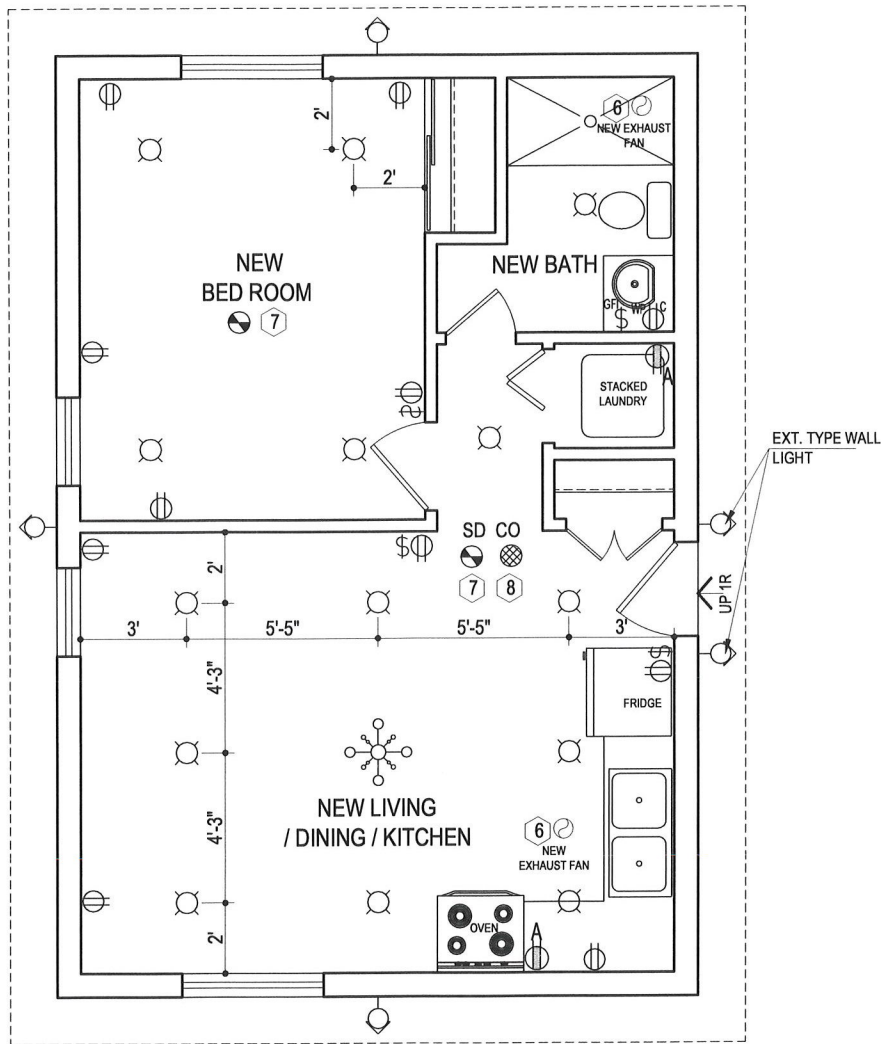
DRAWING TITLE
SECTION A"-A"

PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A110

DATE MODIFIED
 FEBRUARY 08, 2024



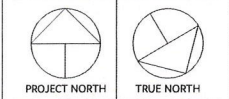
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QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 3.1.2.1. OF THE BUILDING CODE
 Haroon Malik 102742
 Name
REGISTRATION INFORMATION
 REQUIRED UNDER SECTION 3.1.2.1. OF THE BUILDING CODE
 weDesignBuild Inc. 111001
 Firm Name BCR



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 Info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN SUITE
 PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON
 DRAWING TITLE
NEW ARU UNIT ELECTRICAL PLAN
 PROJECT NO.
20230322

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
E101

DATE MODIFIED
 FEBRUARY 08, 2024

ELECTRICAL LEGEND NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3" ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS		CHANDELIER (AS APPROVED)	
WEATHERPROOF RECEPTACLE 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3" ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR EXTERIOR USE.		48" LED LINEAR WRAP LIGHT, 30W	
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER		EXHAUST FAN	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.		SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	
		CO: CARBON MONOXIDE DETECTOR	
		4" RECESSED POT LIGHT	
		PENDANT LIGHT	
		EXTERIOR TYPE WALL MOUNTED LIGHT	

Zoning Non-compliance Checklist

File No.

A-2024-0458

Applicant: Haroon Malik

Address: 46 Bromley Cres

Zoning: R1B(1), Mature Neighbourhood

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
GARDEN SUITE	To permit a proposed garden suite having a gross floor area of 54.44 sq. m,	whereas the by-law permits a maximum gross floor area of 35 sq. m for a garden suite in all other Residential zones.	10.16.2 (c)
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/12/09

Date