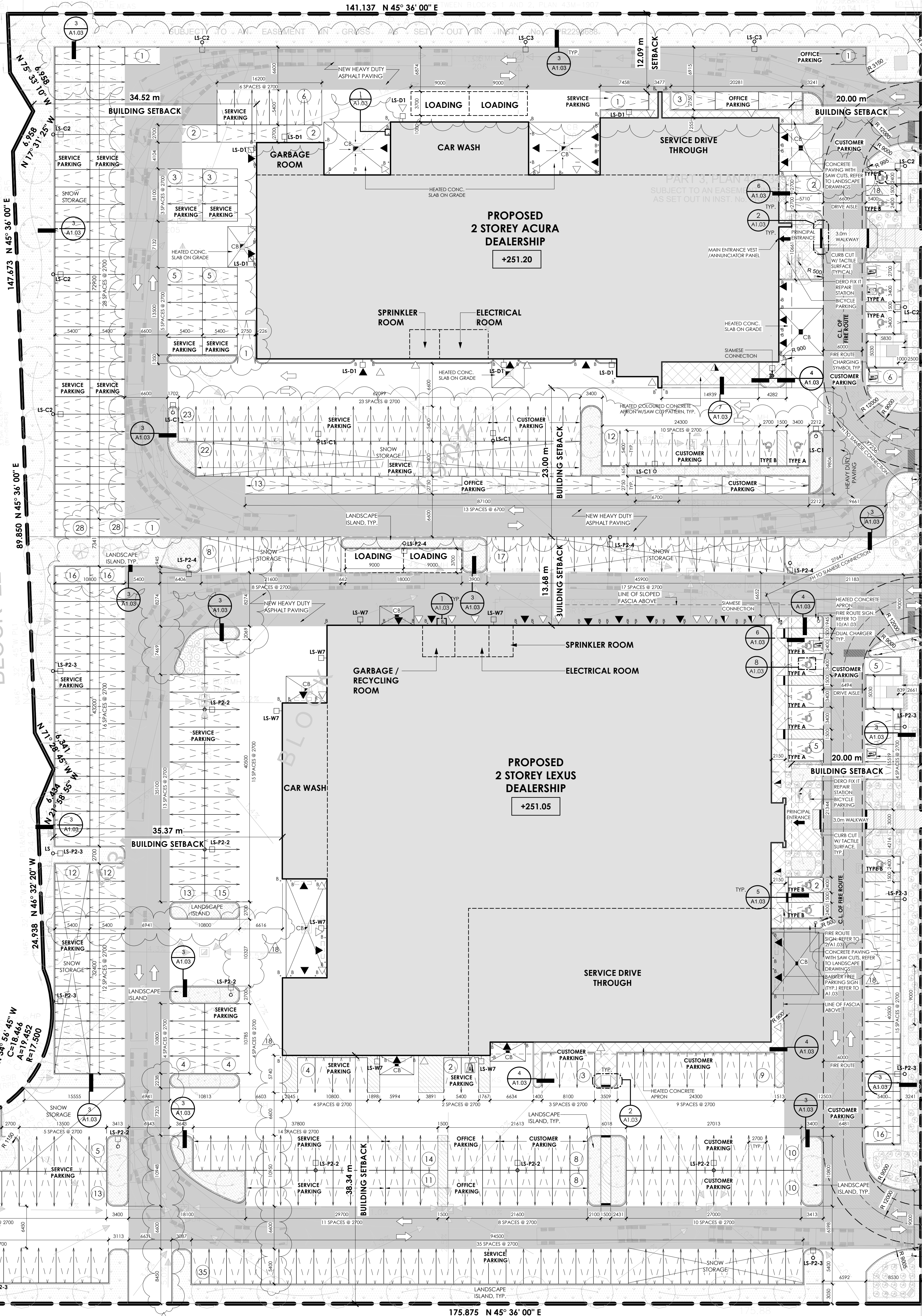


APPENDIX 1
SITE PLAN



SITE STATISTICS:

ADDRESS: ACE DRIVE	ACURA LOT AREA: 11,260 SM
ZONING: M1-2257	LEXUS LOT AREA: 4,200 ACRES
LOT AREA: 2.83 HA (8,262 SM)	
LEXUS LOT AREA: 17,001 SM	
ACURA LOT AREA: 11,260 SM	
2.83 ACRES	
NORTHWEST LEXUS:	ACURA
BUILDING CODE CLASSIFICATION:	BUILDING CODE CLASSIFICATION:
MAJOR OCCUPANCY 1: 3.2.2.57 GROUP E	MAJOR OCCUPANCY 1: 3.2.2.60 GROUP E
MAJOR OCCUPANCY 2: 3.2.2.70(B) GROUP F2	MAJOR OCCUPANCY 2: 3.2.2.70(B) GROUP F2
TOTAL GROSS FLOOR AREA (EXCLUSIVE OF ALL VOIDS):	TOTAL GROSS FLOOR AREA (EXCLUSIVE OF ALL VOIDS):
GROUND: 4,689 SM	GROUND: 2,754 SM
SECOND: 1,160 SM	SECOND: 275 SM
TOTAL AREA (EXCLUSIVE OF ALL VOIDS): 5,849 SM	TOTAL AREA (EXCLUSIVE OF ALL VOIDS): 3,029 SM
BUILDING COVERAGE:	BUILDING COVERAGE:
ACTUAL: 27.96% COVERAGE	ACTUAL: 24.82% COVERAGE
ALLOWABLE MAXIMUM: NOT DEFINED	ALLOWABLE MAXIMUM: NOT DEFINED
HEIGHT:	HEIGHT:
ACTUAL: 8.325 M	ACTUAL: 8.570 M
ALLOWABLE MAXIMUM: NO RESTRICTION	ALLOWABLE MAXIMUM: NO RESTRICTION
SETBACKS:	SETBACKS:
FRONT (EAST): 20.00 M (MAX)	FRONT (EAST): 20.00 M (MAX)
SIDE (SOUTH): 2.0 M	SIDE (SOUTH): 2.0 M
SIDE (NORTH): 13.68 M	SIDE (NORTH): 13.68 M
REAR (WEST): 3.0 M	REAR (WEST): 3.0 M
PARKING:	PARKING:
PARKING REQUIRED: 282 SPACES	PARKING REQUIRED: 147 SPACES
OFFICE: 485 SM	OFFICE: 365 SM
VEHICLE DEALERSHIP: 1,540 SM	VEHICLE DEALERSHIP: 645 SM
VEHICLE SERVICE SHOP: 3,561 SM	VEHICLE SERVICE SHOP: 2,260 SM
VEHICLE SERVICE SHOP: 185 SM GFA	VEHICLE SERVICE SHOP: 185 SM GFA
*50% OF REQUIRED SPACES PERMITTED TO BE TANDEM SPACES	*50% OF REQUIRED SPACES PERMITTED TO BE TANDEM SPACES
B.F. PARKING REQUIRED:	B.F. PARKING REQUIRED:
TYPE A: 2 BARRIERS FREE SPACES PLUS 8% OF REQUIRED PARKING SPACES	TYPE A: 1 BARRIER FREE SPACES PLUS 8% OF REQUIRED PARKING SPACES
TYPE B: 4 SPACES	TYPE B: 3 SPACES
PARKING PROVIDED:	PARKING PROVIDED:
291 SPACES (INCLUDING: 8 BARRIER FREE SPACES, 62 TANDEM INVENTORY SPACES)	167 SPACES (INCLUDING: 6 BARRIER FREE SPACES, 62 TANDEM INVENTORY SPACES)
LOADING SPACES:	LOADING SPACES:
LOADING SPACES REQUIRED: 2	LOADING SPACES REQUIRED: 2
OFFICE: 482 SM	OFFICE: 365 SM
VEHICLE DEALERSHIP: 1,540 SM	VEHICLE DEALERSHIP: 645 SM
VEHICLE SERVICE SHOP: 3,561 SM	VEHICLE SERVICE SHOP: 2,260 SM
VEHICLE SERVICE SHOP: 185 SM UP TO 7,450 SM	VEHICLE SERVICE SHOP: 185 SM UP TO 7,450 SM
LOADING SPACES PROVIDED:	LOADING SPACES PROVIDED:
2 LOADING SPACES	2 LOADING SPACES

GENERAL NOTES:

