

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

This is an existing 25-storey residential building. Surrounded by green space, parking and municipal road. No other structures, shed or gazebo on the property.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

The proposed units are within the existing boundary and located on the ground floor.

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback No change - please refer to registered survey attached.
Rear yard setback No change - please refer to registered survey attached.
Side yard setback No change - please refer to registered survey attached.
Side yard setback No change - please refer to registered survey attached.

PROPOSED

Front yard setback No change - please refer to registered survey attached.
Rear yard setback No change - please refer to registered survey attached.
Side yard setback No change - please refer to registered survey attached.
Side yard setback No change - please refer to registered survey attached.

- 0. Date of Acquisition of subject land: 1997
- 1. Existing uses of subject property: Residential
- 2. Proposed uses of subject property: Residential (No Change)
- 3. Existing uses of abutting properties: Residential
- 4. Date of construction of all buildings & structures on subject land: 1976
- 5. Length of time the existing uses of the subject property have been continued: 48 Years

16. (a) What water supply is existing/proposed?

Municipal Well Other (specify) _____

(b) What sewage disposal is/will be provided?

Municipal Septic Other (specify) _____

(c) What storm drainage system is existing/proposed?

Sewers Ditches Swales Other (specify) _____



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes

No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes

No

19. Has the subject property ever been the subject of an application for minor variance?

Yes

No

Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ben McCawley
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 24 DAY OF January, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ben McCawley, OF THE City OF Toronto

IN THE _____ OF Toronto SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 24 DAY OF

Ben McCawley
Signature of Applicant or Authorized Agent

Mercelyn Osaze
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires June 20, 2025.

Received January 24, 2025 Mercelyn

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 3 Knightsbridge Road

I/We Stephen Co
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent

Dated this 21 day of January, 2025



(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner)

(where the owner is a firm or corporation, please print or type the full name of the person signing)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

★ METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN OF BLOCK D
 REGISTERED PLAN 962
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEELE

SCALE 1:750

PART 2

BUILDING TIES ARE TAKEN TO BRICK WALLS.

THIS REPORT WAS PREPARED FOR CAPREIT APARTMENTS INC., AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

- LEGEND:
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES SURVEY MONUMENT FOUND
 - DENOTES IRON BAR
 - S/S DENOTES STANDARD IRON BAR
 - S/S/B DENOTES SHORT STANDARD IRON BAR
 - SN DENOTES STAIR WELL
 - CLF DENOTES CHAIN LINK FENCE
 - P DENOTES REGISTERED PLAN 962
 - P1 DENOTES PLAN 43R-4622
 - WT DENOTES WITNESS
 - JOB DENOTES J. D. BARNES LIMITED, O.L.S.

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FOR 1
 1725419

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL CITY ISSUED BY THE SURVEYOR In accordance with Regulation 1562, Section 2(3).

BEARINGS:
 BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF BLOCK P HAVING A BEARING OF N59°02'10"E AS SHOWN ON REGISTERED PLAN 962.

- SURVEYOR'S CERTIFICATE:
- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 11TH DAY OF FEBRUARY, 2009.

Feb. 13, 09
 DATE

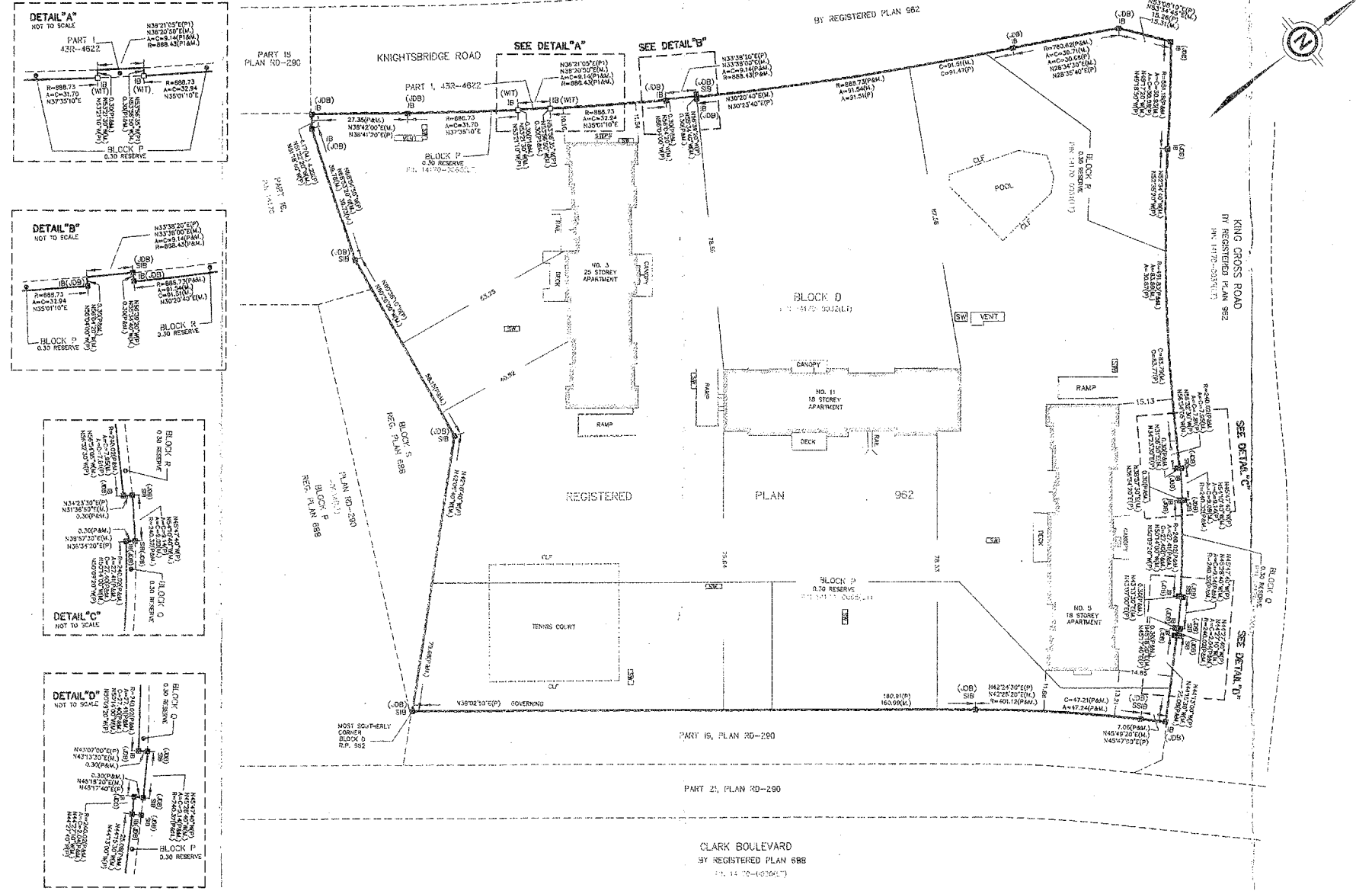
OMARI B. MWINYI
 ONTARIO LAND SURVEYOR

© OMARI MWINYI SURVEYING LTD., 2009.

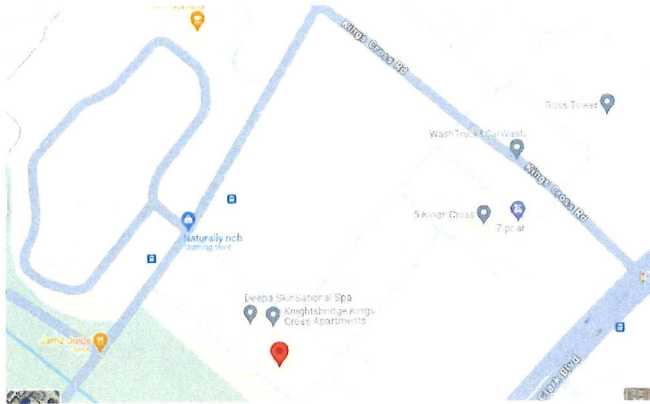
OMARI MWINYI SURVEYING LTD

1400 BAYLY STREET
 UNIT 9A
 PICKERING ON, L1W 3R2
 Ph: (905) 831 5485
 Fax: (905) 831 7382

PROJECT CLARK BOULEVARD		PROJECT No. 09-005-S	
DRAFTSPERSON SUGI	CALCULATIONS E:\OMSL\09-005\09-005	CHECKED BY O.M.	



