



FILE NUMBER: A-2024-0409

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Mohammad Shahzad/Ayesha Zahid Hussain
Address 22 Fruitvale Circle, Brampton, ON, L7A5B8

Phone # 647 879 0550 **Fax #** _____
Email mshahzad9002@gmail.com

2. **Name of Agent** Valiuddin Mohammed
Address 6 Ripon Street, Mississauga, ON, L4T 1E2

Phone # 416 627 4100 **Fax #** _____
Email INFO@MECHWAYS.COM

3. **Nature and extent of relief applied for (variances requested):**
To seek relief from the Zoning By-Laws to allow a minimum setback of 1.61 metres from the proposed deck.

4. **Why is it not possible to comply with the provisions of the by-law?**
The minimum setback required from a proposed deck is 3.5m. We have proposed a setback of 1.61m from the deck and would like to further pursue this setback measurement.

5. **Legal Description of the subject land:**
Lot Number 338
Plan Number/Concession Number 2125609
Municipal Address 22 FRUITVALE CIRCLE, BRAMPTON, ON, L7A 5B8

6. **Dimension of subject land (in metric units)**
Frontage 11.61m
Depth 27.04m
Area 313.99m²

7. **Access to the subject land is by:**
 Provincial Highway _____ **Seasonal Road** _____
 Municipal Road Maintained All Year **Other Public Road** _____
 Private Right-of-Way _____ **Water** _____

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

GROUND FLOOR AREA: 145.01m2
NUMBER OF STOREYS: 2
WIDTH: 9.70m
DEPTH: 16.77m
HEIGHT: 7.34m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

WIDTH: 4.39m
LENGTH: 4.88m
HEIGHT: 5.2"

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.51m
Rear yard setback 6m
Side yard setback 0.65m
Side yard setback 1.26m

PROPOSED

Front yard setback 3.51m
Rear yard setback 1.61m
Side yard setback 0.65m
Side yard setback 1.26m

10. Date of Acquisition of subject land: 2021

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 2021

15. Length of time the existing uses of the subject property have been continued: Since 2021

16. (a) What water supply is existing/proposed?

Municipal [X] Other (specify)
Well []

(b) What sewage disposal is/will be provided?

Municipal [X] Other (specify)
Septic []

(c) What storm drainage system is existing/proposed?

Sewers [X] Other (specify)
Ditches []
Swales []

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes _____ No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes _____ No

19. Has the subject property ever been the subject of an application for minor variance?

Yes _____ No _____ Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Shahzad

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 28 DAY OF Oct, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Mohammad Shahzad

VALIUDDIN MOHAMMED, OF THE CITY OF MISSISSAUGA

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

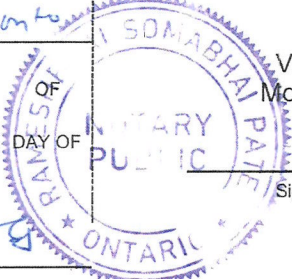
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city OF Toronto

IN THE province OF Ontario

THIS 15th DAY OF October, 2024



Valiuddin Mohammed
Digitally signed by Valiuddin Mohammed, DN: cn=Valiuddin Mohammed, c=CA, ou=Shahzads Inc, ou=HO, email=vs1@shahzads.com, Date: 2024.10.09 13:14:28 -0400

Shahzad

Signature of Applicant or Authorized Agent

Ramesh Somabhai Patel
A Commissioner etc.
Ramesh Patel & Associate Lawyers

Professional Corporation 127 Westmore Dr. Unit # 101, Toronto, ON, M9V 3Y6 Present Official Plan Designation: _____ Tel: 416-742-2999 Fax: 416-742-3888 Email: info@shahzads.com		FOR OFFICE USE ONLY _____ _____ _____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.		
_____ Zoning Officer	_____ Date	

DATE RECEIVED Oct 28, 2024

VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 22 FRUITVALE CIRCLE, BRAMPTON, ON, L7A5B8

I/We, Mohmmad Shahzad / Ayesha Zahid Hussain
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 15 day of October, 2024.

Shahzad *Ayesha Zahid*

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 22 FRUITVALE CIRCLE, BRAMPTON, ON, L7A5B8

I/We, Mohmmad Shahzad / Ayesha Zahid Hussain
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 15 day of October, 2024.

Ayesha Zahid Shahzad


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

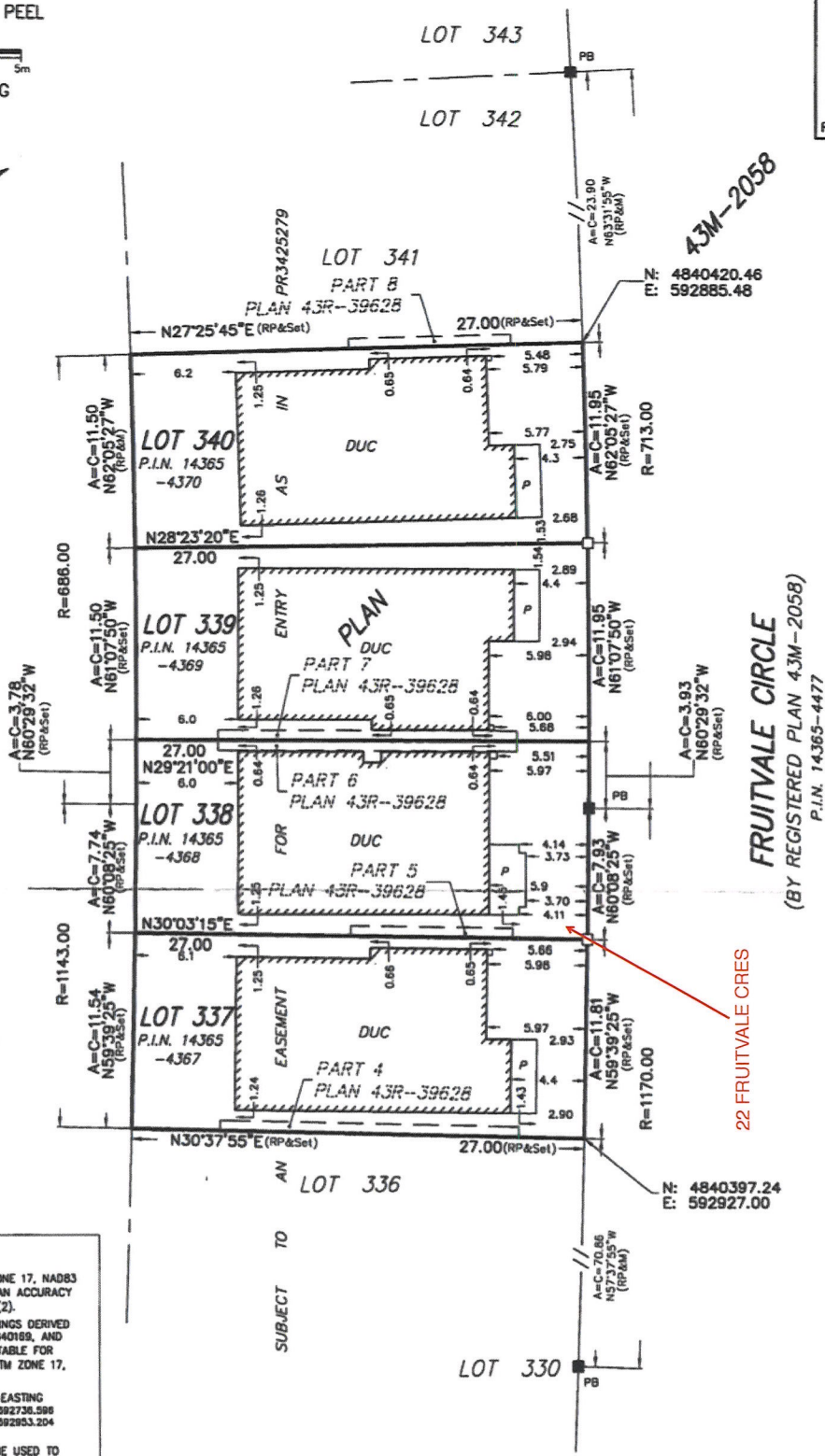
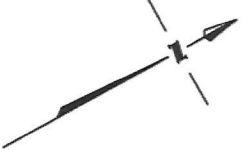
NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOTS 337 to 340 INCLUSIVE
REGISTERED PLAN 43M-2058
CITY of BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 300

YOUNG & YOUNG SURVEYING
 (ETOBICOKE 2006) INC.
 © COPYRIGHT 2020

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
2125609


 THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).



BLOCK 412

REGISTERED

FRUITVALE CIRCLE
 (BY REGISTERED PLAN 43M-2058)
 P.I.N. 14365-4477

22 FRUITVALE CRES

BEARING NOTE

SPECIFIED CONTROL POINTS (SCP_s): UTM ZONE 17, NAD83 (ORIGINAL). COORDINATES ARE TO AN URBAN ACCURACY AS PER O. REG. 216/10, s. 14 (2).
 BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM SPECIFIED CONTROL POINTS 01019840189, AND 01019840167 (SEE INTEGRATION DATA TABLE FOR COORDINATES), AND ARE REFERRED TO UTM ZONE 17, NAD83 (ORIGINAL).

	NORTHING	EASTING
SCP 01019840189	4839071.372	592736.598
SCP 01019840167	4840748.142	592953.204

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

DISTANCE NOTE

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999976

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 1st DAY OF JUNE, 2020.

