



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Amarjeet Singh/ Darshan Didar Kaur
Address 32 Willick Pl, Brampton, ON L6X4Z6

Phone # 647 876 7300 **Fax #** _____
Email amarjeets@gmail.com

2. **Name of Agent** VALIUDDIN MOHAMMED
Address 6 Ripon St., Mississauga, ON L4T 1E2

Phone # 416 627 4100 **Fax #** _____
Email INFO@MECHWAYS.COM

3. **Nature and extent of relief applied for (variances requested):**
1. To seek relief from zoning by law to allow a minimum side yard set back of 0.64m whereas 1.2m is required.

4. **Why is it not possible to comply with the provisions of the by-law?**
1.The below grade entrance requires minimum 1.2m setback to the side property line. However, the as built setback of the below grade entrance is 0.64 m. Hence seeking the relief for this 0.56m difference.

5. **Legal Description of the subject land:**
Lot Number LOT 113 MAP D3
Plan Number/Concession Number PLAN M1409
Municipal Address 32 Willick Pl, Brampton, ON L6X4Z6

6. **Dimension of subject land (in metric units)**
Frontage 8.93m
Depth 31.88m
Area 284.69 sqm

7. **Access to the subject land is by:**
Provincial Highway _____
Municipal Road Maintained All Year _____
Private Right-of-Way _____
Seasonal Road _____
Other Public Road _____
Water _____

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area - 80.31
Gross Floor Area - 183.05
Number of Storeys-2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area - 80.31
Gross Floor Area - 183.05
Number of Storeys-2

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.05m
Rear yard setback 8.73m
Side yard setback 0.56 m
Side yard setback 0.64 m

PROPOSED

Front yard setback 6.05m
Rear yard setback 8.73m
Side yard setback 0.56m
Side yard setback 0.64m

10. Date of Acquisition of subject land: 2024

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2001

15. Length of time the existing uses of the subject property have been continued: Since 2001

16. (a) What water supply is existing/proposed?

Municipal Well [checked] Other (specify)

(b) What sewage disposal is/will be provided?

Municipal Septic [checked] Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers [checked] Ditches Swales Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____



Rajiv Singh
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF December Brampton
THIS 13 DAY OF 12, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Valiuddin Mohammed AMARJEET SINGH OF THE City OF Mississauga

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Toronto
IN THE Province OF Ontario
THIS 28th DAY OF November, 2024

Valiuddin Mohammed
Signature of Applicant or Authorized Agent



A Commissioner etc.

<p>Rameshbhai Somabhai Patel Ramesh Patel & Associate Lawyers Professional Corporation 127 Westmore Dr. Unit # 101, Toronto, ON M6P 3B6 Tel: 416-742-2999 Fax: 416-742-3888 mail@rplawoffice.net</p>	FOR OFFICE USE ONLY
	<p>Present Official Plan Designation: _____ Law Classification: _____</p> <p>This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.</p> <p>_____ Zoning Officer</p> <p>_____ Date</p>

DATE RECEIVED Dec 13/2025

11/25/24, 11:01 AM

MECHWAYS INC Mail - Submission: 24 427916 000 00 PREA - Rework Required



Valiuddin Mohammed <info@mechways.com>

Submission: 24 427916 000 00 PREA - Rework Required

rose.bruno@brampton.ca <rose.bruno@brampton.ca>
To: INFO@mechways.com
Cc: amarjeets@gmail.com

21 November 2024 at 19:10

Please note that the above mentioned submission requires rework.

Address of the Property: 32 Willick Pl, Brampton, ON, L6X 4Z6

Application Type: Permit to Construct or Demolish

Review Type: PRE - Zoning Screening

Rework Details: The below grade entrance requires a minimum 1.2 metre setback to the side property line.

Please log into the Brampton Building and Business Portal and complete the rework requested. Once completed please click the 'Rework Completed' button so that the reviewer can be notified. You DO NOT NEED to submit a new application.

If there is no response by 21-DEC-24 your application will automatically be cancelled.

You can log into the Brampton Building and Business Portal by clicking the following link.
<https://bramptonbbp.brampton.ca/citizenportal/app/login>

Thank You

Please review the City of Brampton e-mail disclaimer statement at: <http://www.brampton.ca/EN/Online-Services/Pages/Privacy-Statement.aspx>

SURVEYOR'S REAL PROPERTY REPORT

PART 1
PLAN OF LOTS 110, 111, 112, 113, 114,
115, 116, 117 AND 118
PLAN 43M-1409
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S., 2001.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
 SOUTH LIMIT OF LOT 110 AS SHOWN ON
 PLAN 43M-1409 HAVING A BEARING OF N73°31'10"E.

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD
 SURVEYING LTD., O.L.S.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

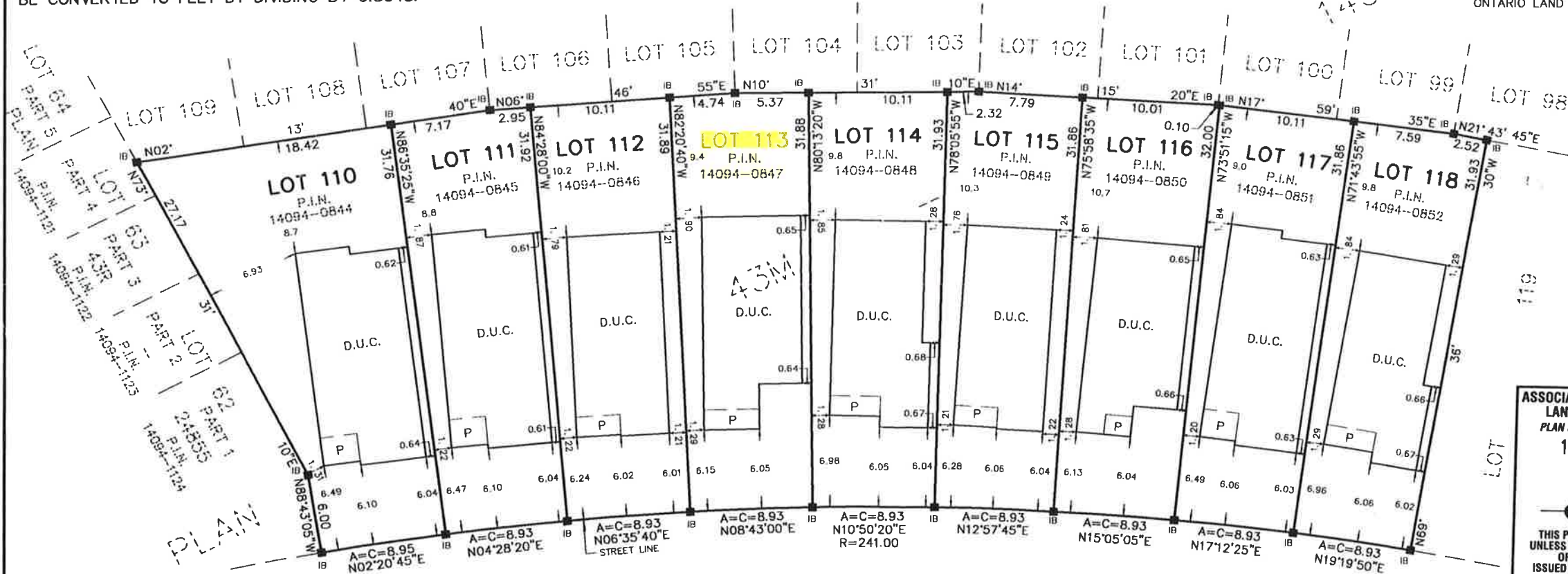
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
 TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 14th DAY OF May, 2001

DATE JUNE 25th, 2001.

T. Singh
 T. SINGH
 ONTARIO LAND SURVEYOR



THIS REPORT WAS PREPARED FOR
 LORMEL HOMES
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY OTHER PARTIES.