PROPOSAL OF ONE BEDROOM UNIT IN 3 KNIGHTSBRIDGE RD. CHANGE OF USE OF STORAGE ROOM



DRAWING LIST:

A-101	PROJECT OBJECTIVES & OBC MATRIX
A-102	GENERAL NOTES-1
A-103	ABBREVIATIONS, HATCH & SYMBOLS
A-201	SITE PLAN SURVEY- ORIGINAL COPY
A-202	SCHEDULE C_149 - SITE PLAN
A-203	SITE PLAN & EXISTING GROUND FLOOR PLAN
A-204	EXISTING & PROPOSED ONE BEDROOM UNIT PLANS
A-301	MAIN ELEVATION, SECTIONS, DOORS & WINDOWS TYPE

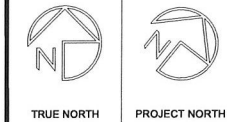


I.E ARCHITECTS
Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca



GENERAL NOTES:
-ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR.
-ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
-DRAWINGS ARE NOT TO BE SCALED.
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

1. ISSUED FOR BUILDING PERMIT		JUNE 04, 2024
NO.	ISSUE	DATE
REVISION		



CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

PROJECT ADDRESS:
**3 KNIGHTSBRIDGE RD
BRAMPTON, ON**

DRAWING TITLE:
FRONT PAGE

DRAWN BY: A.Y.	SCALE: AS NOTED	DATE: JUNE 04, 2024
-------------------	--------------------	------------------------

PROJECT NO.: 24-05-03-NB	DRAWING NO.: A-000
-----------------------------	------------------------------

PROJECT DESCRIPTION & OBJECTIVE:

PROJECT LOCATION:

3 KNIGHTSBRIDGE ROAD, BRAMPTON, ON, L6T 3X3
 KNIGHTSBRIDGE BUILDING IS AN EXISTING (25) STOREY RESIDENTIAL BUILDING, IN BRAMPTON NEAR DOWNTOWN AREA.

PROPOSED ONE BEDROOM UNIT:

OWNERSHIP IS LOOKING FORWARD TO OBTAIN CITY BUILDING PERMIT AND COMPLY WITH THE BUILDING CODE AND REGULATIONS FOR THE INTENSIFICATION & CREATING (ONE) BEDROOM UNIT. THE PROPOSED UNIT WILL TAKE PLACE INSTEAD OF THE STORAGE ROOM AT THE GROUND FLOOR. THIS MINOR UNIT ADDITION MAY SLIGHTLY IMPROVE THE SHORTAGE SUPPLY OF RENTAL UNITS IN OUR NEIGHBORHOOD & ENHANCE THE HEALTH AND WELFARE OF OUR COMMUNITY.

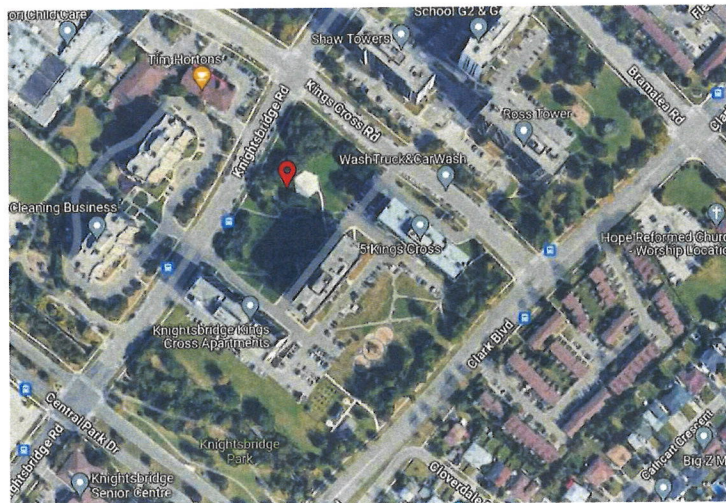
CODE REVIEW INFORMATION:

ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE CLIENT AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED.

ZONING ANALYSIS:

REGULATION	EXISTING
ZONE	RESIDENTIAL SPECIAL SECTION R4A(3)-149
MAXIMUM NUMBER OF DWELLING UNITS	311 UNITS (310 EXISTING- 1 PROPOSED)
MAXIMUM GROSS FLOOR AREA	34,335.8 sq.m (NO CHANGE)
MAXIMUM BUILDING HEIGHT	28 STOREYS (NO CHANGE)
MINIMUM LOT AREA	4.0 HECTARES (NO CHANGE)
MINIMUM NUMBER OF PARKING SPACES	385 SPACES (MAX. 50% SURFACE LEVEL) (NO CHANGE)
EXISTING UNIT AREA	38.8 sq.m (417.6 sq.ft) (NO CHANGE)
PROPOSED UNIT AREA	38.8 sq.m (417.6 sq.ft)

PROJECT SITE VIEW:



ONTARIO BUILDING CODE MATRIX:

NAME OF PRACTICE:		OBC REFERENCE	
I.E. ARCHITECTS			
PROJECT ADDRESS:			
3 KNIGHTSBRIDGE ROAD, BRAMPTON, ON, L6T 3X3.			
ITEM	ONTARIO BUILDING CODE 2021 DATA MATRIX PARTS 3, 9 & 11	OBC REFERENCE	
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION	<input checked="" type="checkbox"/> PART 11 11.1 TO 11.4	<input checked="" type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9
2	MAJOR OCCUPANCY(S) - USE GROUP C RESIDENCE OCCUPANCY	3.1.2.1.(1)	
3	BUILDING EXISTING AREA= 34,335.8 sq.m (369,587.4 sq.ft) NO CHANGE STORAGE ROOM AREA = 38.8 sq.m (417.6 sq.ft) NO CHANGE	1.4.1.2. [A] 3.2.1.1	1.4.1.2. [A]
4	NUMBER OF STOREYS ABOVE GRADE: 28 BELOW GRADE: 1	1.4.1.2.[A] & 3.2.1.1 1.4.1.2.[A] & 9.10.4	
5	NUMBER OF STREETS/FIRE FIGHTER ACCESS : 4	3.2.2.10. & 3.2.5	
6	SPRINKLER SYSTEM <input type="checkbox"/> ENTIRE BUILDING PROPOSED <input checked="" type="checkbox"/> BASEMENT & ABOVE GRADE PARKING STRUCTURE <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-.83 3.2.1.5 3.2.2.17	
7	STANDPIPE REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9.1	
8	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.1	
9	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	
10	HIGH BUILDING <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6.	
11	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-.83	
12	MEZZANINE(S) YES	3.2.1.1.(3)-(8)	
13	OCCUPANT LOAD BASED ON <input type="checkbox"/> M ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 2 PEOPLE/DWELLING UNIT	3.1.17	
14	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2. & 3.3.1.19.	
15	REQUIRED FIRE RESISTANCE RATING (FRR)	Horizontal Assemblies	Listed Design No. or Description (SG-2)
		FRR (Hours)	
		Floors	2 hr
		Roof	2 hr
		Walls	1hr
	Mezzanine	1 hr	
16	INTERCONNECTED FLOORS <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.8.2(6)	
17	FIRE-PROTECTION RATING OF CLOSURE: 45 MIN	3.1.8.4 & 9.10.13.1	
18	SPATIAL SEPARATIONS		3.2.3.1D
	Facade	Area of EBF (m ²)	L.D. (m)
			L/H or H/L
		Permitted Max. % of Openings	Proposed Added Area of Openings
	South/Rear	231 sq.m	10 m
			1:25
			100%
			2 sq.m.
			Yes

NOTE:
 SPRINKLERS: There is both a wet and dry sprinkler system in the building.
 • The dry system covers the Garage level
 • The wet system covers the Compactor room, Garbage Shute and Moving room

PROJECT 3D VIEW:



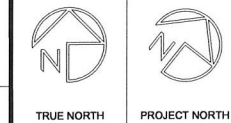
I.E ARCHITECTS
 Office: (416)846-7473
 Info@iearchitects.ca
 www.iearchitects.ca



