





FEB 1 9 2025

Committeee of Adjustment

For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A-204-0458

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

		Minor Variance or	Special Permission
			d Instructions)
IOTE:		ed that this application be filed with the ied by the applicable fee.	e Secretary-Treasurer of the Committee of Adjustment and be
			ee of Adjustment for the City of Brampton under section 45 of this application from By-Law 270-2004 .
1.	Name of 0 Address	Owner(s) Kuldip Singh & Jasvir Kaur Se 46 Bromley Cres., Brampton, ON L6	
	Phone # Email	647 - 924 - 7283 kuldip.sekhon@icloud.com	Fax #
2.	Name of Address	Agent Haroon Malik 14 Torrance Woods, Brampton, ON	L6Y 2N3
	Phone # Email	647 - 770 - 3230 haroon@wedesignbuild.ca	Fax #
3.	Natura an	nd extent of relief applied for (varian	cas raquastad).
		d garden suite whereas the max ft./ 35 sq.m.	kimum permitted area in all residential zones is
4.	Why is it	not possible to comply with the pro	visions of the by-law?
	garden s four indi 2019. F	suite featuring two bedrooms, d ividuals. This vision aligns with t	lot and he intends to construct a more spacious esigned to accommodate a small family of up to he objectives of the More Homes, More Choice Act, le including the new garden suit is well below the
5.	_	scription of the subject land:	
	Plan Nun	her Lot 123 nber/Concession Number Al Address 46 Bromley Cres., Brampton, C	N L6T 1Z1
6.	Dimension Frontage Depth	on of subject land (in metric units) 15.28 36.66	
	Area	0.056 Ha.	

Seasonal Road

Water

Other Public Road

Access to the subject land is by:

Municipal Road Maintained All Year

Provincial Highway

Private Right-of-Way

7.

8.	land: (specify	in metric units gr	nd structures on or proposed for the subject ground floor area, gross floor area, number of etc., where possible)					
	EXISTING BUILDING	SS/STRUCTURES on th	ne subject land: List all structures (dwelling, shed, gazebo, etc.)					
	Existing Two story	y Single Dwelling Un ss Floor Area: 708 S	it					
	PROPOSED BUILDI	NGS/STRUCTURES on	the subject land:					
	Proposed Single	story Garden suite ess Floor Area: 586 S	Sq. ft. / <mark>54 Sq. M</mark>					
9.	(specify distan		ructures on or proposed for the subject lands: rand front lot lines in <u>metric units</u>)					
	EXISTING Front yard setback	11.27 (Set Backs of Princ	ipal Dwelling to Remain)					
Rear yard setback 15.27 (Set Backs of Principal Dwelling to Remain)								
	Side yard setback Side yard setback		1.89 (Set Backs of Principal Dwelling to Remain) 1.26 (Set Backs of Principal Dwelling to Remain)					
PROPOSED Front yard setback Rear yard setback Side yard setback Side yard setback		4.77 (Set Back of the New	v Garden suit to Principal Dwelling) arden suit from Property Line)					
			arden suit from Property Line) Barden suit from Property Line)					
	Side yard Selback	5.03 (Set Back of the New C	adden Sult nom Property Line)					
10.	Date of Acquisition	of subject land:	Not Known					
11.	Existing uses of su	bject property:	Two Dwelling Unit					
12.	Proposed uses of s	subject property:	Two Dwelling Unit + Garden Suit					
13.	Existing uses of ab	utting properties:	Residential - Detached					
14.	Date of construction	on of all buildings & str	uctures on subject land: 1965					
15.	Length of time the	existing uses of the su	bject property have been continued: 59					
16. (a)	What water supply Municipal Supply	is existing/proposed?	Other (specify)					
(b)	What sewage disponents of the Municipal Septic	osal is/will be provided	? Other (specify)					
(c)	Sewers	ge system is existing/p						
	Ditches L Swales	\exists	Other (specify)					

17.		ject propei on or conse		ect of an a	application u	nder the	Planning	Act, fo	r approval of	a plan of
	Yes		No 🗸							
	If answer	is yes, prov	vide details:	: File #	#			Statu	s	
18.	Has a pre-	consultatio	on application	on been fi	led?					
	Yes		No 🔽							
19.	Has the su	ubject prop	erty ever be	en the su	bject of an a	pplicatio	n for mino	r variar	nce?	
	Yes		No 🔽		Unknown					
	If answer	is yes, prov	vide details:	:						
	File #		Decision				Relief			
	File #		Decision Decision				Relief			
							Made	M2		
					Sig	gnature o	of Applicant(s) or A	uthorized Agen	ıt
DATE	ED AT THE	City		OF	Brampton				_	
THIS	5th	DAY OF	December		, 20					
THE SUB. THE APP	JECT LAND	OS, WRITTE	EN AUTHOR ORATION,	RIZATION (OF THE OW	NER MUS	ST ACCOM	PANY	THAN THE OV THE APPLICA AN OFFICER	TION. IF
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IN THE	Region	_ OF	Peel		_SOLEMNL	Y DECLA	RE THAT:			
BELIEVIN OATH.		TRUE AN	D KNOWING						N CONSCIEN CT AS IF MAD	
City	OF	Brampton		1 1 1 1 1						
IN THE	Region		_ OF	Ē 8 8 8 8						
Peel	THIS	5th	DAY OF	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1						
December	na n	, 20 ²⁴ .	••••			Signature	of Applicar	nt or Au	thorized Agent	
		_								
	A Comm	issioner etc	-	i 						
				FOR OF	FICE USE O	NLY				
	Present (Official Plar	n Designatio	on:						
	Present 2	Zoning By-l	aw Classific	cation:		_				
	This app	olication has	been reviev said revie	wed with re w are outli	espect to the vined on the at	variances ttached c	required ar hecklist.	nd the r	esults of the	
		Zonir	ng Officer					Date		
		DATI	E RECEIVEI	D						
			tion Deeme Municipalit						Revised	2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
Wellington Street West
Brampton, Ontario
L6Y 4R2

