



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0457

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Agyei Peprah-Asiase and Irene Sarpong Peprah-Asiase
Address 5 SUTHERLAND AVE, BRAMPTON

Phone # 416-939-1550 **Fax #** _____
Email agyeipeprah@hotmail.com

2. **Name of Agent** ARYAN SHARMA
Address 96 KENNEDY RD SOUTH, UNIT 206

Phone # 905-452-8200 **Fax #** _____
Email info@thedesignfine.com

3. **Nature and extent of relief applied for (variances requested):**
1) MINOR VARIANCE FOR REDUCED FRONT YARD SETBACK FROM 6M TO 4.07M

4. **Why is it not possible to comply with the provisions of the by-law?**
1) Current minimum allowable front setback is 6.0 m we propose 4.07 m.

5. **Legal Description of the subject land:**
Lot Number 236
Plan Number/Concession Number _____
Municipal Address 5 SUTHERLAND AVE, BRAMPTON

6. **Dimension of subject land (in metric units)**
Frontage 15.24 M
Depth 30.48 M
Area 464.52 M

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>		<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Other Public Road	<input type="checkbox"/>
		Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Detached Bungalow

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Second story addition attach to existing house.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.30 M
 Rear yard setback 10.76 M
 Side yard setback 1.86 M
 Side yard setback 6.53 M

PROPOSED

Front yard setback 4.07 M
 Rear yard setback 10.76 M
 Side yard setback 1.86 M
 Side yard setback 6.53 M

10. Date of Acquisition of subject land: unknown

11. Existing uses of subject property: RESIDENTIAL (TWO UNIT DWELLING)

12. Proposed uses of subject property: RESIDENTIAL (THREE UNIT DWELLING)

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 1960

15. Length of time the existing uses of the subject property have been continued: 6 YEARS

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE NOVEMBER 28TH OF 2024
THIS 28 DAY OF NOV, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Aqyee Popal-Rance, OF THE city OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 12th DAY OF
December, 2024

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED Dec. 12, 2024

Date Application Deemed Complete by the Municipality _____

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 5 SUTHERLAND AVE, BRAMPTON

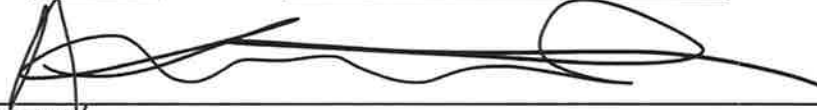
I/We, Agyei Peprah-Asiase
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

ARYAN SHARMA
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 28 day of NOV, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 5 SUTHERLAND AVE, BRAMPTON

I/We, Agyei Peprah-Asiase
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 28 day of NOVEMBER, 2024.

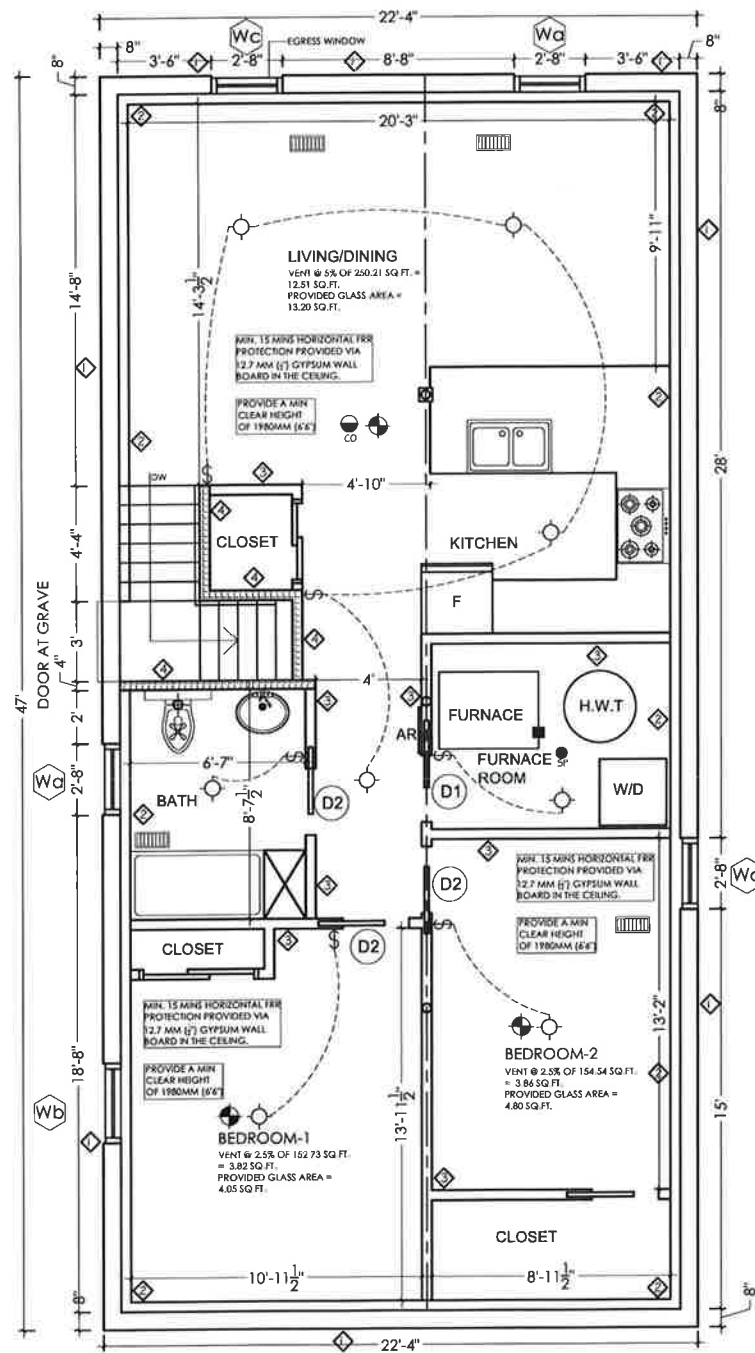


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

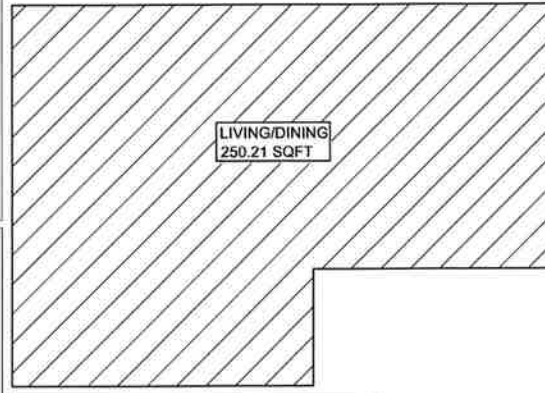


WALL SCHEDULE

- ◆ PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- ◆ PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- ◆ EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- ◆ EXISTING 38 X 89 WOOD FRAMING @ 406 O.C.
- ◆ EXISTING INSULATION W/VAPOR BARRIER TO REMAIN
- ◆ EXISTING FOUNDATION WALL

LEGEND:

- ◆ - WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- ✂ - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- ▤ - HEATING OUTLET
- ⊕ - ELECTRIC OUTLET
- ⊙ - SPRINKLER
- ⊙ - CARBON MONO-OXIDE DETECTOR



WINDOW SCHEDULE

- (EXISTING WINDOW)
- Wa 32" X 24" WINDOW
- Wb 36" X 18" WINDOW
- Wc 32" X 42" EGRESS WINDOW

DOOR SCHEDULE

- (EXISTING DOOR)
- D-1 815 X 2100 (32" X 80") POCKET DOOR
- D-2 765 X 2100 (30" X 80") POCKET DOOR

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332 /12 AS AMENDED DIV. B. PART 7.

ELECTRICAL NOTES:

1. ALL THE ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY.
2. ALL SMOKE ALARMS ARE LOCATED WITH CONFORMANCE OF OBC. DIV.B 9.10.19.3.

PLUMBING NOTES:

1. ALL THE PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332 /12 AS AMENDED DIV. B. PART 7.
2. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE REQUIRED ON SHOWER AS PER OBC DIV.B 7.6.5.2.(1)
3. THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO THE FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1. DISHWASHER AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
4. ALL THERMOSTATIC VALVES SHALL CONFORM TO CAN/CSA-B125 "PLUMBING FIXTURES" AND BE LABELED ACCORDINGLY.
5. THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/8" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER.

NOTE: THE INSTALLATION OF CARBON MONOXIDE DETECTOR S SHALL COMPLY WITH OBC DIV B.9.33.4 REQUIREMENTS.

- : INSTALLATION OF HVAC EQUIPMENTS SHALL CONFORM TO MANUFACTURE'S SPECIFICATIONS AND MANUALS
- : MECHANICAL VENTILATION SHALL BE PROVIDED IN CONFORMANCE WITH OBC DIV B.9.32.3 REQUIREMENTS.

EXISTING BASEMENT PLAN

SCALE 3/16" = 1'

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

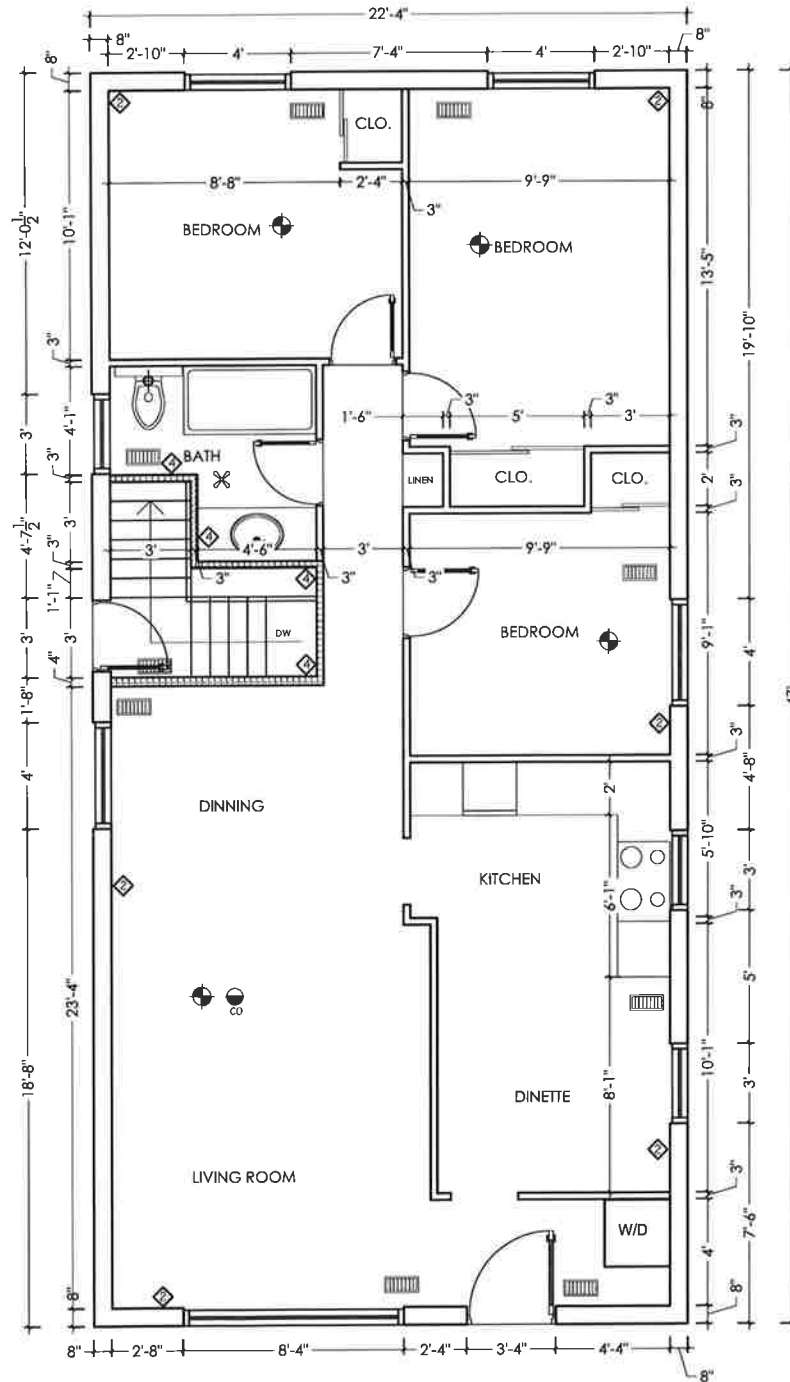
deSign
Fine Ltd.