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
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 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

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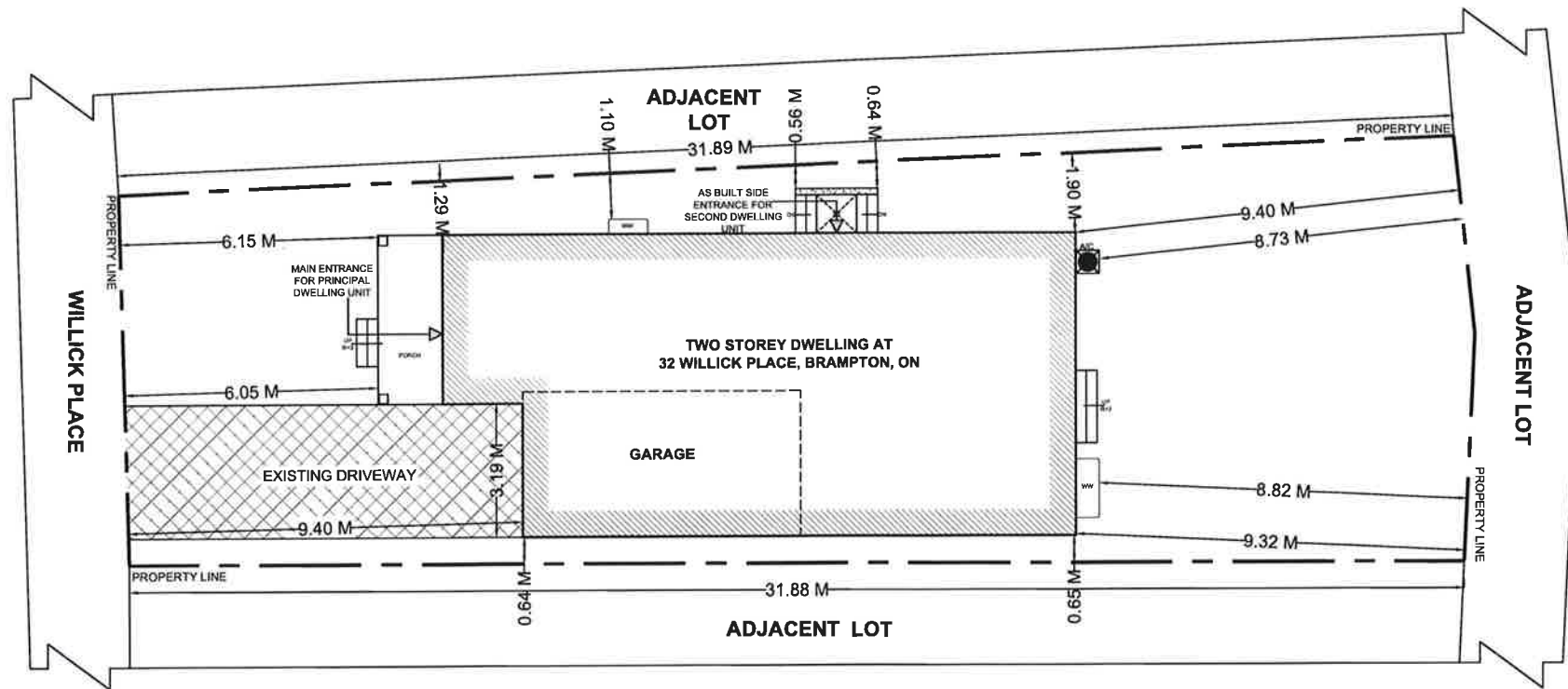
WILLICK PLACE
 (BY PLAN 43M-1409)

**ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1361962**

THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).

fp RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 465 WILSON AVENUE, DOWNSVIEW, ONTARIO
 635-5000
 DRAWN: V.K.
 JOB No. 00-120

CHECKED: T.S.
 ACAD No. 1409-110



AREA STATISTICS:

GROSS FLOOR AREA CALCULATIONS

A. PRINCIPAL RESIDENCE	
<u>MAIN FLOOR G.F.A</u>	= 864.50 ft ² / 80.31 m ²
<u>SECOND FLOOR G.F.A</u>	= 1105.97 ft ² / 102.74 m ²
<u>TOTAL G.F.A</u>	= 1970.47 ft ² / 183.06 m ²
B. BASEMENT G.F.A = 864.50 ft² / 80.31 m²	
BASEMENT APARTMENT G.F.A = 864.50 ft² / 80.31 m²	

▲ ENTRANCE / EGRESS

SCOPE OF WORK

- A. LEGALIZATION OF AS BUILT BASEMENT TO BASEMENT APARTMENT
- B. ENLARGEMENT OF TWO EXISTING WINDOWS
- C. LEGALIZATION OF AS BUILT BELOW GRADE ENTRANCE

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
 ADDRESS : 6 RIPON STREET
 MISSISSAUGA, ON, L4T 1E2
 TEL : 905-276-1100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

BASEMENT APARTMENT AT 32 WILLICK, BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CHECKED: GS
 DRAWN: GS
 SCALE: 1 : 125
 DATE: NOV 16, 2024



DRAWING:

A 0.1

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 110, 111, 112, 113, 114,
115, 116, 117 AND 118
PLAN 43M-1409
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
 10m 5m 10m 20m 30m 40m

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S., 2001.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
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 SURVEYING LTD., O.L.S.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

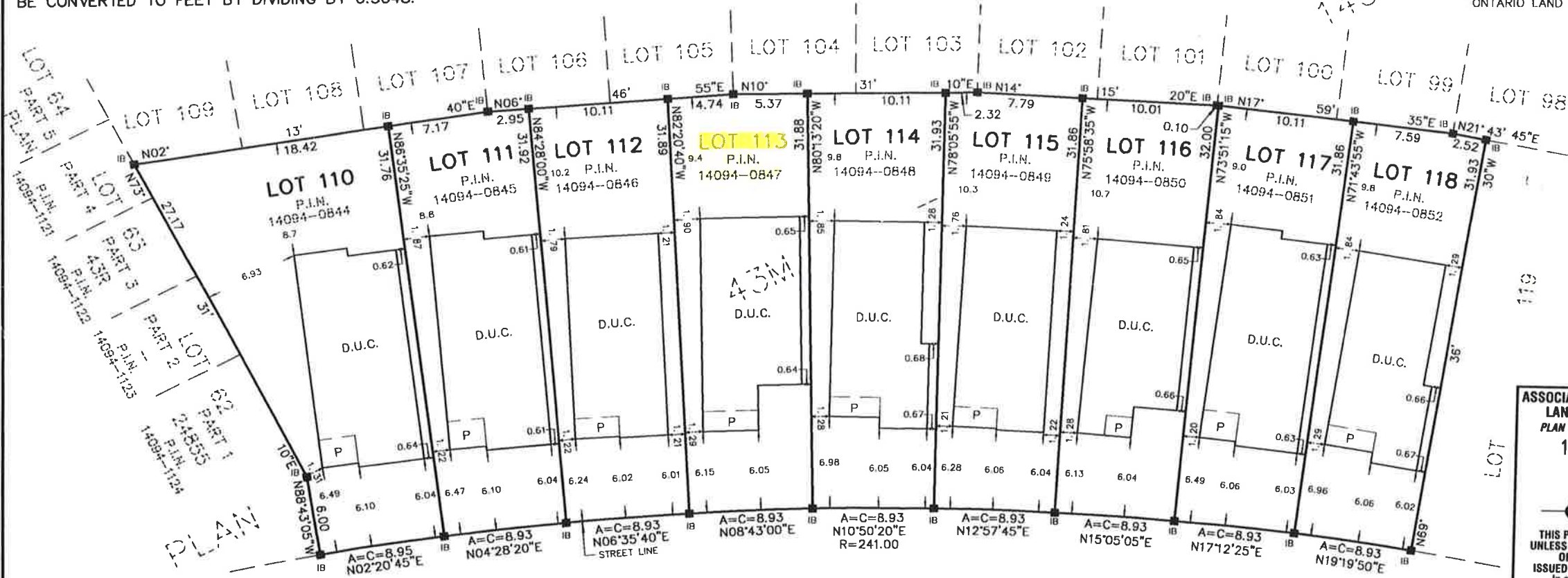
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DATE JUNE 25th, 2001.

T. Singh
 T. SINGH
 ONTARIO LAND SURVEYOR



WILLICK PLACE
 (BY PLAN 43M-1409)

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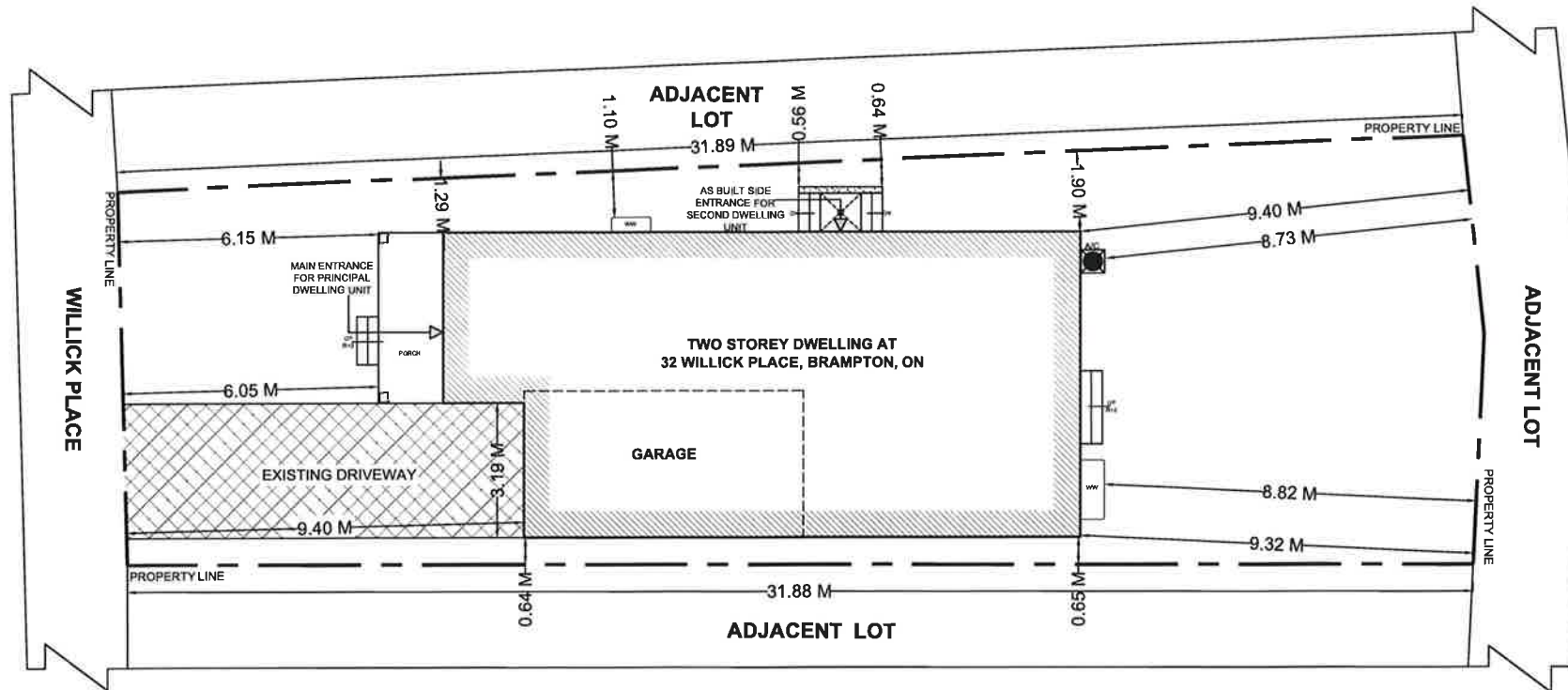
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON STREET
 MISSISSAUGA, ON, L4T 1E3
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