OCTOBER 08, 2020.
 DATE


 CHRIS BERESNIWICZ
 ONTARIO LAND SURVEYOR

LEGEND

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- N,S,E,W I T T NORTH,SOUTH,EAST,WEST MEASURED
- M I T T PLASTIC BAR
- PB I T T PROPERTY IDENTIFIER NUMBER
- P.I.N. I T T DWELLING UNDER CONSTRUCTION
- DUC I T T REGISTERED PLAN 43M-2058
- RP I T T PORCH
- P I T T

NOTE

ALL FOUND SURVEY MONUMENTS ARE BY RADY-PENTEX & EDWARD SURVEYING LTD., O.L.S.
 ALL SET SURVEY MONUMENTS ARE IRON BARS UNLESS NOTED OTHERWISE

THIS PLAN WAS PREPARED FOR FIELDGATE HOMES

PART 2 - SURVEY REPORT

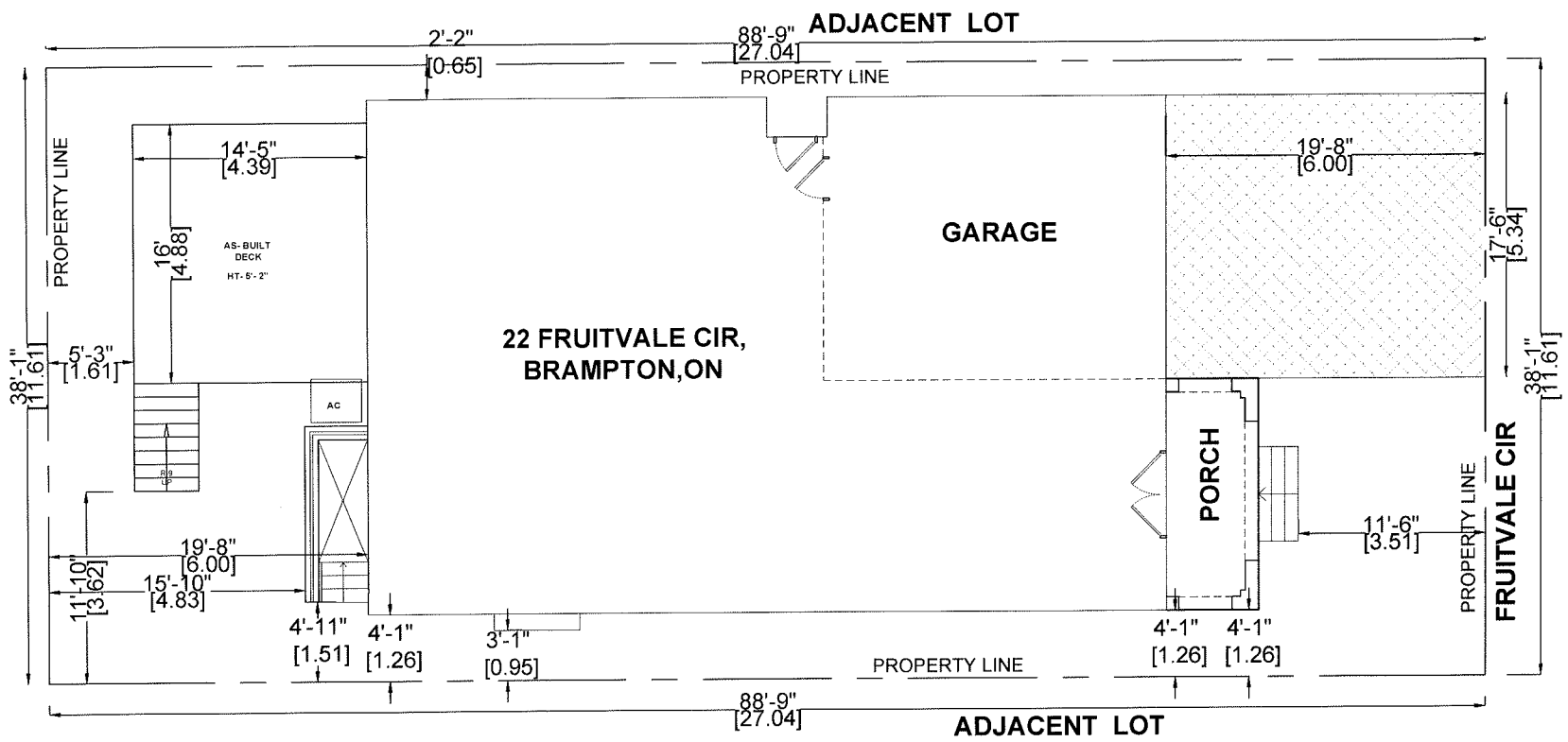
- 1) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY : SUBJECT TO AN EASEMENT FOR ENTRY AS IN PR3425279
- 2) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS



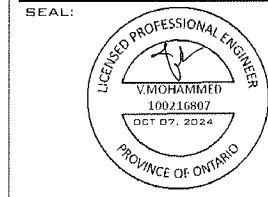
YOUNG & YOUNG
 SURVEYING (ETOBICOKE 2006) INC.

310 North Queen St., Unit 102, Toronto ON M9C-5K4
 Tel: (416) 821-2678 - Fax: (416) 821-3360
 E-MAIL : info@youngandyoung.ca

DRAWN: RJM CHECKED: C.B. PROJECT 18-T9902



GENERAL NOTES:
 DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT 04 2024

ENGINEER:
Mechways Inc.
 ADDRESS : 6 R-20N ST W BRAMPTON, ON, L4T 1E2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.CO
 WEBSITE : WWW.MECHWAYS.CO

CONSULTANT:

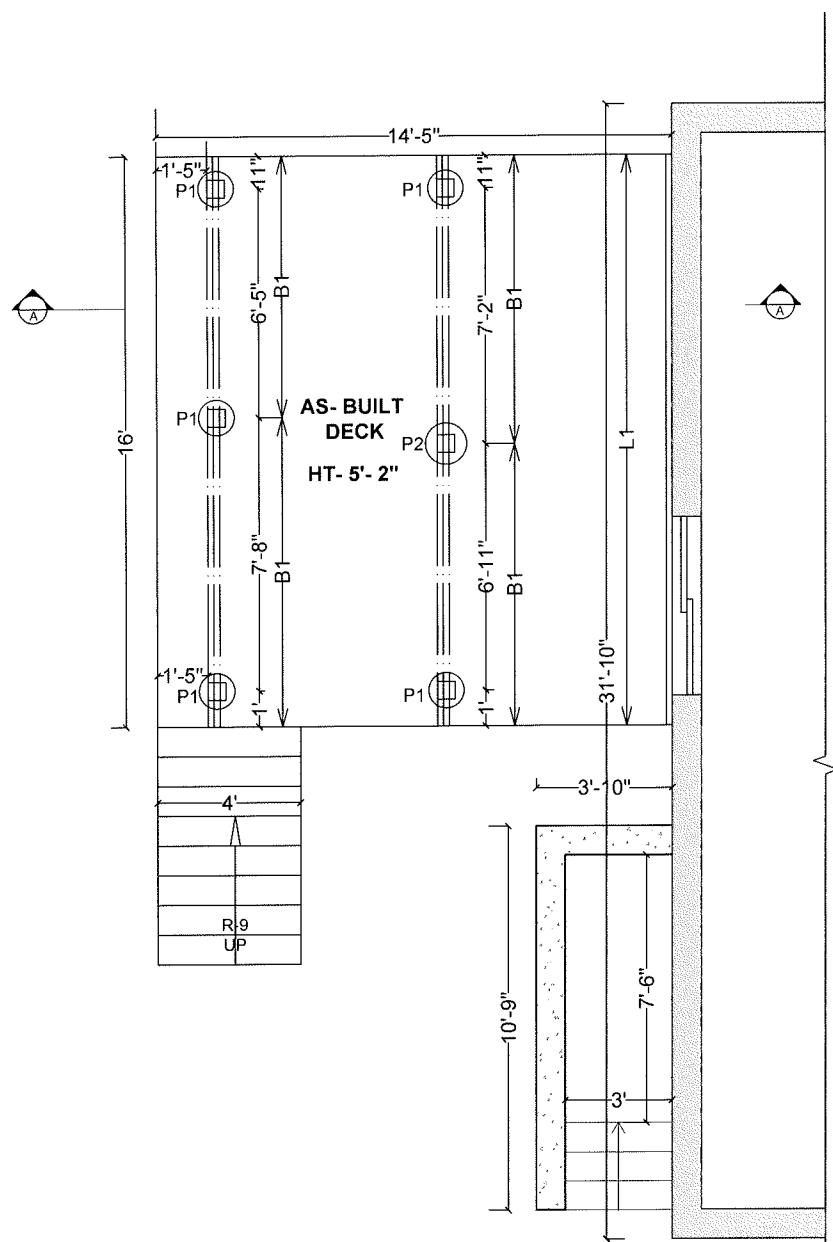
PROJECT:
 22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:
 SITE PLAN

CHECKED : MBB
 DRAWN : TH
 SCALE : 1:100
 DATE : OCT 04 2024

DRAWING:
A 0.1

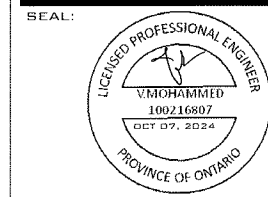
AREA STATISTICS:		SCOPE OF WORK	
GROSS FLOOR AREA CALCULATIONS			
A.	LOT AREA	=	313.99 m ²
B.	BUILDING AREA	=	145.01 m ²
C.	AREA OF DECK	=	23.90 m ²
D.	AREA OF SHED	=	3.86 m ²
▲ ENTRANCE / EGRESS		A.	LEGALIZATION OF AS-BUILT DECK
		B.	LEGALIZATION OF AS-BUILT SHED.