GENERAL NOTES:
 -ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR.
 -ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 -DRAWINGS ARE NOT TO BE SCALED.
 © COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
 I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY REPRODUCE ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED.
 THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

NO.	ISSUE	DATE
1.	ISSUED FOR BUILDING PERMIT	JUNE 04, 2024

REVISION		
NO.	ISSUE	DATE



CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

PROJECT ADDRESS:
**3 KNIGHTSBRIDGE RD
 BRAMPTON, ON**

DRAWING TITLE:
**PROJECT OBJECTIVES &
 OBC MATRIX**

DRAWN BY:	SCALE:	DATE:
A.Y.	AS NOTED	JUNE 04, 2024

PROJECT NO.:	DRAWING NO.:
24-05-03-NB	A-101

GENERAL NOTES :

1. GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE (OBC), ENFORCE ALL REGULATIONS AND STANDARDS THAT ARE IN EFFECT AT THE TIME OF THE BUILDING PERMIT ISSUANCE.
- MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE CANADIAN CONSTRUCTION MATERIALS CENTER (CCMC)
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.
- HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE. DO NOT SCALE THESE DRAWINGS.
- THE CONTRACTOR IS IN CHARGE DURING CONSTRUCTION. THEREFORE CONTRACTOR IS RESPONSIBLE FOR PROCEDURES/ACTIVITIES AS WELL AS FOR HEALTH AND SAFETY OF THE JOB. THE CONTRACTOR IS TO COMMUNICATE AND INFORM AUTHORITIES/MINISTRY OF LABOUR OF THIS PROJECT (WHERE APPLICABLE)
- ARCHITECT IS TO BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES.
- THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS WITHIN OR IN THE CONTRACT.
- THIS IS A METRIC PROJECT. ALL DIMENSIONS ARE IN MILLIMETERS/CM UNLESS OTHERWISE NOTED.
- SHOP DRAWING AND OTHER SUBMITTALS:
SUBMIT FOR REVIEW BEFORE START OF WORK:
THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP-DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED WITHIN THE PROVINCE OF ONTARIO FOR ALL APPLICABLE WORK
- ALL MATERIALS, SUBMITTALS AND SHOP-DRAWINGS TO BE IN COMPLIANCE WITH MANUFACTURER RECOMMENDATIONS. CONTRACTOR TO PROVIDE WARRANTY CERTIFICATES TO OWNERSHIP, MINIMUM OF (1) YEAR PERIOD FROM THE SUBSTANTIAL PERFORMANCE DATE OF THE PROJECT. WARRANTY FOR WATER TIGHTNESS SHOULD BE AT LEAST (2) YEAR, FROM THE SUBSTANTIAL PERFORMANCE OF THE PROJECT.
- ARCHITECT'S REVIEW OF SHOP DRAWINGS IS ONLY FOR GENERAL CONFORMITY WITH CONTRACT DOCUMENTS AND SPECIFICATIONS
- COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE PROJECT CONTRACT DOCUMENTS AND SPECIFICATIONS. NOR DO THEY AUTHORIZE ANY CHANGES TO THE CONTRACT. REVIEW OF A SPECIFIC ITEM SHALL NOT INCLUDE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.
- THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL QUANTITIES, DETAIL DIMENSIONS, FIELD MEASUREMENTS, FABRICATION PROCESS, MEANS, METHODS, SEQUENCES AND ORDER OF CONSTRUCTION, ERECTION, SAFETY, INSTALLATION AND COORDINATION OF WORK WITH ALL TRADES AND PERFORMING ALL WORK IN A SAFE AND SATISFACTORY MANNER.
- EXISTING BUILDING WILL REMAIN OCCUPIED ALL THROUGH THE DURATION OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FULLY PROTECT OCCUPIED AREAS OF THE BUILDING FROM DUST, DEBRIS, NOISE TO ACCEPTABLE LIMITS AND AS PER MINISTRY OF THE ENVIRONMENT AND CLIMATE CHANGE AND ENVIRONMENT PROTECTION ACT, AND TO PROVIDE SAFE ACCESS TO OCCUPANTS CONTRACTOR TO OBSERVE, MONITOR AND CONTROL ACTIVITIES ACCORDINGLY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP ACCESSIBLE SPACES CLEAN AND FREE OF DEBRIS.
- WHERE APPLICABLE, GAS PIPE IS TO BE CUT, CAPPED AND ABANDONED AT PROPERTY LINE AS REQUIRED BY SAFETY PROCEDURES.
- CONTRACTOR TO COORDINATE WITH LOCAL AUTHORITIES/UTILITY FOR ISOLATION OF GAS WHERE APPLICABLE AND TO ABIDE WITH SAFETY RULES.

2. CONSTRUCTION NOTES & SPECIFICATIONS:

- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15MM POLY IS SUFFICIENT FOR FIBREGLASS TYPE INSULATIONS
- USE BAKOR ROD FOLLOWED BY SEALANT INSIDE AND OUTSIDE PERIMETER OF ALL EXTERIOR DOORS AND WINDOWS. (REFER TO WINDOW SHOP-DRAWINGS)
- SHIM GAP ALONG WINDOW AND DOOR PERIMETER SHALL BE FILLED WITH LOW DENSITY EXPANDING POLYURETHANE FOAM
- WINDOW OVERALL DIMENSIONS REPRESENT ACTUAL WINDOW SIZES
- CONTRACTOR SHALL PROVIDE ALLOWANCES FOR WINDOW PLACEMENT AS PER WINDOW MANUFACTURER'S SPECIFICATION RE-STRUCTURAL LOADS AND DEFLECTION GAPS.
- USE CEMENT BOARD AROUND ALL TUB AND SHOWER ENCLOSURES.
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE INSULATED AND AIRTIGHT WITH TAPE OR SEALANT
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING
- WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR
- EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS AIR BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR
- ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DENOT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT
- ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY - OBC 9.6.1.

3. EXTERIOR PARTITION WALL CONSTRUCTION:

3a BRICK VENEER WALL-NON DISTURBED EXISTING EXTERIOR

- BRICK VENEER, NON LOAD BEARING -(1H) FIRE-RESISTANCE RATING; TYPICAL SOUND TRANSMISSION CLASS (STC 50)
- AIR BARRIER 15.9MM TYPE X GYPSUM BOARD (SEALED AT PERIMETERS)
- METAL STUDS (31mm x 92mm) SPACED AT 400MM (16") O.C.
- 89MM FIBER GLASS INSULATION BETWEEN STUDS
- 190MM CONCRETE BLOCK WALL
- MOISTURE BARRIER (TYVEK)
- 25MM DRAINED & VENTED AIR SPACE CW MORTAR CONTROL AND INSECT INSERT
- 90MM BRICK VENEER (LINTELS AS PER STRUCTURAL DRAWINGS)

4. ELECTRICAL

- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS

5. WINDOWS & DOORS:

- ALL WINDOWS AND SKYLIGHTS TO COMPLY WITH SECTION 9.7 OF THE ONTARIO BUILDING CODE
- ALL WINDOWS TO BE DOUBLE GLAZED OR THERMOPILE WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED EVERY FLOOR LEVEL CONTAINING BEDROOMS SHALL BE PROVIDED FROM THE INSIDE WITHOUT THE USE OF TOOLS
- EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15"
- EXCEPT FOR BASEMENT WINDOWS THE ABOVE NOTED WINDOW SHALL HAVE A MAXIMUM SILL HEIGHT OF 3'-3" ABOVE THE FLOOR
- ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 10.13 OF CAN3-A440, "WINDOWS".
- ALL DOORS SHALL COMPLY WITH SECTION 9.10.13.15 OF THE ONTARIO BUILDING CODE
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK
- THE PRINCIPAL ENTRY DOOR SHALL HAVE A DOOR VIEWER
- MAX. U-VALUE 18 FOR WINDOWS & SLIDING GLASS DOORS