BASEMENT APARTMENT AT 32 WILLICK, BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CHECKED: BS
 DRAWN: BS
 SCALE: 1 : 125
 DATE: NOV 16, 2024

DRAWING:

A 0.1

AREA STATISTICS:

GROSS FLOOR AREA CALCULATIONS	
A. PRINCIPAL RESIDENCE	
MAIN FLOOR G.F.A	= 864.50 ft ² / 80.31 m ²
SECOND FLOOR G.F.A	= 1105.97 ft ² / 102.74 m ²
TOTAL G.F.A	= 1970.47 ft ² / 183.06 m ²
B. BASEMENT G.F.A	
BASEMENT G.F.A	= 864.50 ft ² / 80.31 m ²
BASEMENT APARTMENT G.F.A	= 864.50 ft ² / 80.31 m ²
▲ ENTRANCE / EGRESS	

- SCOPE OF WORK**
- A. LEGALIZATION OF AS BUILT BASEMENT TO BASEMENT APARTMENT
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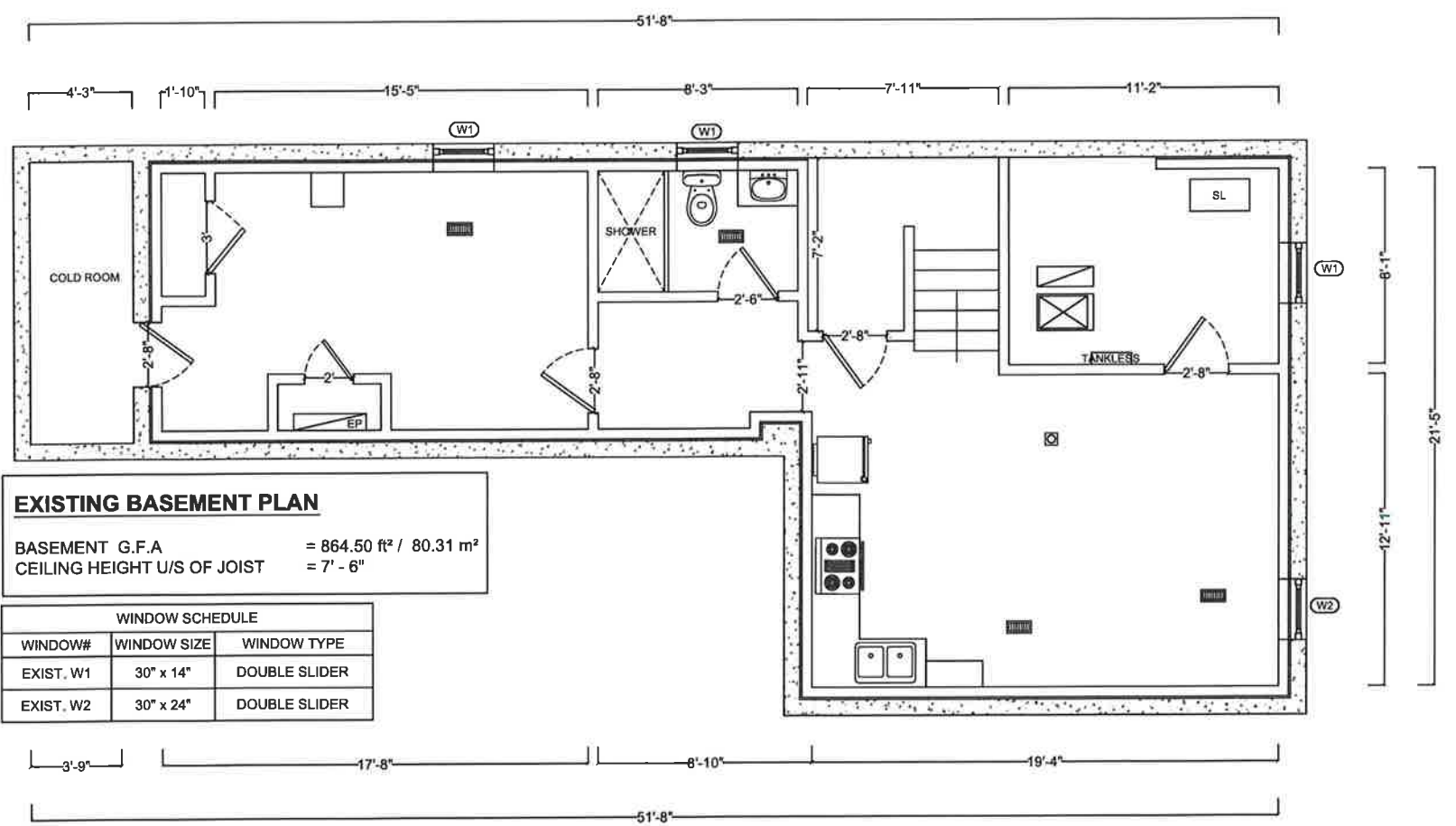
CONSULTANT:

PROJECT:
 BASEMENT APARTMENT
 AT 32 WILLICK,
 BRAMPTON, ON

SHEET TITLE:
**EXIST.
 BASEMENT
 PLAN**

CHECKED: GS
 DRAWN: GS
 SCALE: 3 / 16" = 1' - 0"
 DATE: NOV 16, 2024

DRAWING:
 **A 1.1**

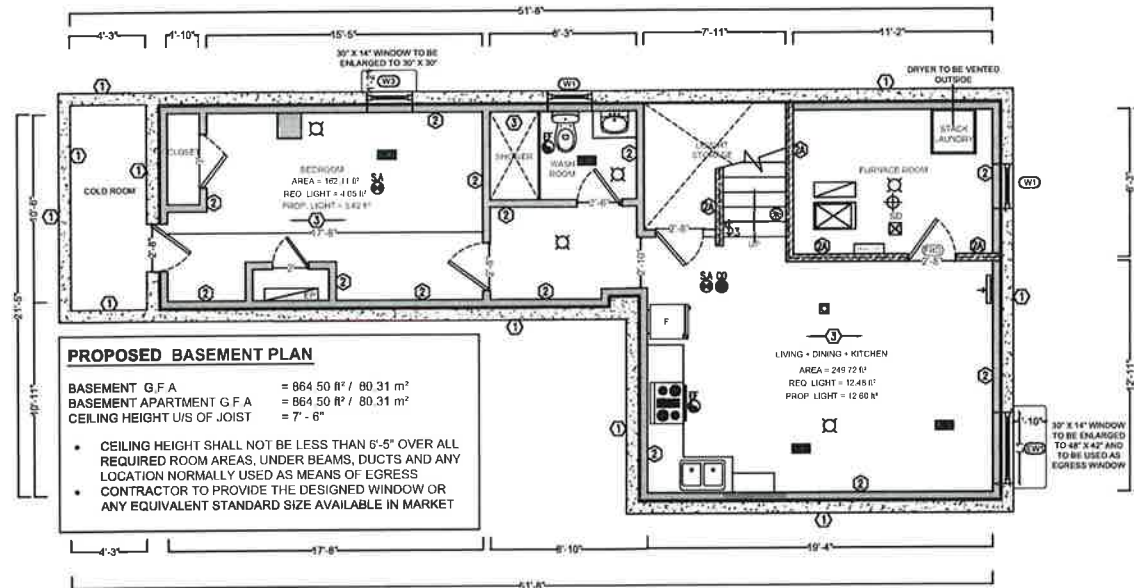


EXISTING BASEMENT PLAN

BASEMENT G.F.A = 864.50 ft² / 80.31 m²
 CEILING HEIGHT U/S OF JOIST = 7' - 6"