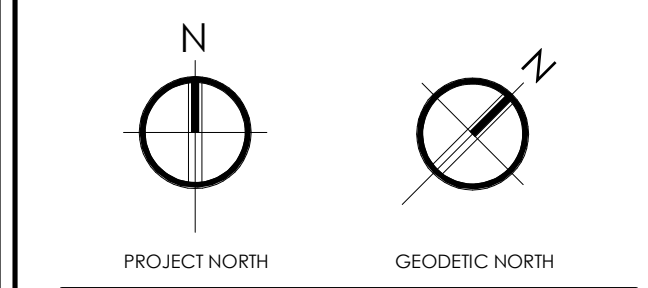
- SURVEY INFORMATION TAKEN FROM SURVEYORS CERTIFICATE - DATE: MAY 4, 2017 PLAN NO. LSC-4597-2 AS PREPARED BY: SCHWARTZ DADLOFF BERNIER LTD.
- IT IS THE RESPONSIBILITY OF THE APPLICANT TO COMPLY WITH THE SEWER USE BY-LAW AND OBTAIN ALL APPROVALS/PERMITS FROM TORONTO WATER - ENVIRONMENTAL MONITORING & PROTECTION UNIT FOR ANY PROPOSED TEMPORARY OR PERMANENT DISCHARGING OF GROUNDWATER INTO THE MUNICIPAL SEWER SYSTEMS AND WATERCOURSE.
- THE APPLICANT IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE PROVINCIAL REQUIREMENTS AND OBTAINING THE NECESSARY APPROVALS AND/OR PERMITS FROM THE MINISTER OF THE ENVIRONMENT, CONSERVATION AND PARKS (MCEP) WITH REGARD TO ANY PROPOSED WATERING.
- BEFORE COMMENCING ANY WORK WITHIN THE RIGHT OF WAY, THE CONTRACTOR, DEVELOPER, OR CONSULTANT WILL OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FROM THE CITY'S RIGHT OF WAY MANAGEMENT UNIT.
- STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPLETE A SINGLE PARCEL OF LAND, UNDER ONE OWNER, UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR SEVERANCE, PART-LOT CONTROL, SUBDIVISION, CONDOMINIUM APPROVAL, OR ANY OTHER FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS ASSUMPTION, DIFFERENT SERVICING CONNECTION, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THE APPLICANT.
- REFER TO THE ACCEPTED ENGINEERING DRAWINGS FOR THIS SUBJECT SITE, PREPARED BY URBTECH ENGINEERING INC., FOR ALL SITE SERVICING AND ABOVE GROUND CONNECTIONS INFORMATION.

SITE PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	BOLLARD	○	FIRE ROUTE SIGN
○	BOLLARD LIGHT	XX	PARKING COUNT
■	CATCH BASIN	○	CONCRETE SURFACE
■	ELECTRIC VEHICLE CHARGING STATION	■	CONCRETE PAVING WITH RADIANT HEATING
●	FIRE HYDRANT	○	LIGHT DUTY ASPHALT
■	FIRE DEPARTMENT CONNECTION	■	HEAVY DUTY ASPHALT
○	HYDRO POLE	○	SOD
○	LIGHT STANDARD	○	PAINTED LINES
○	MAN HOLE	○	CONCRETE PAVES: REFER TO LANDSCAPE DRAWING
—	MAIN BUILDING ENTRANCE	—	FENCE
◁	MAN DOOR	◁	ACCESSIBLE ENTRANCE
◁	VEHICLE DOOR		
◁	VEHICLE/MAN DOOR		

SITE PLAN
A1.02
1:300

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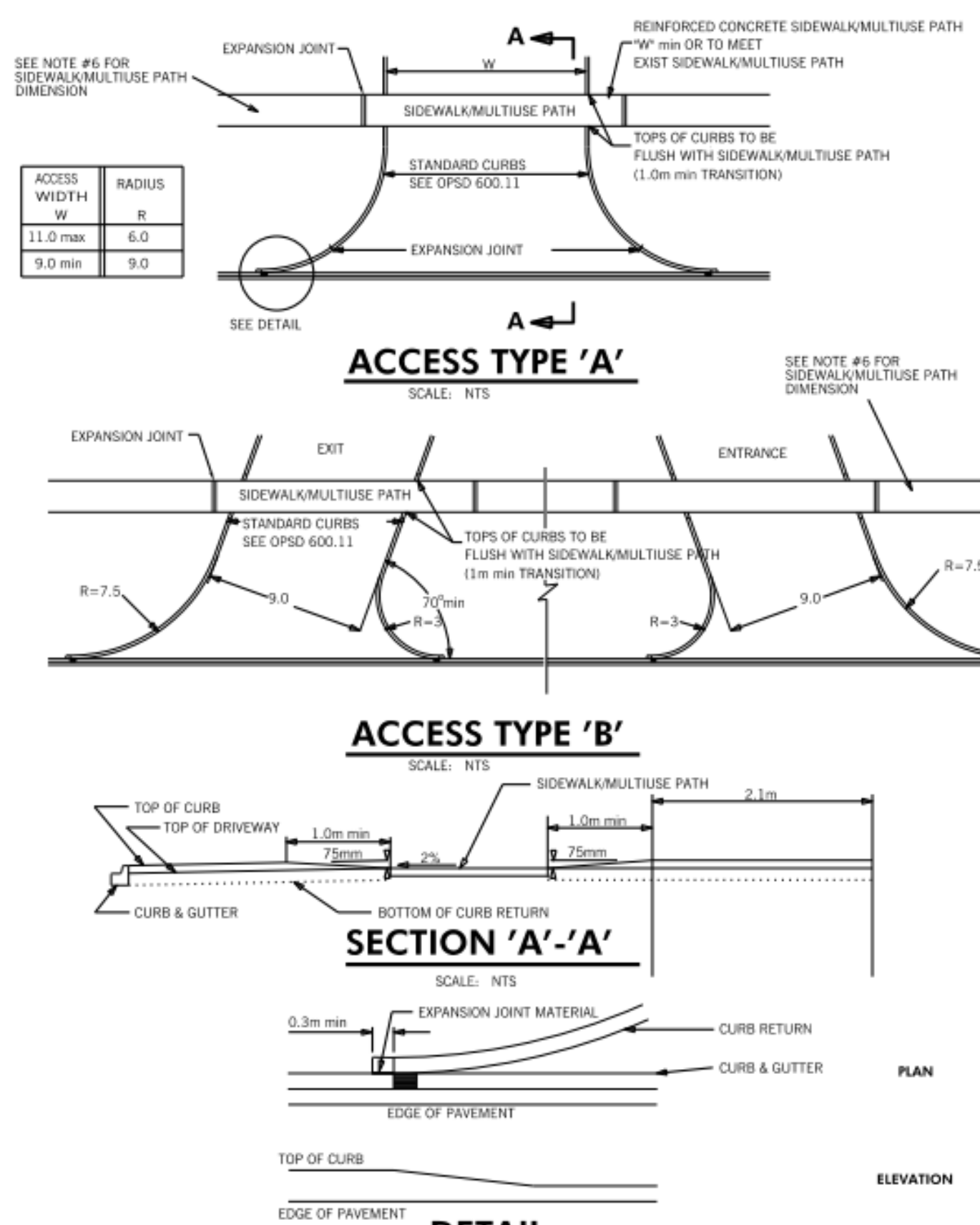
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17. RE-ISSUED FOR SPA COORDINATION	2024.08.06
16. ISSUED FOR SPA COORDINATION	2024.04.18
15. ISSUED FOR SPA RE SUBMISSION	2023.12.20
14. ISSUED FOR SPA COORDINATION	2023.11.22
13. ISSUED FOR SPA COORDINATION	2023.08.09
12. ISSUED FOR PRELIMINARY BUDGET	2023.05.01
11. REVISION & ISSUES FOR CLIENT REVIEW	2023.04.17
10. ISSUED FOR SPA & COPIA APPLICATION	2023.03.03
9. ISSUED FOR SPA SUBMISSION	2022.12.19
8. ISSUED FOR SERVICE EQUIPMENT COORDINATION	2022.02.19
7. ISSUED FOR SPA COORDINATION	2022.02.14
6. REVISION & ISSUES FOR SPA COORDINATION	2022.02.26
5. REVISION & ISSUES FOR PRR	2022.02.20
4. ISSUED FOR PRR	2021.11.05
3. ISSUED FOR CLIENT REVIEW	2021.10.22
2. ISSUED FOR SPA	2021.09.08

