

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

Application Number: A-2024-0457
Property Address: 5 Sutherland Avenue
Legal Description: Plan 889, Lot 195, Ward 1
Agent: Aryan Sharma
Owner(s): Agyei Peprah-Asiase, Irene Sarpong Peprah-Asiase
Other applications: nil
under the *Planning Act*

Meeting Date and Time: Tuesday, February 25, 2025, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit a front yard setback of 5.29 metres to a proposed second storey addition, whereas the by-law requires a minimum front yard setback of 6.0 metres.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, February 20, 2025**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, February 20, 2025**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

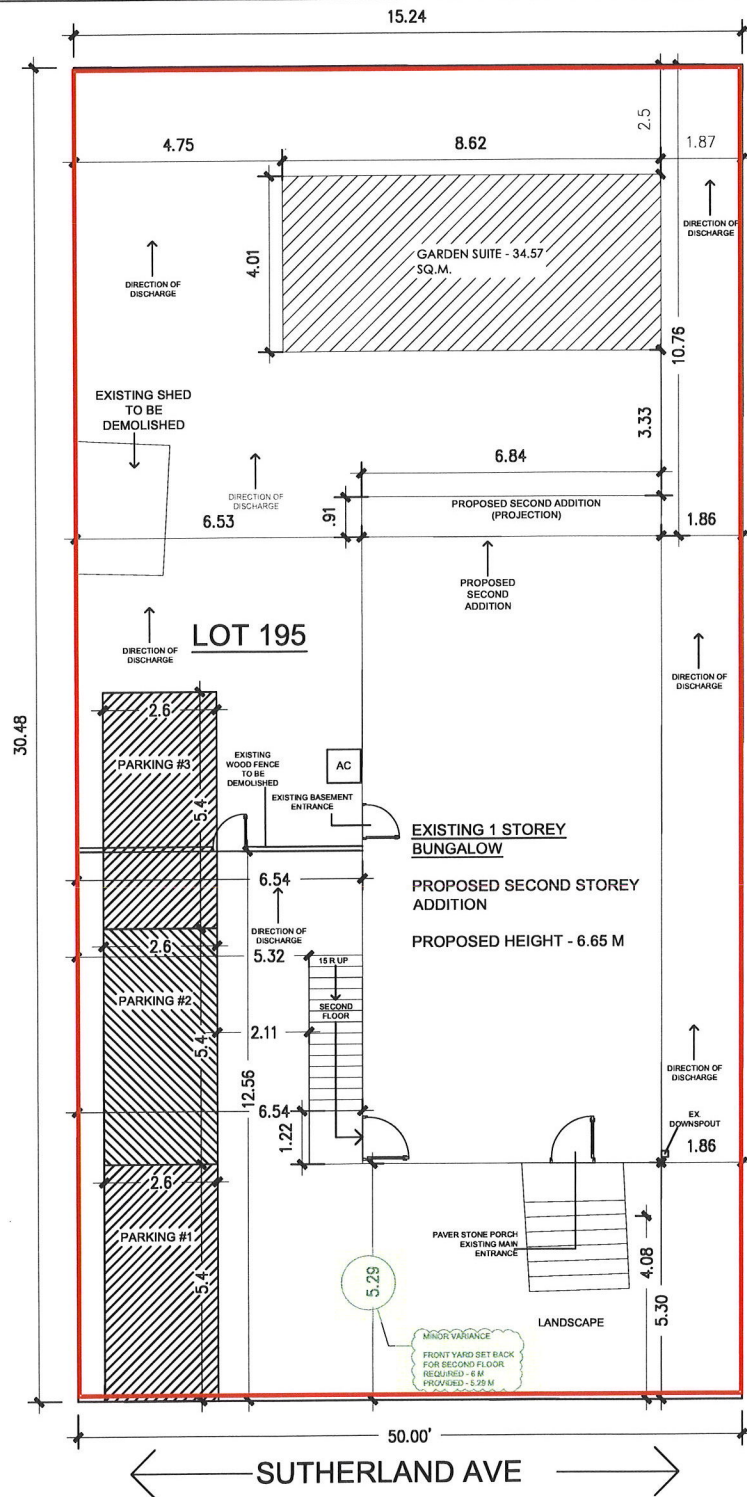
Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 10th day of February 2025

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca



GARDEN SUITE - 34.57 SQM
 EXISTING SHED - TO BE DEMOLISHED
 EXISTING DWELLING FOOTPRINT - 98.23 SQM
 PROPOSED SECOND FLOOR PROJECTION - 6.22 SQM

LOT COVERAGE AREA: $34.57 + 98.23 + 6.22 = 139.02$ SQM

LOT AREA - 464.52 SQM

LOT COVERAGE PERCENTAGE: $139.02/464.52 = 29.93\%$

SITE PLAN

SCALE - $\frac{3}{32}'' = 1'0''$

Received / Revised

FEB 06 2025

Committee of Adjustment

GENERAL NOTE:
 The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.

DATE:	NO.	DESCRIPTION	BY
			XX

REVISIONS:

PROJECT:
5 SUTHERLAND AVE
 BRAMPTON

CLIENT:

deSign
 Fine Ltd.

CONSULTING ENGINEERS

86 KENNEDY ROAD SOUTH
 BRAMPTON, ON L6W 3E7
 Ph: 905-452-8200 Fax: 905-452-8285
 www.thedesignfine.com

DRAWING TITLE:
SITE KEY PLAN
 CH-GS-2024-0029

DESIGN:	SCALE:	DRAWING NO.
AS	AS NOTED	S1
DRAWN:	DATE:	
AS	JULY, 2024	
CHECKED:	PROJECT NO	
AS	DFL-2024-24	

ALL DIMS ARE IN FEET/INCHES UNLESS NOTED OTHERWISE