WINDOW SCHEDULE

WINDOW#	WINDOW SIZE	WINDOW TYPE
EXIST. W1	30" x 14"	DOUBLE SLIDER
EXIST. W2	30" x 24"	DOUBLE SLIDER



PROPOSED BASEMENT PLAN

BASEMENT G.F.A = 864.50 ft² / 80.31 m²
 BASEMENT APARTMENT G.F.A = 864.50 ft² / 80.31 m²
 CEILING HEIGHT U/S OF JOIST = 7' - 6"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012					WINDOW SCHEDULE		
ROOM TYPE	ROOM AREA (SFT)	GLASS AREA REQUIRED (SFT)	EXIST / PROP GLASS AREA (SFT)	TYPE	WINDOW	WINDOW SIZE	WINDOW TYPE
LIVING + DINING + KITCHEN	249.72	@ 5% = 12.48	12.60	EW1	PROP. EW1	48' x 42"	SINGLE CASEMENT EGRESS WINDOW OPENING INSIDE
BEDROOM	162.11	@ 2.8% = 4.05	5.62	W3	PROP. W3	30' x 30"	DOUBLE SLIDER

LEGEND	
	EXISTING FOUNDATION WALL 18" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
	DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWS ON BATHROOM WALLS)
	PROVIDE 30 MINUTE F.R.R. (SBS W/IC 36 x 89 mm WOOD STUDS @ 610 mm O.C. W/ 12 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEWEXISTING WALL
	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
	SMOKE ALARMS W/ STROBE LIGHT INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.10. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	SPRINKLER
	NEW / EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING CEILING)
	EXHAUST FAN
	EMERGENCY LIGHT
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	PROVIDE 30 MINUTE F.R.R. (2 x 1/2" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
	LIGHT
	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BUNGALOW AND PRINCIPAL RESIDENCE WITH SELF-CLOSING DEVICE
	3-2"x6" WOOD LINTEL & 1-3.5"x3.5"x1/8" STEEL LINTEL MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE MINIMUM BEARING OF WOOD LINTEL 80 mm ON EACH SIDE
	STEEL POST

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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024

ENGINEER:

Mechways Inc.

ADDRESS: 1 E. RIVINGTON STREET, MISSISSAUGA, ON, L4T 1E2
 TEL: 416-674-1100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

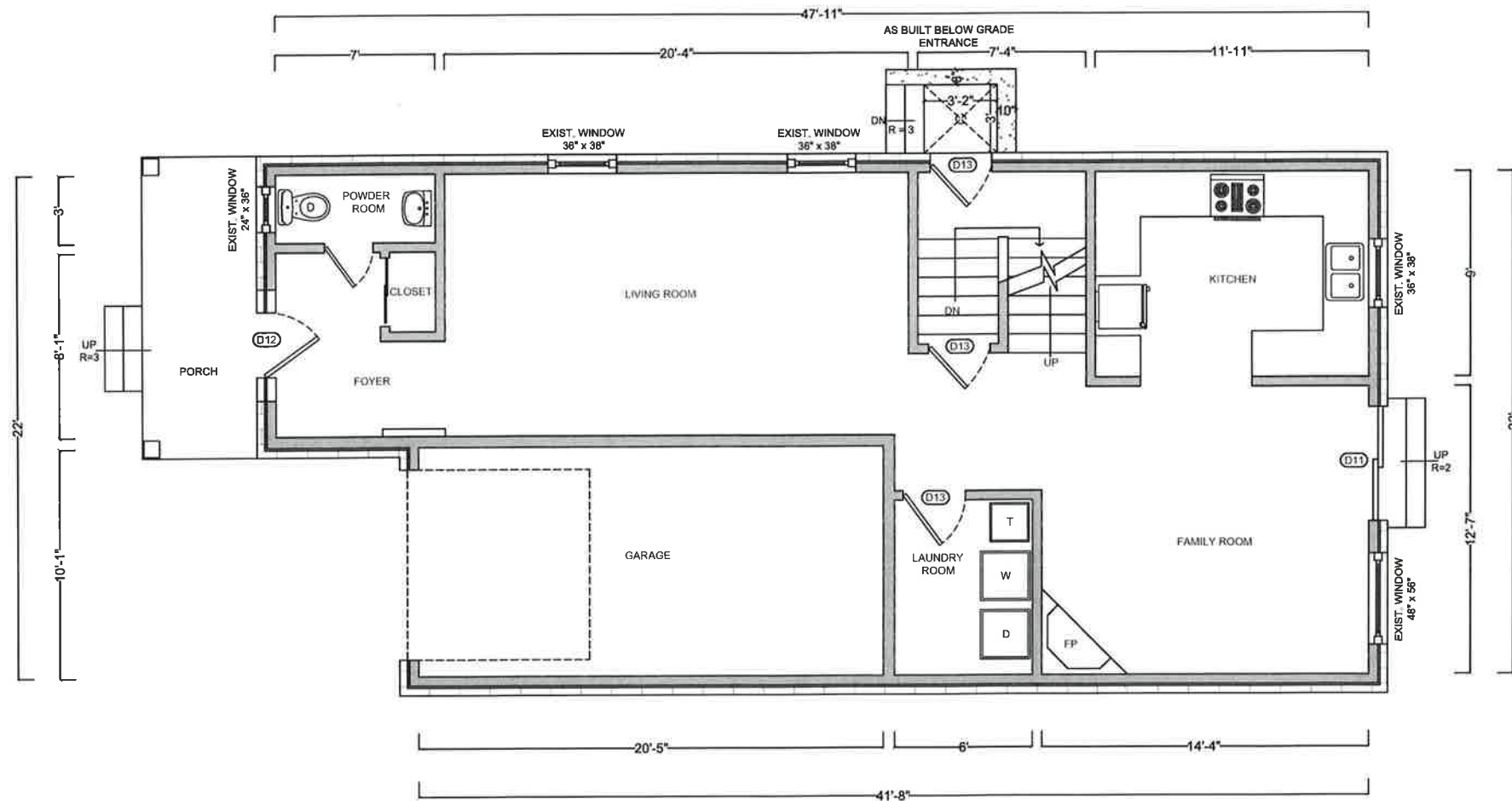
BASEMENT APARTMENT AT 32 WILLICK, BRAMPTON, ON

SHEET TITLE:

PROP. BASEMENT PLAN

CHECKED: GS
 DRAWN: GS
 SCALE: 1 / 8" = 1' - 0"
 DATE: NOV 16, 2024





EXIST. MAIN FLOOR PLAN

MAIN FLOOR G.F.A = 864.50 ft² / 80.31 m²
 FIN. CEILING HEIGHT = 8'-0"

DOOR SCHEDULE	
DOOR	SIZE
EXIST. D11	60" X 80"
EXIST. D12	34" X 80"
EXIST. D13	32" X 80"

GENERAL NOTES:

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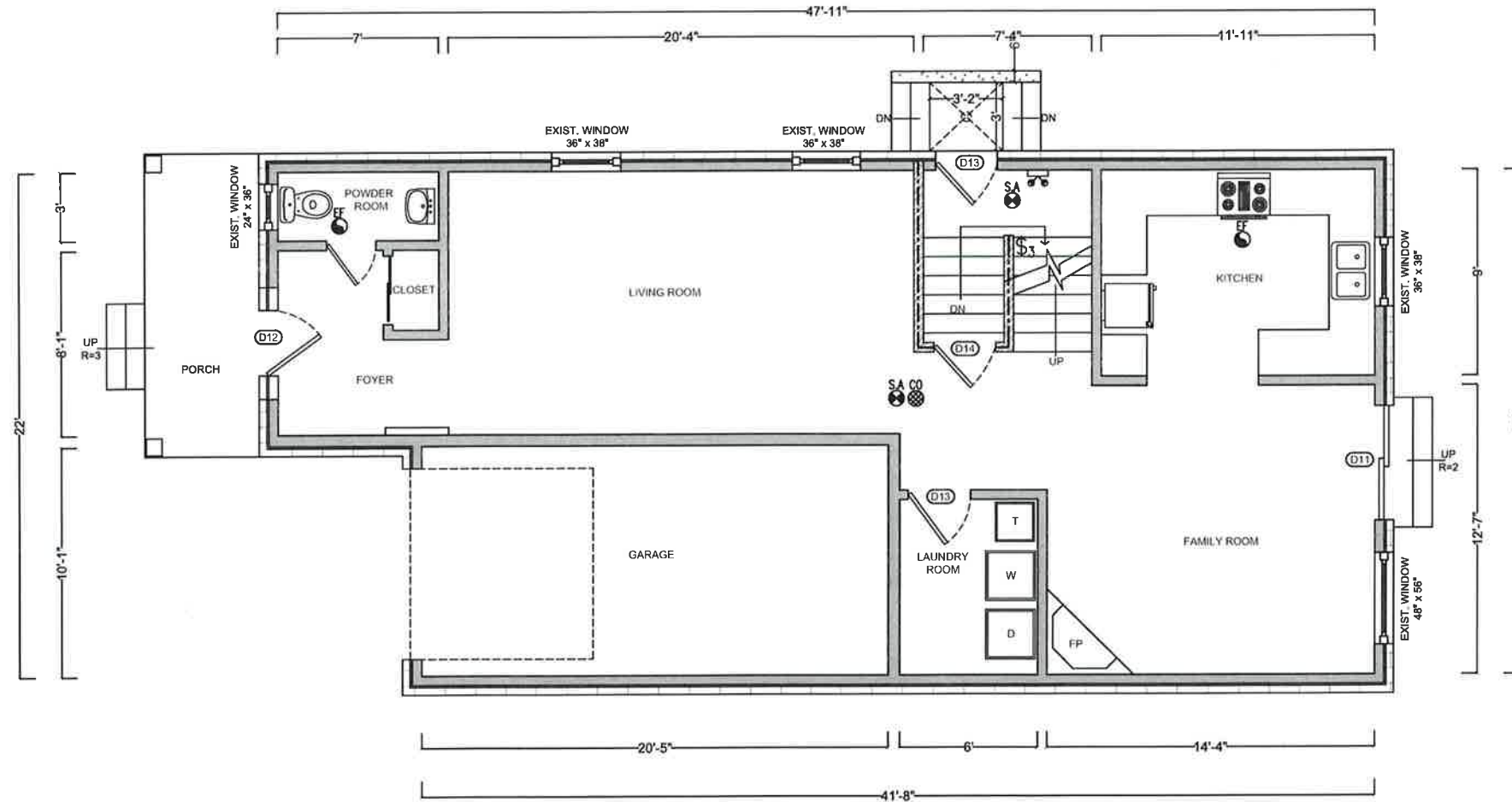
BASEMENT APARTMENT
 AT 32 WILLICK,
 BRAMPTON, ON