coa@brampton ca

LOCATION OF THE SUBJECT LAND: 46 Bramley Cres., Brampton, ON L6T 1Z1
I/We, Kuldip Singh & Jasvir Kaur Sekhon please print/type the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject lands, hereby authorize
weDesignBuild Inc. c/o Haroon Malik
please print/type the full name of the agent(s)
to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.
Dated this on day of December , 2024
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

cos@brampton.ca

	and the state of t
LOCATIO	IN OF THE SUBJECT LAND: 46 Bromley Cres., Brampt: DION L6T 1Z1
Me.	Kuldip Singh & Jasvir Kaur Sekhon
	please print/type the full name of the owner(s)
the City of the above	rsigned, being the registered owner(s) of the subject land, hereby authorize the Members of of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon a noted property for the purpose of conducting a site inspection with respect to the attached on for Minor Variance and/or consent.
Dated thi	s 51 h day Of December , 20 24
(signa	ature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)
	*
***************************************	(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

NEW ARU UNIT AT REAR YARD

FEB 1 9 2025

Received / Revised

Committees of Adius

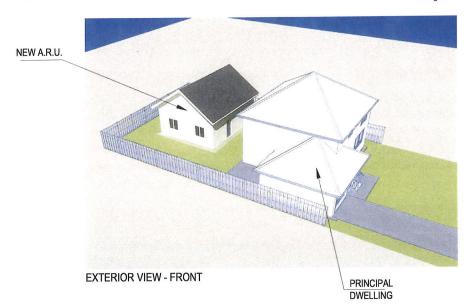
NEW A.R.U.

46 BROMLEY CRESCENT, BRAMPTON. ON L6T 1Z1

Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	EXISTING SITE LAYOUT PLAN	A102
4	NEW SITE LAYOUT PLAN	A103
5	NEW ARU UNIT	A104
6	NEW ROOF PLAN	A105
7	NEW / FRONT ELEVATION	A106
8	NEW / LEFT SIDE ELEVATION	A107
9	NEW / RIGHT SIDE ELEVATION	A108
10	NEW / REAR ELEVATION	A109
11	NEW / SECTION -"A A"	A110
12	NEW / SECTION -"B B"	A111
13	WALL SECTION DETAIL	A112
14	NEW ARU ELECTRICAL PLAN	E101



LOCATION











weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE LIST OF DRAWINGS

PROJECT NO. 20230322

M.N.

H.M.

DRAWING NO.

A000

CONSTRUCTION NOTES

EXTERIOR WALL (VINYL SIDING)
 EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)

INTERIOR WALLS

- NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- (2A) INTERIOR PARTITIONS (PLUMBING & HVAC WALLS)
 38X140 (2"X6") STUDS @ 400mm (16") O.C. 2X TOP
 PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS,
 12.7mm (½") DRYWALL 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN
 CONC. AND WOOD
- (3) NEW CEILING

 "REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY
 ABOVE, JOINTS TAPED AND SEALED AND PAINTED.
- SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS
 FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON ENGINEERED
 FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE).

CONVENTIONAL FRAMING
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD
FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID
BLOCKING @ 1200mm (3'-11") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS.
REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.

NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)), 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.

MECHANICAL VENTILATION

- 6 50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP. 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST
- INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE)
 ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA
 INCLUDING BASEMENT AS PER OBC 9.10.19
- (8) INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19
- 9 ALL STAIRS/EXTERIOR STAIRS
 ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Table 9.8.4.1
Rise for Rectangular Treads, Tapered Treads & Winders and Run For Rectangular Treads
Forming Part of Sentences 9.8.4.1 (1) and 9.8.4.2. (1)

Stair Type	Max. Rise,mn for All Steps	m, Min. Rise,mm for All Steps	n, Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950	(O.B.C. 9.8.2.)	Min. Width	860

GUARD/HANDRAIL 9.8.7.4
ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.

HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STIAR = 865mm (2'-10")
GUARD RAIL @ EXT. LANDING (GREATER THAN 1800
[5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STIAR = 865mm (2'-10")

WOOD / METAL PICKETS < 100mm (4") BETWEEN

NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm
(4") & 900mm (2-11") ABOVE SURFACE WILL FACILITATE CLIMBING.

EXHAUST & VENTS:

PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.

CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS.
PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED
LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES
ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.