Prepared: 5/14/2024 5:26:25 PM
Project: P.I.N. 14225 - 0177



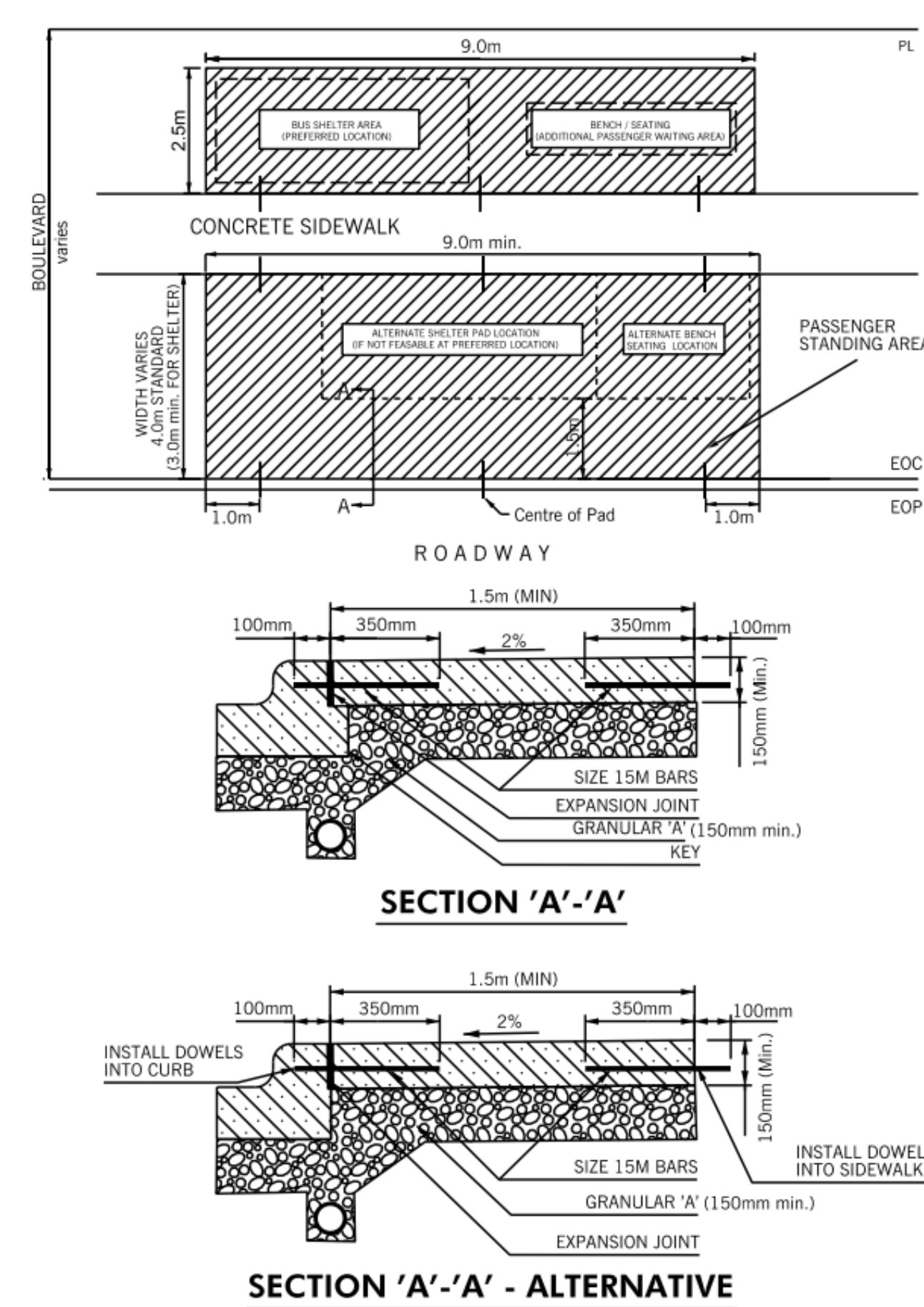
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NORTHWEST LEXUS AND ACURA
ACE DRIVE, BRAMPTON, ON
SITE PLAN
PROJECT No: 2021.011
2022.025
SCALE: As Indicated
DATE: JULY 2021
DRAWING No: **A1.02**
SITE PLAN APPLICATION No: 0000000000



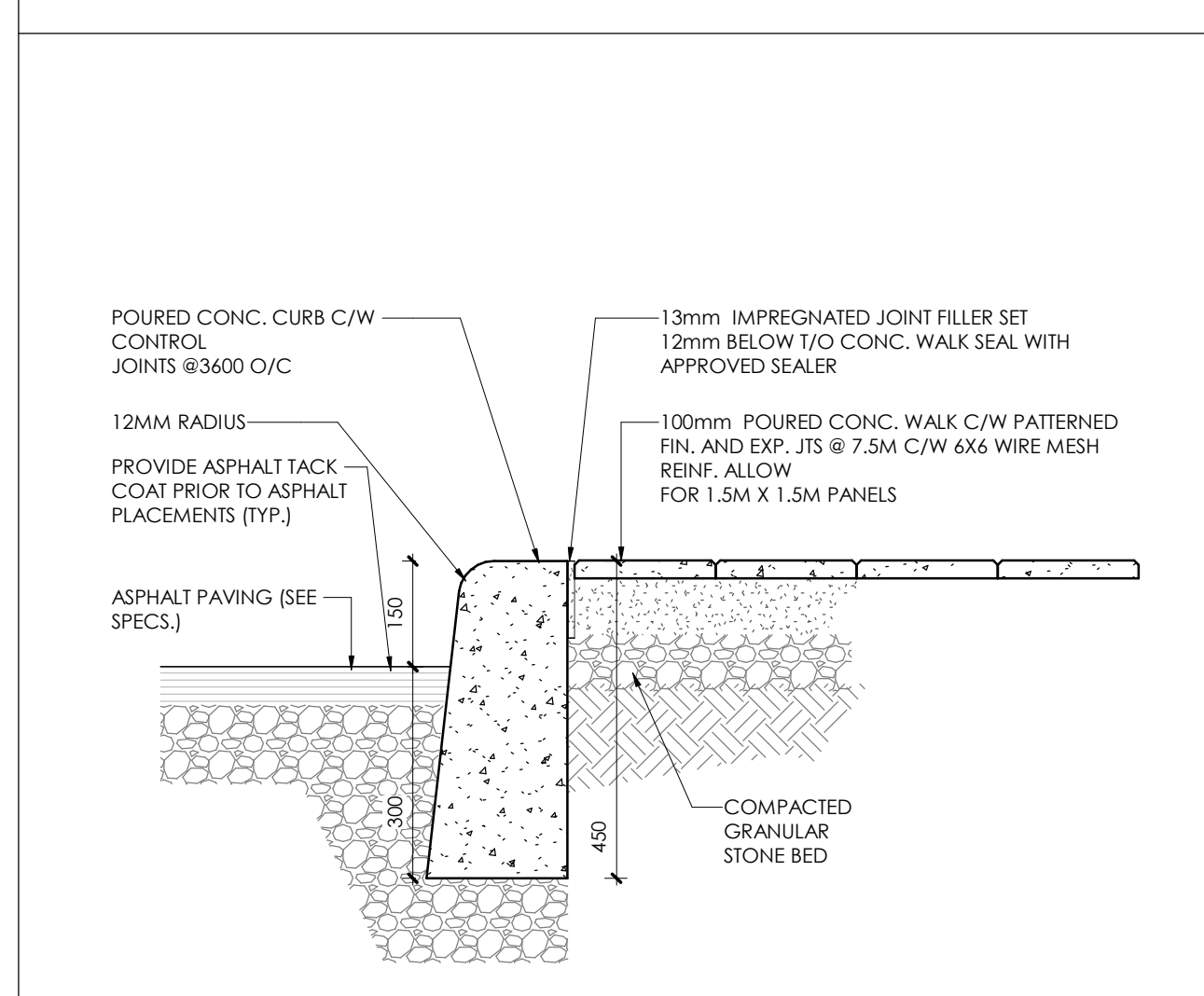
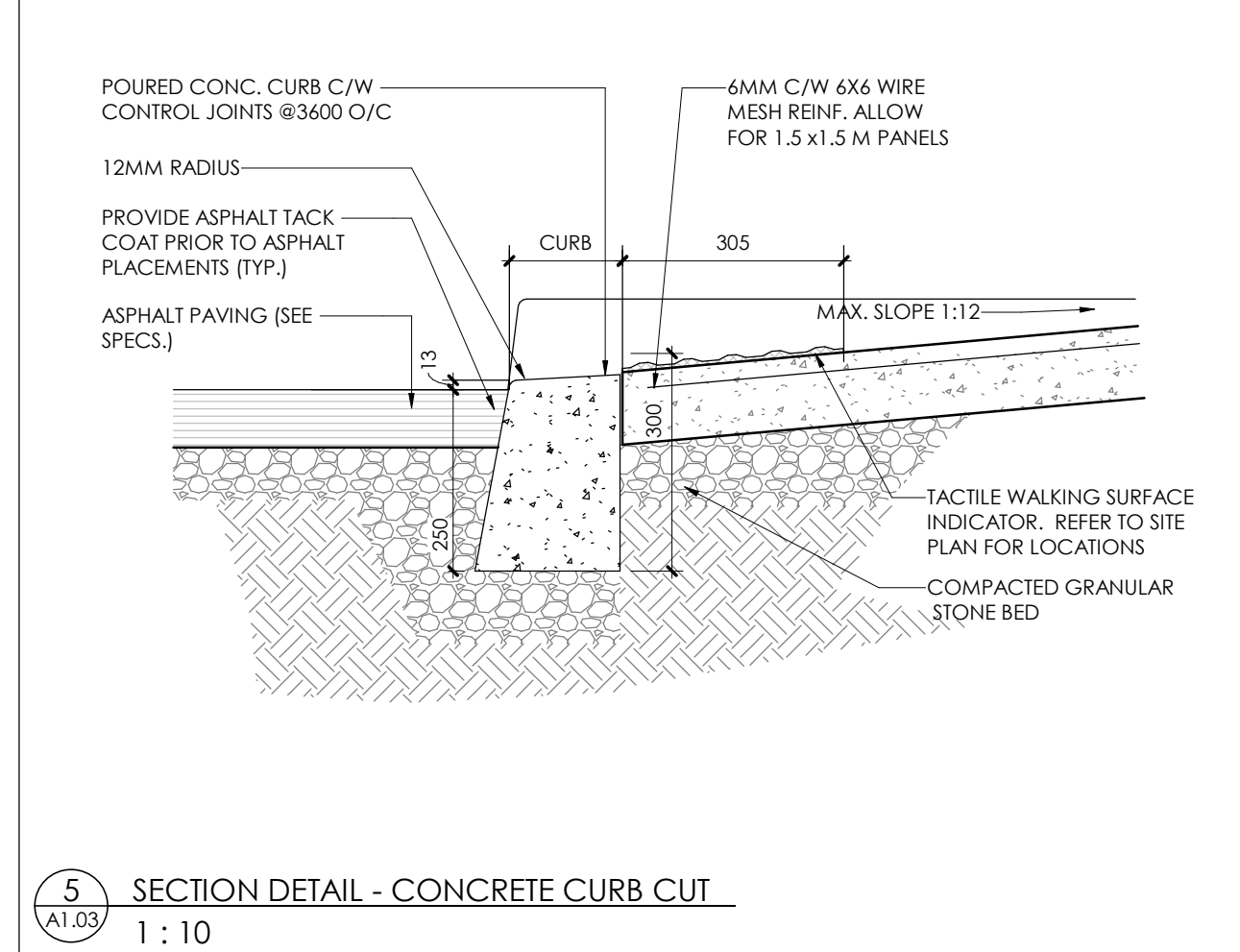
- NOTES:**
- DIMENSIONS AS SPECIFIED UNLESS SHOWN OTHERWISE ON APPROVED PLAN
 - ENTRANCE TO BE PAVED WITH 40mm H.L.S. AND 50mm H.L.B. SUB-BASE TO BE 150mm GRANULAR 'A' (OR 130mm OF 20mm CINDER RUN LIMESTONE) AND 300mm GRANULAR 'B' (OR 225mm OF 50mm CRUSHER RUN LIMESTONE) COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 - EXISTING SIDEWALK/MULTIUSE PATH TO BE REMOVED AND REPLACED TO OPSD 31.0.1.
 - SIDEWALK/MULTIUSE PATH IS TO BE CONTINUOUS THROUGH ENTRANCE. SIDEWALK/MULTIUSE PATH TO BE 300mm THICK WITH WIRE MESH.
 - MINIMUM CLEAR DISTANCE BETWEEN ANY UTILITY STRUCTURE AND THE EDGE OF THE DRIVEWAY IS 1.5m.
 - MINIMUM CLEAR DISTANCE BETWEEN THE EXPANSION JOINT AND THE EDGE OF THE DRIVEWAY IS 1.2m MIN.
 - SIDEWALK WIDTH TO BE A MINIMUM OF 1.5m AND MULTIUSE PATHWAY WIDTH TO BE A MINIMUM OF 3.0m.