SHEET TITLE:

EXIST. MAIN
 FLOOR PLAN

CHECKED: GB
 DRAWN: GB
 SCALE: 3/16" = 1'-0"
 DATE: NOV 16, 2024





PROP. MAIN FLOOR PLAN

MAIN FLOOR G.F.A = 864.50 ft² / 80.31 m²
 FIN. CEILING HEIGHT = 8'-0"

DOOR SCHEDULE	
DOOR	SIZE
EXIST. D11	60" X 80"
EXIST. D12	34" X 80"
EXIST. D13	32" X 80"
PROP. D14	32" X 80"

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT BOALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON STREET
 MISSISSAUGA, ON L4T 1E2
 TEL : 416-627-7410
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

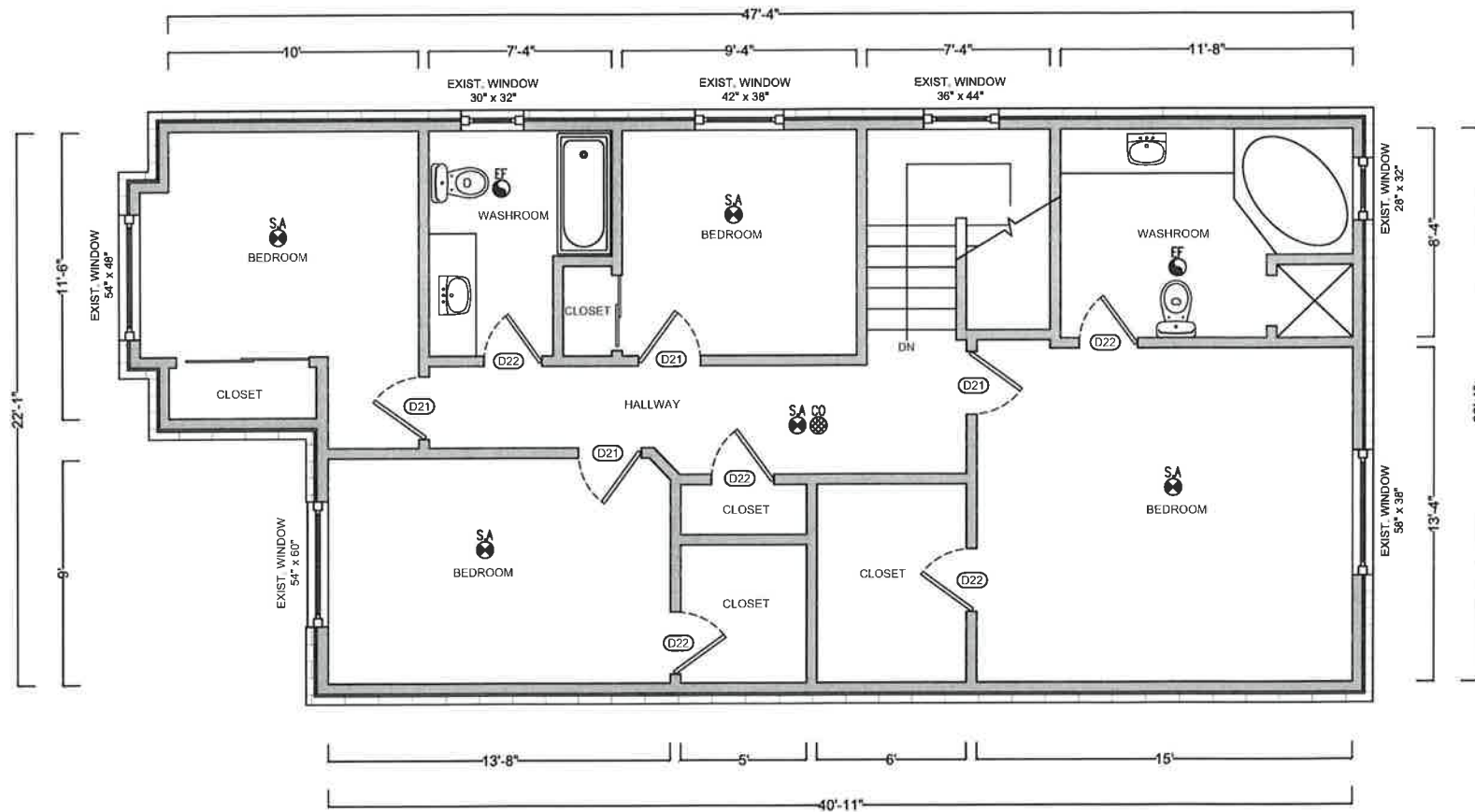
BASEMENT APARTMENT
 AT 32 WILLYCK,
 BRAMPTON, ON

SHEET TITLE:

**PROP. MAIN
 FLOOR PLAN**

CHECKED: GS
 DRAWN: GS
 SCALE: 3/16" = 1'-0"
 DATE: NOV 16, 2024





SECOND FLOOR PLAN

MAIN FLOOR G.F.A = 1105.97 ft² / 102.74 m²
 FIN. CEILING HEIGHT = 7'-11"

DOOR SCHEDULE	
DOOR	SIZE
EXIST.D21	30" X 80"
EXIST.D22	28" X 80"

GENERAL NOTES:
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 SEALED.
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 FOR THE SAME.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 15, 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON STREET
 MISSISSAUGA, ON L4T 1E2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