AS-BUILT DECK

DECK MATERIAL	
P1	EXIST. 12" DIAMETER CONCRETE PIER MINIMUM 4'-0" BELOW GRADE 6" x 6" WOOD POST SECURED TO CONCRETE PIER w/METAL SHOE ANCHORED TO PIER MINIMUM 4" INTO CONCRETE
P2	EXIST. 14" DIAMETER CONCRETE PIER MINIMUM 4'-0" BELOW GRADE 6"x6" WOOD POST SECURED TO CONCRETE PIER w/METAL SHOE ANCHORED TO PIER MINIMUM 4" INTO CONCRETE
B1	EXIST. 2-2" x 8" PRESSURE TREATED WOOD BEAM
J1	EXIST. JOISTS 2"x8" @ 16" O.C. PRESSURE TREATED WOOD
L1	EXIST. 2"x8" LEDGER BOARD LAG BOLTED THRU WALL W/ 1/2" Ø THRU BOLTS @ 24" O.C IN TO EX. STRUCTURAL FRAMING

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 Mechways Inc.
 ADDRESS: 8 RYAN ST. MISSISSAUGA, ON L4T 1E2
 TEL: 416-627-4100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

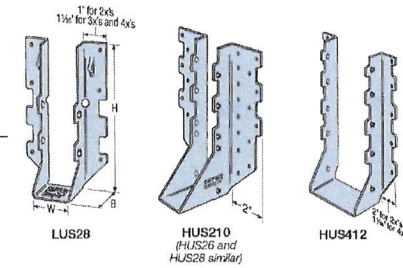
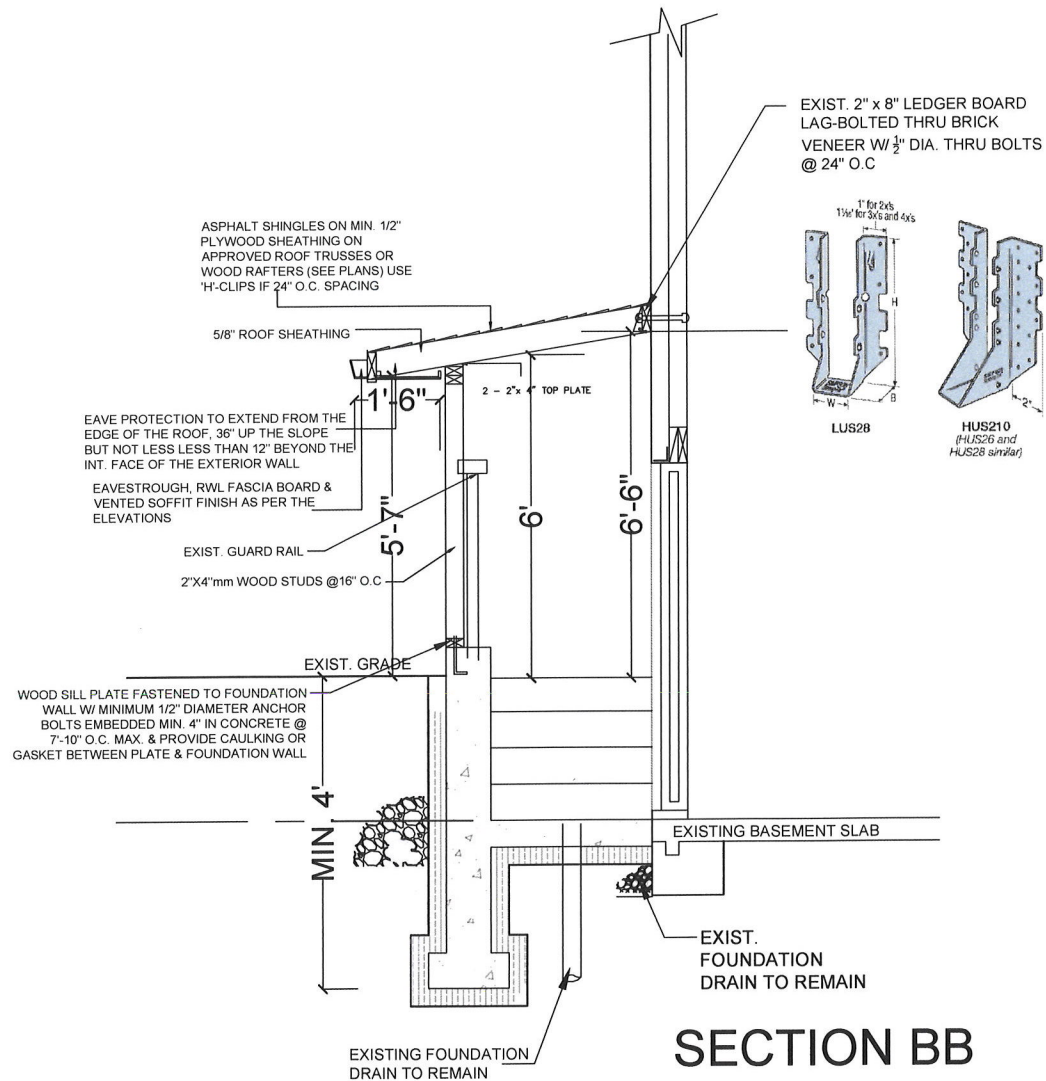
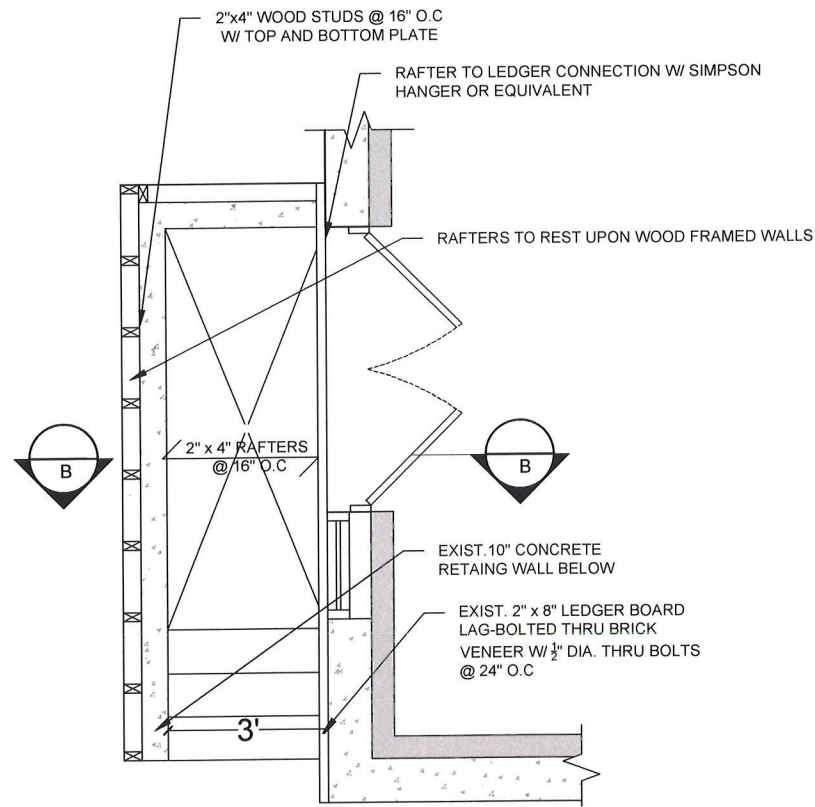
CONSULTANT:

PROJECT:
 22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:
 PROP. DECK
 PLAN

CHECKED: MSS
 DRAWN: TH
 SCALE: 1/4" = 1'-0"
 DATE: OCT/04/2024

DRAWING:
 A 1.1



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SEAL:



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NO.	DESCRIPTION	DATE

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Mechways Inc.

ADDRESS 6 RYAN ST
MISSISSAUGA, ON L4T 1E2
TEL 416-627-4100
EMAIL INFO@MECHWAYS.COM
WEBSITE WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

22 FRUITVALE CIR,
BRAMPTON, ON.

SHEET TITLE:

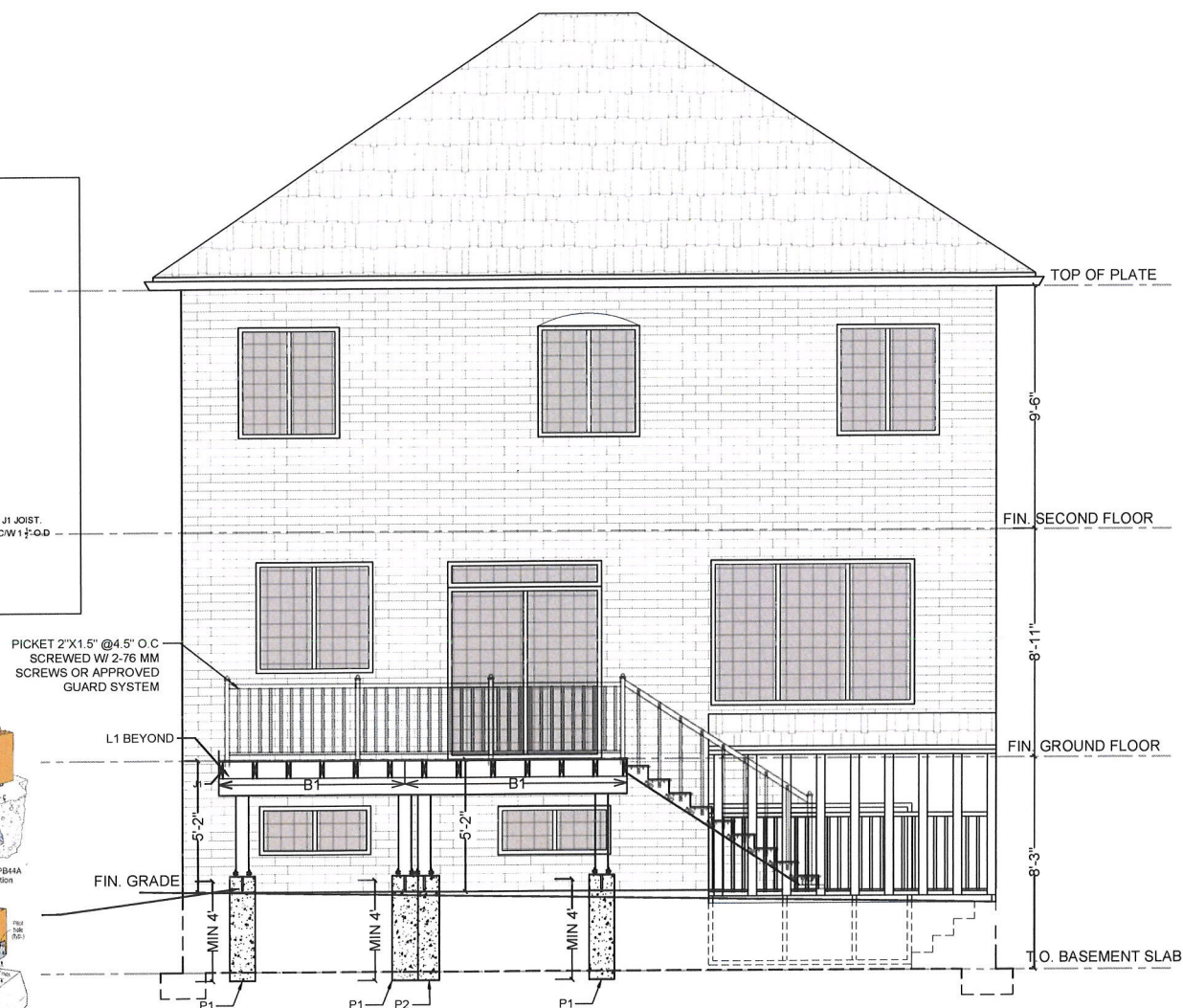
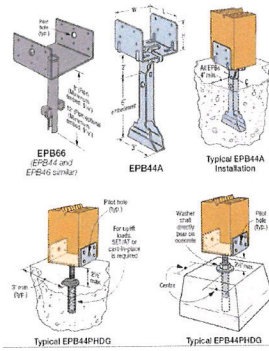
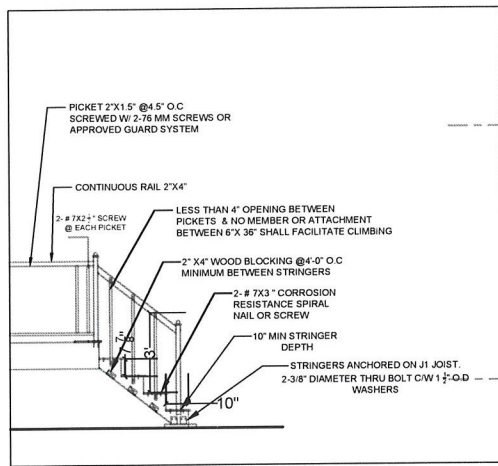
PROP. SHED
PLAN