6. SMOKE ALARMS:

- SMOKE ALARMS SHALL BE PROVIDED AS PER SECTION
- 9.10.19 OF THE ONTARIO BUILDING CODE.
- SMOKE ALARMS CONFORMING TO CAN/ULC-5531 "SMOKE ALARMS"
- SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH
- SLEEPING ROOM NOT WITHIN A DWELLING UNIT.
- SECTION 9.10.19.1(i)
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN
- THE DWELLING UNIT, THE SMOKE ALARMS SHALL BE
- WIRED SO THAT THE SOUND OF THE ALARM WILL CAUSE
- ALL ALARMS WITHIN THE, DWELLING UNIT TO SOUND.
- AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 900 MM OR MORE ABOVE AN ADJACENT LEVEL
- SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 5M OF EVERY BEDROOM DOOR AND NOT MORE THAN 15 M TRAVEL DISTANCE FROM ANY POINT ON A FLOOR IN A DWELLING UNIT. SUFFICIENT SMOKE ALARM SHALL BE INSTALLED SO THAT:
 - A) THERE'S AT LEAST ONE SMOKE ALARM INSTALLED IN EACH STOREY, INCLUDING BASEMENT, AND
 - B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED IN:
 - (i) IN EACH SLEEPING ROOM
 - (ii) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE

7. CARBON MONOXIDE DETECTOR

- CARBON MONOXIDE DETECTOR SHALL BE PROVIDED AS PER SECTION
- 9.33.4 OF THE ONTARIO BUILDING CODE.
- WHERE FUEL-BURNING APPLIANCE IS INSTALLED CARBON MONOXIDE DETECTOR IS REQUIRED IN THE DWELLING UNIT
- ADJACENT TO EACH SLEEPING AREA
- SMOKE ALARMS (ULC-5531 -I- 9.10.182) AND CARBON MONOXIDE DETECTOR
- (AS PER CAN/CSA-6-19 AND ULC2034) TO BE INSTALLED AT
- EVERY FLOOR LEVEL NEAR THE STAIRS CONNECTING FLOOR LEVELS ON LEVELS
- CONNECTING BEDROOMS, ALARMS ARE TO BE INSTALLED BETWEEN THE BEDROOMS
- AND THE REMAINDER OF THE FLOOR AREA, E.G. HALLWAYS, CORRIDORS, ETC.
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED, ALARMS SHALL BE
- INTERCONNECTED OR WIRED TO ACTIVATE TOGETHER. CARBON MONOXIDE
- DETECTORS SHALL BE WIRED SO THAT ACTIVATION WILL ACTIVATE THE SMOKE
- ALARMS OR BE EQUIPPED BY AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN
- THE INTERVENING DOORS ARE CLOSED

8. MISCELLANEOUS ITEMS:

- ALL CLOSETS TO HAVE A METAL ROD WITH WOOD SHELF MIN. 14" DEEP.
- MAIN BATHROOMS TO HAVE A RECESSED MEDICINE CABINET.
- MIRROR AND VANITY.
- ALL WASHROOMS / POWDER ROOMS TO HAVE A MIRROR AND
- VANITY PEDESTAL SINK.
- ALL SLIDING CLOSET DOORS OR MIRROR DOORS TO BE 6'-8" HIGH.
- BACK OF THE KITCHEN CABINET TO HAVE HEAVY GAUGE STUDS AND PLYWOOD BRACING TO SUPPORT CABINET LOADS

9. PAINT:

- GYPSUM BOARDS TO BE PRIMED AND PAINTED WITH EGGSHELL FINISH OR PER OWNERSHIP FEATURE SHEETS OF FINISHES
- ALL PAINT TO BE VOC COMPLIANCE BENJAMIN MOORE OR EQUIVALENT

10. FIRE SEPARATION:

- MAINTAIN THE INTEGRITY OF FIRE SEPARATION BETWEEN THE PARKING GARAGE AND LIVABLE SPACES ABOVE, AT THROUGH SLAB SERVICE PENETRATIONS AS PER MIN. SPECIFIED/REQUIRED OBC HOURLY RATING AND BETWEEN DEMISING/PARTY WALLS
- KEEP EXISTING DEMISING FIRE RATED WALLS UNDISTURBED TO MAINTAIN CONTINUOUS NON COMPROMISED FIRE SEPARATION BETWEEN LIVABLE SPACE AND ADJACENT ROOMS/AMENITIES
- KEEP EXISTING ACTIVE FIRE PROTECTION SYSTEM (SPRINKLERS) IN PLACE TO MAINTAIN FIRE SEPARATION



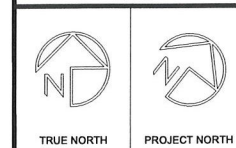
I.E ARCHITECTS
Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca



GENERAL NOTES:
-ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR
-ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
-DRAWINGS ARE NOT TO BE SCALED
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY REPRODUCE ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED.
THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

1.	ISSUED FOR BUILDING PERMIT	JUNE 04, 2024
NO.	ISSUE	DATE

REVISION



CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

PROJECT ADDRESS:
**3 KNIGHTSBRIDGE RD
BRAMPTON, ON**

DRAWING TITLE:
GENERAL NOTES-1

DRAWN BY:	SCALE:	DATE:
A.Y.	AS NOTED	JUNE 04, 2024

PROJECT NO.:	DRAWING NO.:
24-05-03-NB	A-102

SYMBOLS

EXTERIOR/ INTERIOR ELEVATION REFERENCE	ELEVATION NUMBER SHEET NUMBER	WINDOW SCHEDULE REFERENCE	WINDOW NUMBER INDICATES 'WINDOW'
DETAIL REFERENCE	DETAIL NUMBER SHEET NUMBER	DOOR SCHEDULE REFERENCE	DOOR NUMBER
BUILDING SECTION REFERENCE	SECTION NUMBER SHEET NUMBER	WALL TYPE REFERENCE	WALL TYPE NUMBER INDICATES 'WALL'
WALL SECTION REFERENCE	SECTION NUMBER SHEET NUMBER	SPACE DESIGNATION	ROOM SPACE NAME SPACE NUMBER
REVISION SYMBOL	REVISION NUMBER	CODED NOTE REFERENCE	CODED NOTE NUMBER SUPPLEMENTARY NOTE
ELEVATION HEIGHT REFERENCE	HEIGHT ITEM REFERENCE	CODED NOTE REFERENCE	FINISHING TYPE NUMBER FINISHING TYPE NOTE

MATERIAL INDICATIONS

	EARTH
	GRANULAR FILL
	CONCRETE
	BRICK
	CONCRETE MASONRY
	STONE
	WOOD, FINISH GRAIN
	WOOD, END GRAIN (NON-STRUCTURAL)
	WOOD FRAMING, CONTINUOUS MEMBER
	WOOD BLOCKING, INTERRUPTED MEMBER
	PLYWOOD, EDGE
	ACOUSTIC TILE
	GYPSUM BOARD
	BATT INSULATION
	RIGID INSULATION / E.I.F.S.
	SHEAR WALL

NOTE: MATERIALS SHOWN ARE FOR WALL SECTIONS AND/OR LARGE SCALE DETAILS ONLY. MATERIAL PATTERNS FOR SMALL SCALE PLANS AND/OR ELEVATIONS MAY VARY. REFER TO INDIVIDUAL LEGENDS AND/OR SCHEDULES FOR VARIATIONS.

ARCHITECTURAL ABBREVIATIONS LEGEND

ABBREVIATIONS MAY OR MAY NOT INCLUDE PERIOD PUNCTUATION. ABBREVIATIONS APPLY TO ARCHITECTURAL DOCUMENTS ONLY.