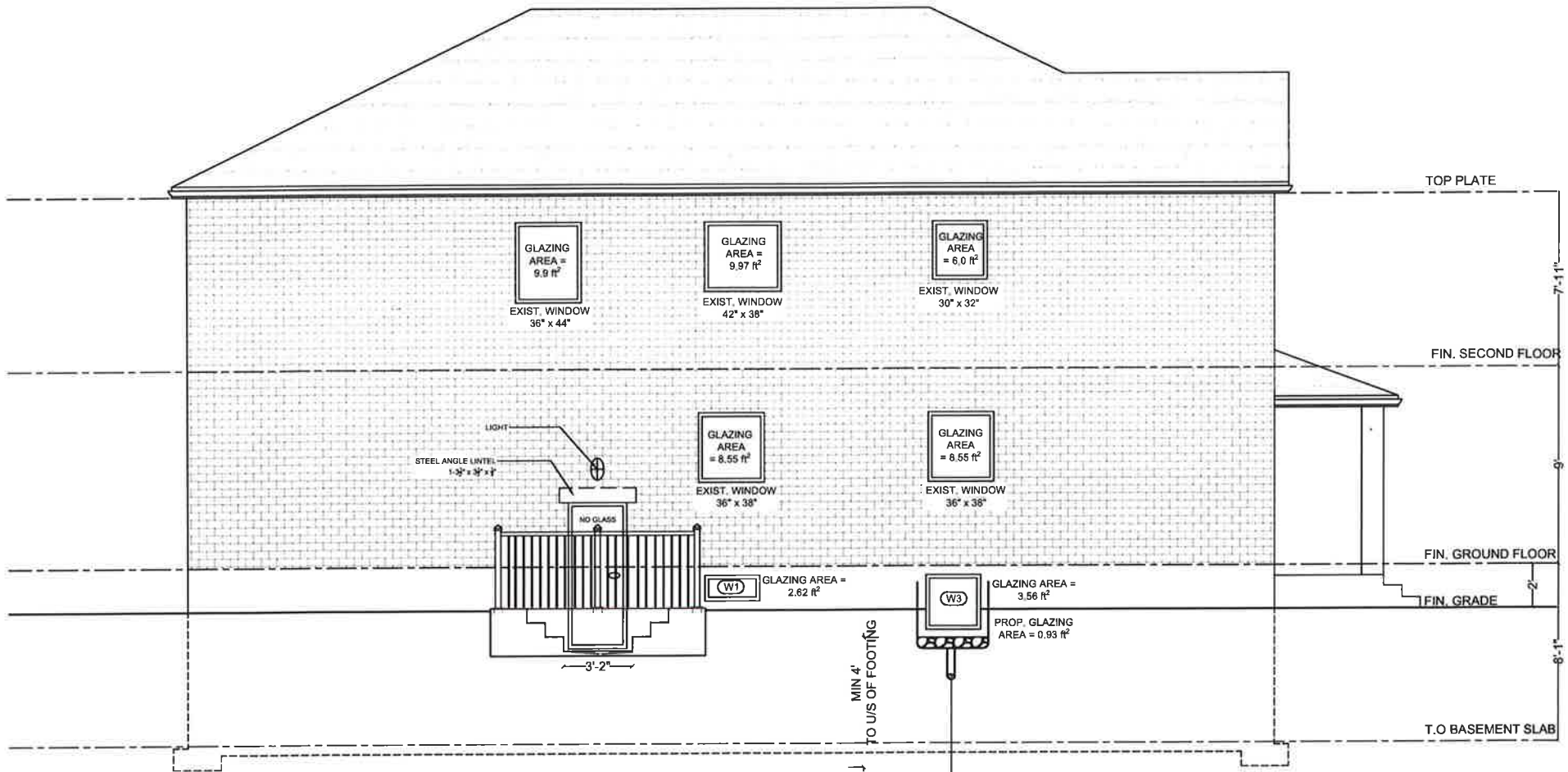
BASEMENT APARTMENT
 AT 32 WILLICK,
 BRAMPTON, ON

SHEET TITLE:

**SECOND FLOOR
 PLAN**

CHECKED: BS
 DRAWN: BS
 SCALE: 3 / 16" = 1' - 0"
 DATE: NOV 16, 2024





LEFT SIDE ELEVATION

SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 937.36 ft² / 87.08 m²
LIMITING DISTANCE	= 1.2 m
MAXIMUM ALLOWABLE GLAZED AREA @ 7%	= 65.61 ft² / 6.09 m²
EXISTING GLAZED AREA ABOVE GRADE	= 48.21 ft² / 4.47 m²
PROPOSED GLAZED AREA ABOVE GRADE	= 0.93 ft² / 0.08 m²
TOTAL GLAZED AREA ABOVE GRADE	= 49.14 ft² / 4.56 m²

PERFORATED PIPE IN THE GRAVEL BED TO EXTEND 24" FROM FACE OF THE WALL. DAMP PROOF THE FACE OF THE FOUND WALL NEXT TO WINDOW WELL AND TO THE TOP OF THE GRAVEL BED. THE WELL SHALL BE 6" ABOVE SURROUNDING GRADE OR CONNECT THE PIPE TO A SUMP PUMP INSIDE.

GENERAL NOTES:
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NO.	DESCRIPTION	DATE
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ENGINEER:

Mechways Inc.
 ADDRESS : 15 BUCHAN STREET, MISSISSAUGA, ON, L4T 1E2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

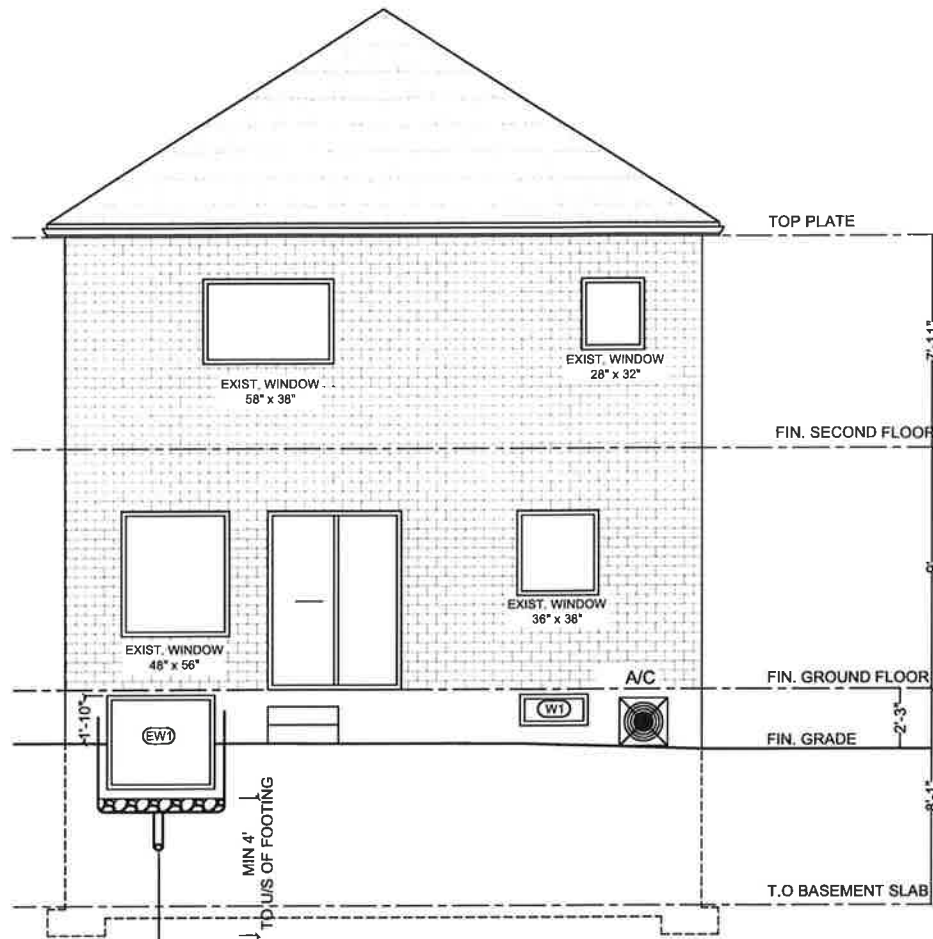
CONSULTANT:

PROJECT:
 BASEMENT APARTMENT AT 32 WILLICK, BRAMPTON, ON

SHEET TITLE:
 LEFT SIDE ELEVATION

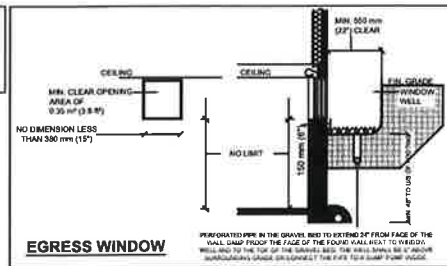
CHECKED: BS
 DRAWN: BS
 SCALE: 3 / 16" = 1' - 0"
 DATE: NOV 16, 2024

DRAWING:
 A 2.1



PERFORATED PIPE IN THE GRAVEL BED TO EXTEND 24" FROM FACE OF THE WALL. DAMP PROOF THE FACE OF THE FOUND WALL NEXT TO WINDOW WELL AND TO THE TOP OF THE GRAVEL BED. THE WELL SHALL BE 6" ABOVE SURROUNDING GRADE OR CONNECT THE PIPE TO A SUMP PUMP INSIDE.

REAR ELEVATION



GENERAL NOTES:

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1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024
---	----------------------------	--------------

ENGINEER:

Mechways Inc.

ADDRESS : 16 RUPCH STREET
MISSISSAUGA, ON, L4T 1E2
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

BASEMENT APARTMENT
AT 32 WILLYCK,
BRAMPTON, ON

SHEET TITLE:

REAR SIDE
ELEVATION

CHECKED: GS
DRAWN: GS
SCALE: 3/16" = 1'-0"
DATE: NOV 16, 2024

DRAWING:

A 2.2

ROOM FINISHED SCHEDULE - BASEMENT								
ROOM NAME	FLOOR		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
LIVING, DINING, & KITCHEN	WOOD		DRYWALL	PAINT	GYPSUM BD.	PAINT		
BEDROOMS	WOOD		DRYWALL	PAINT	GYPSUM BD.	PAINT		
WASHROOMS	CERAMIC		DRYWALL	PAINT	GYPSUM BD.	PAINT		
UTILITY ROOM	CONCRETE		DRYWALL		GYPSUM BD.			