ROOF CONSTRUCTION

- SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN. FINISH & SLOPE TO MATCH WITH EXISTING.
- PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- MAINTAIN VENTILATION AS PER 9.19.1. OBC
- WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M² IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 ½"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSIII ATTON
- ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- 19 PRE-FINISHED VINYL SOFFIT
- 20 38X140 (2"X6") WOOD FASCIA, ALUMINUM CLAD.
- PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- 22 PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- (23) REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- CERAMIC TILE WALLS, AND CEILING IN SHOWER CW PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(g) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- (25) CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 500X150 (20"X6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO
 - PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- 29 PRE-CAST CONCRETE SILL
 - ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
 - PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
- MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB, 150X150 (9"X9") W.W.M.
 REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- 34) EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING & BEYOND EXTERIOR WALL.

- (36) FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- 37) SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* AS PER OBC 9.9.12
- EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF
- BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOE TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

GENERAL NOTES:

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WINTTED INSERTIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DERESCORS. AND GENERAL NOTES. THE DESIGNERS SHALL BE CONSULTED FOR CLARIFSCHOOL & THE STEE CONSULTION DOWNINGS, DESCRIPTION & THE STEE CONSULTION DOWNINGS, DESCRIPTION OF THE STEE CONSULTION DOWNINGS, DESCRIPTION OF THE STEE CONSULT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERSEY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING SOURH OPERINGS ETC. CONSTRUCTION SHALL DIMENSIONS OF THE STEEL CONSTRUCTION SHALL DIMENSION SHALL DIMEN

DATE DESCRIPTION



TRUE NORTH

NOERSIGNED HAS REVIEWED AND TAKES RESPONS
HIS DESIGN, AND HAS THE QUALIFICATION AND ME
REMEMTS SET OUT IN THE ONTARIO BUILDING CO
IN THE WORK SHOWN ON THE ATTACHED DOCU

POINT UNILESS DESIGN IN EXEMPT UNION DW.C-12X1. OF THE BUILDING.
TOUR Malik

REGISTRATION INFORMATION
QUIED UNLESS DESIGN OF EXEMPT LINGUISTON, C - 32A1, OF THE BUILDING OF
EDGESQUIRUM INC. 1110



weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN
SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

GENERAL NOTES

PROJECT NO. 20230322

DRAWN M.N. H.M.

VING NO

A10

DATE MODIFIED

SCHEDULES

ROOM FINISH SCHEDULE

ROOM ROOM	FLOOR		BASE		WALLS		CEILING			REMARKS
NO. NAME	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	1
NEW ARU										
1 LIVING/DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	
2 BEDROOMS (2 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	
3 BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	

NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
1100.		O.L.L	QO/ IIIII I		200,111011	
				DOC	RS	
D1	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-6"X6'-8"	0'-0"	02	WOODEN DOOR	NEW BED ROOMS	
D4	2'-0"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
		-		WIND	OWS	
W1	4-0"X 4'-0"	2'-10"	04	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOMS	AS PER MANUFACTURER SPECS & STANDARDS

DOOR SCHEDULE NOTES

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS. 2- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE.

3- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	\$ ₃
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	GFI C WP
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	Ø
EXHAUST FAN	0
FD: FLOOR DRAIN	0
SPRINKLER	+
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
CO: CARBON MONOXIDE DETECTOR	⊗
LIGHT	Ø
EMERGENCY LIGHT	5
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕ _A

WALL LEGEND

EXTERIOR WALL WITH VINYL SIDING



FRAME WALL CONSTRUCTION
FINSH AS PER ELEVATIONS
SIEGATING PAPER, LAYERS
TO OVERLAP FACH OTHER
ETERIOR TYPE SHARING
2.6 WOOD STUDISE 400 O.C.
W/ SHEATHING A. CONTINUOUS
VANOUS ARRANGE TO THE CONTINUOUS THE CONTINUOUS
VANOUS ARRANGE TO THE CONTINUOUS THE CONTINUO

INTERIOR DRY WALL PARTITION



1\2" GYPSUM BOARD EACH SIDE OF 2"X4" OR 2"X6" SPRUCE STUDS @ 16" O.C.

NOTE:
PLEASE REFER WALL SECTION FOR DETAILS.
ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLE

GENERAL NOTES:

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QUALIFICATION INFORMATION
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Name
REGISTRATION INFORMATION

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weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN
SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE

LEGENDS & DOOR WINDOW SCHEDULES

PROJECT NO. 20230322

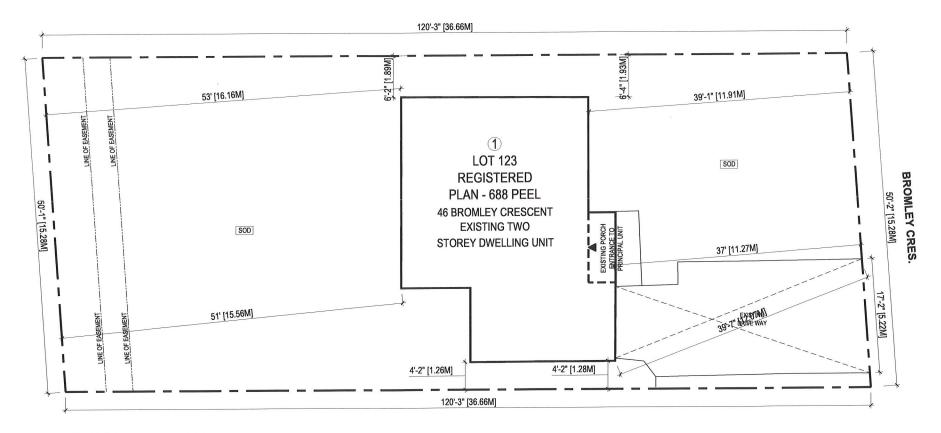
M.N.