- | | | |
|--------------------------------|-----------------------------------------|------------------------------------|
| 1. @ AT | 49. EXIST EXISTING | 97. PLY PLYWOOD |
| 2. & AND | 50. EXP EXPOSED | 98. PT PAINT |
| 3. AB AIR BARRIER | 51. EXT EXTERIOR | 99. PTD PAINTED |
| 4. ACT ACOUSTIC CEILING TILE | 52. F REFRIGERATOR | 100. PTWR PAPER TOWEL |
| 5. AFF ABOVE FINISH FLOOR | 53. FAAP FIRE ANNUNCIATOR & ALARM PANEL | & WASTE RECEPTACLE |
| 6. AL ALUMINUM | 54. FAN EX FAN EXHAUST | 101. R RISER |
| 7. ANOD ANODIZED | 55. FCL FINISHED CEILING | 102. RD ROOF DRAIN |
| 8. ADO AUTOMATIC DOOR OPERATOR | 56. FD FLOOR DRAIN | 103. RE-INF RE-INFORCED |
| 9. AVB AIR & VAPOR BARRIER | 57. FF FLOOR FINISH | 104. RF RESILIENT FLOORING |
| 10. BB BULLETIN BOARD | 58. FFL FINISHED FLOOR LEVEL | 105. RL RECESSED LIGHTING |
| 11. BD BOARD | 59. FH FIRE HYDRANT | 106. RO ROUGH OPENING |
| 12. BLDG BUILDING | 60. FIN FINISH | 107. ROW RIGHT-OF-WAY |
| 13. BF BARRIER FREE | 61. FG FIXED GLASS | 108. RP REMOVABLE PANEL |
| 14. BRD BIRD-FRIENDLY GLAZING | 62. FHC FIRE HOSE CABINET | 109. RR REMOVE & REPLACE |
| 15. C CLOSER | 63. F/O FACE OF | 110. RWL RAIN WATER LEADER |
| 16. CAB CABINET | 64. FR. GL FROSTED GLASS | 111. S SEALER |
| 17. CAT CATEGORY | 65. FRR FIRE RESISTANCE RATING | 112. SCH SCHEDULE |
| 18. CB CATCH BASIN | 66. GA GAUGE | 113. SCW SOLID CORE WOOD |
| 19. CC CONCEALED CLOSER | 67. GAL GALVANIZED | 114. SD SOAP DISPENSER |
| 20. CF CEILING FINISH | 68. GB GRAB BAR | 115. SN SANITARY NAPKIN DISPENSER |
| 21. CL CENTER LINE | 69. G1S GOOD ONE SIDE | 116. SG SUPPLEMENTARY |
| 22. CLG CEILING | 70. G2S GOOD TWO SIDES | GUIDELINES OF OBC |
| 23. CLR CLEAR | 71. GYP GYPSUM | 117. SH SILL HEIGHT |
| 24. CJ CONTROL JOINT | 72. GWB GYPSUM WALL BOARD | 118. SIM SIMILAR |
| 25. CMU CONCRETE MASONRY UNIT | 73. HM HOLLOW METAL | 119. SP SPANDREL GLASS |
| 26. COL COLUMN | 74. ICF INSULATED CONCRETE FORM | 120. SPEC SPECIFICATION |
| 27. CONC CONCRETE | 75. MANUF MANUFACTURER | 121. SSG STRUCTURAL |
| 28. COR CORROSION | 76. MAS MASONRY | SILICONE GLAZED |
| 29. COORD COORDINATE | 77. MAT MATERIAL | 122. ST STEEL |
| 30. CR CARD READER | 78. MAX MAXIMUM | 123. STC SOUND TRANSMISSION |
| 31. CST CONCRETE STAIN | 79. MB MOISTURE BARRIER | CLASS |
| 32. CT CERAMIC TILE | 80. MDF MEDIUM DENSITY FIBREBOARD | 124. STD STANDARD |
| 33. CW COMPLETE WITH | 81. MECH MECHANICAL | 125. ST GR STAIN GRADE |
| 34. D DRYER | 82. MH MANHOLE | 126. STRUCT STRUCTURAL |
| 35. DC DOOR CONTACT | 83. MIN MINIMUM | 127. T TREADS |
| 36. DIA DIAMETER | 84. ML MAGLOCK | 128. TB THERMALLY BROKEN |
| 37. DF DRINKING FOUNTAIN | 85. MO MASONRY OPENING | 129. TBD TO BE DETERMINED |
| 38. DIM DIMENSION | 86. MTL METAL | 130. TWB TOWEL BAR |
| 39. DN DOWN | 87. NIC NOT IN CONTRACT | 131. TG TEMPERED GLAZING |
| 40. DO DOOR OPENER | 88. OBC ONTARIO BUILDING CODE | 132. TM TILT MIRROR |
| 41. DW DISHWASHER | 89. O/C ON CENTRE | 133. T/O TOP OF |
| 42. DWG DRAWING | 90. OTA OPEN TO ABOVE | 134. TOW TOP OF WALL |
| 43. EB EXIT BUTTON | 91. OTB OPEN TO BELOW | 135. TP TOILET PAPER |
| 44. EF EXHAUST FAN | 92. OPG OPENING | 136. TPZ TREE PROTECTION ZONE |
| 45. EHO ELECTRICAL HOLD OPEN | 93. PB PUSH BUTTON | 137. TYP TYPICAL |
| 46. ELEC ELECTRICAL | 94. PH PANIC HARDWARE | 138. U.N.O. UNLESS NOTED OTHERWISE |
| 47. EP EPOXY | 95. PL PROPERTY LINE | 139. U/S UNDERSIDE |
| 48. EQUIP EQUIPMENT | 96. PLAM PLASTIC LAMINATE | 140. ULC UNDERWRITER'S LABORATORY |
| 49. EXIST EXISTING | | OF CANADA |



ARCHITECTS

I.E ARCHITECTS

Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca



GENERAL NOTES:
-ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR
-ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
-DRAWINGS ARE NOT TO BE SCALED
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

1.	ISSUED FOR BUILDING PERMIT	JUNE 04, 2024
NO.	ISSUE	DATE

REVISION	
TRUE NORTH	PROJECT NORTH

CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

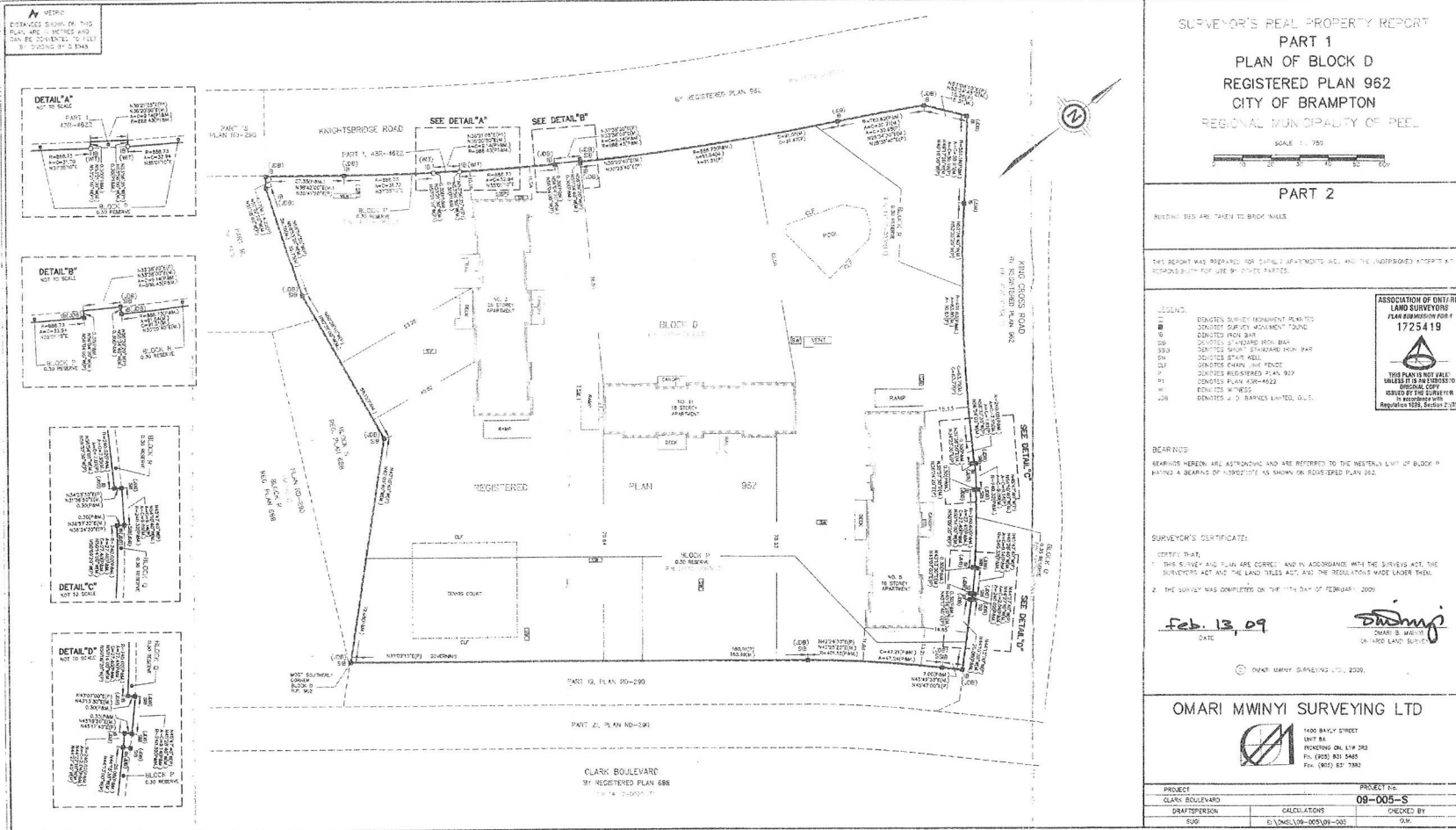
PROJECT ADDRESS:
**3 KNIGHTSBRIDGE RD
BRAMPTON, ON**