12 CITY OF BRAMPTON VEHICLE ENTRANCE DETAIL DWG. 237
N.T.S.



- NOTES:**
- PAD SLOPE TO 2% CROSS FALL.
 - NEAR-SIDE STOPS TO BE LOCATED SUCH THAT BUS SHELTER DOES NOT OBSTRUCT INTERSECTION SIGHTLINES.
 - PRIOR TO INSTALLATION CONTACT BRAMPTON TRANSIT PLANNING SECTION TO CONFIRM EXACT PAD DIMENSIONS AND IF CONDUIT IS REQUIRED.
 - BRAMPTON TRANSIT PREFERS SOLAR SHELTERS. HOWEVER IF CONDUIT IS REQUIRED PLEASE REFER TO STD DRAWING NUMBER 263.
 - ALTERNATIVE SHELTER LOCATION REQUIRES A MINIMUM PAD WIDTH OF 3.0m. IF LESS THAN 1.0m LOCATE AT PREFERRED LOCATION.
 - CURB REQUIRES DOWEL INSTALLATION FOR HEAVING PREVENTION (REGARDLESS OF EXISTING CURB KEY). ALL DRILLED HOLES FOR DOWELS SHALL BE 100mm DEEP.
 - CONCRETE DEPTH TO BE 150mm WHEN PAD WIDTH IS GREATER THAN 2.5m.
 - WHEN PAD WIDTH IS LESS THAN 2.5m, CONCRETE DEPTH IS INCREASED TO 200mm.