CONSULTING ENGINEERS

86 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8255
www.thedesigfine.com

DRAWING TITLE:
EXISTING BASEMENT

DESIGN AS	SCALE: AS NOTED	DRAWING NO: A1
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO: DFL-2022-22	



WALL SCHEDULE

- PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION W/VAPOR BARRIER TO REMAIN
- EXISTING FOUNDATION WALL

LEGEND:

- WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- HEATING OUTLET
- ELECTRIC OUTLET
- SPRINKLER
- CARBON MONO-OXIDE DETECTOR

EXISTING MAIN FLOOR PLAN
SCALE $\frac{3}{16}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

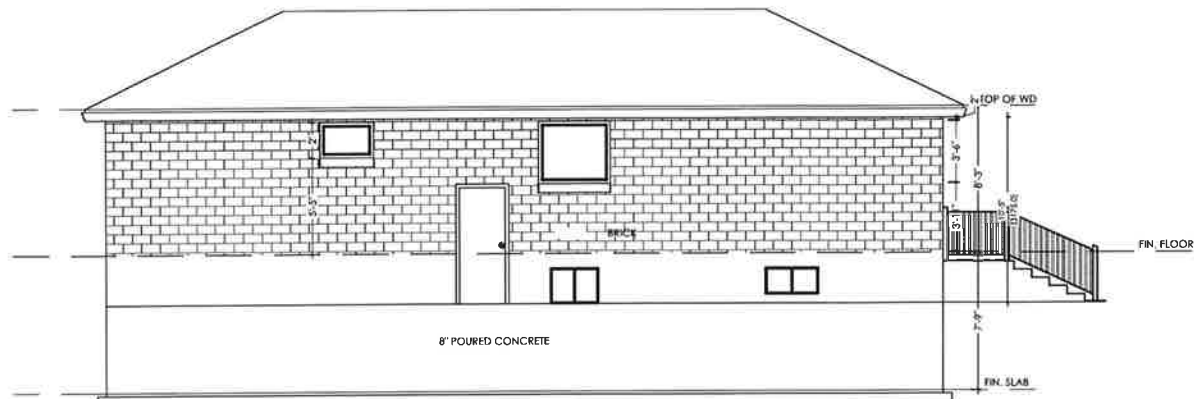
CLIENT:



CONSULTING ENGINEERS
56 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-4200 Fax: 905-452-4265
www.thedesignfine.com

DRAWING TITLE:
EXISTING MAIN FLOOR

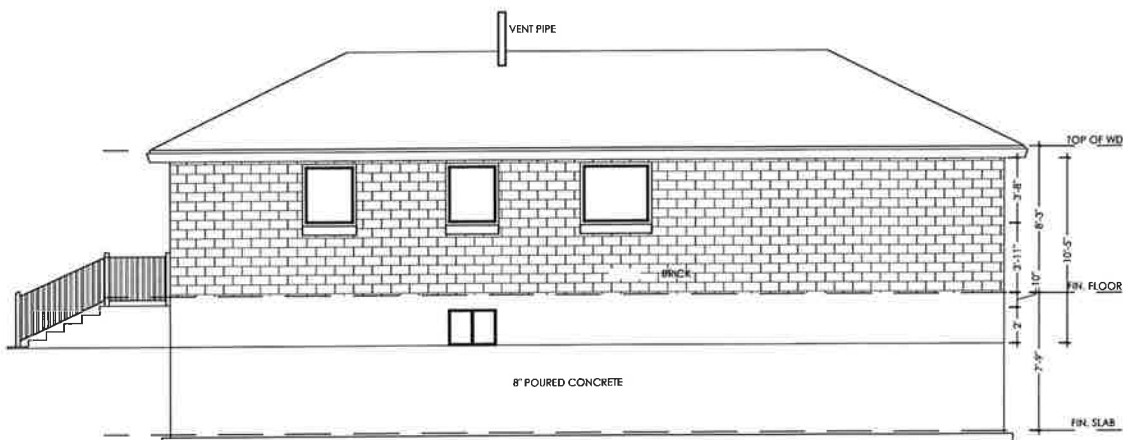
DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A2
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO DFL-2022-22	



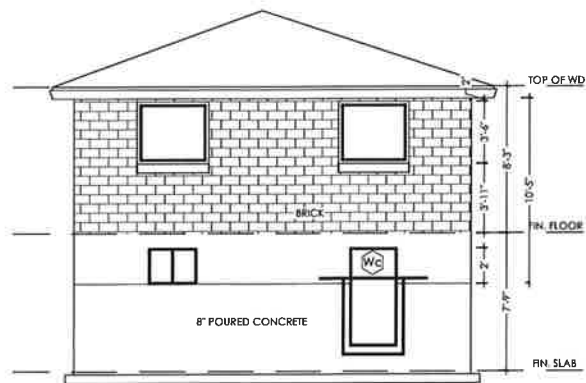
EXISTING LEFT ELEVATION
SCALE $\frac{1}{8}" = 1'$



EXISTING FRONT ELEVATION
SCALE $\frac{1}{8}" = 1'$



EXISTING RIGHT ELEVATION
SCALE $\frac{1}{8}" = 1'$



EXISTING REAR ELEVATION
SCALE $\frac{1}{8}" = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE: NO DESCRIPTION BY

REVISIONS:

PROJECT:

5 SUTHERLAND AVE

BRAMPTON

CLIENT:



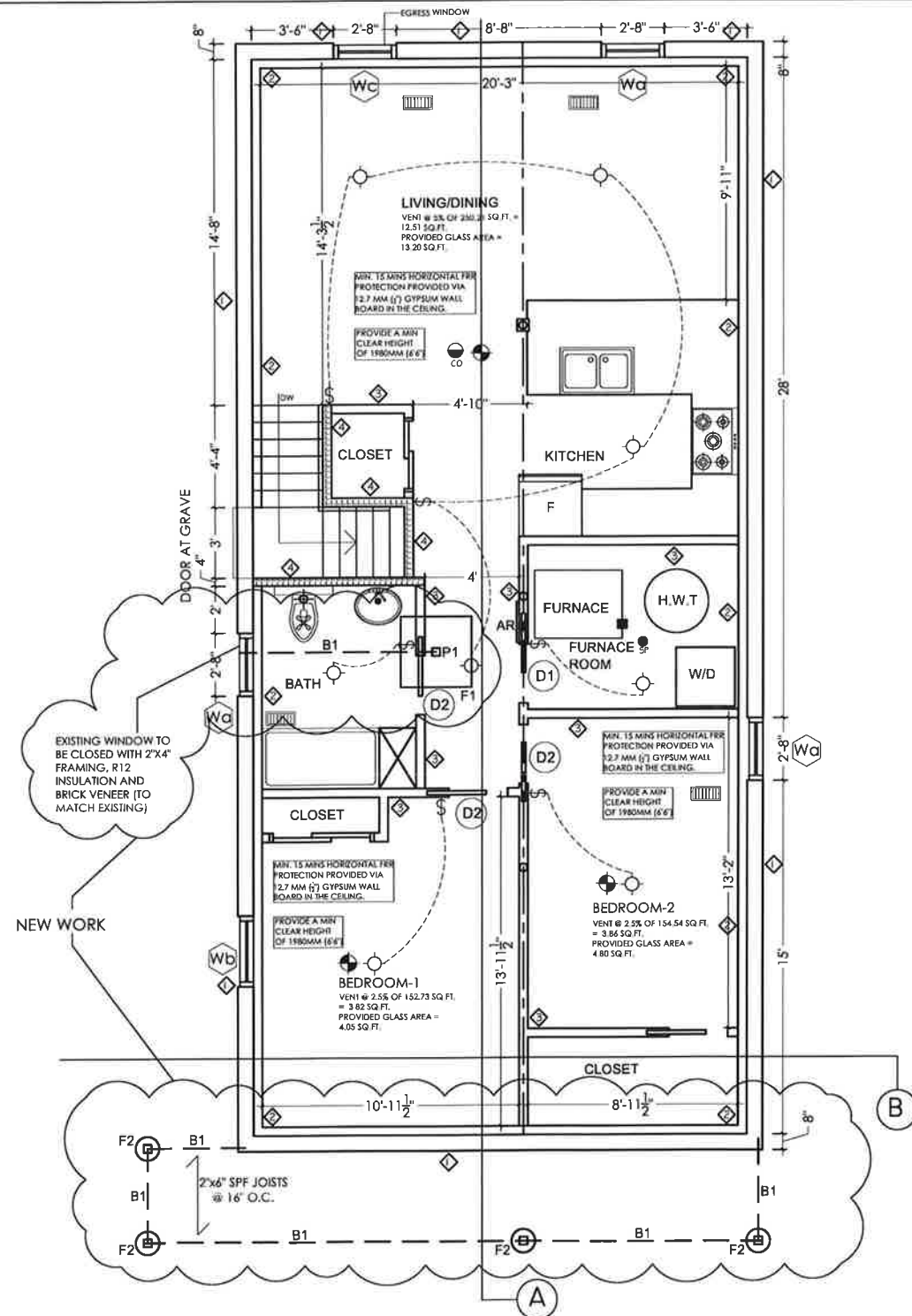
CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 9E7
Ph: 905-452-8200 Fax: 905-452-8285
www.thedesignfine.com

DRAWING TITLE:

EXISTING ELEVATIONS

DESIGN: AS	SCALE: AS NOTED	DRAWING NO:
DRAWN: AS	DATE: MAY, 2022	A3
CHECKED: AS	PROJECT NO DFL-2022-22	



WALL SCHEDULE

- PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 3/4" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION WVAVOR BARRIER TO REMAIN
- EXISTING FOUNDATION WALL

LEGEND:

- WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- HEATING OUTLET
- ELECTRIC OUTLET
- SPRINKLER
- CARBON MONO-OXIDE DETECTOR

BI - 3 PLY LVL BEAM 14" X 1 1/2" 2.IE W/ MIN BEARING OF 3.5" EACH SIDE.

F1 - 36"x36"x10" M32 CONCRETE FOOTING WITH 15 REBAR @ 12" BOTH WAYS

PI - 4"x4" SPF WOOD POST ATTACHED TO CONCRETE FOOTING VIA STEEL SADDLE

F2 - 12" DIA X 4' DEEP SONO TUB FOUNDATION - M32 CONCRETE, 4"x4" SPF WOOD POST ATTACHED VIA STEEL SADDLE, CONT' UP TO SECOND FLOOR

WINDOW SCHEDULE	DOOR SCHEDULE
(EXISTING WINDOW)	(EXISTING DOOR)
Wa 32" X 24" WINDOW	D-1 815 X 2100 (32" X 80") POCKET DOOR
Wb 36" X 18" WINDOW	D-2 765 X 2100 (30" X 80") POCKET DOOR
Wc 32" X 42" EGRESS WINDOW	

- GENERAL NOTES:**
- ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332 /12 AS AMENDED DIV. B. PART 7.
- ELECTRICAL NOTES:**
- ALL THE ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY.
 - ALL SMOKE ALARMS ARE LOCATED WITH CONFORMANCE OF OBC. DIV.B 9.10.19.3.

- PLUMBING NOTES:**
- ALL THE PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332 /12 AS AMENDED DIV. B. PART 7.
 - PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE REQUIRED ON SHOWER AS PER OBC DIV.B 7.6.5.2.(1)
 - THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO THE FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1. DISHWASHER AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
 - ALL THERMOSTATIC VALVES SHALL CONFORM TO CAN/CSA-B125 "PLUMBING FIXTURES" AND BE LABELED ACCORDINGLY.
 - THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/8" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER.
- NOTE:** THE INSTALLATION OF CARBON MONOXIDE DETECTOR 5 SHALL COMPLY WITH OBC DIV B.9.33.4 REQUIREMENTS.
- INSTALLATION OF HVAC EQUIPMENTS SHALL CONFORM TO MANUFACTURE'S SPECIFICATIONS AND MANUALS
 - MECHANICAL VENTILATION SHALL BE PROVIDED IN CONFORMANCE WITH OBC DIV B.9.32.3 REQUIREMENTS.

PROPOSED BASEMENT PLAN
SCALE 3/16" = 1'

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE:	NO.	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

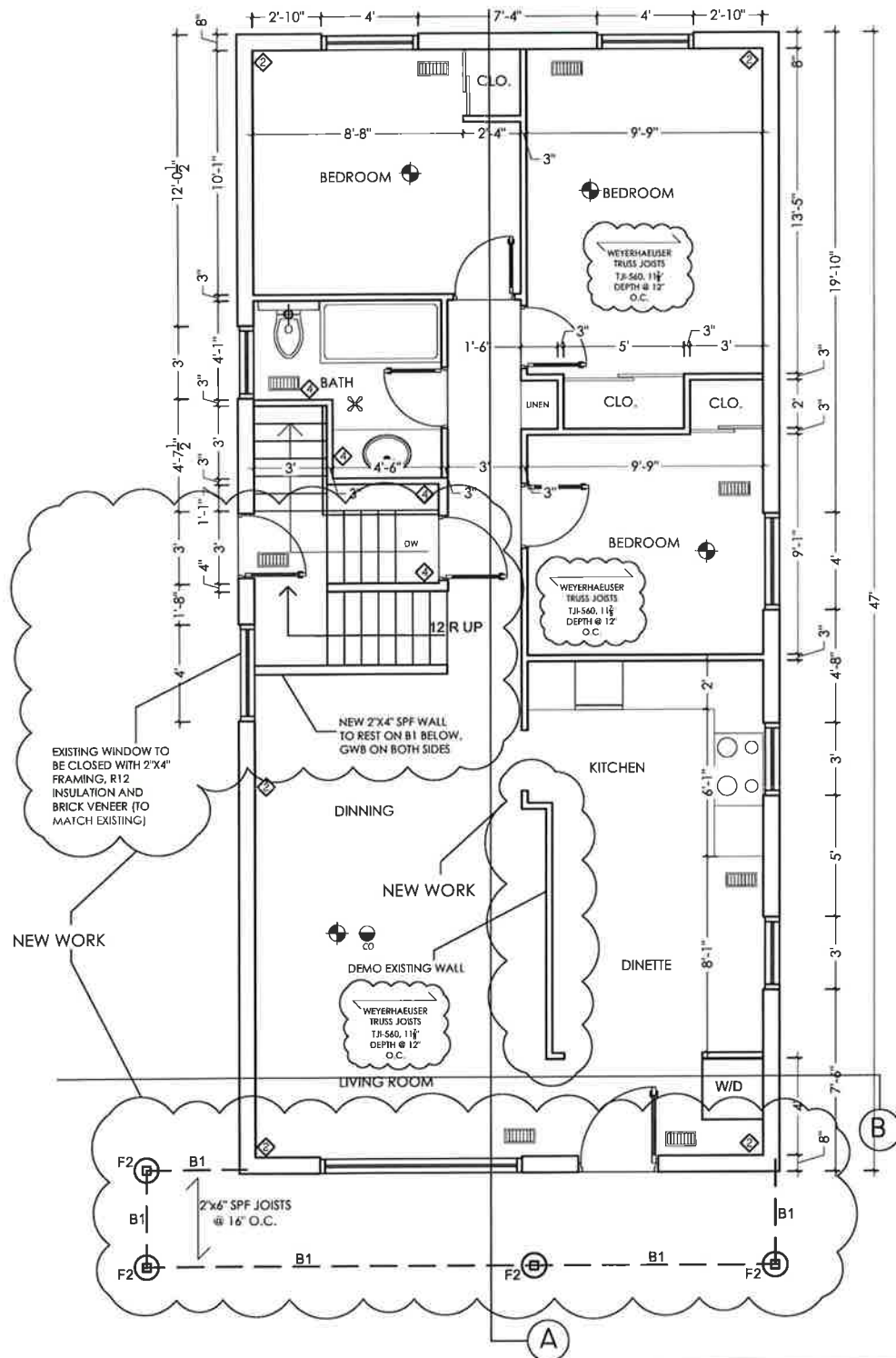
deSign
Fine Ltd.

CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8285
www.thedesignteam.com

DRAWING TITLE:
PROPOSED BASEMENT PLAN

DESIGN:	SCALE:	DRAWING NO.:
AS	AS NOTED	
DRAWN:	DATE:	A4
AS	MAY, 2022	
CHECKED:	PROJECT NO.	
AS	DPL-2022-22	



B1 - 3 PLY LVL BEAM 14" X 12³/₄" 2.IE W/
MIN BEARING OF 3.5" EACH SIDE.

F1 - 36"x36"x10" M32 CONCRETE FOOTING
WITH I5 REBAR @ 12" BOTH WAYS

PI - 4"x4" SPF WOOD POST ATTACHED TO
CONCRETE FOOTING VIA STEEL SADDLE

F2 - 12" DIA X 4' DEEP SONO TUB
FOUNDATION - M32 CONCRETE, 4"x4" SPF
WOOD POST ATTACHED VIA STEEL
SADDLE, CONT' UP TO SECOND FLOOR

WALL SCHEDULE

- ◆ PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- ◆ PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- ◆ EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- ◆ EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION W/VAPOR BARRIER TO REMAIN
- ◆ EXISTING FOUNDATION WALL

LEGEND:

- ⊙ - WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- ✂ - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- ▤ - HEATING OUTLET
- ⚡ - ELECTRIC OUTLET
- - SPRINKLER
- ⊙ - CARBON MONO-OXIDE DETECTOR

PROPOSED MAIN FLOOR PLAN
SCALE 3/16" = 1'

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

deSign
Fine Ltd.

CONSULTING ENGINEERS

96 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8225 Fax: 905-452-8285
www.thedesigntfine.com

DRAWING TITLE:
PROPOSED MAIN FLOOR PLAN

DESIGN AS	SCALE AS NOTED	DRAWING NO: A5
DRAWN AS	DATE: MAY, 2022	
CHECKED AS	PROJECT NO DFL-2022-22	

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			xx

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

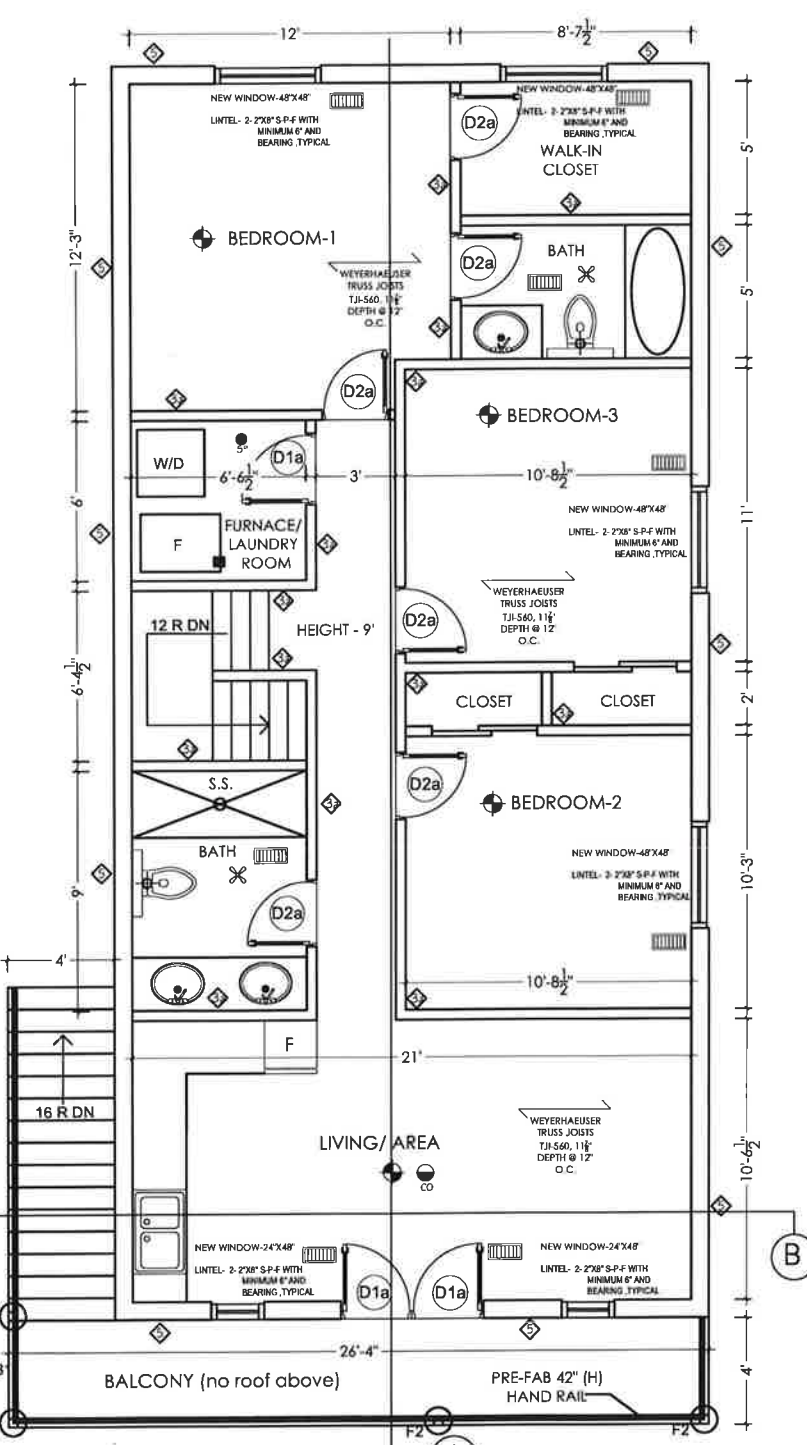
deSign
Fire Ltd.

CONSULTING ENGINEERS

86 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8285
www.designfine.com

DRAWING TITLE:
PROPOSED SECOND FLOOR PLAN

DESIGN: AS	SCALE: AS NOTED	DRAWING NO.:
DRAWN: AS	DATE: MAY, 2022	A6
CHECKED: AS	PROJECT NO DFL-2022-22	



BI - 3 PLY LVL BEAM 14" X 1 $\frac{3}{4}$ " 2.IE W/
MIN BEARING OF 3.5" EACH SIDE.

FI - 36"X36"X10" M32 CONCRETE FOOTING
WITH 15 REBAR @ 12" BOTH WAYS

PI - 4"X4" SPF WOOD POST ATTACHED TO
CONCRETE FOOTING VIA STEEL SADDLE

F2 - 12" DIA X 4' DEEP SONO TUB
FOUNDATION - M32 CONCRETE, 4"X4" SPF
WOOD POST ATTACHED VIA STEEL
SADDLE, CONT' UP TO SECOND FLOOR

WALL SCHEDULE

- ◊ PROPOSED 38 X 140 @406 O/C 12.7MM GWB W/ EXTERIOR STUCCO FINISH (1") THICK & R24 INSULATION
- ◊ PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- ◊ PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- ◊ EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- ◊ EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION WVAPOR BARRIER TO REMAIN
- ◊ EXISTING FOUNDATION WALL

LEGEND:

- ☉ - WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- ✂ - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- ▒ - HEATING OUTLET
- ⦿ - ELECTRIC OUTLET
- ⦿ - SPRINKLER
- ⦿ - CARBON MONO-OXIDE DETECTOR

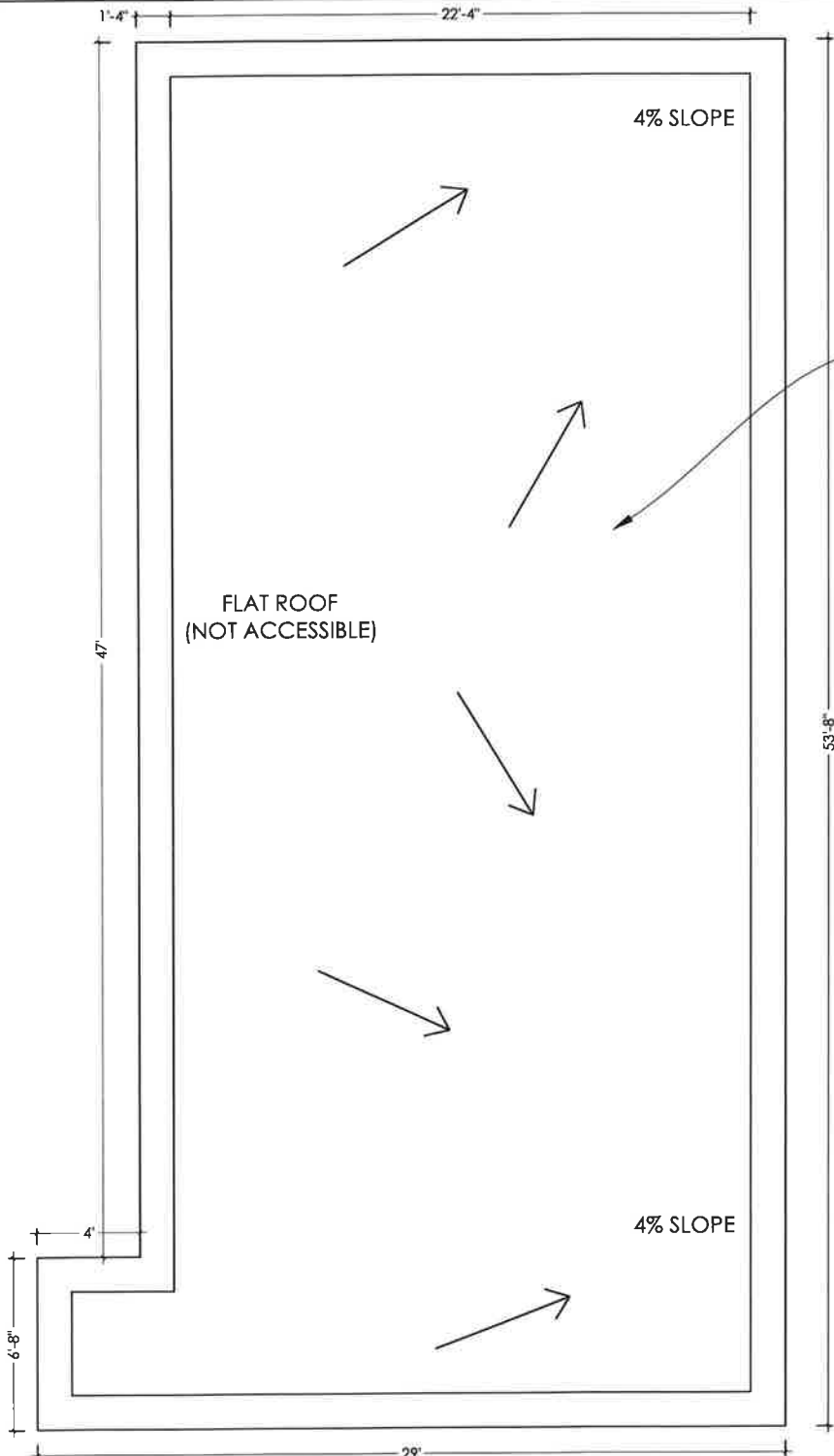
DOOR SCHEDULE
(PROPOSED DOOR)

D-1a 815 X 2100 (32" X 80")
POCKET DOOR

D-2a 785 X 2100 (30" X 80")
POCKET DOOR

PROPOSED SECOND FLOOR PLAN
SCALE 3/16" = 1'

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE



FLAT ROOF CONSTRUCTION ABOVE:
 3 PLY RUBBER MEMBRANE ON 3/4" PLYWOOD ON 2 x 10
 JOIST @ 16" O/C WITH 1/2" GYP. CEILING
 RUBBER MEMBRANE ROOFING TO MEET OBC. 2012
 SENTENCE 9.26.2.1.(g) REQUIREMENTS CGSB 37-GP-52M
 ROOFING & WATERPROOFING MEMBRANE. SHEET
 APPLIED, ELASTOMERIC.
 (2% min. slope) AS PER OBC. 2012 ARTICLE 9.26.3.1

PROPOSED ROOF PLAN
 SCALE $\frac{3}{16}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
 The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
 BRAMPTON

CLIENT:

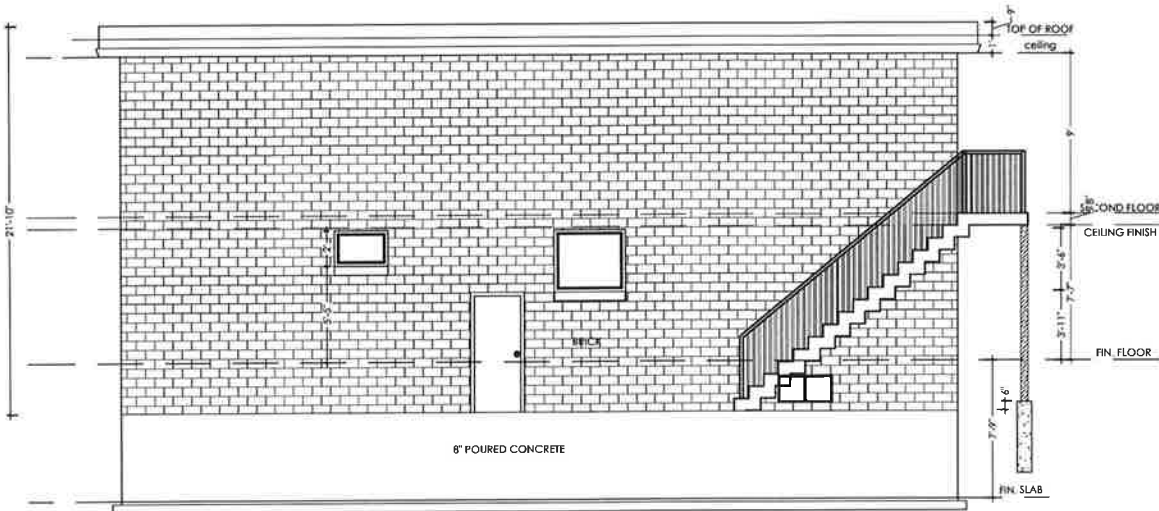
deSign
 Fine Ltd.