DRAWING TITLE:
ABBREVIATIONS, HATCH & SYMBOLS

DRAWN BY: A.Y.	SCALE: AS NOTED	DATE: JUNE 04, 2024
-------------------	--------------------	------------------------

PROJECT NO.: 24-05-03-NB	DRAWING NO.: A-103
-----------------------------	------------------------------

SITE PLAN SURVEY:



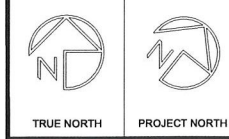
I.E ARCHITECTS
 Office: (416)846-7473
 Info@iearchitects.ca
 www.iearchitects.ca



GENERAL NOTES:
 ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.
 © COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
 I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

NO.	ISSUE	DATE
1.	ISSUED FOR BUILDING PERMIT	JUNE 04, 2024

REVISION		
NO.	ISSUE	DATE



CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

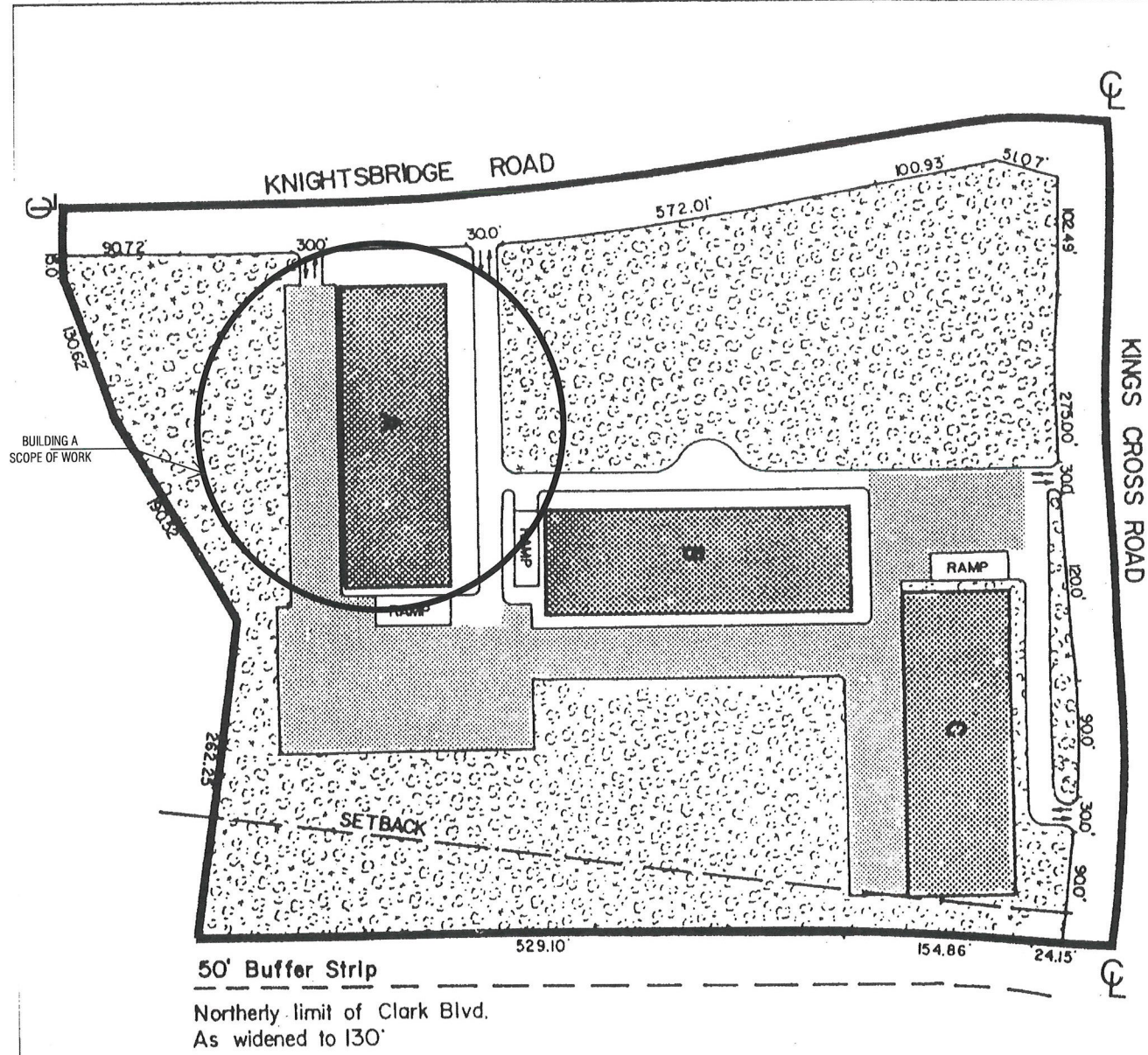
PROJECT ADDRESS:
**3 KNIGHTSBRIDGE RD
 BRAMPTON, ON**

DRAWING TITLE:
**SITE PLAN SURVEY
 ORIGINAL COPY**

DRAWN BY: A.Y.
 SCALE: AS NOTED
 DATE: JUNE 04, 2024

PROJECT NO.: 24-05-03-NB
 DRAWING NO.: A-201

SCHEDULE C_149:



1 SITE PLAN
EXTRACTED FROM DRAWINGS ON RECORD



ARCHITECTS

I.E ARCHITECTS

Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca



GENERAL NOTES:
- ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR.
- ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS ARE NOT TO BE SCALED.
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

1. ISSUED FOR BUILDING PERMIT JUNE 04, 2024

NO.	ISSUE	DATE

REVISION



TRUE NORTH



PROJECT NORTH

CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

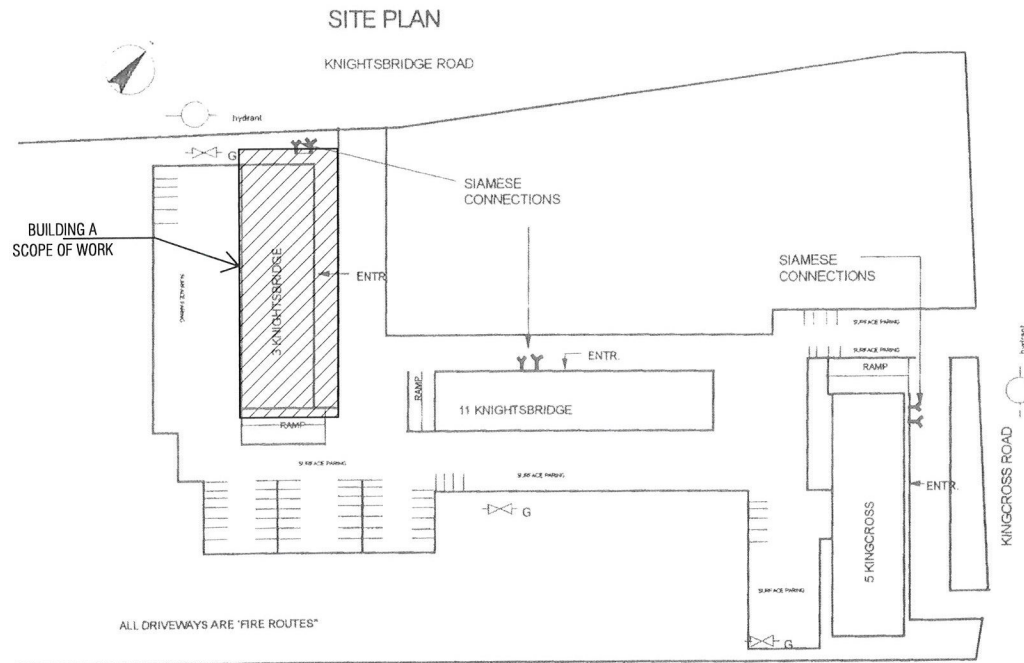
PROJECT ADDRESS:
3 KNIGHTSBRIDGE RD
BRAMPTON, ON