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
- EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE













ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- FOUNDATION WALL INSULATION
8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- INTERNAL WALLS
WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.
- CEILING
NEW / EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD CEILING)
- EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
- MECHANICAL VENTILATION
100 CFM EXHAUST FANS IN KITCHEN AND 50 CFM IN WASHROOM
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

- \$ SWITCH
- \$3 3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS
-  15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE WHITE, C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER
-  RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.
-  RECEPTACLE
-  LIGHT
-  SPOT LIGHT
-  EMERGENCY LIGHT
-  FD: FLOOR DRAIN
-  SPRINKLER
-  DUCT TYPE SMOKE DETECTOR
-  SMOKE ALARM
-  CARBON MONOXIDE DETECTOR
-  EXHAUST FAN

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024

ENGINEER:

 **Mechways Inc.**
ADDRESS : 5 RIPON STREET
MISSISSAUGA, ON L4T 1E2
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

BASEMENT APARTMENT
AT 32 WILLICK,
BRAMPTON, ON

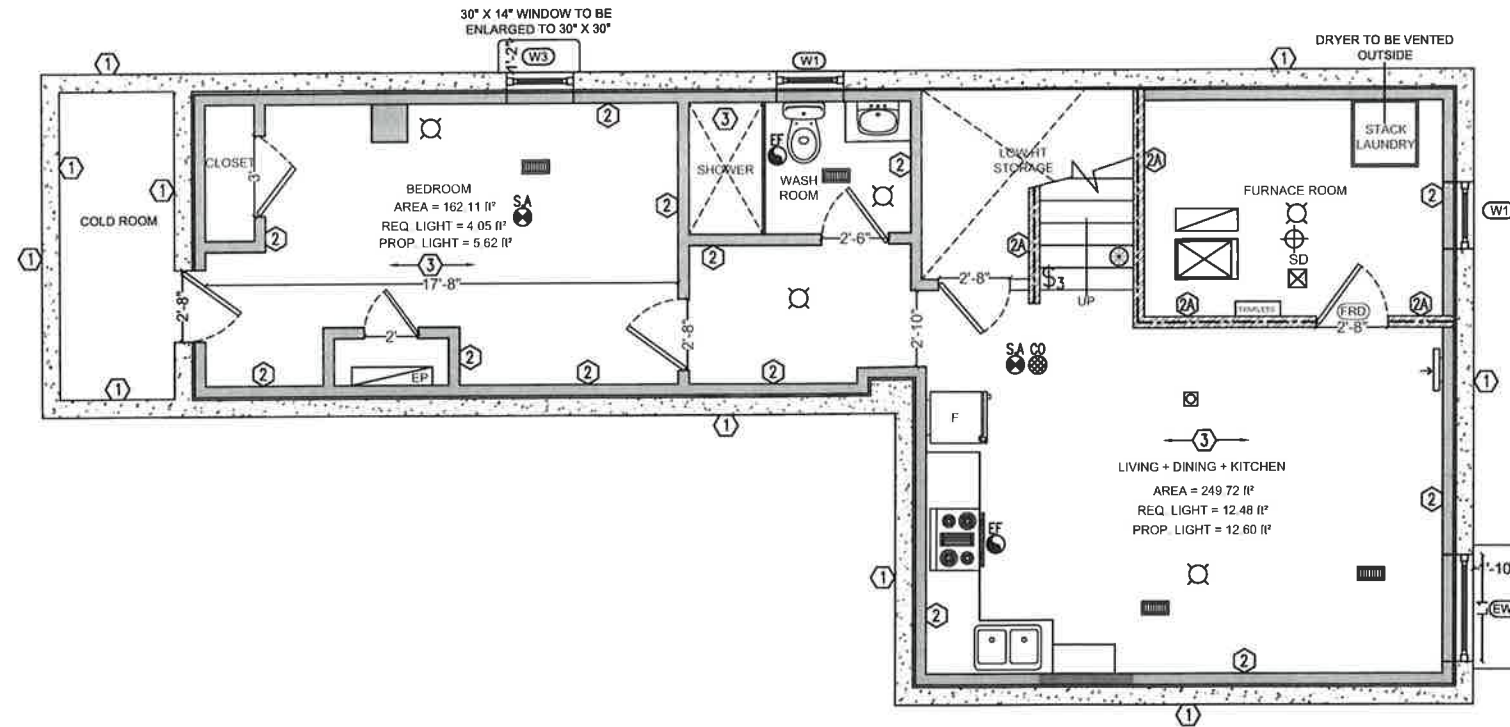
SHEET TITLE:

GENERAL NOTES

CHECKED: GS
DRAWN: BS
SCALE: NTS
DATE: NOV 16, 2024

DRAWING:

A 3.1



SD	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
SP	SPRINKLER
EF	EXHAUST FAN
SAR	SAR (SUPPLY AIR REGISTER) 10" x 4"
RAG	RAG (RETURN AIR GRILLE) 12" x 6"

FURNACE DETAILS
 MAKE : LENNOX
 MODEL NO : CX35-18/24B-6F-20
 SERIAL NUMBER : 1521K21172

GENERAL NOTES:
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ENGINEER:

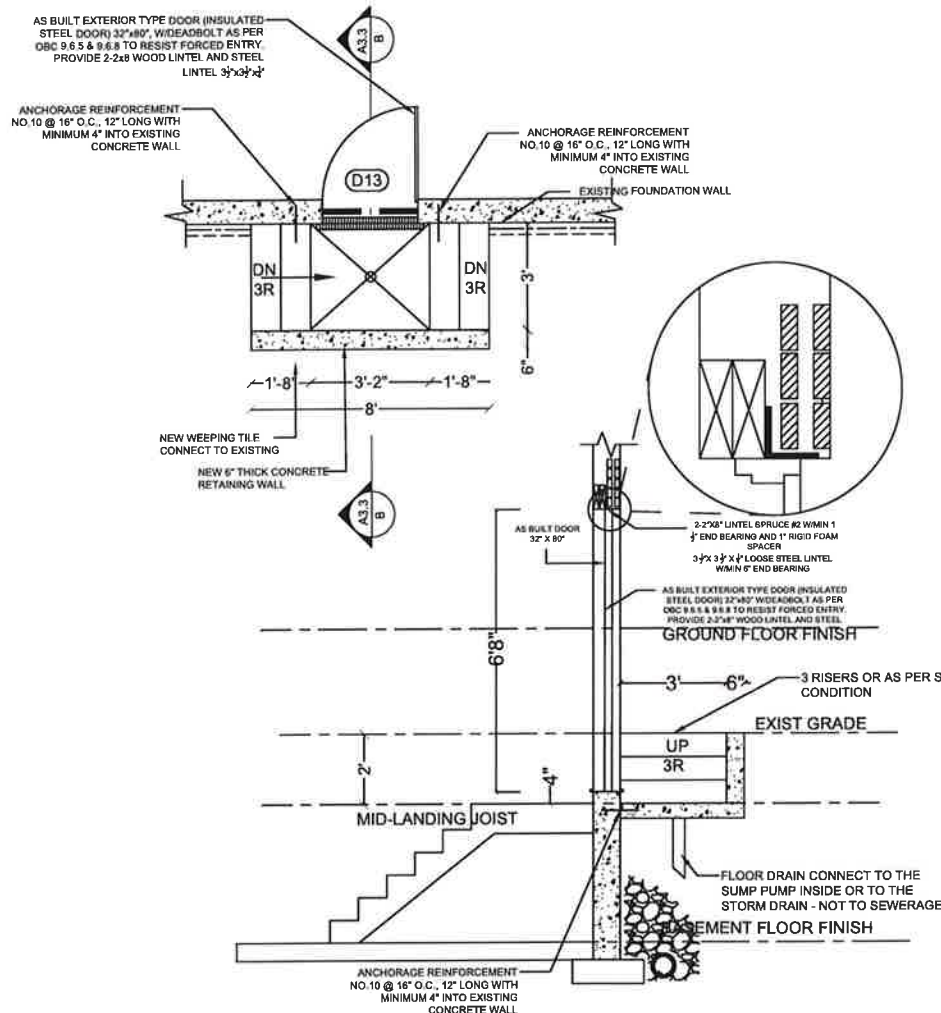
 ADDRESS : 6 RICH STREET MISSISSAUGA, ON L4T 1E2
 TEL : 416-657-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:
 PROJECT:
 BASEMENT APARTMENT AT 32 WILLICK, BRAMPTON, ON

SHEET TITLE:
HVAC PLAN

CHECKED: GS
 DRAWN: GS
 SCALE: 3/16" = 1'-0"
 DATE: NOV 16, 2024

DRAWING:
M 1.1



GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF A LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
 RUN 10" MINIMUM 14" MAXIMUM
 TREAD 10" MINIMUM 14" MAXIMUM
 TREAD SHOULD BE A MAX. OF 1" > RUN
 ADJUST STEP SIZE TO SUIT SITE

4. INSULATION

- 4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- 4b. PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8" x 6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
 WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
 STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
 ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM

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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024

ENGINEER:
Mechways Inc.
 ADDRESS : 16 ADDA STREET
 MISSISSAUGA, ON L4T 1E2
 TEL : 416-674-1100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