H.M.

DRAWING NO.

A101

DATE MODIFIED



EXISTING SITE PLAN

SCALE : 3/32" = 1'-0"

GENERAL NOTES:

REV DATE DESCRIPTION





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PROJECT TITLE NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **EXISTING SITE PLAN**

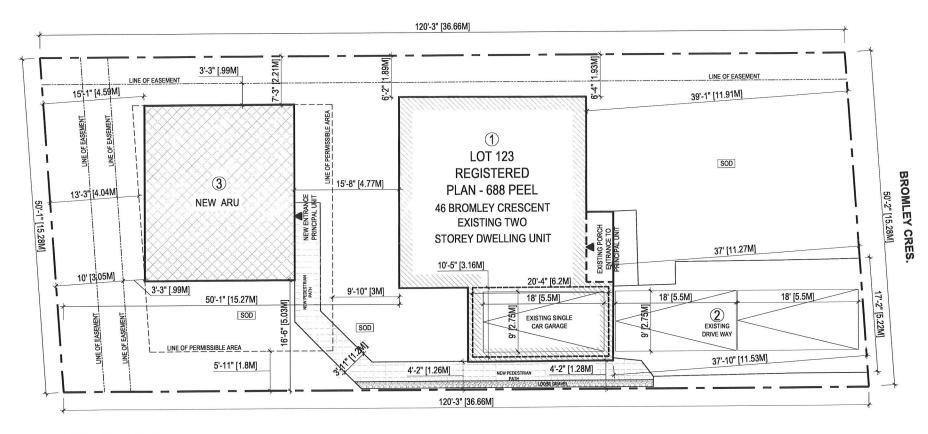
PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

DRAWING NO.

DATE MODIFIED



SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

2 EXISTING DRIVEWAY

(3) NEW ARU

ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

NEW LOT COVERAGE AREA (INCLUDING NEW ARU)

= 6015 SFT / 558.81 M2 LOT AREA EXISTING BUILDING LOT COVERAGE AREA = 1084 SFT / 100.70 M²

= 586 SFT / 54 M² NEW A.R.U COVERED AREA

= 1670 SFT / 155.14 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

= 18.02 % **EXISTING LOT COVERAGE NEW LOT COVERAGE AREA** = 27.76 %

GENERAL NOTES:

DATE



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **NEW SITE PLAN**

PROJECT NO. 20230322

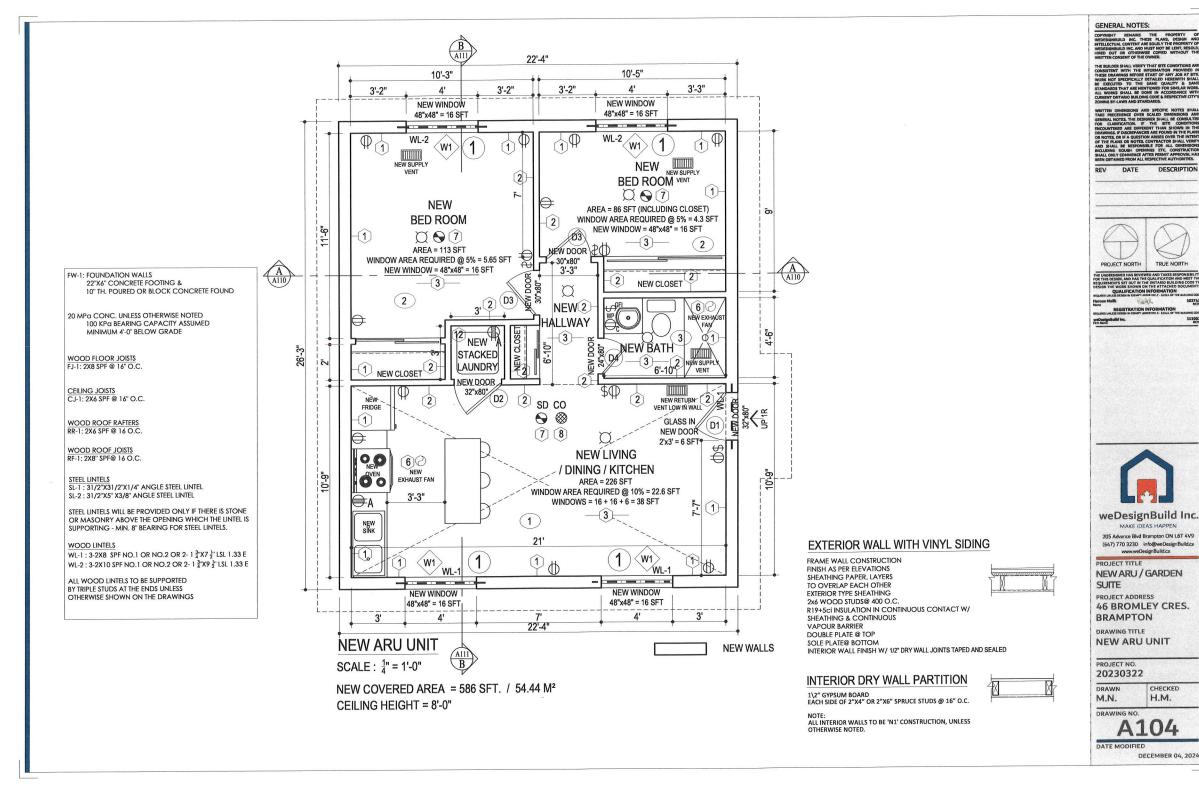
DRAWN M.N.