DRAWING TITLE:
SCHEDULE C_149

DRAWN BY:	SCALE:	DATE:
A.Y.	AS NOTED	JUNE 04, 2024

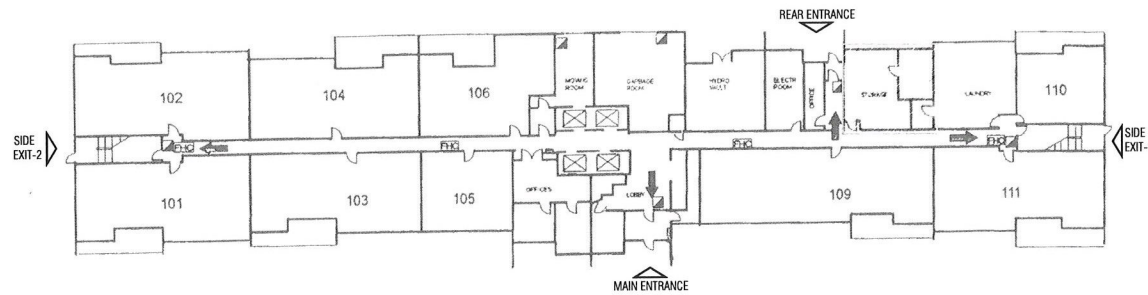
PROJECT NO.:	DRAWING NO.:
24-05-03-NB	A-202

SITE PLAN:

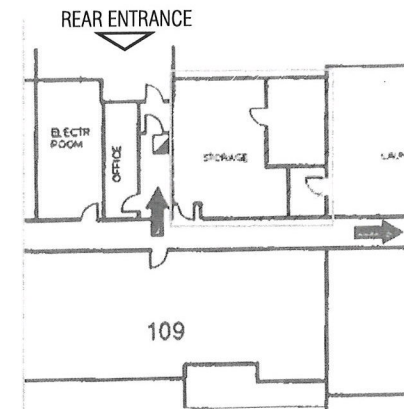


1 SITE PLAN
EXTRACTED FROM FIRE SAFETY PLAN

GROUND FLOOR PLAN:



2 GROUND FLOOR PLAN
EXTRACTED FROM FIRE SAFETY PLAN



3 SCOPE OF WORK

LEGEND	
	SCOPE OF WORK-BUILDING A GROUND FLOOR LEVEL



I.E ARCHITECTS
Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca



GENERAL NOTES:
-ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR
-ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
-DRAWINGS ARE NOT TO BE SCALED
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

NO.	ISSUE	DATE
1.	ISSUED FOR BUILDING PERMIT	JUNE 04, 2024

REVISION	
	TRUE NORTH
	PROJECT NORTH

CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

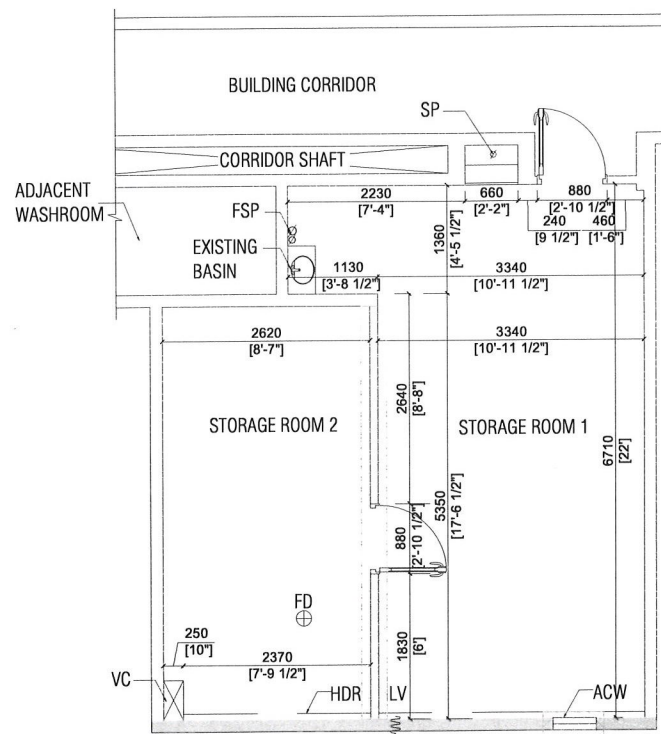
PROJECT ADDRESS:
**3 KNIGHTSBRIDGE RD
BRAMPTON, ON**

DRAWING TITLE:
**SITE PLAN & EXISTING
GROUND FLOOR PLAN**

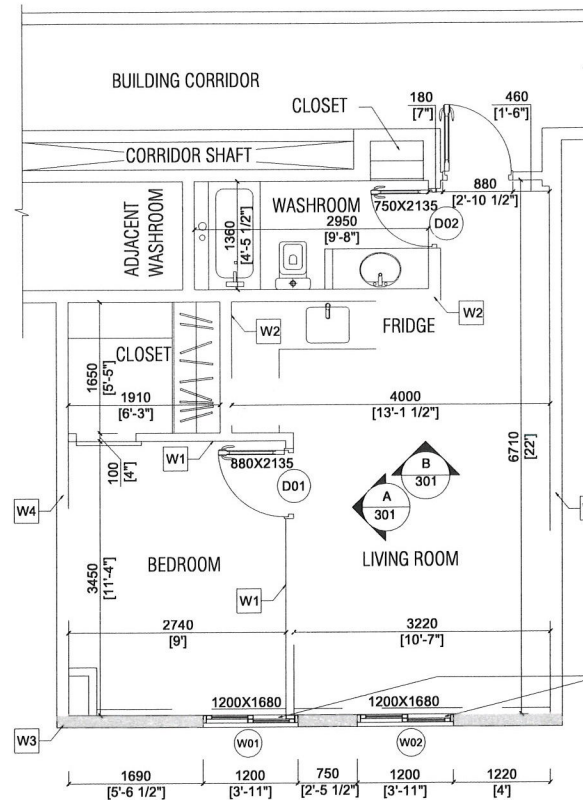
DRAWN BY: A.Y.	SCALE: AS NOTED	DATE: JUNE 04, 2024
-------------------	--------------------	------------------------

PROJECT NO.: 24-05-03-NB	DRAWING NO.: A-203
-----------------------------	------------------------------

UNIT PLAN:



1 EXISTING UNIT PLAN
SCALE: 1:50



2 PROPOSED UNIT PLAN
SCALE: 1:50

LEGEND

- DEMOLISHED WALL
- NEW INTERIOR WALL
- INTERIOR EXISTING WALL-NO CHANGE
- AC WINDOW
- LAUNDRY VENT
- HEATING RADIATOR
- VERTICAL CHASE
- FLOOR DRAIN
- THROUGH SLAB PIPE
- SPRINKLER PIPE

NOTE:

- EXISTING STORAGE ROOM IS "SPRINKLED"
- NEW ADDED WINDOW TO BE ALIGNED ON THE ELEVATION
- EXISTING PIPE SERVICE PENETRATION (SP) TO BE RELOCATED TO ALLOW THE FREE USE OF THE CLOSET

NEW ADDED AL. WINDOW WITH SPANDREL PANEL & BACK PANEL TO HIDE THE INTERIOR PARTITION & TO KEEP THEM ALIGNED ON THE ELEVATION