CONSULTING ENGINEERS

86 KENNEDY ROAD SOUTH
 BRAMPTON, ON L6W 3E7
 Ph: 905-452-8200 Fax: 905-452-8285
www.thedesigntofine.com

DRAWING TITLE:
PROPOSED ROOF PLAN

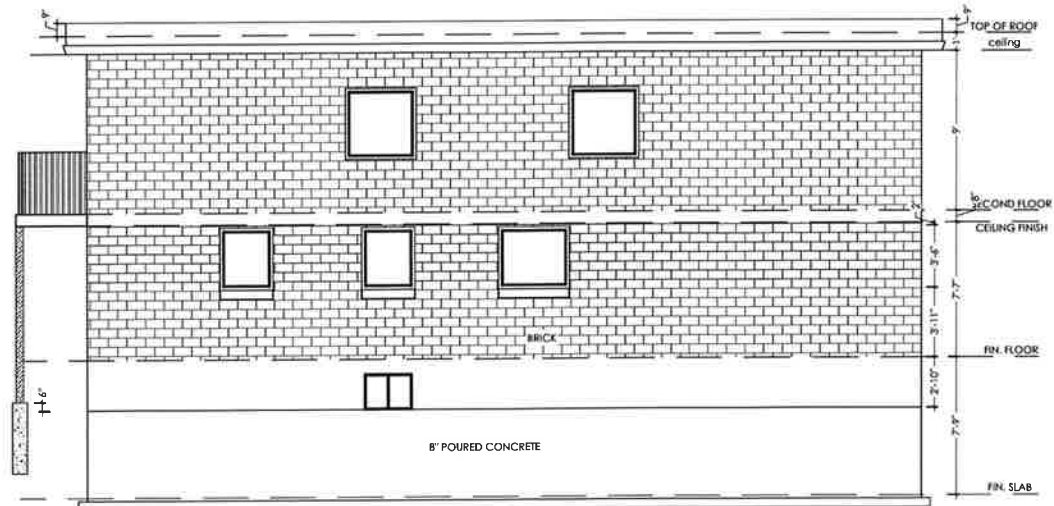
DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A7
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO: DFL-2022-22	



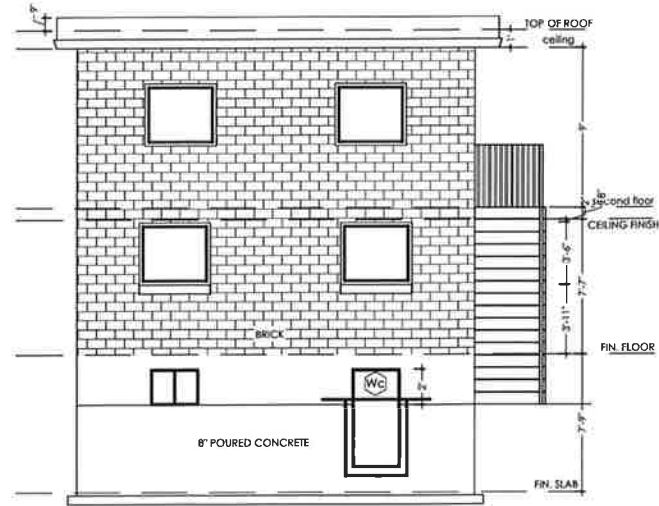
PROPOSED LEFT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



PROPOSED FRONT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



PROPOSED RIGHT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



PROPOSED REAR ELEVATION
SCALE $\frac{1}{8}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

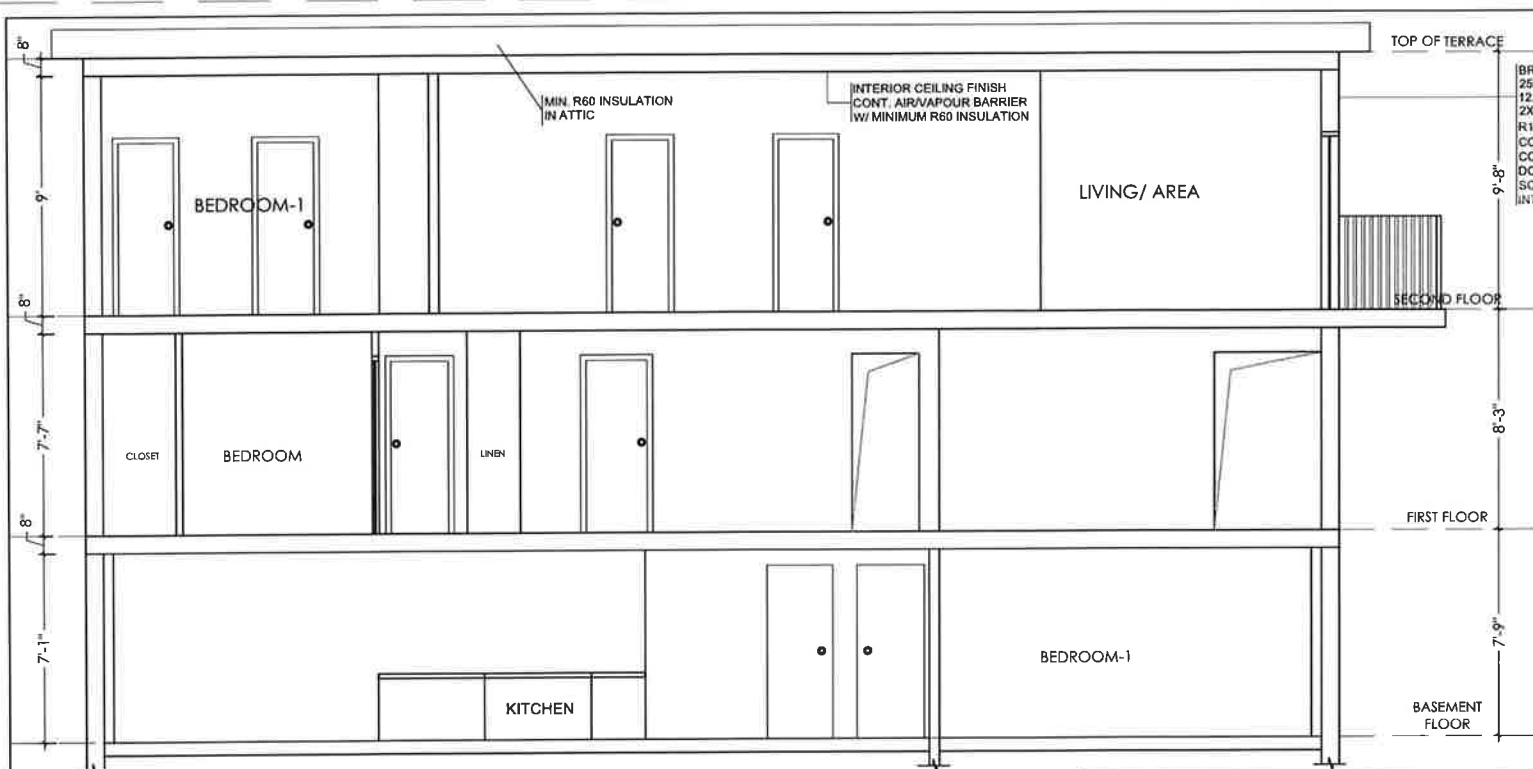
deSign
Fine Ltd.

CONSULTING ENGINEERS

88 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-6200 Fax: 905-452-8285
www.thedesignfine.com

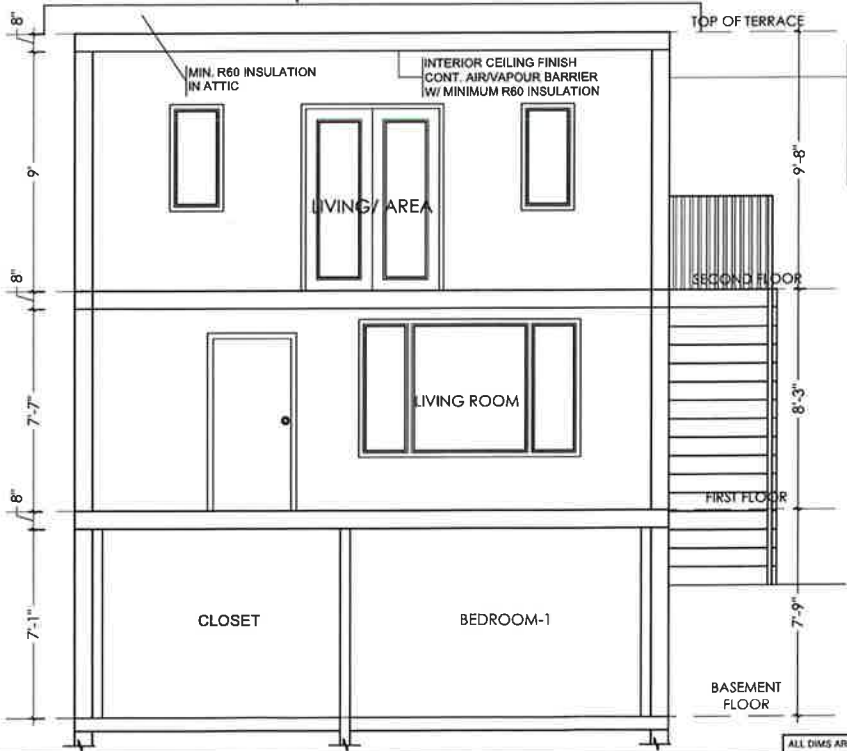
DRAWING TITLE:
PROPOSED ELEVATIONS

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A8
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO DFL-2022-22	



BRICK VENEER WALL
25MM AIR GAP
12.7MM SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R19+5G1 BATT INSULATION IN CONT.
CONTACT W/ SHEATHING
CONTINUOUS VAPOUR/AIR BARRIER
DOUBLE PLATE @ TOP
SOLE PLATE @ BOTTOM
INTERIOR WALL FINISH

SECTION AA'
SCALE $\frac{3}{16}'' = 1'$



BRICK VENEER WALL
25MM AIR GAP
12.7MM SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R19+5G1 BATT INSULATION IN CONT.
CONTACT W/ SHEATHING
CONTINUOUS VAPOUR/AIR BARRIER
DOUBLE PLATE @ TOP
SOLE PLATE @ BOTTOM
INTERIOR WALL FINISH

SECTION BB'
SCALE $\frac{3}{16}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.

DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

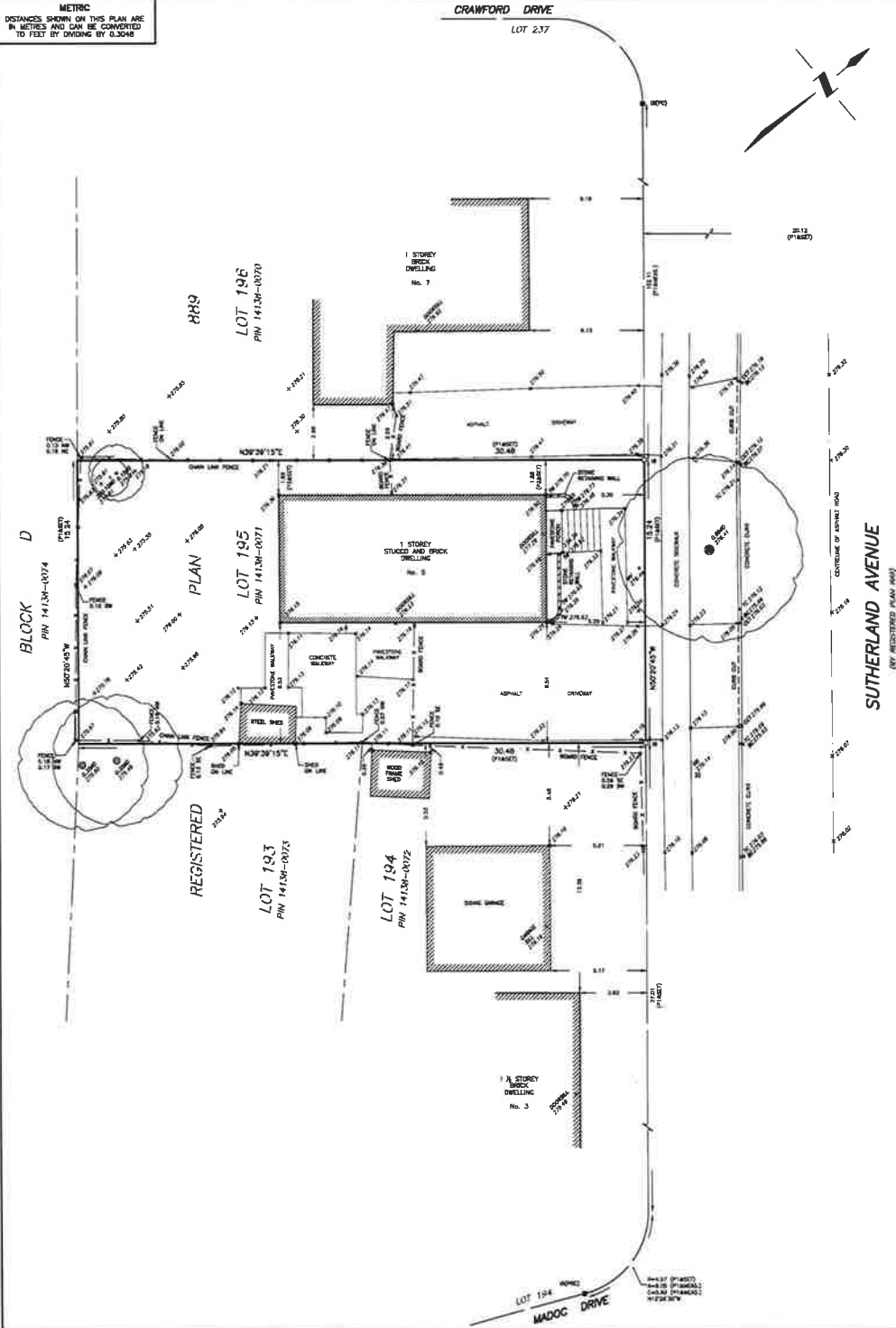
CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BRAMPTON, ON L7W 3E7
PH: 905-452-8200 FAX: 905-452-8285
www.thedesignfine.com

DRAWING TITLE:
SECTIONS

DESIGN: AS	SCALE: AS NOTED	DRAWING NO.:
DRAWN: AS	DATE: MAY, 2022	A9
CHECKED: AS	PROJECT NO DFL-2022-22	

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048



SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF
LOT 195
REGISTERED PLAN 889
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 125

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
© COPYRIGHT, 2024

REPORT SUMMARY

PROPERTY DESCRIBED IS SUTHERLAND AVENUE, BEING LOT 195,
REGISTERED PLAN 889, CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF
PEEL, PIN 14130-0071.

EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE

COMMENTS:
1. NOTE THE LOCATION OF THE STEEL SHED ALONG SOUTHEASTERLY
PROPERTY LIMIT.
2. NOTE THE LOCATION OF FENCES.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928,
AND WERE DERIVED FROM CITY OF BRAMPTON BENCHMARK No. 042910110,
HAVING A PUBLISHED ELEVATION OF 277.523 metres.

BEARING NOTE

BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE SOUTHWESTERLY
LIMIT OF SUTHERLAND AVENUE AS SHOWN ON REGISTERED PLAN 889,
HAVING A BEARING OF N50°20'45"W.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - BB DENOTES IRON BAR
 - SS DENOTES STEEL SIGN
 - TC DENOTES TOP OF CURVE
 - BC DENOTES BOTTOM OF CURVE
 - CC DENOTES CURB CUT
 - SC DENOTES CURB CUT
 - WV DENOTES WATER VALVE
 - TW DENOTES TOP OF WALL
 - WV DENOTES WATER VALVE
 - P1 DENOTES REGISTERED PLAN 889
 - UN DENOTES UNDER SURVEY & ESTD. O.L.S., JAN. 25, 1971
 - PC DENOTES POINT OF CURVE
 - PRC DENOTES POINT OF REVERSE CURVE
 - TR DENOTES TANGENT
 - TR DENOTES TANGENT
 - 0.20M DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
 - 0.20M DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
- TRC CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR PARADISE CONSTRUCTION LIMITED AND
THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER
PARTIES.

SURVEYOR'S CERTIFICATE

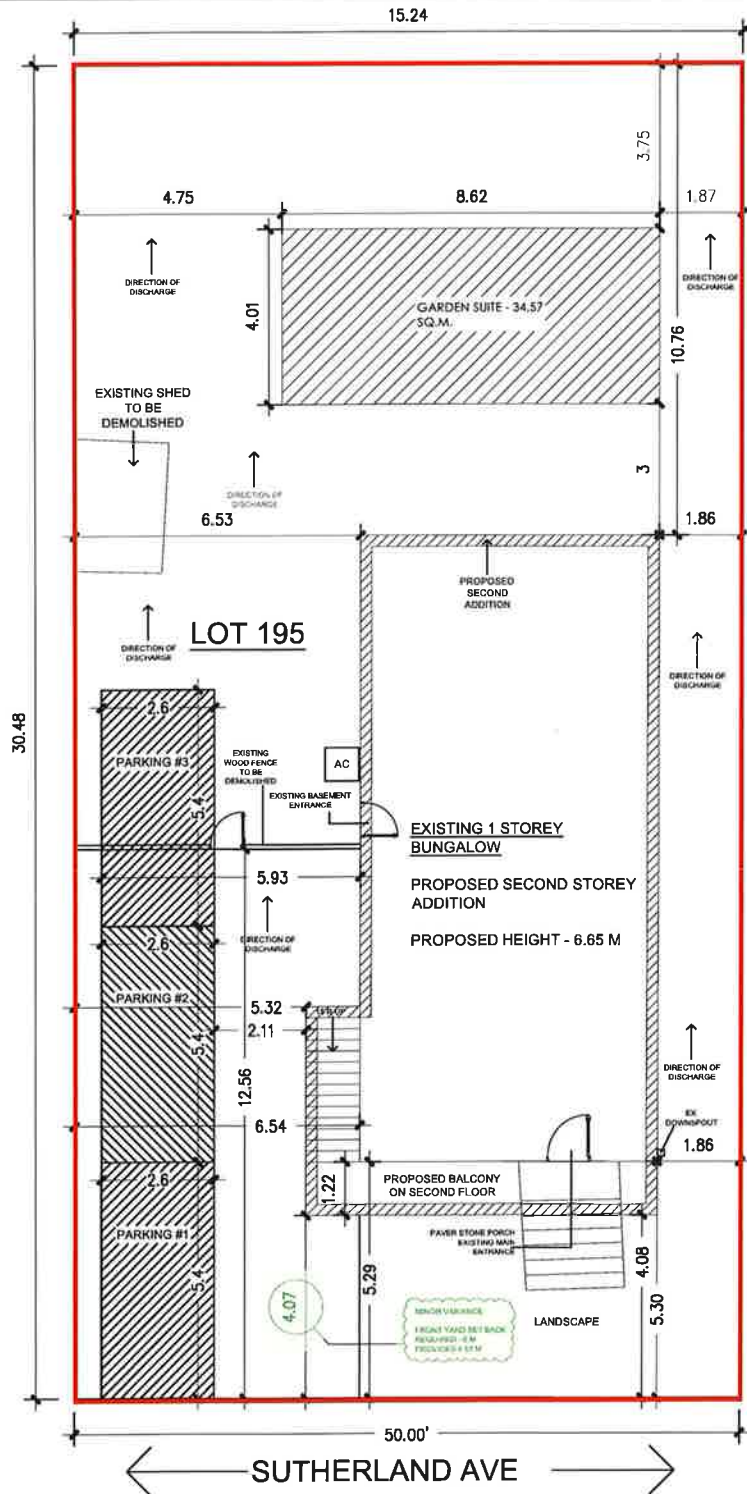
- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON AUGUST 16, 2024.

AUGUST 21, 2024
DATE
STEPHEN JOHANNOU
ONTARIO LAND SURVEYOR



TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8846 FAX: (905) 569-3190
E-MAIL: office@tarasickmckubicki.com

DRAWN BY: K.O./J.H. FILE No. 10196-SPPR-T



LOT COVERAGE: 30.71%

GARDEN SUITE - 34.57 SQM
 EXISTING SHED - TO BE DEMOLISHED
 EXISTING DWELLING - 98.23 SQM
 BALCONY - 9.84 SQM

LOT AREA - 464.52 SQM

SITE PLAN

SCALE - $\frac{3}{32}'' = 1'0''$

GENERAL NOTE:
 The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.

DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
 BRAMPTON

CLIENT:

de Sign
 Fine Ltd.

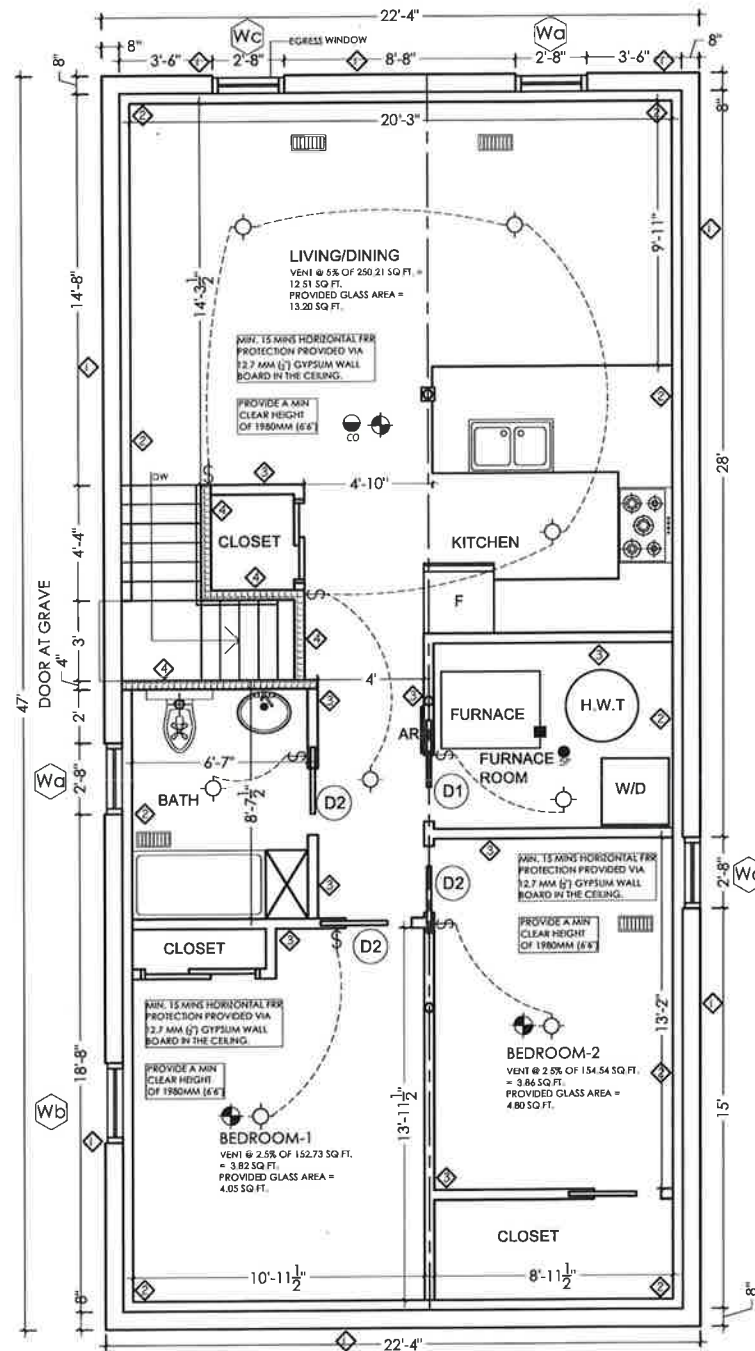
CONSULTING ENGINEERS

96 KENNEDY ROAD SOUTH
 BRAMPTON, ON L6W 3E7
 Ph: 905-452-8200 Fax: 905-452-8285
 www.thedesignfine.com

DRAWING TITLE:
SITE KEY PLAN
 CH-GS-2024-0029

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: S1
DRAWN: AS	DATE: JULY, 2024	
CHECKED: AS	PROJECT NO DFL-2024-24	

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE



WALL SCHEDULE

- ◆ PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 3/4" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- ◆ PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- ◆ EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- ◆ EXISTING 38 X 89 WOOD FRAMING @ 406 O.C.
- ◆ EXISTING INSULATION W/VAPOR BARRIER TO REMAIN
- ◆ EXISTING FOUNDATION WALL

LEGEND:

- ◆ - WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- ✂ - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- ◆ - HEATING OUTLET
- ◆ - ELECTRIC OUTLET
- ◆ - SPRINKLER
- ◆ - CARBON MONO-OXIDE DETECTOR

WINDOW SCHEDULE

- (EXISTING WINDOW)
- Wa 32" X 24" WINDOW
- Wb 38" X 18" WINDOW
- Wc 32" X 42" EGRESS WINDOW

DOOR SCHEDULE

- (EXISTING DOOR)
- D-1 815 X 2100 (32" X 60") POCKET DOOR
- D-2 765 X 2100 (30" X 80") POCKET DOOR

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332 /12 AS AMENDED DIV. B. PART 7.

ELECTRICAL NOTES:

1. ALL THE ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY.
2. ALL SMOKE ALARMS ARE LOCATED WITH CONFORMATION OF OBC, DIV B 9.10.19.3.

PLUMBING NOTES:

1. ALL THE PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332 /12 AS AMENDED DIV. B. PART 7.
2. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE REQUIRED ON SHOWER AS PER OBC DIV.B 7.6.5.2.(1)
3. THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO THE FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1. DISHWASHER AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
4. ALL THERMOSTATIC VALVES SHALL CONFORM TO CAN/CSA-B125 "PLUMBING FIXTURES" AND BE LABELED ACCORDINGLY.
5. THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/8" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER.

NOTE:THE INSTALLATION OF CARBON MONOXIDE DETECTOR 5 SHALL COMPLY WITH OBC DIV B.9.33.4 REQUIREMENTS.

: INSTALLATION OF HVAC EQUIPMENTS SHALL CONFORM TO MANUFACTURE'S SPECIFICATIONS AND MANUALS

: MECHANICAL VENTILATION SHALL BE PROVIDED IN CONFORMANCE WITH OBC DIV B.9.32.3 REQUIREMENTS.

EXISTING BASEMENT PLAN

SCALE 3/16" = 1'

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE:	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

deSign
Fine Ltd.