CHECKED: MSS
DRAWN: TH
SCALE: 3/8" = 1'-0"
DATE: OCT/04/2024

DRAWING:

A 1.2

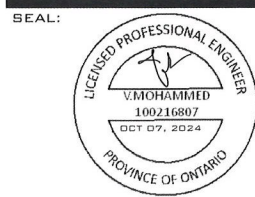
SECTION BB



REAR ELEVATION

GENERAL NOTES:

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ADDRESS : 6 RIFON ST. MISSISSAUGA, ON, L4T 1E2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:

**REAR ELEVATION
 PLAN**

CHECKED: MSS
 DRAWN: TH
 SCALE: 3/16" = 1'-0"
 DATE: OCT/04/2024

DRAWING:

A 2.1

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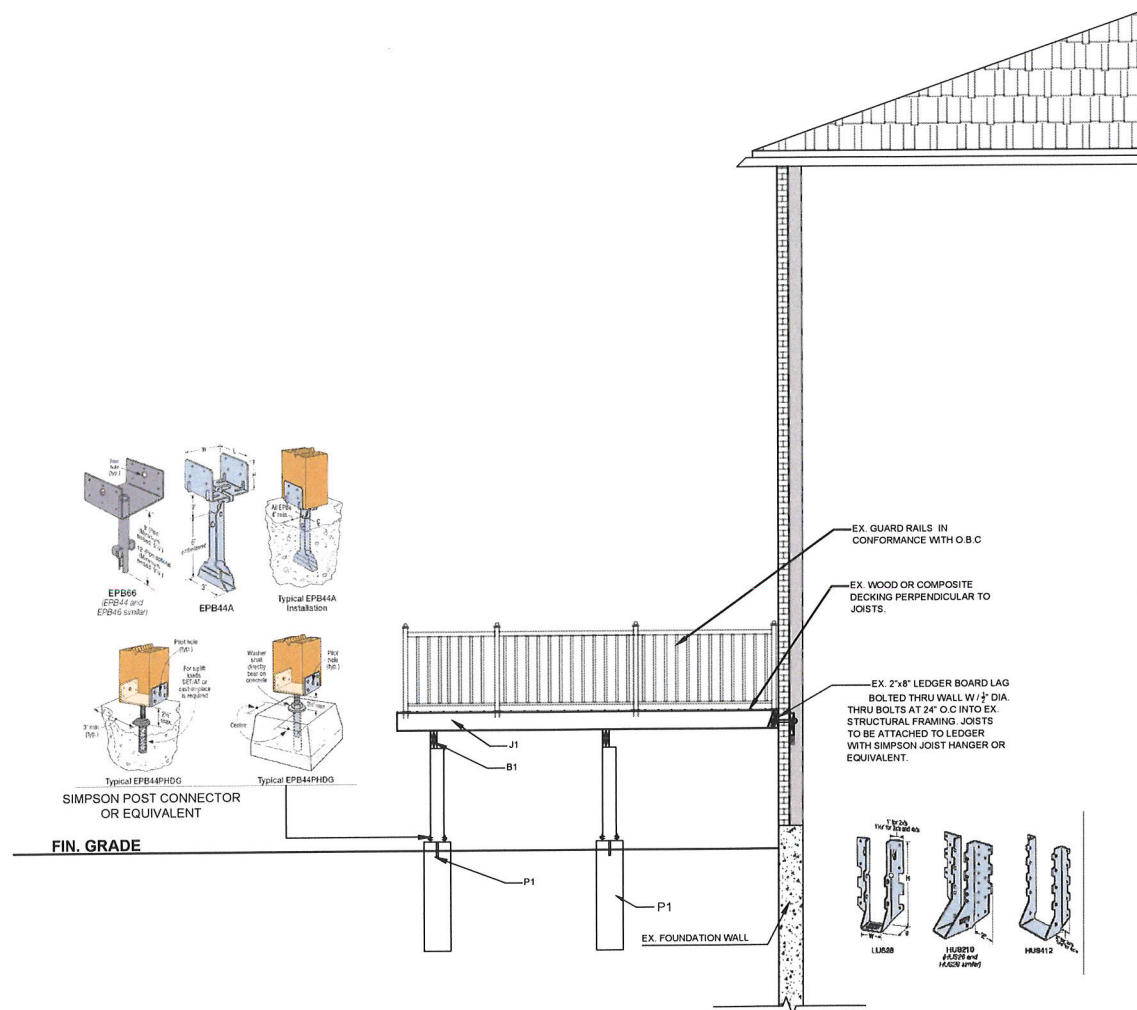
SHEET TITLE:

SECTION A A

CHECKED: MSS
 DRAWN: TH
 SCALE: 3/16" = 1'-0"
 DATE: OCT 04/2024

DRAWING:

A3.1



GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

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CONSULTANT:

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SHEET TITLE:

GENERAL NOTES

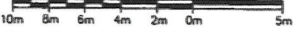
CHECKED: MSS
 DRAWN: TH
 SCALE: N.T.S
 DATE: OCT/04/2024

DRAWING:

A 4.1

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOTS 337 to 340 INCLUSIVE
REGISTERED PLAN 43M-2058
CITY of BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 300



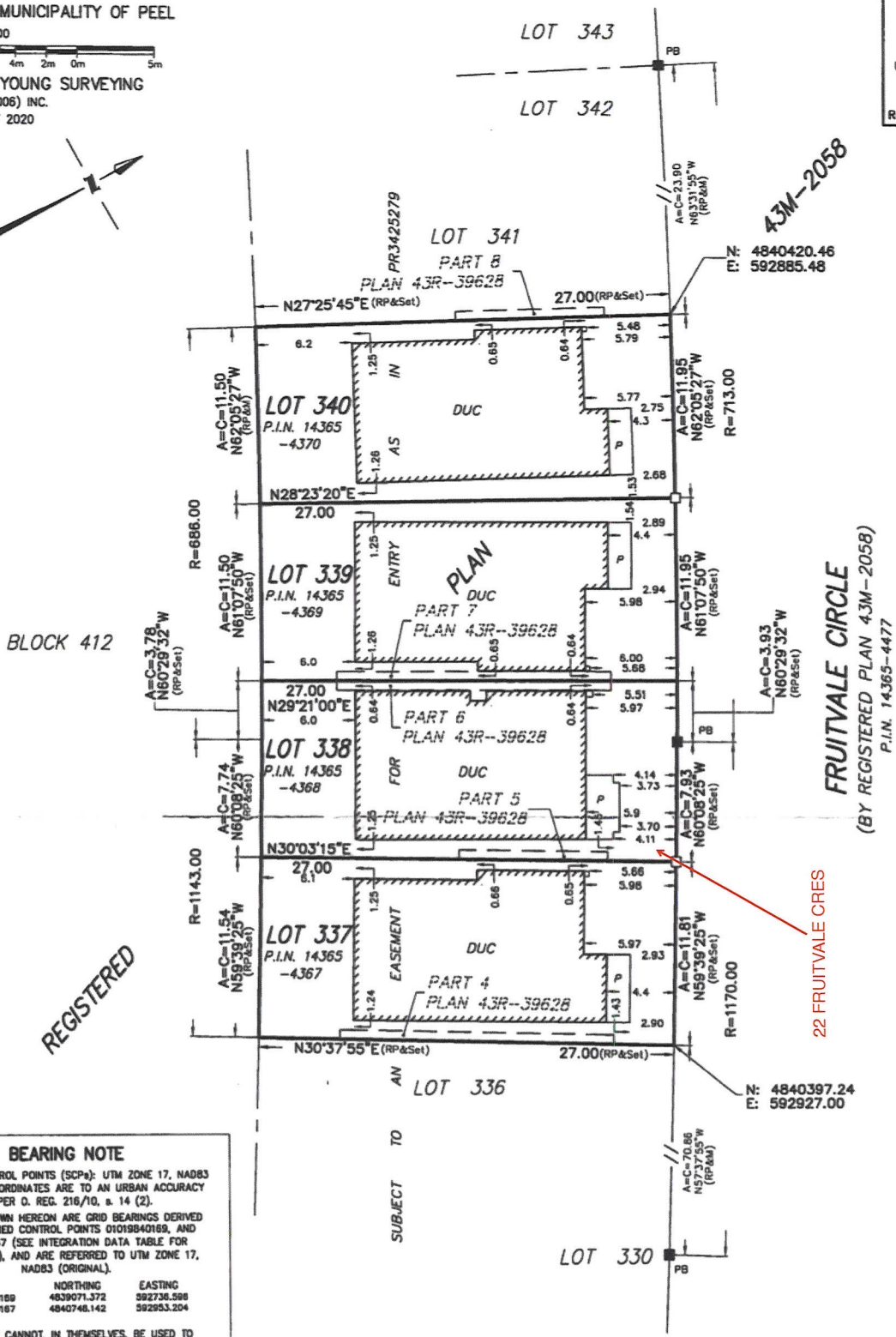
YOUNG & YOUNG SURVEYING
 (ETOBICOKE 2006) INC.
 © COPYRIGHT 2020



ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 2125609



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).