CHECKED H.M.

DECEMBER 04, 2024

LOT STATISTICS

R1B (1) ZONING: 123 LOT NO: PLAN NO: 688 LOT AREA: 558.81 M² LOT FRONTAGE: 50'-2" = 15.28 M 120'-3" = 36.66 M LOT DEPTH:

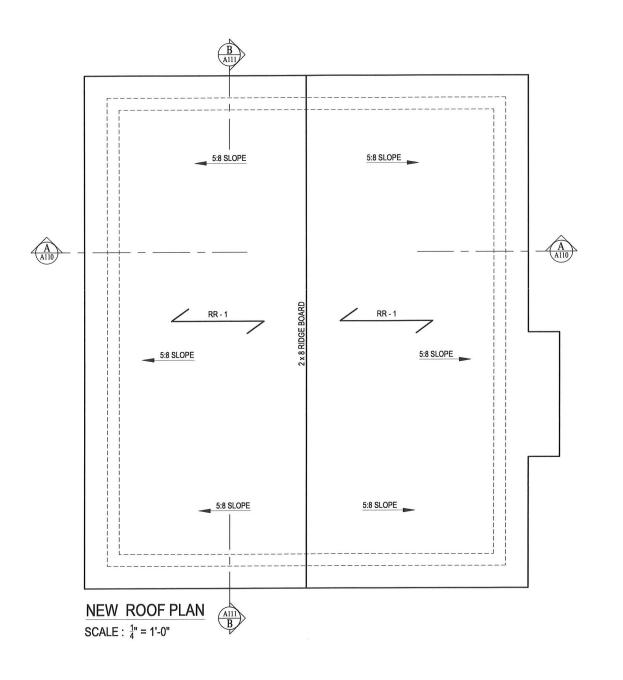


DESCRIPTION

CHECKED

DECEMBER 04, 2024

H.M.



GENERAL NOTES:

REV DATE DESCRIPTION

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PROJECT TITLE NEW ARU / GARDEN SUITE

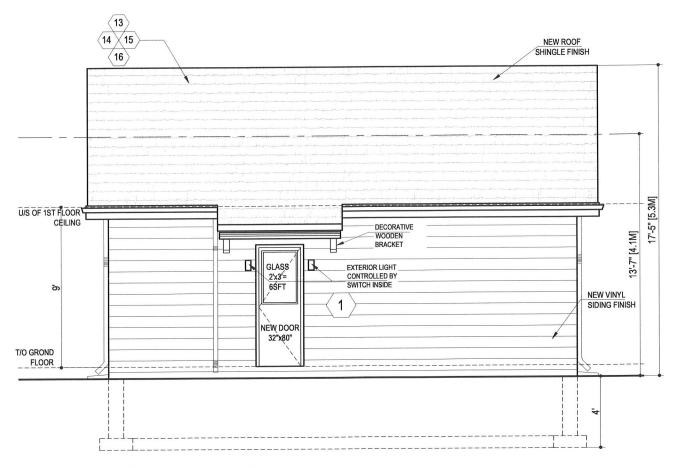
PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **NEW ROOF PLAN**

PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.



NEW / FRONT ELEVATION

SCALE : 1" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 253 SFT / 23.50 M² LIMITING DISTANCE = 25.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.34%)

WINDOW AREA ALLOWED: 100%

GENERAL NOTES:





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PROJECT TITLE NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **ELEVATION**

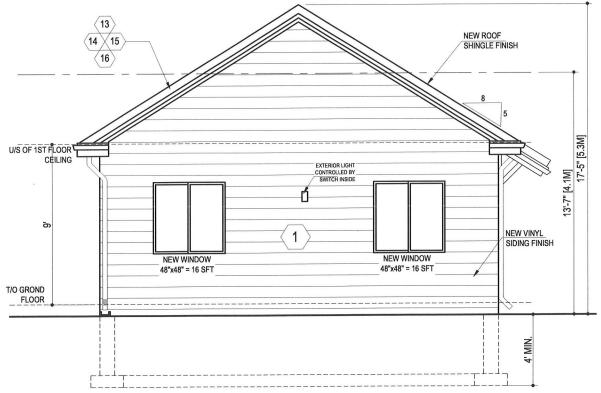
PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

A106

DATE MODIFIED



NEW / LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M² LIMITING DISTANCE = 5.05 M

WINDOW AREA PROVIDED: 16+ 16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 67%

GENERAL NOTES:

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PROJECT TITLE
NEW ARU / GARDEN
SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
ELEVATION