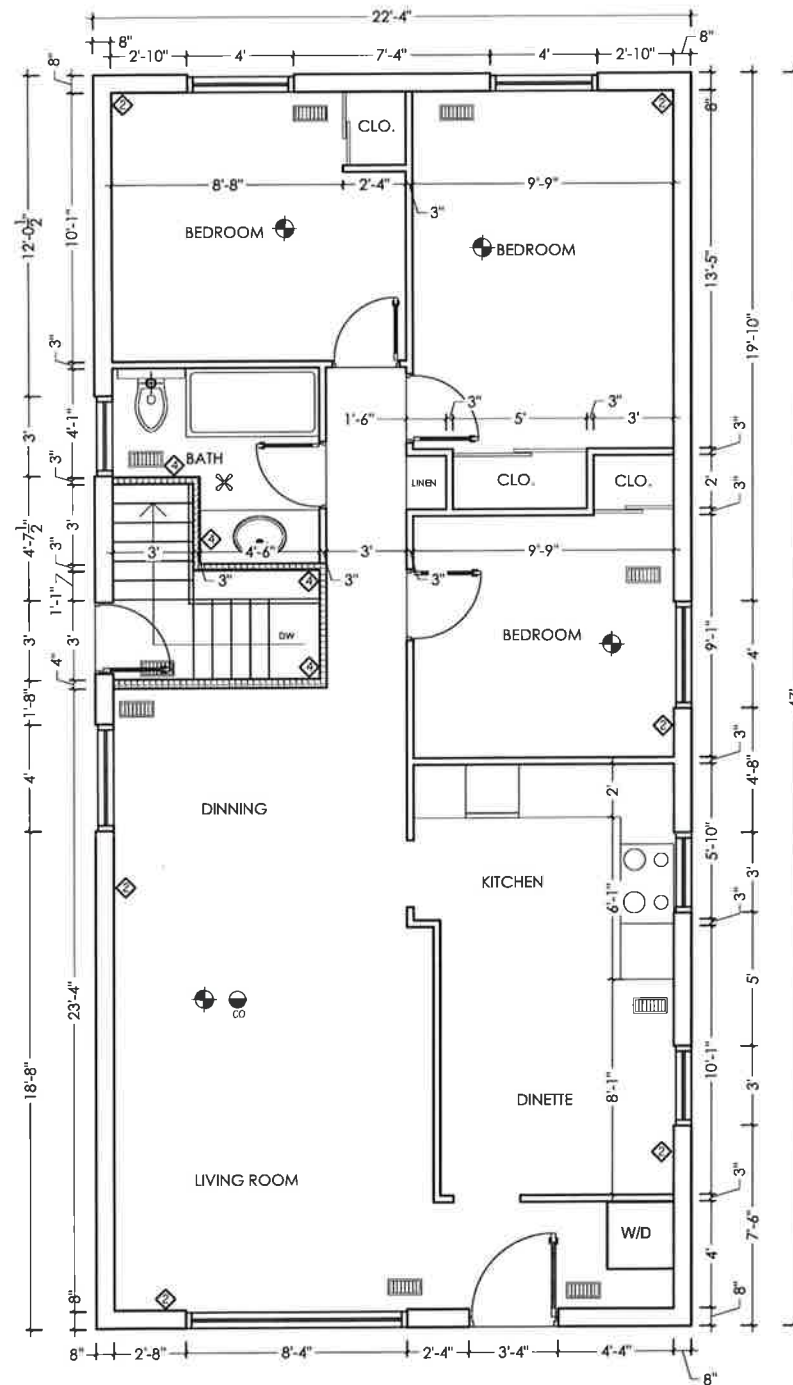
CONSULTING ENGINEERS

96 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8285
www.thedesignteam.com

DRAWING TITLE:
EXISTING BASEMENT

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A1
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO DFL-2022-22	

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE



WALL SCHEDULE

- PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION WVAPOR BARRIER TO REMAIN
- EXISTING FOUNDATION WALL

LEGEND:

- WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- HEATING OUTLET
- ELECTRIC OUTLET
- SPRINKLER
- CARBON MONO-OXIDE DETECTOR

EXISTING MAIN FLOOR PLAN

SCALE $\frac{3}{16}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:

The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY

REVISIONS:

PROJECT:

5 SUTHERLAND AVE

BRAMPTON

CLIENT:



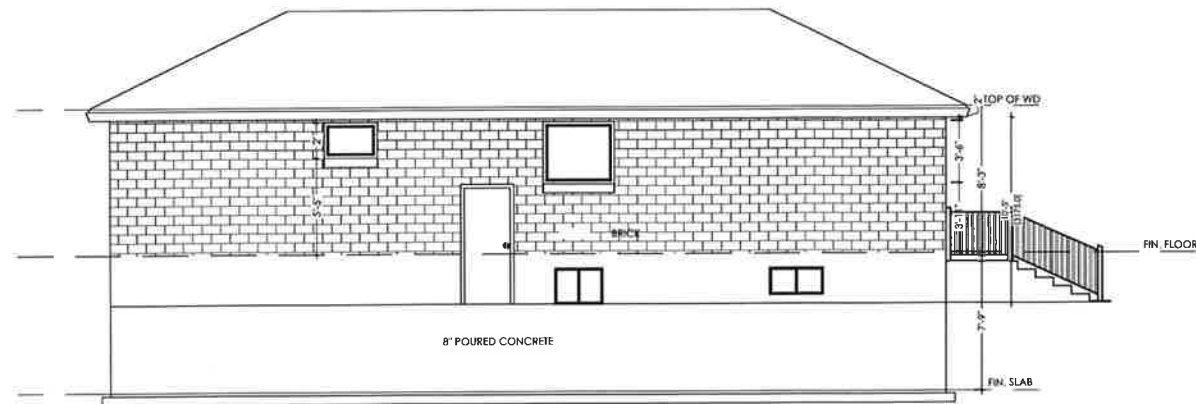
CONSULTING ENGINEERS

66 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8255
www.thedesigntfine.com

DRAWING TITLE:

EXISTING MAIN FLOOR

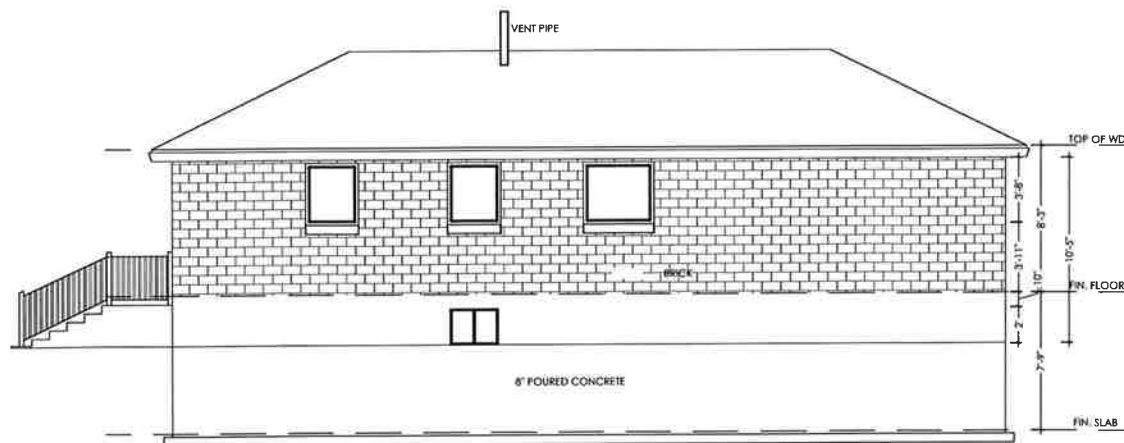
DESIGN:	SCALE:	DRAWING NO:
AS	AS NOTED	
DRAWN:	DATE:	A2
AS	MAY, 2022	
CHECKED:	PROJECT NO	
AS	DFL-2022-22	



EXISTING LEFT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



EXISTING FRONT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



EXISTING RIGHT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



EXISTING REAR ELEVATION
SCALE $\frac{1}{8}'' = 1'$

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE:	NO	DESCRIPTION	BY
			XX
REVISIONS:			

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

deSign
Fine Ltd.

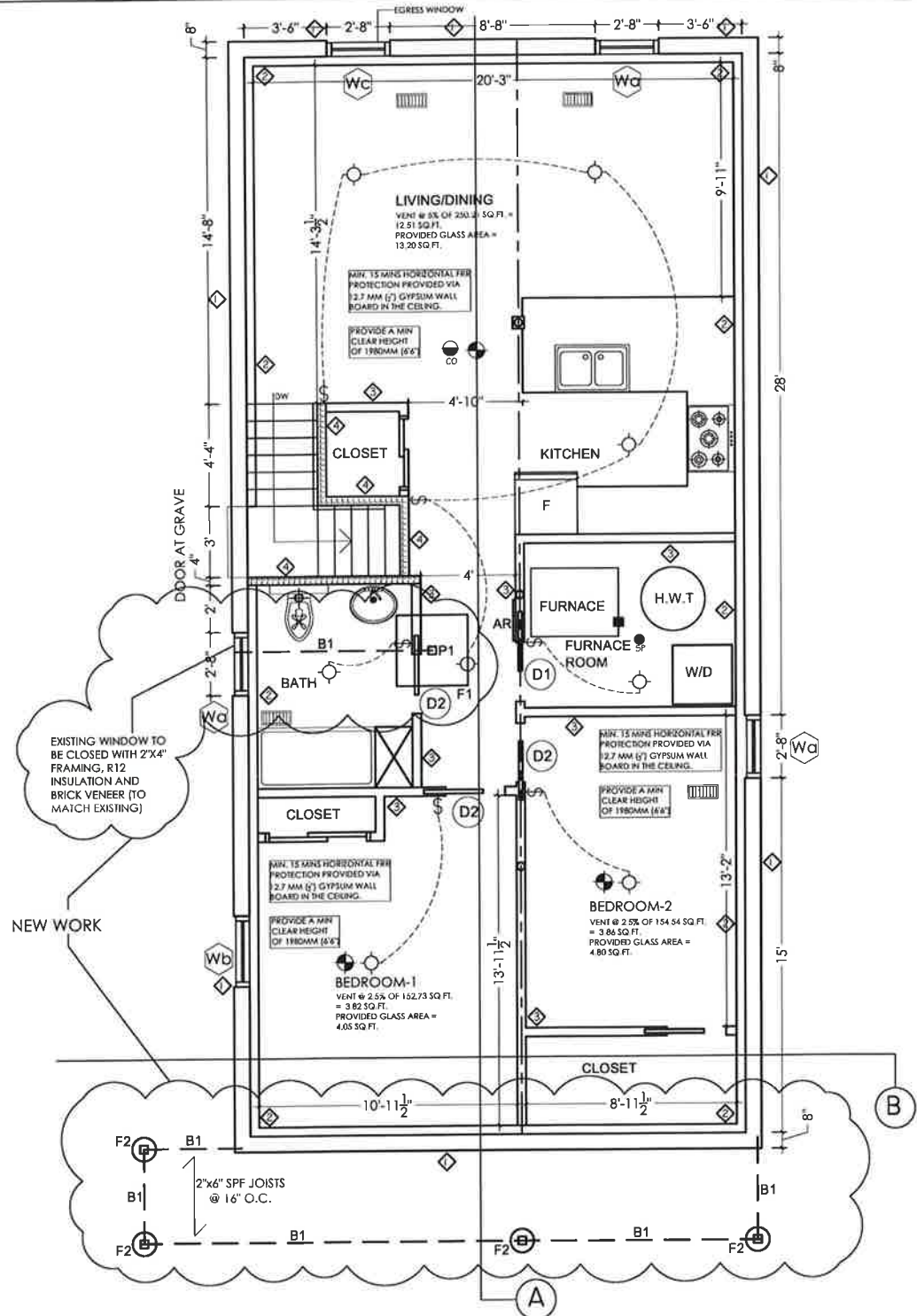
CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8285
www.thedesignfine.com

DRAWING TITLE:
EXISTING ELEVATIONS

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A3
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO DFL-2022-22	

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE



WALL SCHEDULE

- ◆ PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
- ◆ PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- ◆ EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
- ◆ EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION WVAVOR BARRIER TO REMAIN
- ◆ EXISTING FOUNDATION WALL

LEGEND:

- ◆ - WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- ✂ - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- ▨ - HEATING OUTLET
- ⚡ - ELECTRIC OUTLET
- ⚙ - SPRINKLER
- CO - CARBON MONO-OXIDE DETECTOR

BI - 3 PLY LVL BEAM 14" X 1 1/2" 2.IE W/ MIN BEARING OF 3.5" EACH SIDE.

F1 - 36"x36"x10" M32 CONCRETE FOOTING WITH 15 REBAR @ 12" BOTH WAYS

PI - 4"x4" SPF WOOD POST ATTACHED TO CONCRETE FOOTING VIA STEEL SADDLE

F2 - 12" DIA X 4' DEEP SONO TUB FOUNDATION - M32 CONCRETE, 4"x4" SPF WOOD POST ATTACHED VIA STEEL SADDLE, CONT' UP TO SECOND FLOOR

WINDOW SCHEDULE	DOOR SCHEDULE
(EXISTING WINDOW)	(EXISTING DOOR)
Wa 32" X 24" WINDOW	D-1 815 X 2100 (32" X 80") POCKET DOOR
Wb 36" X 18" WINDOW	
Wc 32" X 42" EGRESS WINDOW	D-2 785 X 2100 (30" X 80") POCKET DOOR

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332/12 AS AMENDED DIV. B. PART 7.

ELECTRICAL NOTES:

- ALL THE ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY.
- ALL SMOKE ALARMS ARE LOCATED WITH CONFORMANCE OF OBC. DIV B.9.10.19.3.

PLUMBING NOTES:

- ALL THE PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332/12 AS AMENDED DIV. B. PART 7.
- PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE REQUIRED ON SHOWER AS PER OBC DIV B.7.6.5.2.(1)
- THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO THE FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1. DISHWASHER AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
- ALL THERMOSTATIC VALVES SHALL CONFORM TO CAN/CSA-B125 "PLUMBING FIXTURES" AND BE LABELED ACCORDINGLY.
- THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/8" COPPER PIPE CONNECTED TO AT LEAST A 1/2" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER.

NOTE: THE INSTALLATION OF CARBON MONOXIDE DETECTOR S SHALL COMPLY WITH OBC DIV B.9.33.4 REQUIREMENTS.

- INSTALLATION OF HVAC EQUIPMENTS SHALL CONFORM TO MANUFACTURE'S SPECIFICATIONS AND MANUALS
- MECHANICAL VENTILATION SHALL BE PROVIDED IN CONFORMANCE WITH OBC DIV B.9.32.3 REQUIREMENTS.