BLOCK 412

REGISTERED

SUBJECT TO AN

BEARING NOTE
 SPECIFIED CONTROL POINTS (SCPs): UTM ZONE 17, NAD83 (ORIGINAL). COORDINATES ARE TO AN URBAN ACCURACY AS PER O. REG. 216/10, s. 14 (2).
 BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM SPECIFIED CONTROL POINTS 01019840169, AND 01019840167 (SEE INTEGRATION DATA TABLE FOR COORDINATES), AND ARE REFERRED TO UTM ZONE 17, NAD83 (ORIGINAL).

	NORTHING	EASTING
SCP 01019840169	4839071.372	592736.588
SCP 01019840167	4840748.142	592953.204

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

DISTANCE NOTE
 DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999678

METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 1st DAY OF JUNE, 2020.

OCTOBER 08, 2020.
 DATE

CHRIS BERESNIWICZ
 ONTARIO LAND SURVEYOR

LEGEND

□	DENOTES	SURVEY MONUMENT SET
■	—	SURVEY MONUMENT FOUND
N,S,E,W	—	NORTH,SOUTH,EAST,WEST
M	—	MEASURED
PB	—	PLASTIC BAR
P.I.N.	—	PROPERTY IDENTIFIER NUMBER
DUC	—	DWELLING UNDER CONSTRUCTION
RP	—	REGISTERED PLAN 43M-2058
P	—	PORCH

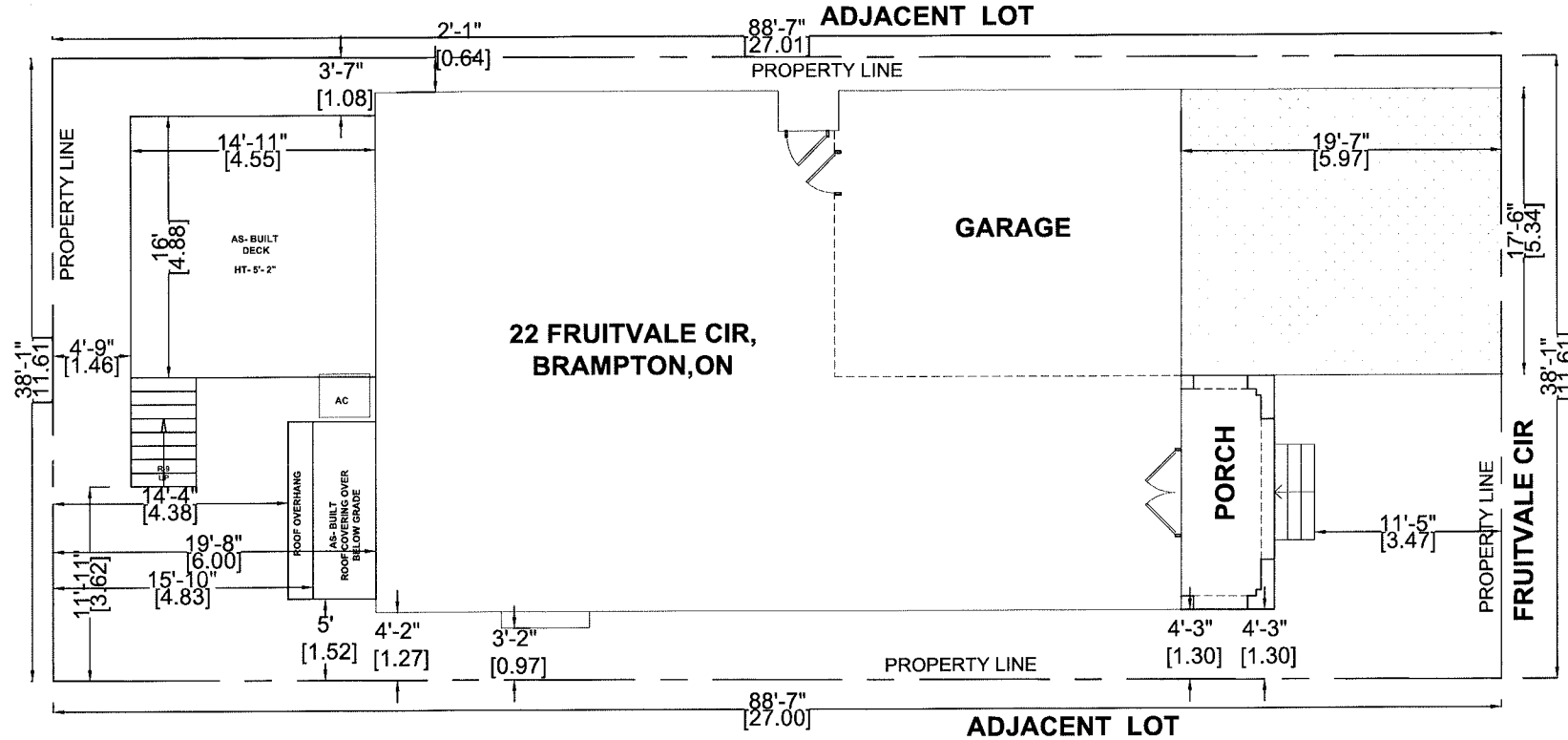
NOTE
 ALL FOUND SURVEY MONUMENTS ARE BY RADY-PENKEX & EDWARD SURVEYING LTD., O.L.S.
 ALL SET SURVEY MONUMENTS ARE IRON BARS UNLESS NOTED OTHERWISE

THIS PLAN WAS PREPARED FOR FIELDGATE HOMES

PART 2 - SURVEY REPORT
 1) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY :
 SUBJECT TO AN EASEMENT FOR ENTRY AS IN PR3425279
 2) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

YOUNG & YOUNG
 SURVEYING (ETOBICOKE 2006) INC.
 310 North Queen St., Unit 102, Toronto ON M9C-5K4
 Tel: (416) 621-2878 - Fax: (416) 621-3360
 E-MAIL: info@youngandyoung.ca

DRAWN: RJM CHECKED: C.B. **PROJECT 18-T9902**



GENERAL NOTES:
 DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.
 THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	NOV/06/2024
1	ISSUED FOR BUILDING PERMIT	OCT/04/2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST
 MISSISSAUGA, ON, L4T 1B7
 TEL : 905.276.1100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:

SITE PLAN

CHECKED : MSE
 DRAWN : TH
 SCALE : 1:100
 DATE : OCT/04/2024



DRAWING:

A 0.1

AREA STATISTICS:

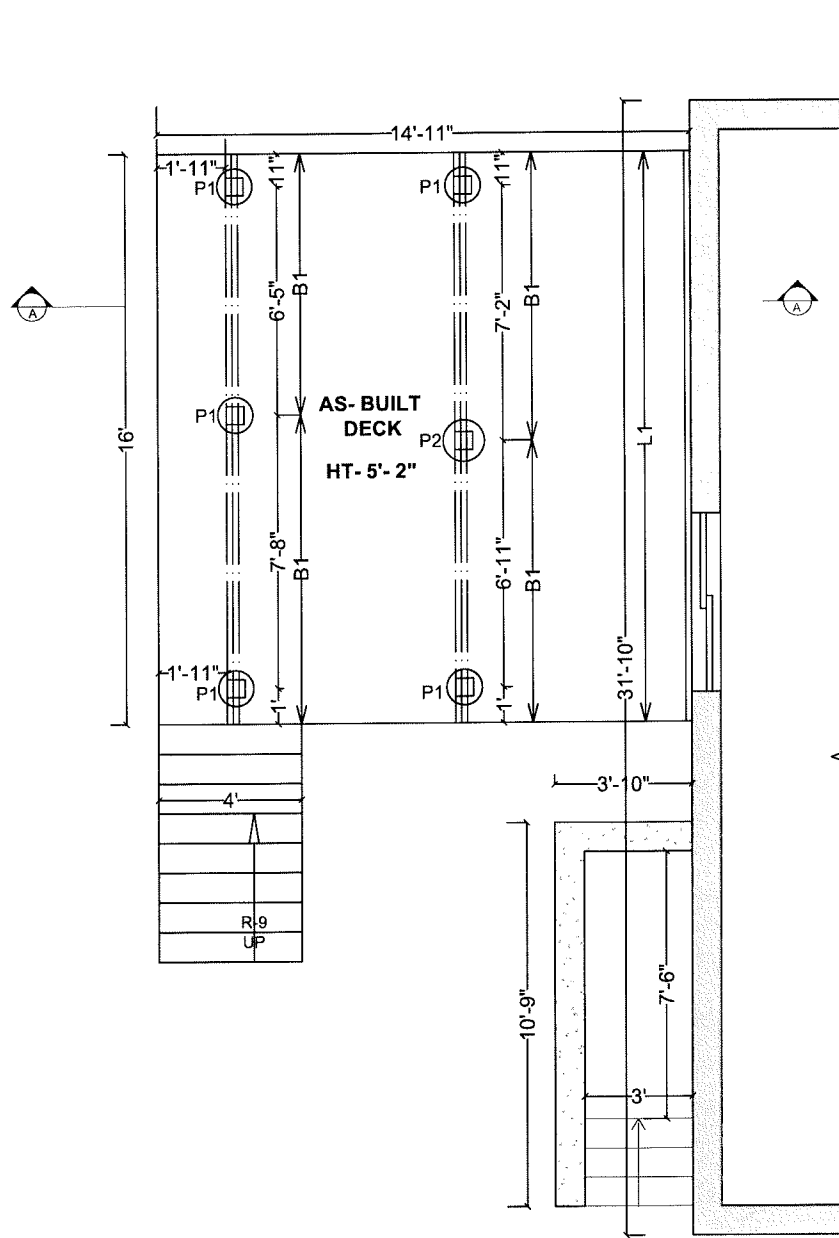
GROSS FLOOR AREA CALCULATIONS

- A. LOT AREA = 313.99 m²
- B. BUILDING AREA = 145.01 m²
- C. AREA OF DECK = 23.90 m²
- D. AREA OF ROOF COVERING OVER BELOW GRADE = 3.86 m²

▲ **ENTRANCE / EGRESS**

SCOPE OF WORK

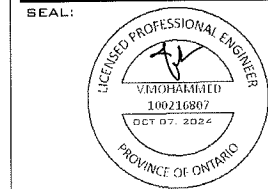
- A. LEGALIZATION OF AS-BUILT DECK
- B. LEGALIZATION OF AS-BUILT ROOF COVERING OVER BELOW GRADE.