PROJECT NO. 20230322

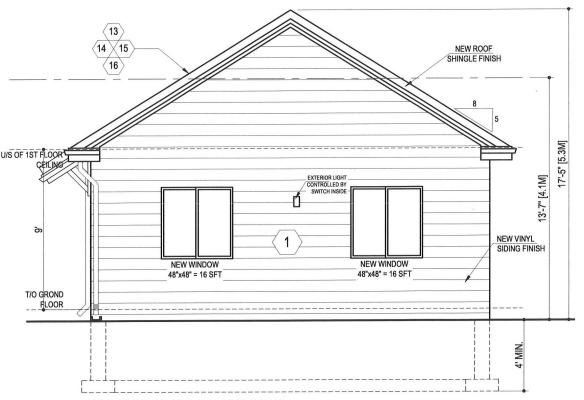
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DRAWING NO.

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DATE MODIFIE



NEW / RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M² LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16+16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 17%

GENERAL NOTES:

PROJECT NORTH



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PROJECT TITLE NEW ARU / GARDEN SUITE

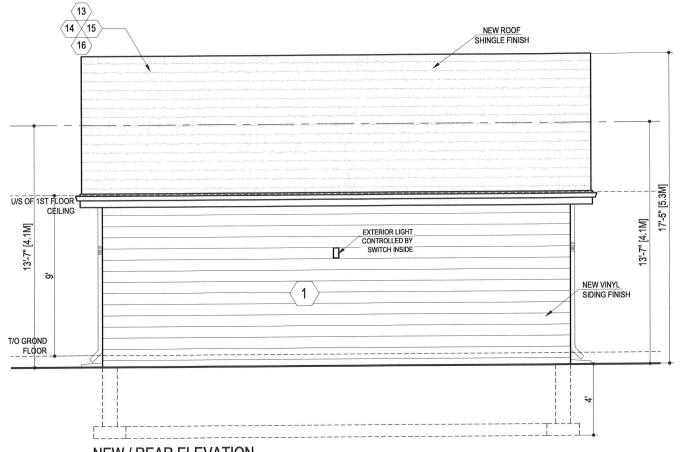
PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

DRAWN M.N.

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NEW / REAR ELEVATION

SCALE : ¹/₄" = 1'-0"

GENERAL NOTES:



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PROJECT TITLE NEW ARU / GARDEN

SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE ELEVATION

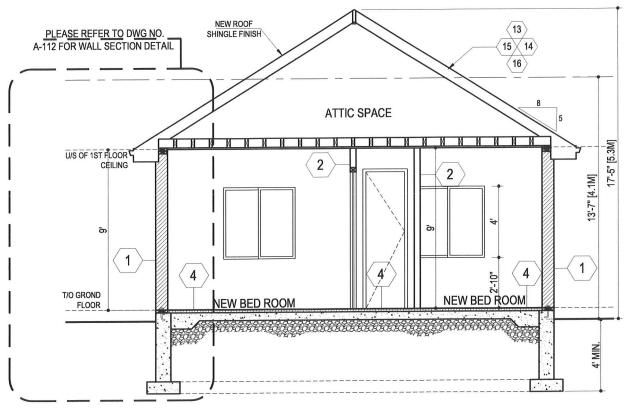
PROJECT NO. 20230322

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SECTION "A-A"

SCALE : \frac{1}{4}" = 1'-0"

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REGISTRATION INFORMATION

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PROJECT TITLE
NEW ARU / GARDEN
SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION A"-A"

PROJECT NO. 20230322

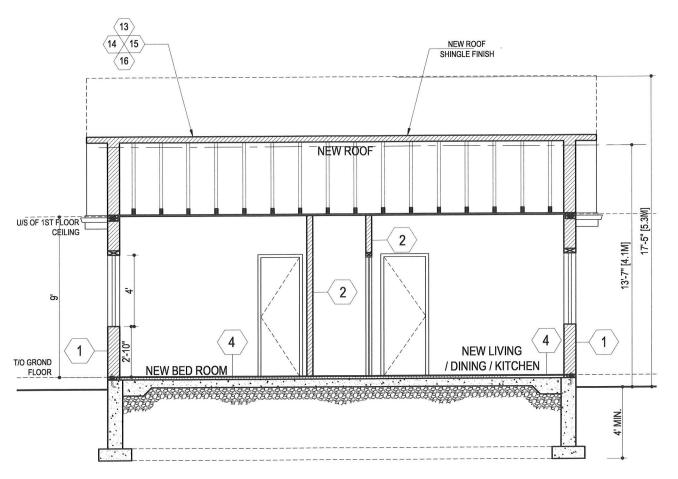
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A110

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SECTION "B-B"

SCALE : ¹/₄" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE

SECTION B"-B"