PROPOSED BASEMENT PLAN
SCALE 3/16" = 1'

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

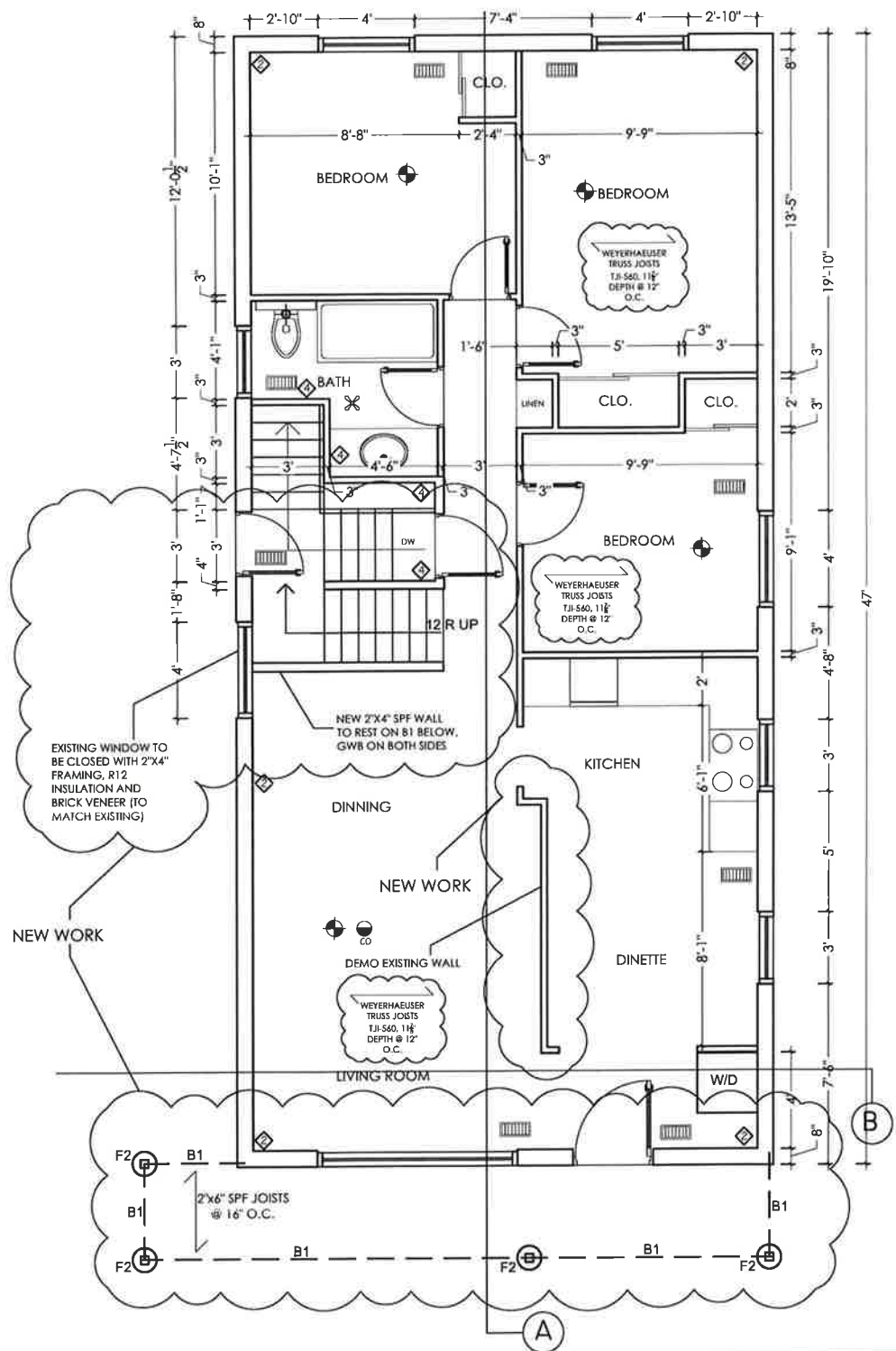
deSign
Fine Ltd.

CONSULTING ENGINEERS

86 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8285
www.thedesignfine.com

DRAWING TITLE:
PROPOSED BASEMENT PLAN

DESIGN: AS	SCALE: AS NOTED	DRAWING NO.:
DRAWN: AS	DATE: MAY, 2022	A4
CHECKED: AS	PROJECT NO DFL-2022-22	



- B1 - 3 PLY LVL BEAM 14" X 1 1/2" 2.IE W/ MIN BEARING OF 3.5" EACH SIDE.
- F1 - 36"x36"x10" M32 CONCRETE FOOTING WITH 15 REBAR @ 12" BOTH WAYS
- PI - 4"x4" SPF WOOD POST ATTACHED TO CONCRETE FOOTING VIA STEEL SADDLE
- F2 - 12" DIA X 4' DEEP SONO TUB FOUNDATION - M32 CONCRETE, 4"x4" SPF WOOD POST ATTACHED VIA STEEL SADDLE, CONT' UP TO SECOND FLOOR

WALL SCHEDULE

◆	PROPOSED INTERIOR 38 X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
◆	PROPOSED INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
◆	EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
◆	EXISTING 38 X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION W/VAPOR BARRIER TO REMAIN
◆	EXISTING FOUNDATION WALL

- LEGEND:**
- ◆ - WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
 - - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
 - ✂ - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
 - ▬ - HEATING OUTLET
 - ⊕ - ELECTRIC OUTLET
 - ⊙ - SPRINKLER
 - ⊙ - CARBON MONO-OXIDE DETECTOR

PROPOSED MAIN FLOOR PLAN

SCALE $\frac{3}{16}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

de Sign
Fine Ltd.

CONSULTING ENGINEERS

86 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8205 Fax: 905-452-8255
www.thedesignline.com

DRAWING TITLE:
PROPOSED MAIN FLOOR PLAN

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A5
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO: DFL-2022-22	

GENERAL NOTE:
 The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE:	NO:	DESCRIPTION:	BY:
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
 BRAMPTON

CLIENT:

deSign
 Fine Ltd.

CONSULTING ENGINEERS

96 KENNEDY ROAD SOUTH
 BRAMPTON, ON L6W 3E7
 Ph: 905-452-8109 Fax: 905-452-8285
www.thedesignfine.com

DRAWING TITLE:
PROPOSED SECOND FLOOR PLAN

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A6
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO: DFL-2022-22	

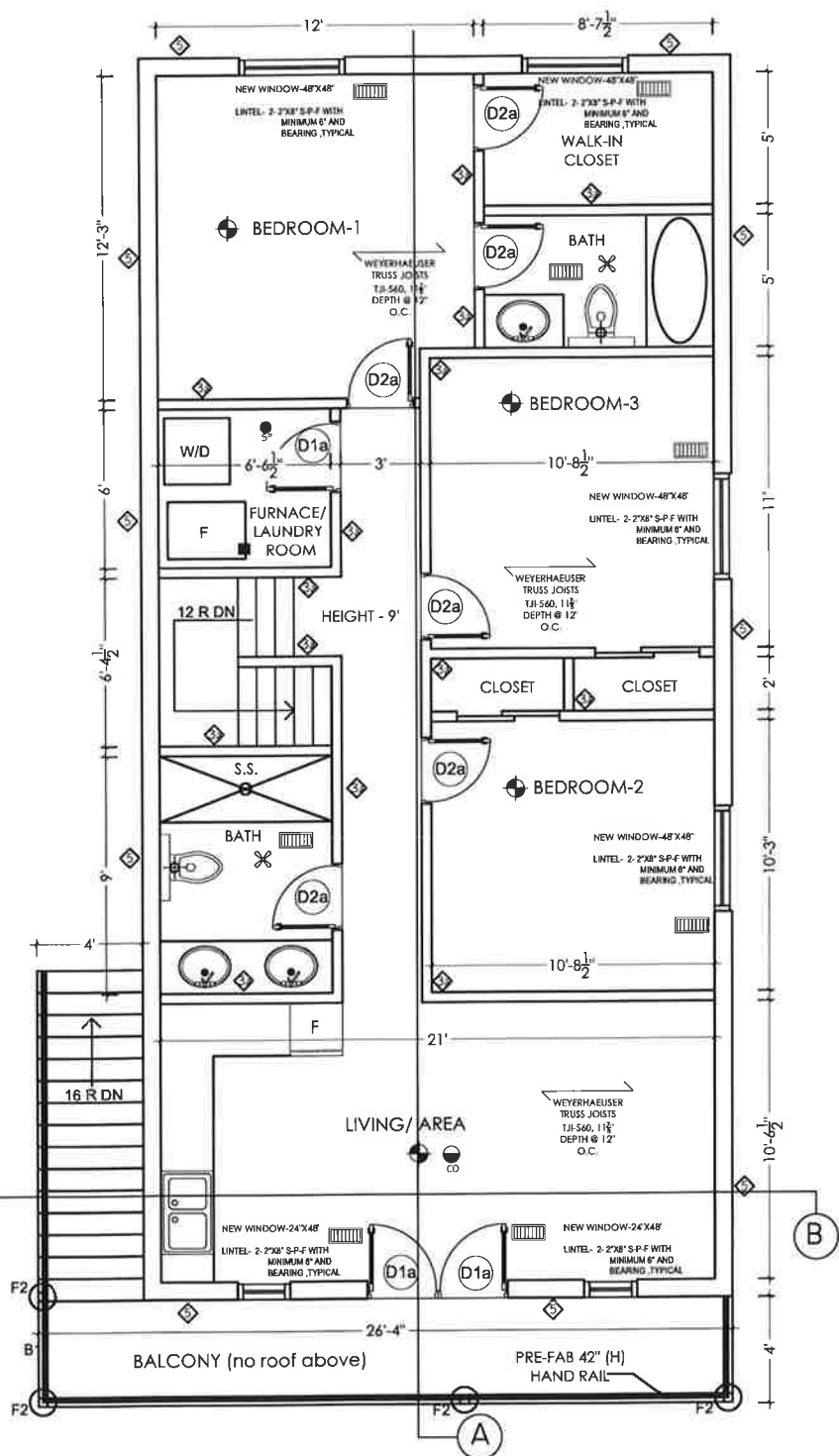
- BI - 3 PLY LVL BEAM 14" X 1 1/2" 2.IE W/ MIN BEARING OF 3.5" EACH SIDE.
- FI - 36"x36"x10" M32 CONCRETE FOOTING WITH I5 REBAR @ 12" BOTH WAYS
- PI - 4"x4" SPF WOOD POST ATTACHED TO CONCRETE FOOTING VIA STEEL SADDLE
- F2 - 12" DIA X 4' DEEP SONO TUB FOUNDATION - M32 CONCRETE, 4"x4" SPF WOOD POST ATTACHED VIA STEEL SADDLE, CONT' UP TO SECOND FLOOR

- WALL SCHEDULE**
- PROPOSED 3/8" X 140 @406 O/C 12.7MM GWB W/ EXTERIOR STUCCO FINISH (3/4") THICK & R24 INSULATION
 - PROPOSED INTERIOR 3/8" X 140 @406 O/C 12.7 MM 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH 89MM THICK ABSORPTIVE MATERIAL FOR 30 MIN FRR (SB-3, TABLE 1-W1c)
 - PROPOSED INTERIOR 3/8" X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
 - EXISTING INTERIOR 3/8" X 89 @406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES TO REMAIN AS IS
 - EXISTING 3/8" X 89 WOOD FRAMING @ 406 O.C. EXISTING INSULATION W/VAPOR BARRIER TO REMAIN
 - EXISTING FOUNDATION WALL

- LEGEND:**
- WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
 - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
 - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
 - HEATING OUTLET
 - ELECTRIC OUTLET
 - SPRINKLER
 - CARBON MONO-OXIDE DETECTOR

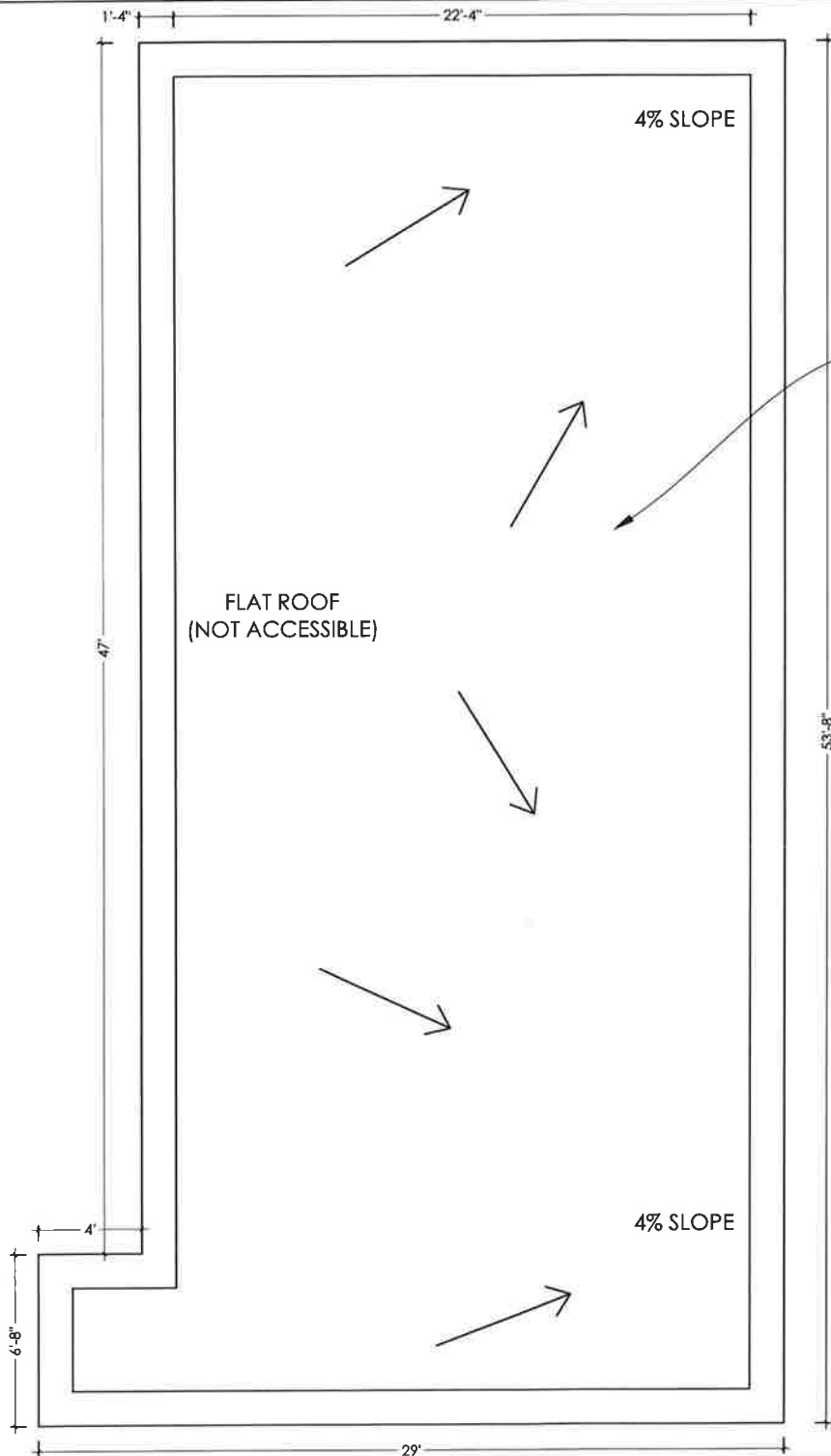
DOOR SCHEDULE
 (PROPOSED DOOR)