AS-BUILT DECK

DECK MATERIAL	
P1	EXIST. 12" DIAMETER CONCRETE PIER MINIMUM 4'-0" BELOW GRADE 6" x 6" WOOD POST SECURED TO CONCRETE PIER w/METAL SHOE ANCHORED TO PIER MINIMUM 4" INTO CONCRETE
P2	EXIST. 14" DIAMETER CONCRETE PIER MINIMUM 4'-0" BELOW GRADE 6"x6" WOOD POST SECURED TO CONCRETE PIER w/METAL SHOE ANCHORED TO PIER MINIMUM 4" INTO CONCRETE
B1	EXIST. 2-2" x 8" PRESSURE TREATED WOOD BEAM
J1	EXIST. JOISTS 2"x8" @16" O.C. PRESSURE TREATED WOOD
L1	EXIST. 2"x8" LEDGER BOARD LAG BOLTED THRU WALL W/ 1/2" Ø THRU BOLTS @ 24" O.C IN TO EX. STRUCTURAL FRAMING

GENERAL NOTES:
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 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT/04/2024

ENGINEER:

 ADDRESS : 16 RIFON ST. MISSISSAUGA, ON. L4T 1E9
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

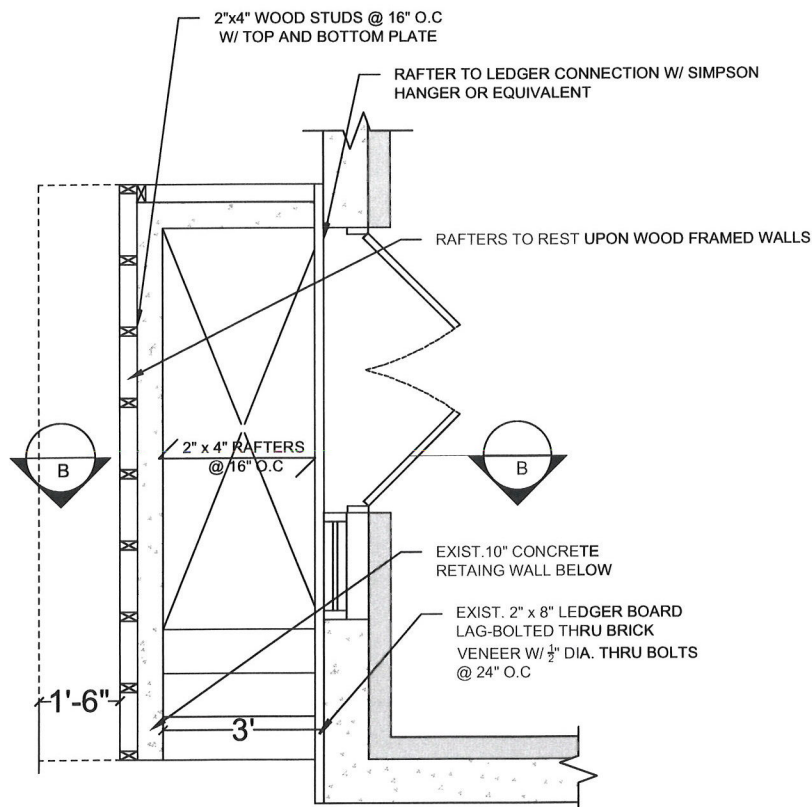
CONSULTANT:

PROJECT:
 22 FRUITVALE CIR,
 BRAMPTON, ON.

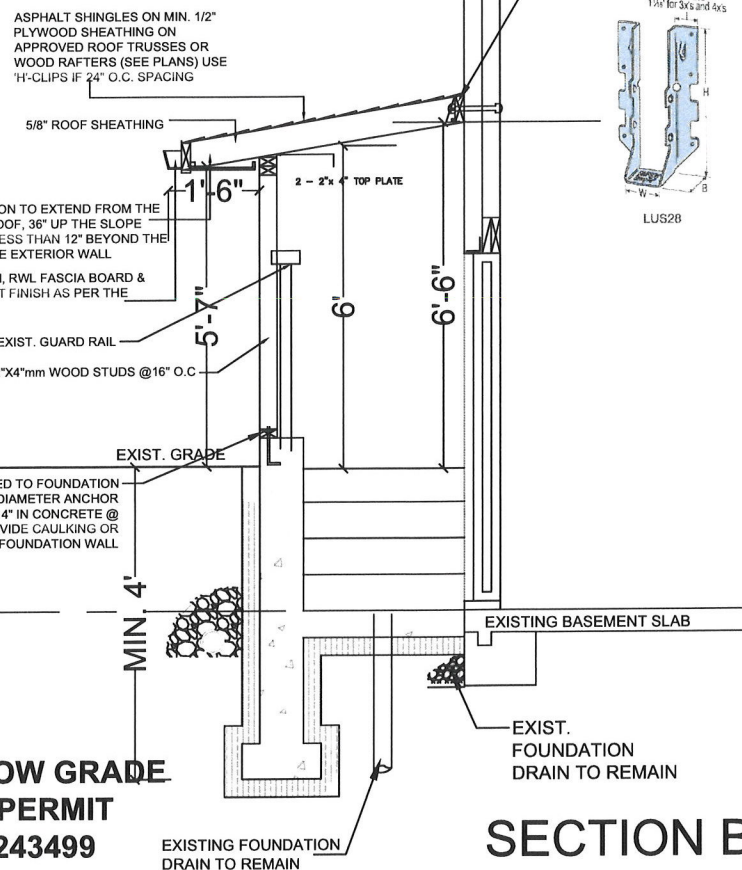
SHEET TITLE:
 PROP. DECK
 PLAN

CHECKED: MSS
 DRAWN: TH
 SCALE: 1/4" = 1'-0"
 DATE: OCT/04/2024

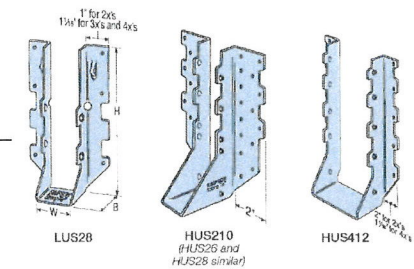
DRAWING:
 A 1.1



**EXIST. BELOW GRADE
BY THE PERMIT
NO.21-243499**



SECTION BB



EXIST. 2" x 8" LEDGER BOARD LAG-BOLTED THRU BRICK VENEER W/ 1/2" DIA. THRU BOLTS @ 24" O.C.

GENERAL NOTES:
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT/04/2024

ENGINEER:
Mechways Inc.
ADDRESS : 6 RIPON ST. MISSISSAUGA, ON, L4T 1E2
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

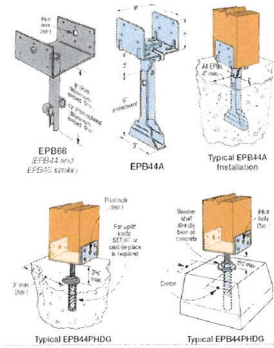
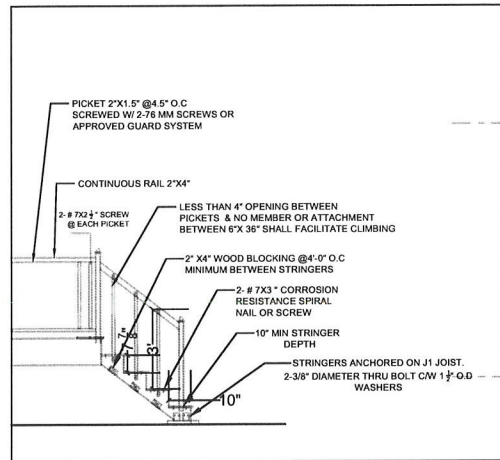
CONSULTANT:

PROJECT:
22 FRUITVALE CIR,
BRAMPTON, ON.

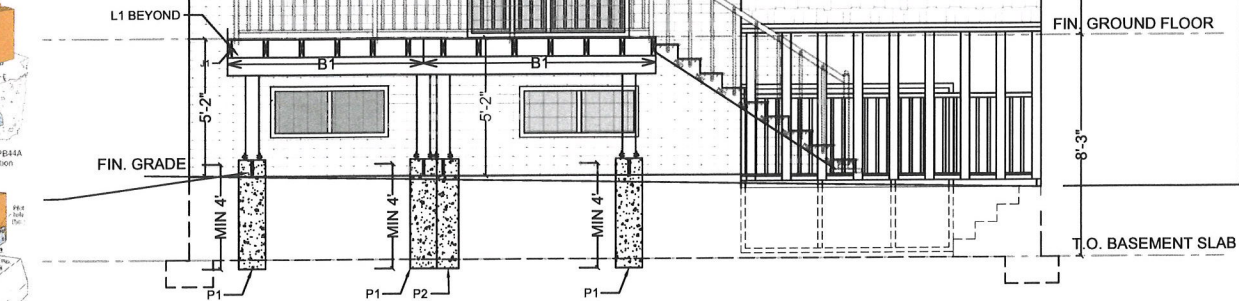
SHEET TITLE:
PROP. SHED
PLAN

CHECKED: MSS
DRAWN: TH
SCALE: 3/8" = 1'-0"
DATE: OCT/04/2024

DRAWING:
A 1.2



PICKET 2"x1.5" @ 4.5" O.C. SCREWED W/ 2-76 MM SCREWS OR APPROVED GUARD SYSTEM



REAR ELEVATION

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT/04/2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST. MISSISSAUGA, ON, L4T 1E2
 TEL. : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

22 FRUITVALE CIR,
BRAMPTON, ON.

SHEET TITLE:

REAR ELEVATION PLAN

CHECKED: MSS
 DRAWN: TH
 SCALE: 3/16" = 1'-0"
 DATE: OCT/04/2024

DRAWING:

A 2.1

GENERAL NOTES:
 DRAWINGS ARE TO BE READ NOT SCALED.
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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT/04/2024

ENGINEER:

Mechways Inc.
 ADDRESS : 6 RIPON ST. MISSISSAUGA, ON. L4T 1E2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