PROJECT NO. 20230322

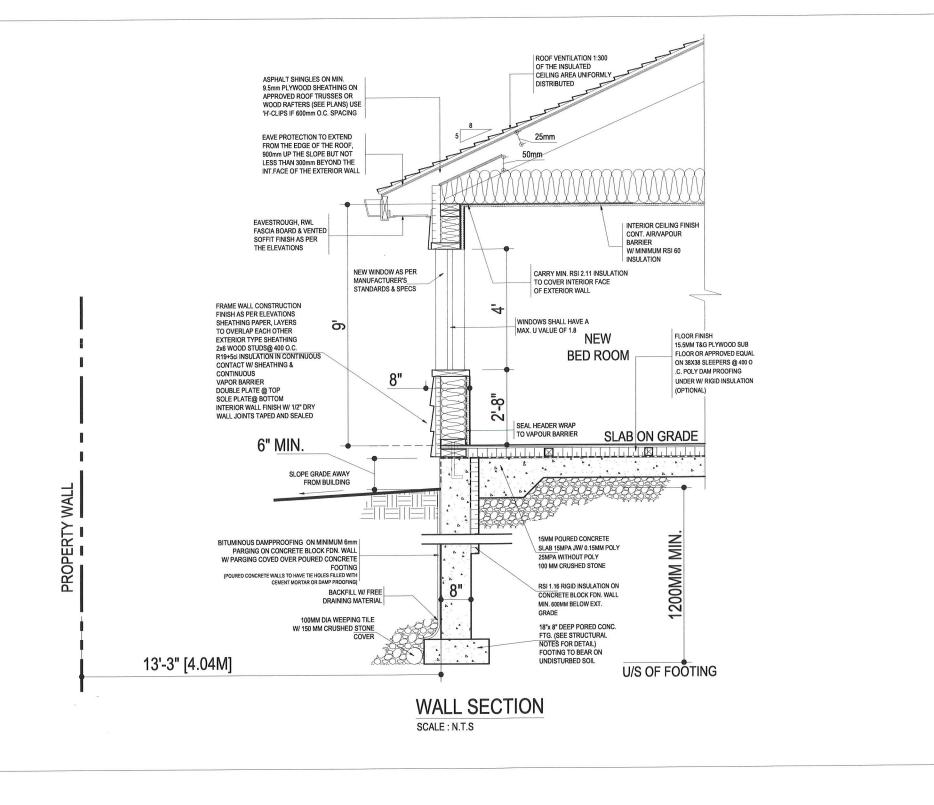
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.

BRAMPTON
DRAWING TITLE
SECTIONAL DETAIL

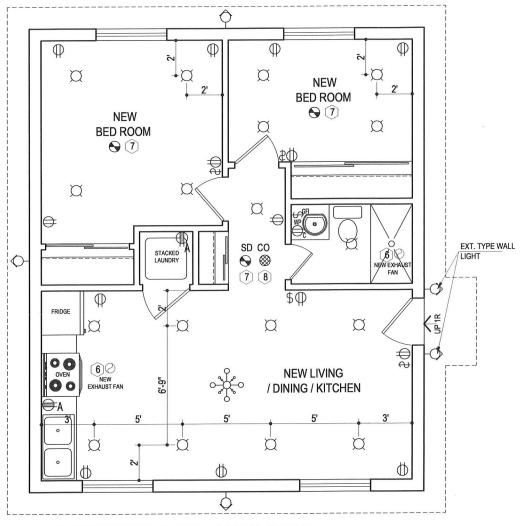
PROJECT NO. 20230322

DRAWN M.N.

H.M.

DRAWING NO.

A11



ELECTRICAL LEGEND

NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT	\$3	CHANDELIER (AS APPROVED) 48" LED LINEAR WRAP LIGHT, 30W	***
THE ENDS OF EACH STAIRWAYS WEATHERPROOF RECEPTACLE	-	EXHAUST FAN	S
T5A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3"ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR	⇒ _{WP}	SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	0
EXTERIOR USE.		CO: CARBON MONOXIDE DETECTOR	\otimes
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE	GFI C WP	4" RECESSED POT LIGHT	¤
C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	C WP	PENDANT LIGHT	#
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕ A	EXTERIOR TYPE WALL MOUNTED LIGHT	$\vdash \Diamond$

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Harroon Malik 100

REGISTRATION INFORMATION

INCLIES DESIGN OF DEMPT LINGE DV. C - 12.4.1 OF THE RULDS

WeDesignBuild Inc.

From Name



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE
NEW ARU / GARDEN
SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW ARU UNIT
ELECTRICAL PLAN

PROJECT NO. 20230322

DRAWN M.N. H.M.

DRAWING NO.

E10

DATE MODIFIE

NEW ARU UNIT AT REAR YARD

Received / Revised

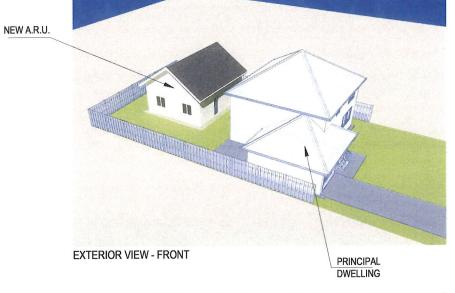
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PRINCIPAL DWELLING

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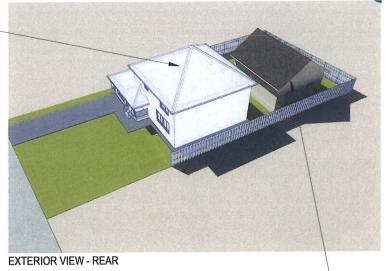
Committeee of Adjustment

	LIST OF DRAWINGS	
Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	EXISTING SITE LAYOUT PLAN	A102
4	NEW SITE LAYOUT PLAN	A103
5	NEW ARU UNIT	A104
6	NEW ROOF PLAN	A105
7	NEW / FRONT ELEVATION	A106
8	NEW / LEFT SIDE ELEVATION	A107
9	NEW / RIGHT SIDE ELEVATION	A108
10	NEW / REAR ELEVATION	A109
11	NEW / SECTION -"A A"	A110
12	NEW / SECTION -"B B"	A111
13	WALL SECTION DETAIL	A112
14	NEW ARU ELECTRICAL PLAN	E101





LOCATION



NEW A.R.U.