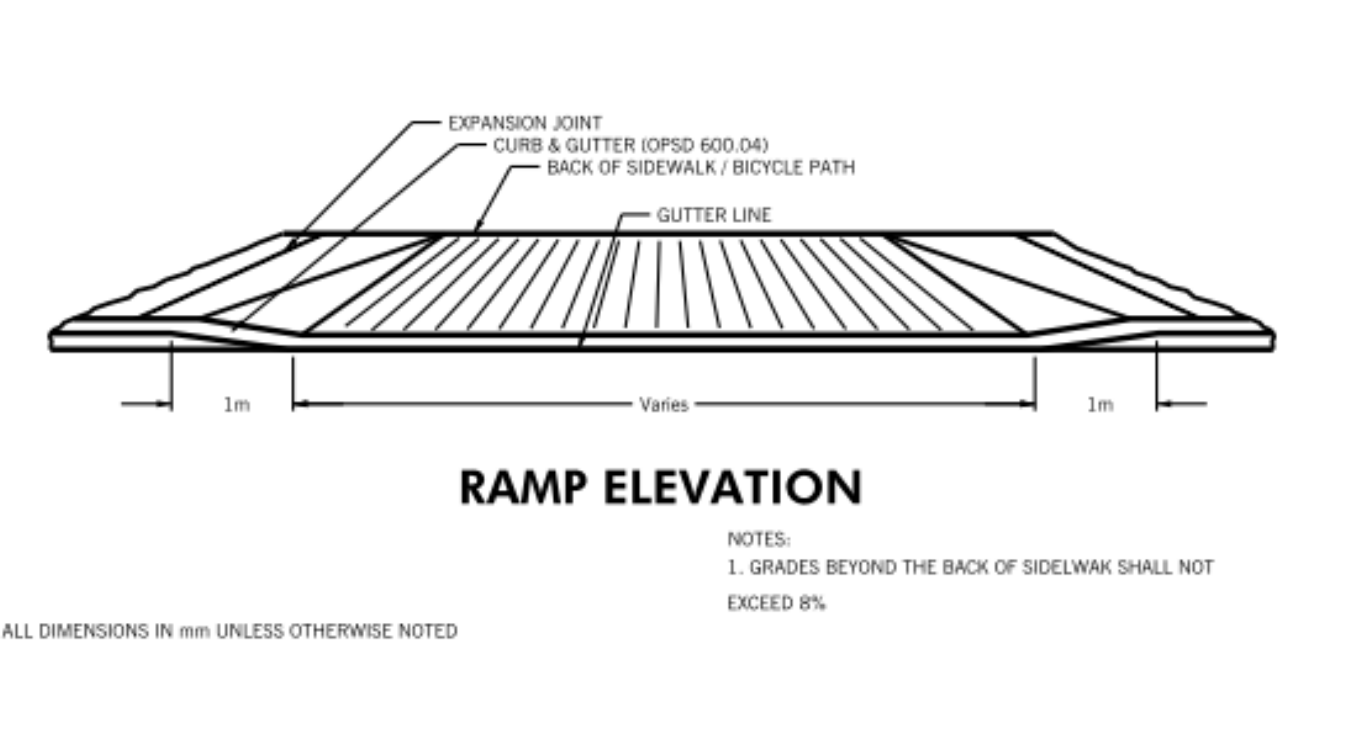
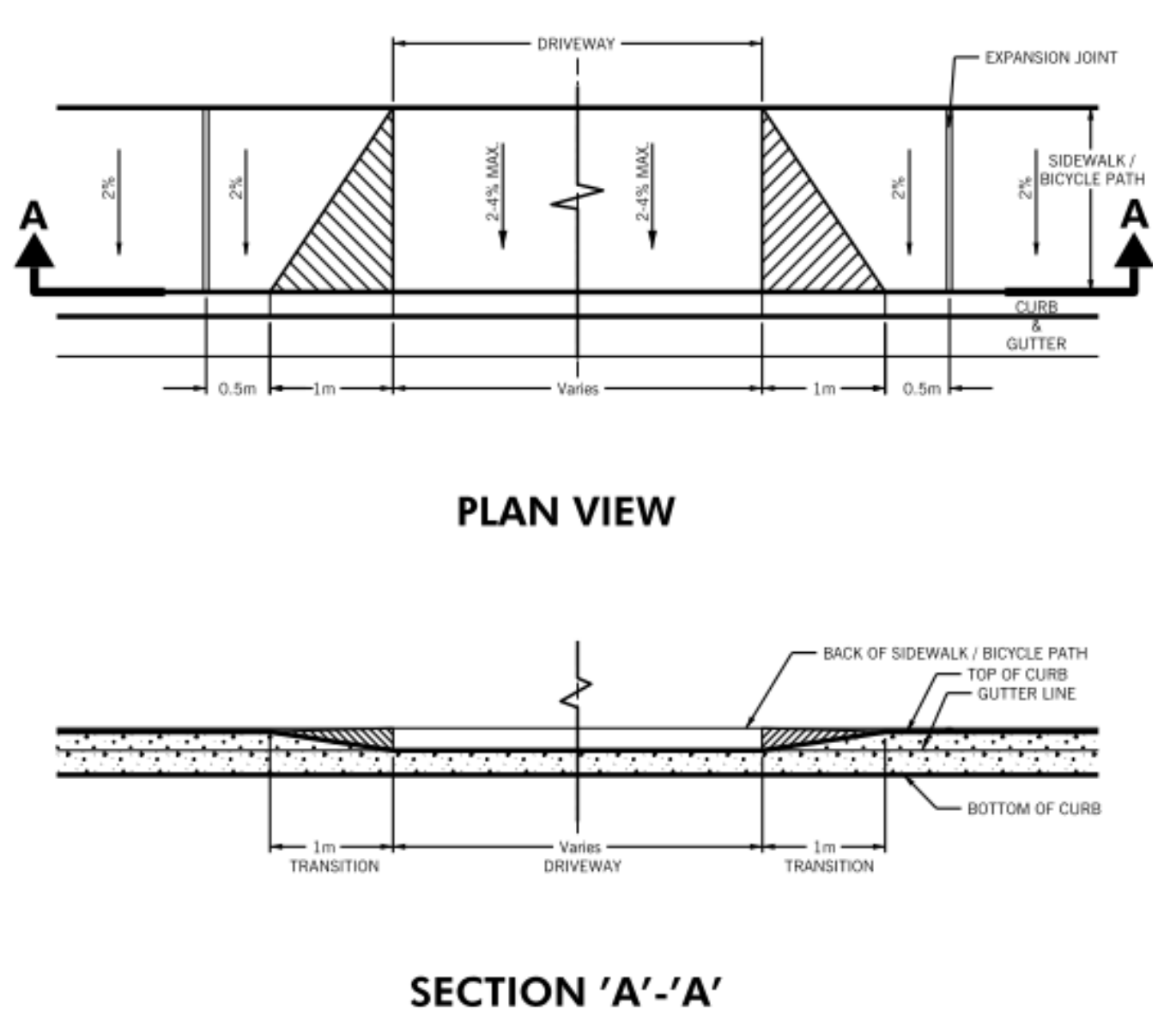
9 CITY OF BRAMPTON CONCRETE BUS PAD DWG. 260
N.T.S.



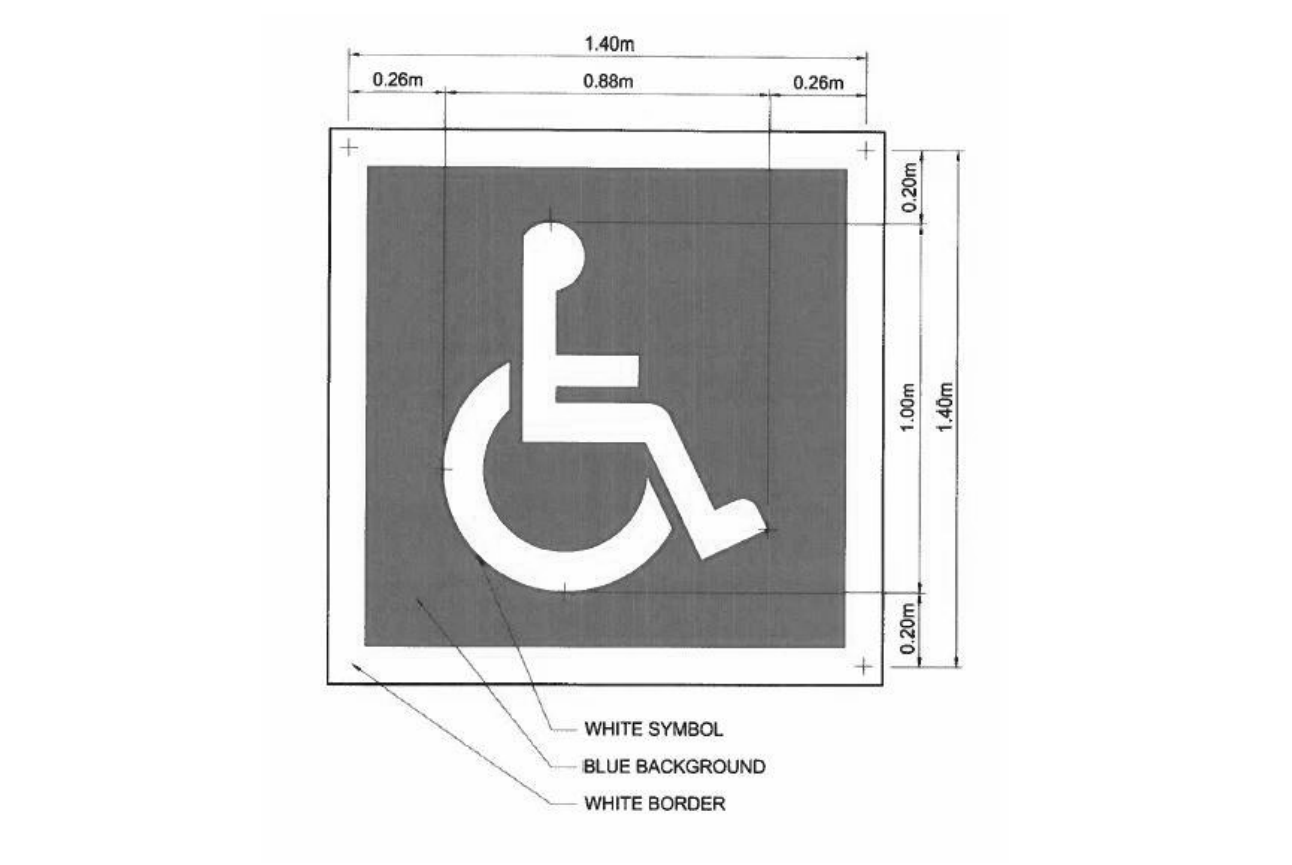
4 SECTION DETAIL - PAVER SIDEWALK
N.T.S.