22 FRUITVALE CIR,
 BRAMPTON, ON.

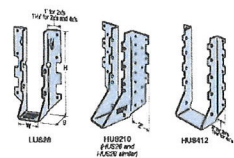
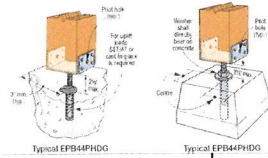
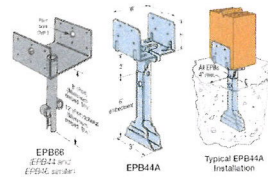
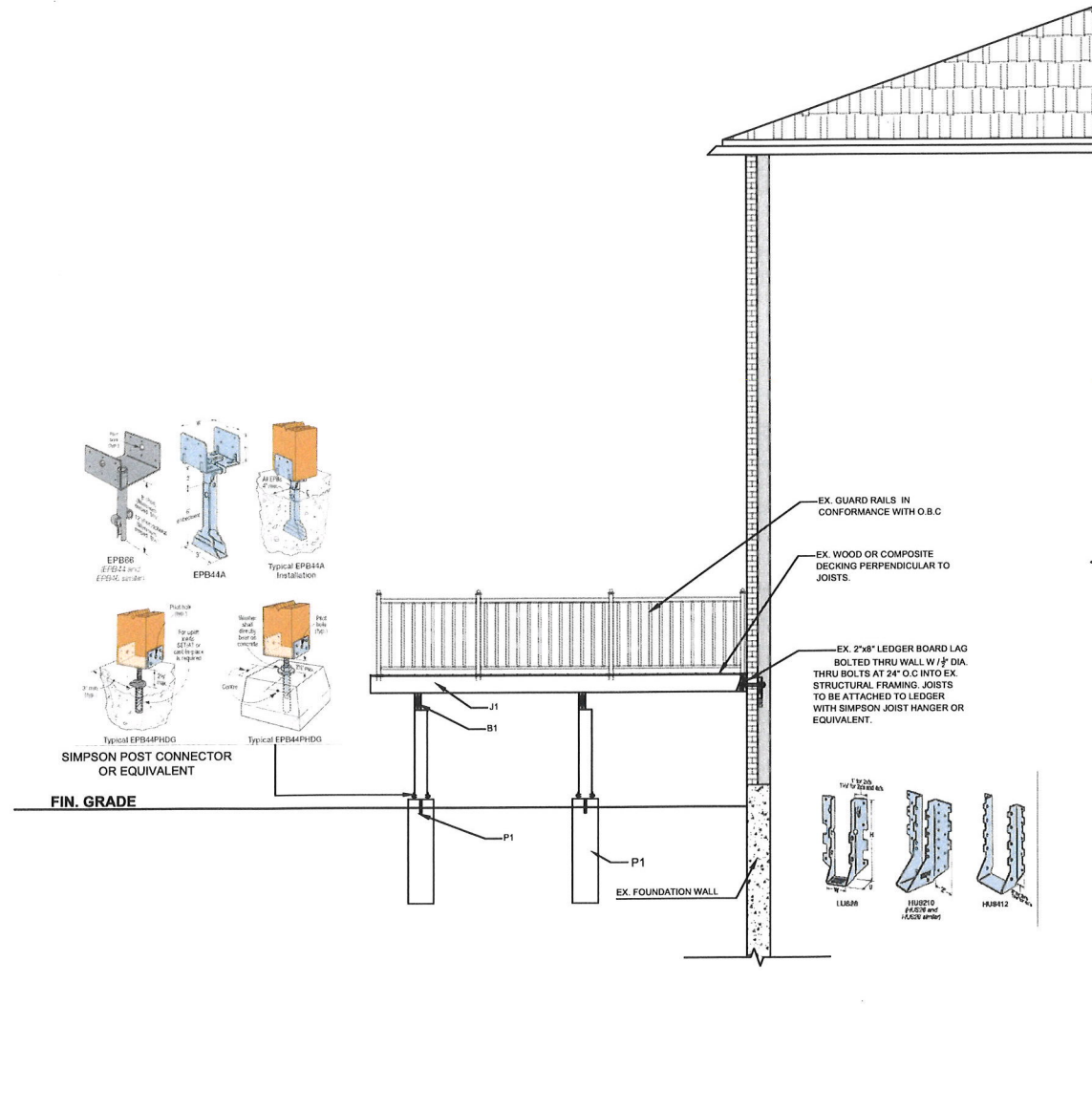
SHEET TITLE:

SECTION A A

CHECKED: MSS
 DRAWN: TH
 SCALE: 3/16" = 1'-0"
 DATE: OCT/04/2024

DRAWING:

A3.1



GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT/07/2024

ENGINEER:

Mechways Inc.
 ADDRESS : 6 BIRON ST
 MISSISSAUGA, ON, L4T 1E2
 TEL : 416-279-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:

GENERAL NOTES

CHECKED: MSS
 DRAWN: TH
 SCALE: N.T.S
 DATE: OCT/04/2024

DRAWING:

A 4.1

**Valiuddin Mohammed
Mechways Inc.
6 Ripon Street
Mississauga , L4T 1E2**

**Committee of Adjustment
City of Brampton, Clerk's Office
2 Wellington Street West, 1st Floor
Brampton, ON L6Y 4R2**

Re: Deferral of Minor Variance Application for 22 Fruitvale Cir.

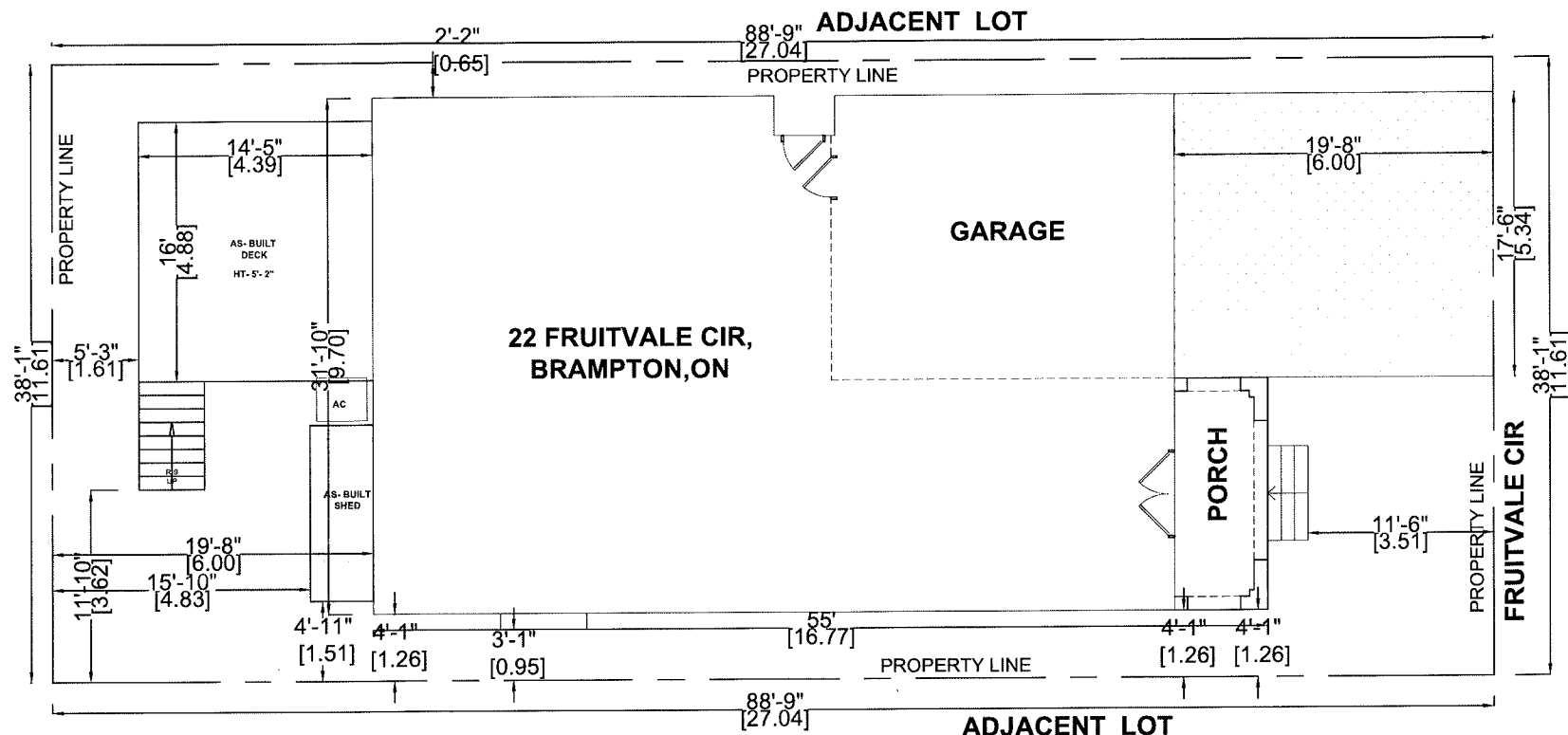
Dear Sir/Madam,

I am writing to request a deferral for the minor variance application related to the property at 22 Fruitvale Cir. We kindly ask for additional time to discuss the application with planners and address any concerns.

We believe that further dialogue will allow us to provide a more comprehensive submission. Thank you for your understanding, and we appreciate your consideration.

Sincerely,

Valiuddin Mohammed
Mechways Inc.