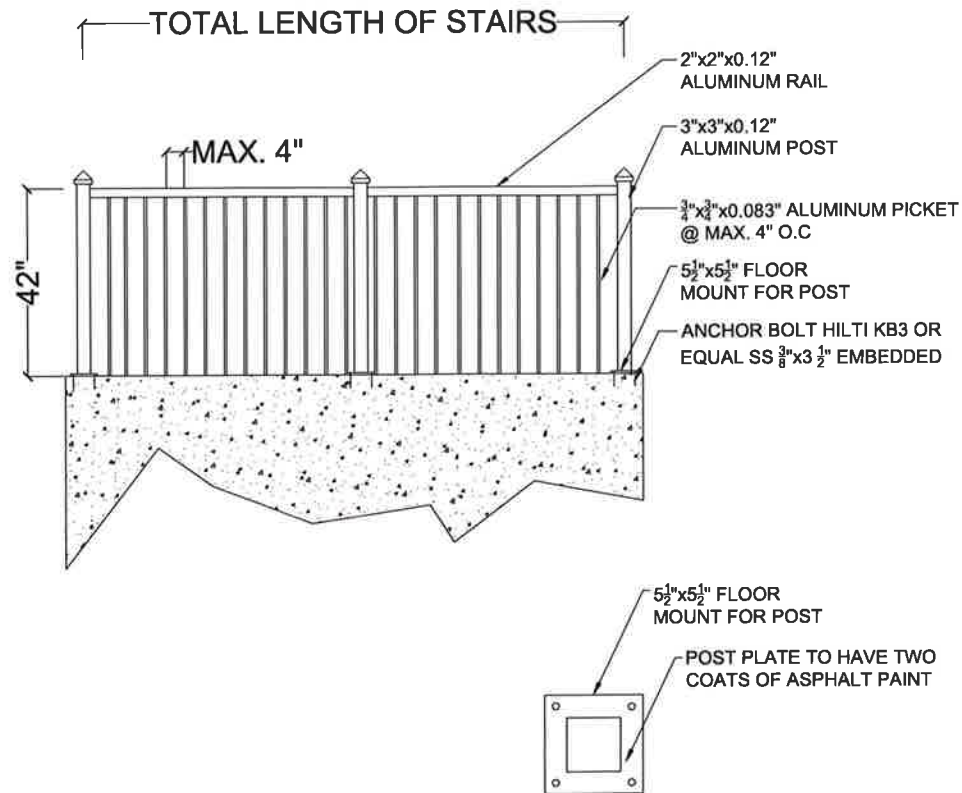
CONSULTANT:

PROJECT:
 BASEMENT APARTMENT
 AT 32 WILLICK,
 BRAMPTON, ON

SHEET TITLE:
**BELOW GRADE
 DETAILS**

CHECKED: BS
 DRAWN: BS
 SCALE: 1/4" = 1' - 0"
 DATE: NOV 16, 2024

DRAWING:
A 4.1



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SEAL:



NO.	DESCRIPTION	DATE
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ENGINEER:

 **Mechways Inc.**
 ADDRESS : 6 RIPON STREET
 MISSISSAUGA, ON, L4T 1E2
 TEL : 416-277-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

BASEMENT APARTMENT
 AT 32 WILLICK,
 BRAMPTON, ON

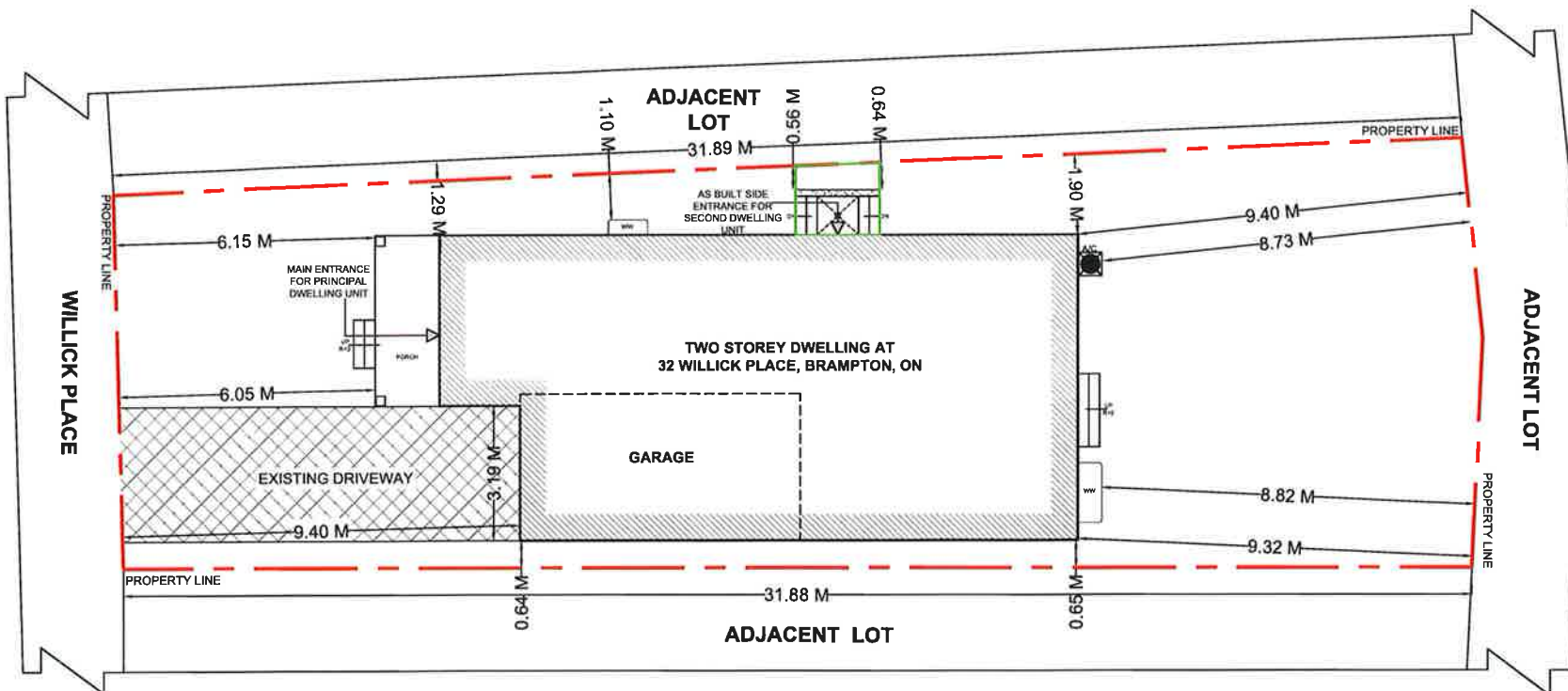
SHEET TITLE:

**GUARD RAIL
 DETAILS**

CHECKED: GS
 DRAWN: GS
 SCALE: 3 / 8" = 1' - 0"
 DATE: NOV 16, 2024

DRAWING:

A 5.1



GENERAL NOTES:
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NO.	DESCRIPTION	DATE
2	REVISION - 1	DEC 09, 2024
1	ISSUED FOR BUILDING PERMIT	NOV 16, 2024

ENGINEER:

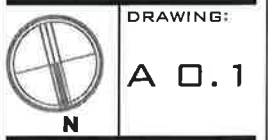
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 TEL: 416-627-4100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

CONSULTANT:

 PROJECT:
 BASEMENT APARTMENT
 AT 32 WILLICK,
 BRAMPTON, ON

SHEET TITLE:
SITE PLAN

 CHECKED: GS
 DRAWN: GS
 SCALE: 1 : 125
 DATE: NOV 16, 2024



AREA STATISTICS:	
GROSS FLOOR AREA CALCULATIONS	
A. PRINCIPAL RESIDENCE	
MAIN FLOOR G.F.A.	= 864.50 ft ² / 80.31 m ²
SECOND FLOOR G.F.A.	= 1105.97 ft ² / 102.74 m ²
TOTAL G.F.A.	= 1970.47 ft ² / 183.06 m ²
B.	
BASEMENT G.F.A.	= 864.50 ft ² / 80.31 m ²
BASEMENT APARTMENT G.F.A.	= 864.50 ft ² / 80.31 m ²
▲	ENTRANCE / EGRESS

- SCOPE OF WORK**
- A. LEGALIZATION OF AS BUILT BASEMENT TO BASEMENT APARTMENT
 - B. ENLARGEMENT OF TWO EXISTING WINDOWS
 - C. LEGALIZATION OF AS BUILT BELOW GRADE ENTRANCE

Zoning Non-compliance Checklist

File No. A-2024- 0459

Applicant: Amarjeet Singh
 Address: 32 Willick Place
 Zoning: R1D Section 930
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR			
PATH OF TRAVEL			
BELOW GRADE ENTRANCE	To permit an interior side yard setback of .56 metres to an existing exterior stairway leading to a below grade entrance. To permit an existing exterior stairway leading to a below grade entrance in a required side yard.	Whereas the by-law requires a minimum interior side yard setback of 1.2 metres on one side, and 0.6 metres on the other side. Whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard.	930 10.23.1
COVERAGE			
PARKING			
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
SCHEDULE 'C'			
FENCE HEIGHT			

Rose Bruno
Reviewed by Zoning

December 10, 2024
Date