D-1a	815 X 2100 (32" X 80") POCKET DOOR
D-2a	785 X 2100 (30" X 80") POCKET DOOR



PROPOSED SECOND FLOOR PLAN
 SCALE $\frac{3}{16}" = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE



FLAT ROOF CONSTRUCTION ABOVE:
 3 PLY RUBBER MEMBRANE ON 3/4" PLYWOOD ON 2 x 10
 JOIST @ 16" O/C WITH 1/2" GYP. CEILING
 RUBBER MEMBRANE ROOFING TO MEET OBC, 2012
 SENTENCE 9.26.2.1.(g) REQUIREMENTS CGSB 37-GP-52M
 ROOFING & WATERPROOFING MEMBRANE. SHEET
 APPLIED, ELASTOMERIC.
 (2% min. slope) AS PER OBC, 2012 ARTICLE 9.26.3.1

PROPOSED ROOF PLAN
 SCALE $\frac{3}{16}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
 The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE:	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
 BRAMPTON

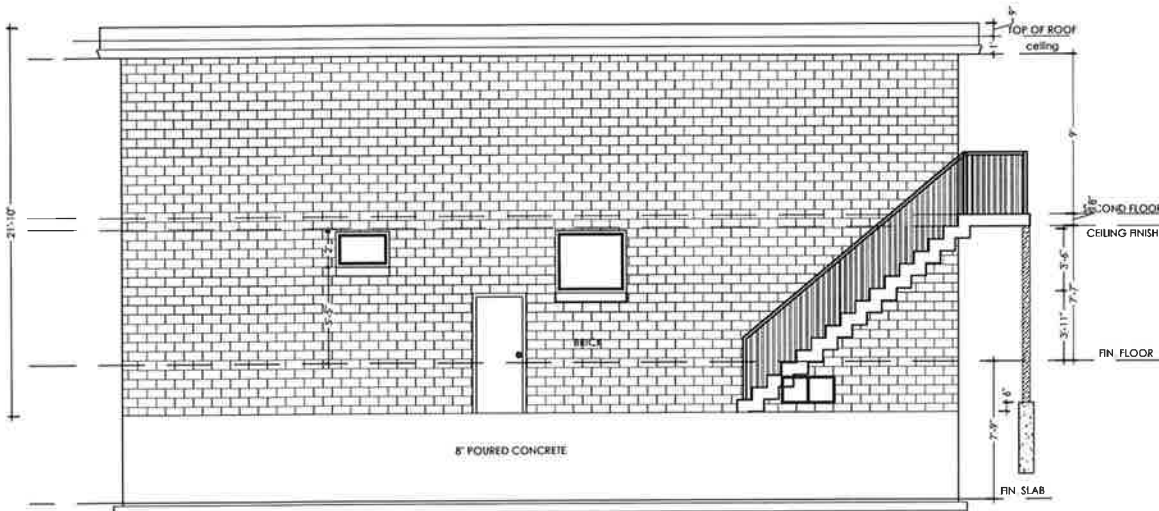
CLIENT:



CONSULTING ENGINEERS
 55 KENNEDY ROAD SOUTH
 BRAMPTON, ON L6W 3E7
 Ph: 905-452-4000 Fax: 905-452-4285
 www.thedesignfine.com

DRAWING TITLE:
PROPOSED ROOF PLAN

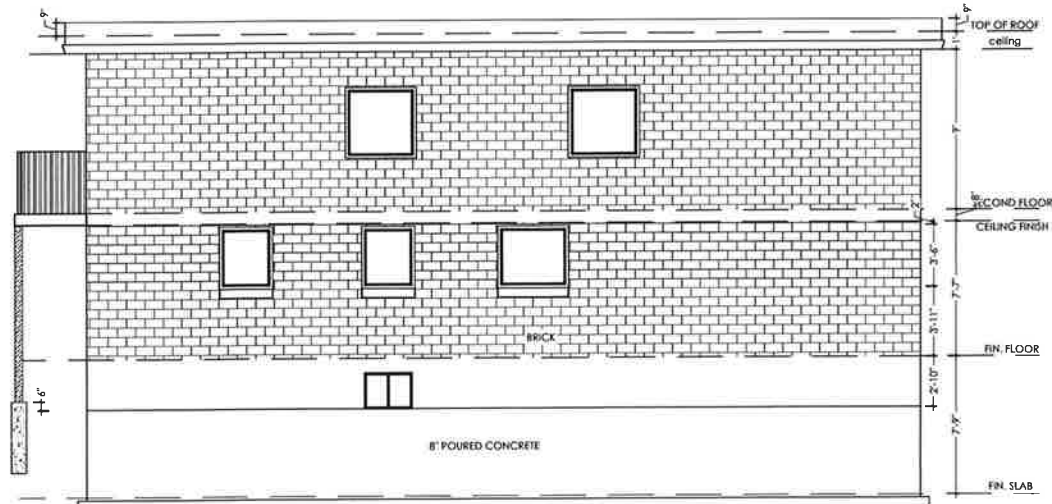
DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A7
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO DFL-2022-22	



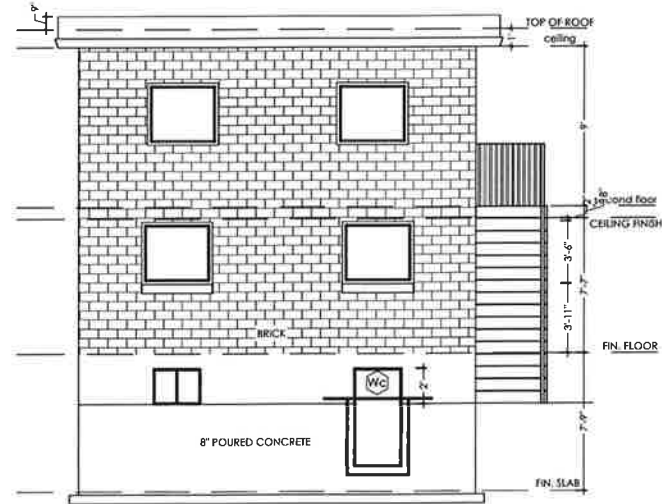
PROPOSED LEFT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



PROPOSED FRONT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



PROPOSED RIGHT ELEVATION
SCALE $\frac{1}{8}'' = 1'$



PROPOSED REAR ELEVATION
SCALE $\frac{1}{8}'' = 1'$

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

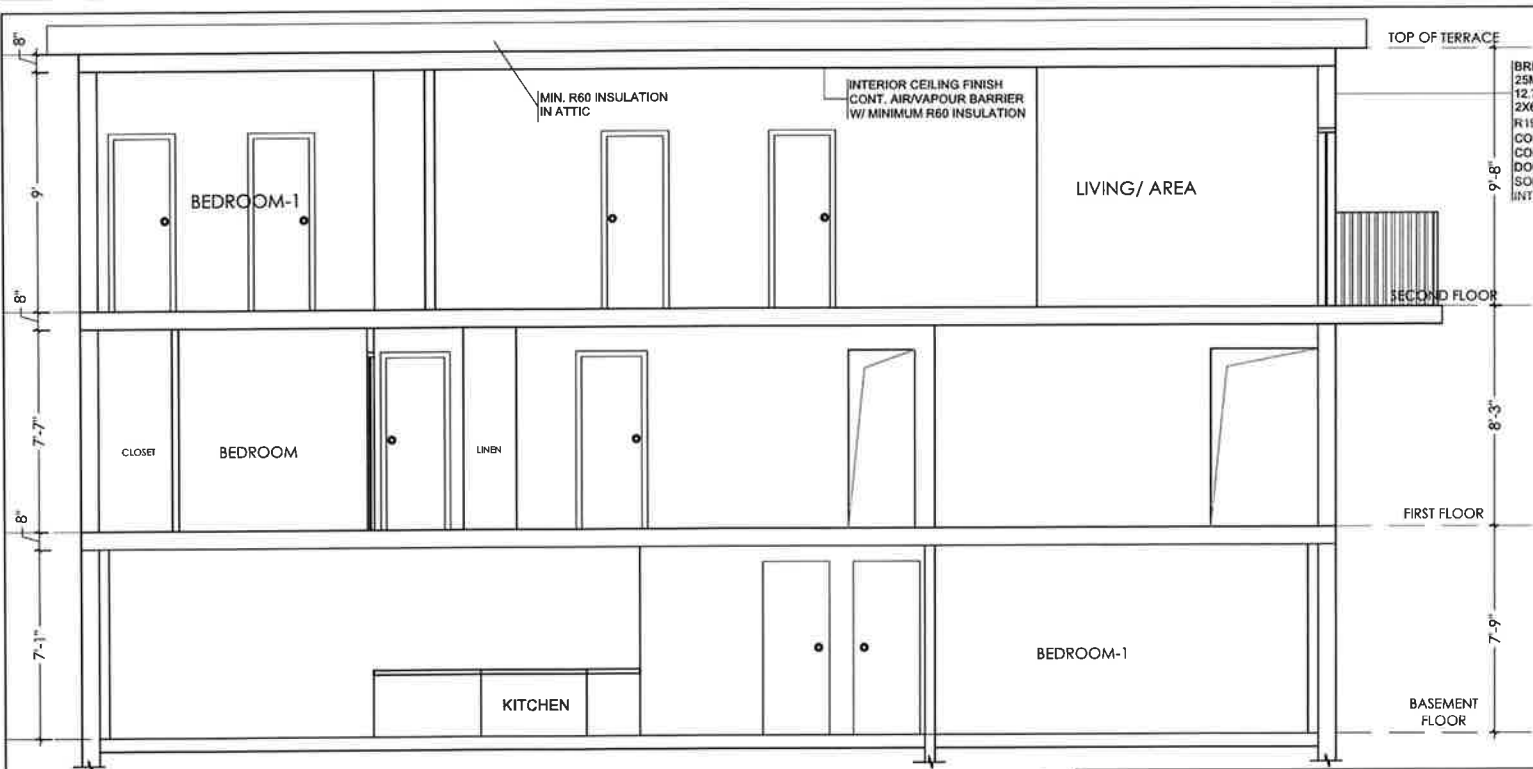


CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 9E7
Ph: 905-452-4200 Fax: 905-452-4285
www.thedesigrfine.com

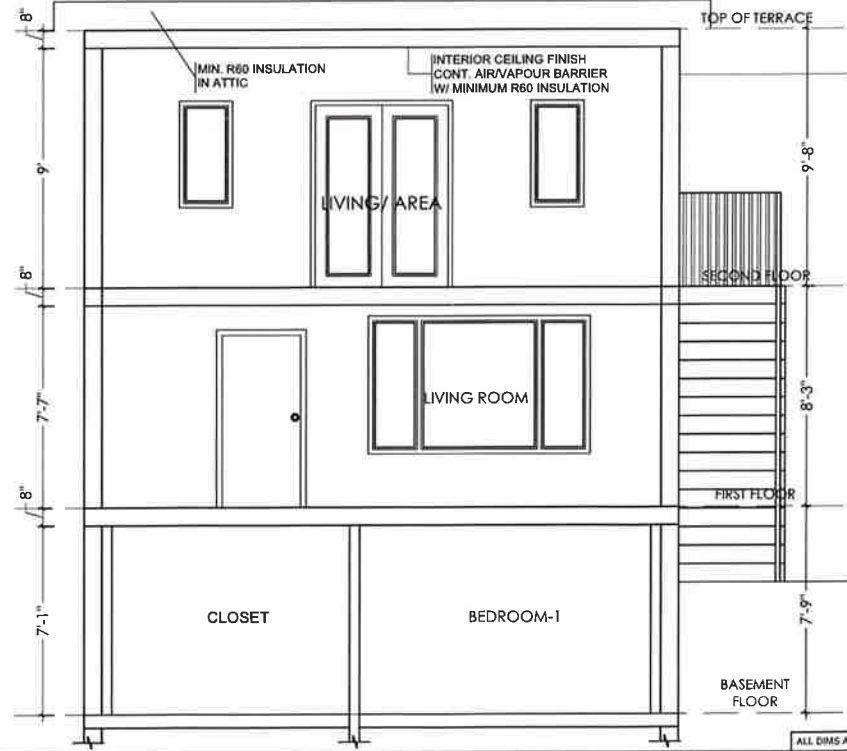
DRAWING TITLE:
PROPOSED ELEVATIONS

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A8
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO: DFL-2022-22	



SECTION AA'
SCALE $\frac{3}{16}'' = 1'$

TOP OF TERRACE
BRICK VENEER WALL
25MM AIR GAP
12.7MM SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R19+5G1 BATT INSULATION IN CONT.
CONTACT W/ SHEATHING
CONTINUOUS VAPOUR/AIR BARRIER
DOUBLE PLATE @ TOP
SOLE PLATE @ BOTTOM
INTERIOR WALL FINISH



SECTION BB'
SCALE $\frac{3}{16}'' = 1'$

TOP OF TERRACE
BRICK VENEER WALL
25MM AIR GAP
12.7MM SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R19+5G1 BATT INSULATION IN CONT.
CONTACT W/ SHEATHING
CONTINUOUS VAPOUR/AIR BARRIER
DOUBLE PLATE @ TOP
SOLE PLATE @ BOTTOM
INTERIOR WALL FINISH

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE	NO.	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
BRAMPTON

CLIENT:

de Sign
Fine Ltd.

CONSULTING ENGINEERS

88 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 3E7
Ph: 905-452-8200 Fax: 905-452-8285
www.thedesignfine.com

DRAWING TITLE:
SECTIONS

DESIGN: AS	SCALE: AS NOTED	DRAWING NO: A9
DRAWN: AS	DATE: MAY, 2022	
CHECKED: AS	PROJECT NO: DFL-2022-22	

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE

Zoning Non-compliance Checklist

File No.

A-2024-0457

Owner: AGYEI PEPRAH-ASIASE

Address: 5 SUTHERLAND AVE

Zoning: R1B & Mature Neighbourhood

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a proposed deck to encroach 1.93m (6.33 ft.) into the front yard setback, resulting in a setback of 4.07m (13.35) from the porch to the front lot line,	whereas the by-law permits a deck to encroach a maximum 1.8m into the front yard setback, resulting in a required setback of 4.20m (13.77ft.) from the deck to the front lot line;	6.13 (b)
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

Dec 10, 2024
Date