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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	09/04/2024

ENGINEER:
 Mechways Inc.
 ADDRESS : 16 RYAN ST. MISSISSAUGA, ON L4Y 1E9
 TEL : (905) 276-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
 22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:
 SITE PLAN

CHECKED : MSE
 DRAWN : TH
 SCALE : 1:100
 DATE : 09/04/2024



AREA STATISTICS:

GROSS FLOOR AREA CALCULATIONS

- A. LOT AREA = 313.99 m²
- B. BUILDING AREA = 145.01 m²
- C. AREA OF DECK = 23.90 m²
- D. AREA OF SHED = 3.86 m²

▲ ENTRANCE / EGRESS

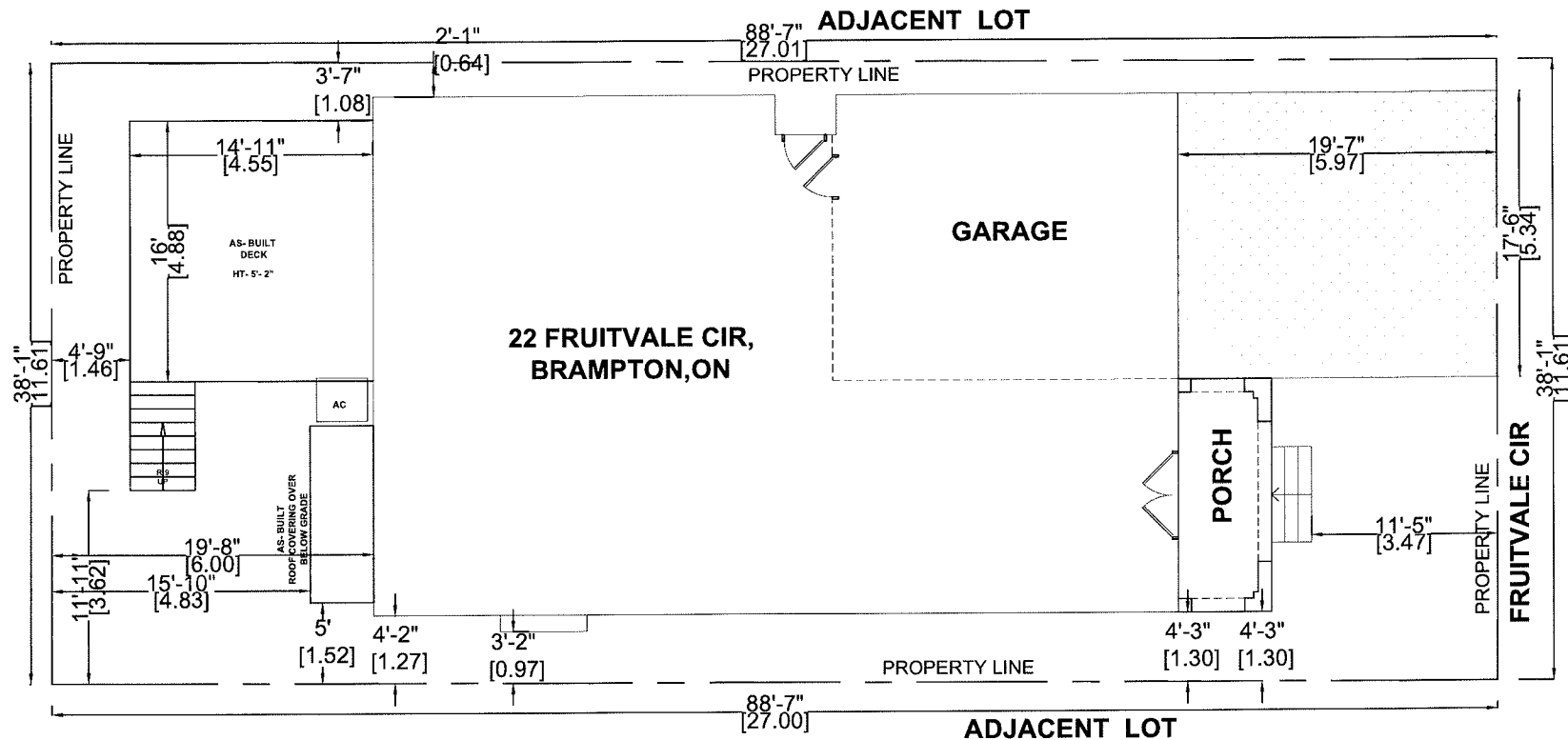
SCOPE OF WORK

- A. LEGALIZATION OF AS-BUILT DECK
- B. LEGALIZATION OF AS-BUILT SHED.

Received / Revised

NOV 26 2024

Committee of Adjustment



GENERAL NOTES:
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 MECHWAYS INC. REPRODUCTION OF
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	02/07/2024

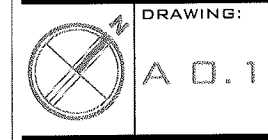
ENGINEER:
 Mechways Inc.
 ADDRESS: 12 BRIDLE
 HILL ROAD, BRAMPTON, ON, L6Y 1E8
 TEL: 905.874.6100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
 22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:
 SITE PLAN

CHECKED : MSS
 DRAWN : TH
 SCALE : 1:100
 DATE : 02/04/2024



AREA STATISTICS:

GROSS FLOOR AREA CALCULATIONS

A. LOT AREA	= 313.99 m ²
B. BUILDING AREA	= 145.01 m ²
C. AREA OF DECK	= 23.90 m ²
D. AREA OF SHED	= 3.86 m ²

▲ ENTRANCE / EGRESS

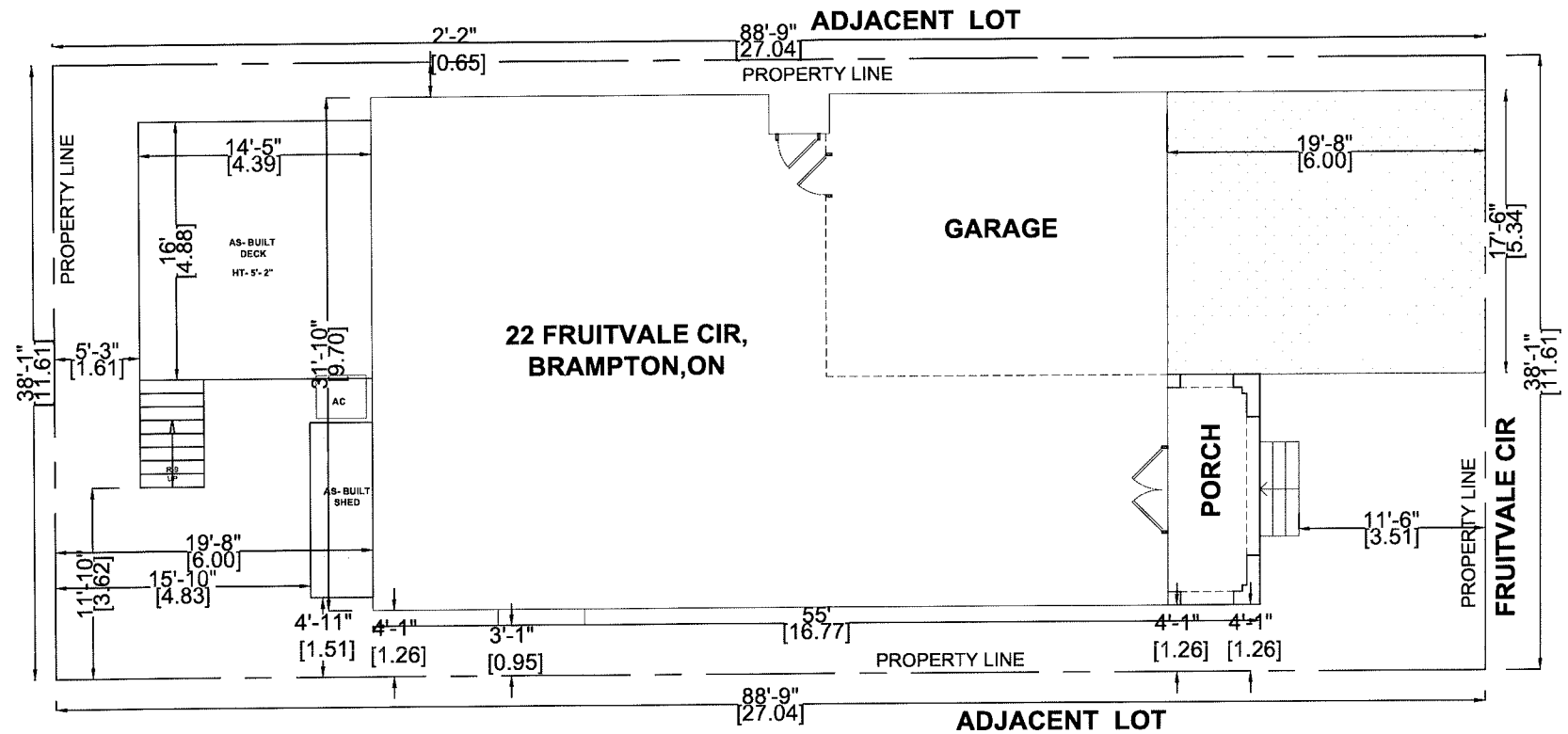
SCOPE OF WORK

A. LEGALIZATION OF AS-BUILT DECK
 B. LEGALIZATION OF AS-BUILT ROOF
 COVERING OVER BELOW GRADE.

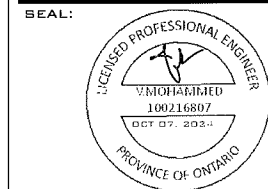
Received / Revised

NOV 26 2024

Committee of Adj...



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1	ISSUED FOR BUILDING PERMIT	03/04/2024
NO.	DESCRIPTION	DATE

ENGINEER:

 ADDRESS : 6 RIFON ST, MISSISSAUGA, ON, L4Y 1E2
 TEL : +1 416 277 4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
 22 FRUITVALE CIR,
 BRAMPTON, ON.

SHEET TITLE:
SITE PLAN

CHECKED : MSB
 DRAWN : TH
 SCALE : 1:100
 DATE : 03/04/2024



AREA STATISTICS:

GROSS FLOOR AREA CALCULATIONS

A. LOT AREA	= 313.99 m ²
B. BUILDING AREA	= 145.01 m ²
C. AREA OF DECK	= 23.90 m ²
D. AREA OF SHED	= 3.86 m ²

▲ ENTRANCE / EGRESS

SCOPE OF WORK

A. LEGALIZATION OF AS-BUILT DECK
 B. LEGALIZATION OF AS-BUILT SHED.

Received / Revised
 NOV 21 2024
 Committee of Adjustment

Zoning Non-compliance Checklist

File No.
A-2024-0409.

Applicant: Valiuddin Mohammed
 Address: 22 Fruitvale Circle
 Zoning: Residential R1F-9-2556
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS	To permit an <i>existing</i> deck to encroach 1.89m into the rear yard setback, resulting in a setback of 1.61m from the deck to the rear lot line	whereas the by-law permits a deck to encroach a maximum 3.5m as <i>specified in the special section</i> into the rear yard setback, resulting in a required setback of 3.5m from the deck to the rear lot line;	2556.2.6.c
PARKING			
SCHEDULE "C"			

 Angelo Barbato
 Reviewed by Zoning

 October 16, 2024
 Date