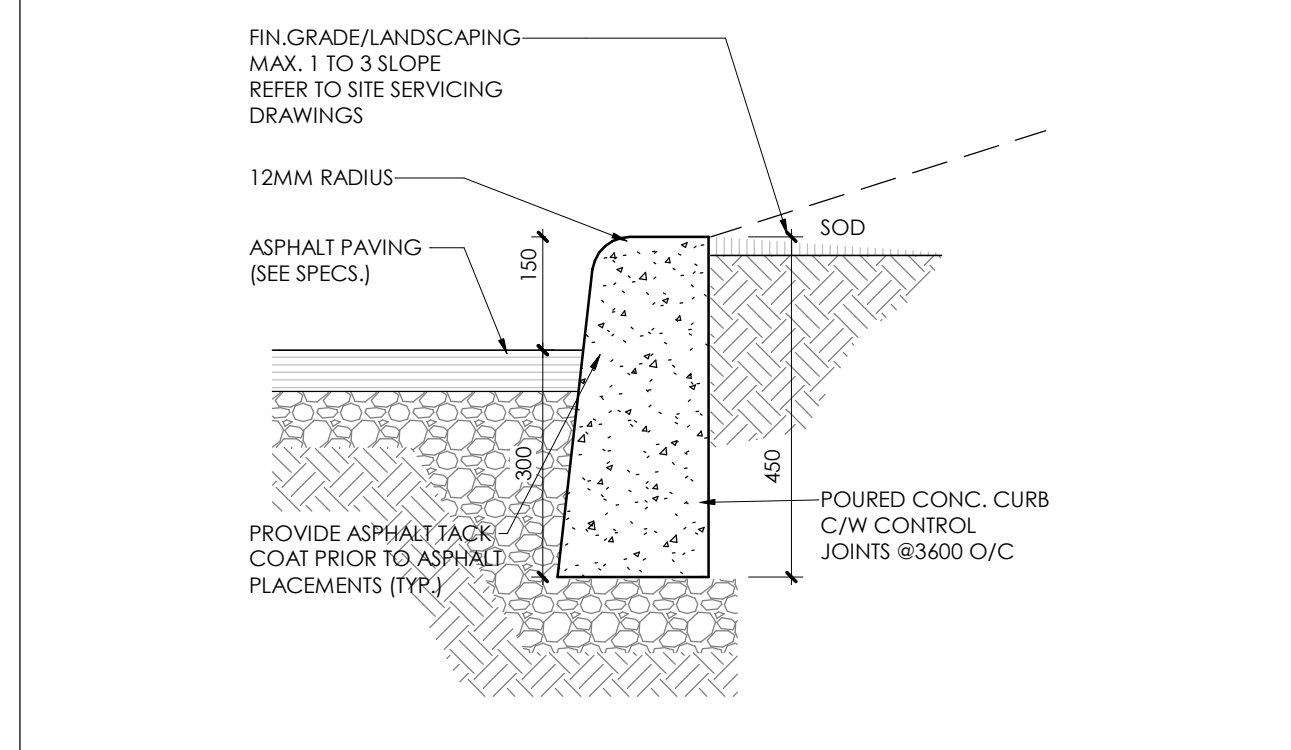
11.4 ACCESSIBLE PARKING SIGN DETAIL
N.T.S.



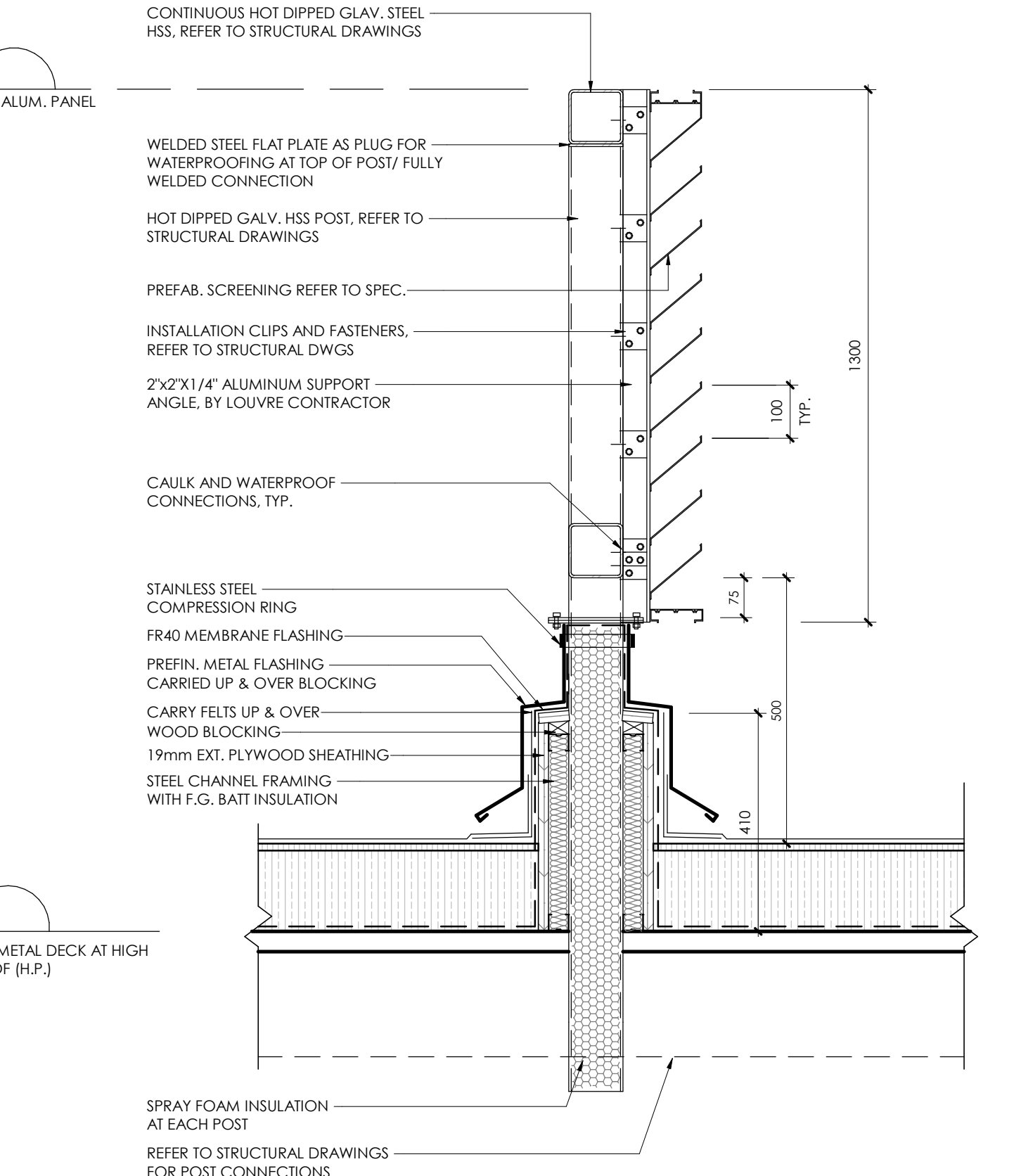
11 CITY OF BRAMPTON URBAN ENTRANCE DETAIL DWG. 238
N.T.S.



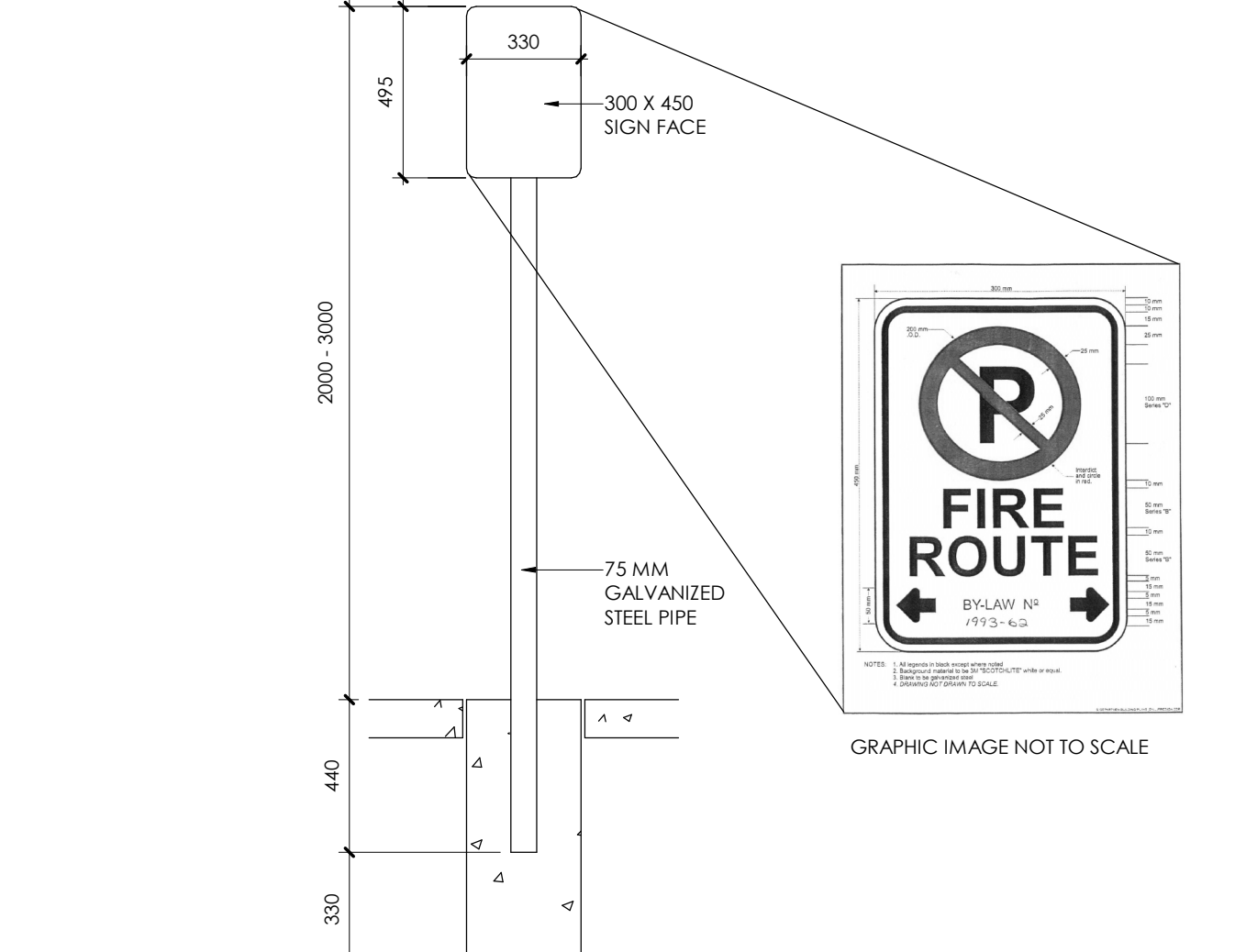
8 ACCESSIBLE PAVEMENT MARKING DETAIL
N.T.S.