ARCHITECTS

I.E ARCHITECTS

Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca

NOTES:

EXISTING AC WINDOW OPENING TO BE PATCHED & SEALED TO ITS ORIGINAL STATUS PREFERABLY WITH THE SAME COLOR BRICK OR OTHER OF GOOD MATCHING PRODUCT



GENERAL NOTES:

-ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR
-ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
-DRAWINGS ARE NOT TO BE SCALED
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED. THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

NO.	ISSUE	DATE
1.	ISSUED FOR BUILDING PERMIT	JUNE 04, 2024

REVISION

TRUE NORTH	PROJECT NORTH

CLIENT NAME:
CAPREIT

PROJECT NAME:
ONE BEDROOM UNIT

PROJECT ADDRESS:
3 KNIGHTSBRIDGE RD
BRAMPTON, ON

DRAWING TITLE:
EXISTING & PROPOSED
UNIT PLAN

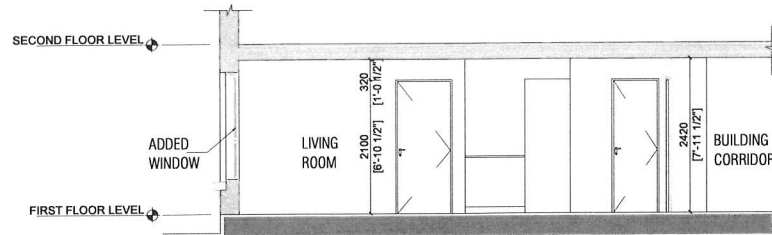
DRAWN BY: A.Y. SCALE: AS NOTED DATE: JUNE 04, 2024

PROJECT NO.: 24-05-03-NB DRAWING NO.: A-204

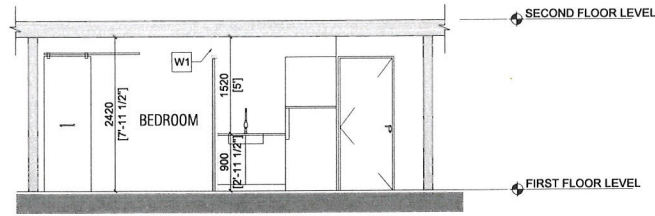
REAR BUILDING ELEVATION:



UNIT SECTIONS:



1 SECTION A-A
SCALE: 1/50



2 SECTION B-B
SCALE: 1/50

WALL TYPES

INTERIOR WALLS

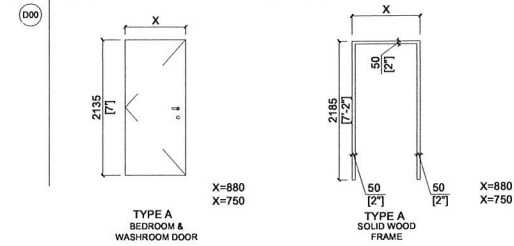
TAG	CONSTRUCTION PLAN/SECTION	DESCRIPTION
W1		TYP INTERIOR PARTITION-NON LOADBEARING - 1 LAYER 15.9mm GYPSUM WALLBOARD - 3154mm STEEL STUDS @ 40mm O.C. - 65mm THICK ABSORPTION MATERIAL - 1 LAYER 15.9mm GYPSUM BOARD
W2		SAME AS W1 IN ADDITION - PLYWOOD BRACING TO SUPPORT BATHROOM & KITCHEN CABINETS - HEAVY GAUGE METAL STUDS TO SUPPORT CABINETS
W3		- EXISTING EXTERIOR WALLS TO REMAIN AS IS - PATCH AND REPAIR WHERE REQUIRED TO BE READY FOR NEW FINISHES
W4		- EXISTING INTERIOR WALLS TO REMAIN AS IS - PATCH AND REPAIR WHERE REQUIRED TO BE READY FOR NEW FINISHES

WINDOW TYPE SCHEDULE

SYM	DESCRIPTION	DRAWING
W01	- ALUMICOR UNIVENT 1350 DOUBLE GLAZED BOTTOM SLIDING, OWNING (OR APPROVED EQUAL) INSULATED ALUMINIUM/THERMALLY BROKEN WINDOWS, ENERGY EFFICIENCY AND STC RATING - COLOR: DARK BROWN - CLASS 1 0.90" THICKNESS - ALL INSERTS TO BE 26mm CLEAR DOUBLE GLAZED PANEL ARGON GAS (90% FILLED), LOW-E COATING - ALL CALKING TO MATCH FRAMES - SPANDREL PANEL & BACK PAN TO HIDE THE INTERIOR PARTITION	

DOOR & FRAME TYPE SCHEDULE

SYM DRAWING



DOOR, FRAME & HARDWARE SCHEDULE

DOORS							FRAMES			HARDWARE			REMARKS
NO.	SIZE	TYPE	MAT.	FIN.	GLAZ.	TYPE	MAT.	FIN.	HINGES	DOORSTOP	LOCKSET	CYLINDER	
PROPOSED DOOR													
101	880 x 2032 x 44	A	WD	PT-01	-	A	WD	PT-01	3	•	•	•	PAIN FROM BENJAMIN MOORE
102	750 x 2032 x 44	A	WD	PT-01	-	A	WD	PT-01	3	•	•	•	PAIN FROM BENJAMIN MOORE

ABBREVIATION
WD WOOD
PT PAINT



I.E ARCHITECTS
Office: (416)846-7473
Info@iearchitects.ca
www.iearchitects.ca

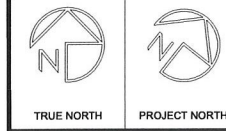


GENERAL NOTES:
- ALL DIMENSIONS ARE TO BE CHECKED ON THE SITE BY THE CONTRACTOR.
- ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS ARE NOT TO BE SCALED.
© COPYRIGHT I.E ARCHITECTS ALL RIGHTS RESERVED.
I.E ARCHITECTS RETAINS ALL RIGHTS OF OWNERSHIP AND COPYRIGHT IN THE ELECTRONIC FILES AND REPRODUCTION THEREOF. THEY MAY BE REPRODUCED ONLY FOR LEGITIMATE PURPOSES RELATING TO THE SPECIFIC PROJECT FOR WHICH THEY WERE PRODUCED.
THEY MAY NOT BE ALTERED IN ANY WAY WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

1. ISSUED FOR BUILDING PERMIT JUNE 04, 2024

NO. ISSUE DATE

REVISION



CLIENT NAME:
CAPREIT

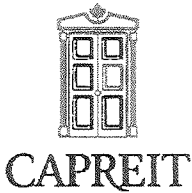
PROJECT NAME:
ONE BEDROOM UNIT

PROJECT ADDRESS:
3 KNIGHTSBRIDGE RD
BRAMPTON, ON

DRAWING TITLE:
ELEVATION, SECTION A-A & B-B, WINDOWS & DOORS
TYPE

DRAWN BY: A.Y. SCALE: AS NOTED DATE: JUNE 04, 2024

PROJECT NO.: 24-05-03-NB DRAWING NO.: A-301



11 CHURCH STREET, SUITE 401 TORONTO ON, CANADA M5E 1W1
TEL: 416 861 9404 FAX: 416 861 9209

LETTER OF AUTHORIZATION

TO WHOM IT MAY CONCERN:

I, am Fenton Sawh,The owner representative
(Owner's name)

of **3 Knightsbridge Road**,Brampton, Ontario
(Address)

Hereby give Ibrahim El-Hajj , I.E Architects....., The Authorization
(Applicant's name)

To act as CAPREIT agent in order to apply for a building permit on CAPREIT behalf.

Signature of owner representative:..........

Date:**March 25, 2024**.....

Zoning Non-compliance Checklist

File No. A-2025- 0014

Applicant: Capreit Apartments Inc. c/o Ben Mcauley
 Address: 3 Knightbridge Road
 Zoning: R4A(3) Section 149
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE	To permit 310 residential units in Building A.	Whereas the by-law permits Building A a maximum of 308 residential units.	149.2
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR			
PATH OF TRAVEL			
SIDE DOOR			
COVERAGE			
PARKING			
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
SCHEDULE 'C'			
FENCE HEIGHT			

Rose Bruno
 Reviewed by Zoning

January 22, 2024
 Date