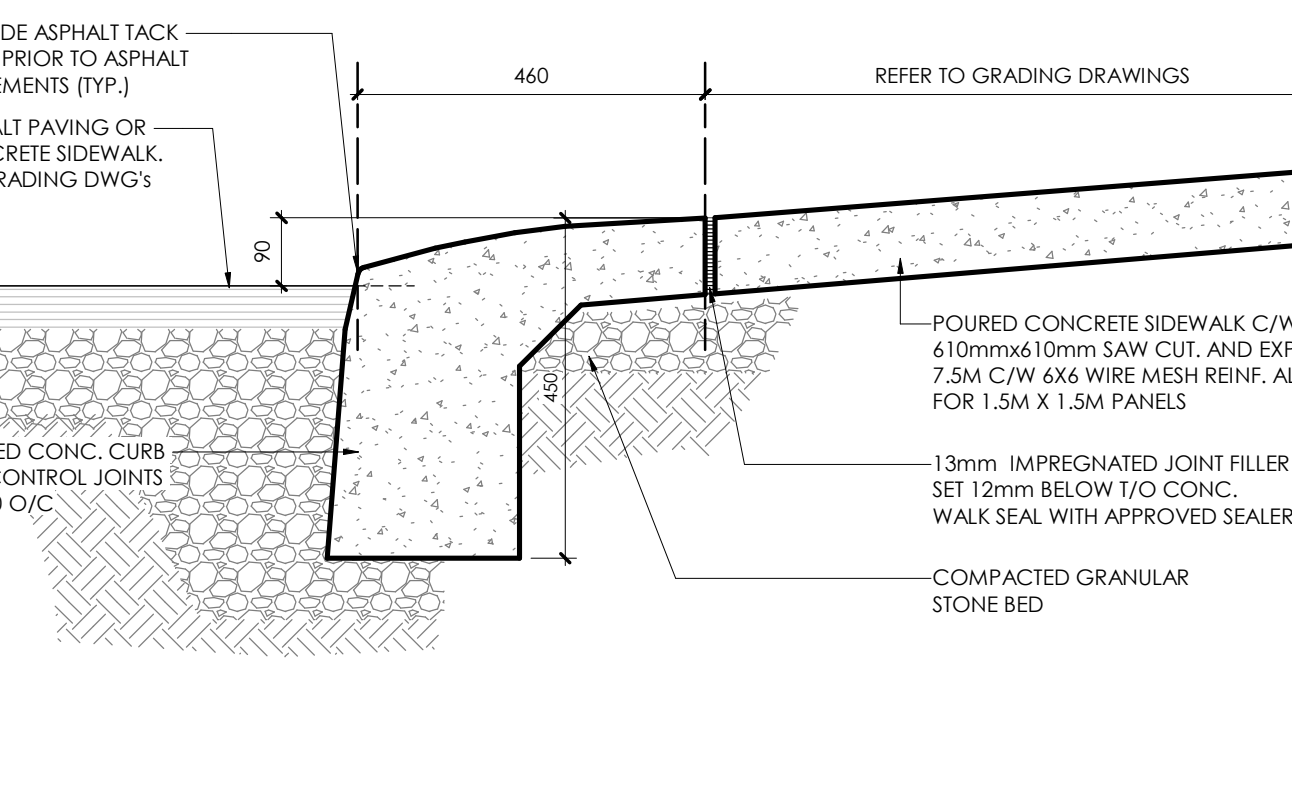
3 SECTION DETAIL - LANDSCAPE CURB
N.T.S.



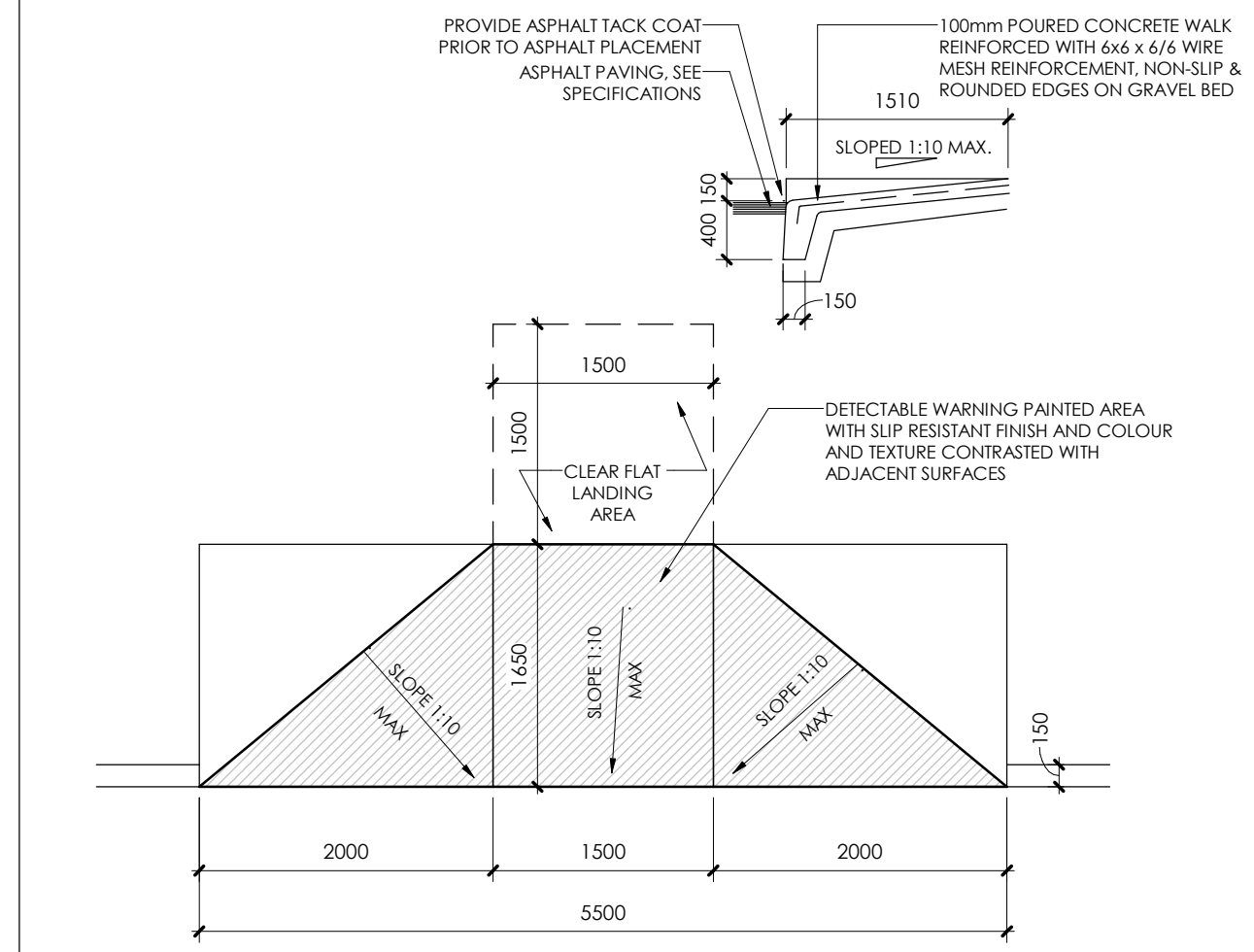
13 PREFAB. ALUM. ROOF SCREEN
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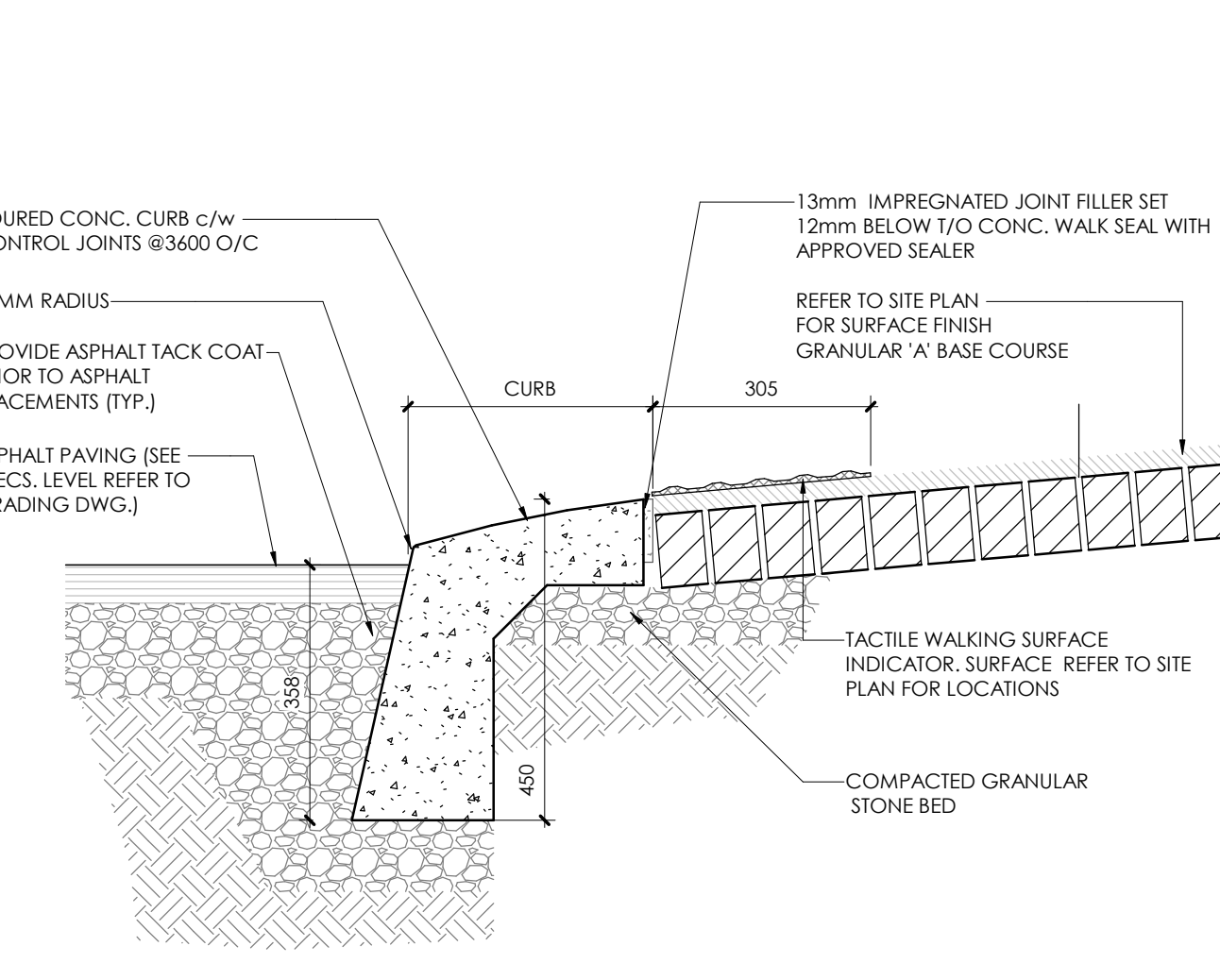
10 SECTION DETAIL - FIRE ROUTE SIGN
1 : 20



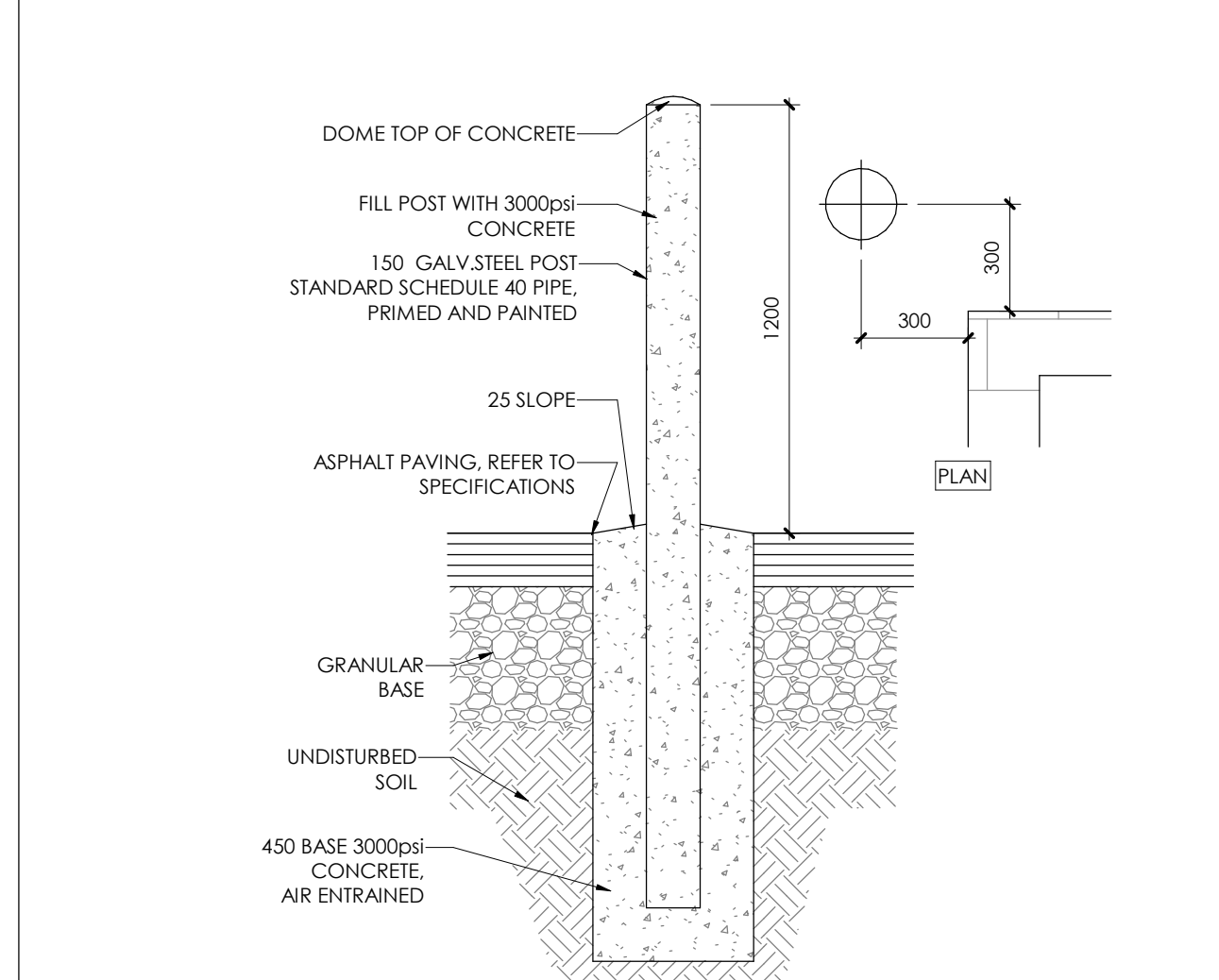
7 SECTION DETAIL - ROLLED CONCRETE CURB
1 : 10



2 SECTION DETAIL - CONCRETE CURB/SIDEWALK DEPRESSION
1 : 50



6 SECTION DETAIL - ROLLED CONCRETE CURB
1 : 10



1 SECTION DETAIL - BOLLARD
1 : 20

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DO NOT SCALE DRAWINGS. CONTRACTOR TO CHECK AND VERIFY DIMENSIONS ON SITE PRIOR TO DISCUSSION OF THE WORK.

Rev.	Description	Issue/Revision
1	ISSUED FOR SPA SUBMISSION	2024.05.13
2	ISSUED FOR SPA SUBMISSION	2024.05.16
3	ISSUED FOR SPA SUBMISSION	2024.05.16
4	ISSUED FOR SPA SUBMISSION	2024.05.16
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49	ISSUED FOR SPA SUBMISSION	2024.05.16
50	ISSUED FOR SPA SUBMISSION	2024.05.16

ONTARIO ASSOCIATION OF ARCHITECTS
SHAWN TRAVELL
LICENCE 6705

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NORTHWEST LEXUS AND ACURA

ACE DRIVE, BRAMPTON, ON

SITE PLAN DETAILS

PROJECT No: 2021.011 / 2022.025
SCALE: As Indicated
DATE: JULY 2021
DRAWING No: **A1.03**
SITE PLAN APPLICATION No: 000000000