GENERAL NOTES:

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ROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE

LIST OF DRAWINGS

PROJECT NO. 20230322

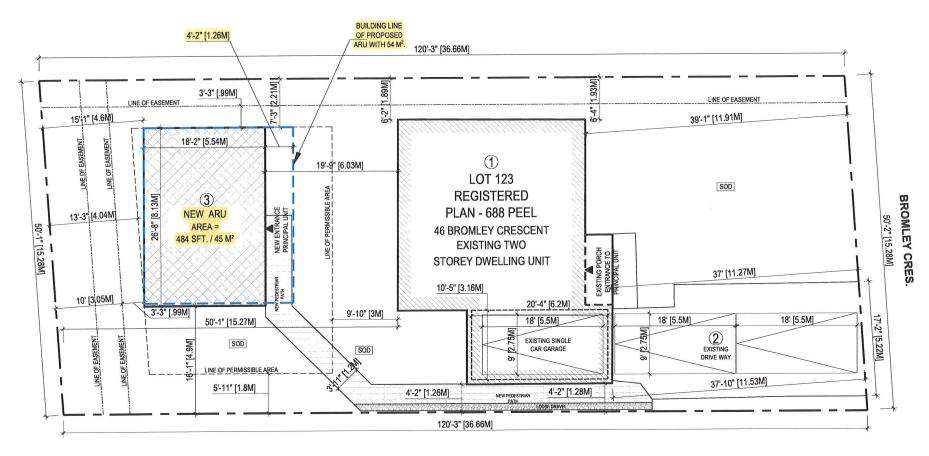
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DRAWING NO.

A000

DATE MODIE



SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

(2) EXISTING DRIVEWAY

▲ ENTRANCE / EGRESS

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1) LOT NO: 123 PLAN NO: LOT AREA: 558.81 M² LOT FRONTAGE: 50'-2" = 15.28 M LOT DEPTH: 120'-3" = 36.66 M

LOT COVERAGE STATISTICS

LOT AREA = 6015 SFT / 558.81 M²

= 1084 SFT / 100.70 M² EXISTING BUILDING LOT COVERAGE AREA

NEW A.R.U COVERED AREA = 484 SFT / 45.00 M²

= 1568 SFT / 145.70 M² NEW LOT COVERAGE AREA (INCLUDING NEW ARU)

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 % = 26.07 % **NEW LOT COVERAGE AREA**

GENERAL NOTES:

DESCRIPTION DATE



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PROJECT TITLE NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **NEW SITE PLAN**

PROJECT NO. 20230322

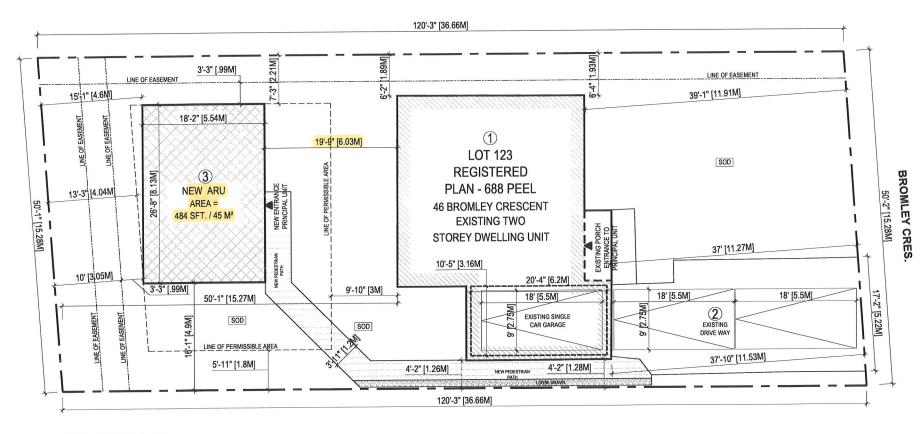
DRAWN M.N.

CHECKED H.M.

DRAWING NO.

DATE MODIFIED

FEBRUARY 08, 2024



SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

(2) EXISTING DRIVEWAY

▲ ENTRANCE / EGRESS

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1) LOT NO: 123 688 PLAN NO: 558.81 M² LOT AREA: 50'-2" = 15.28 M LOT FRONTAGE: 120'-3" = 36.66 M LOT DEPTH:

LOT COVERAGE STATISTICS

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MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

= 18.02 % EXISTING LOT COVERAGE **NEW LOT COVERAGE AREA** = 26.07 %

GENERAL NOTES:

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205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

PROJECT TITLE NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **NEW SITE PLAN**

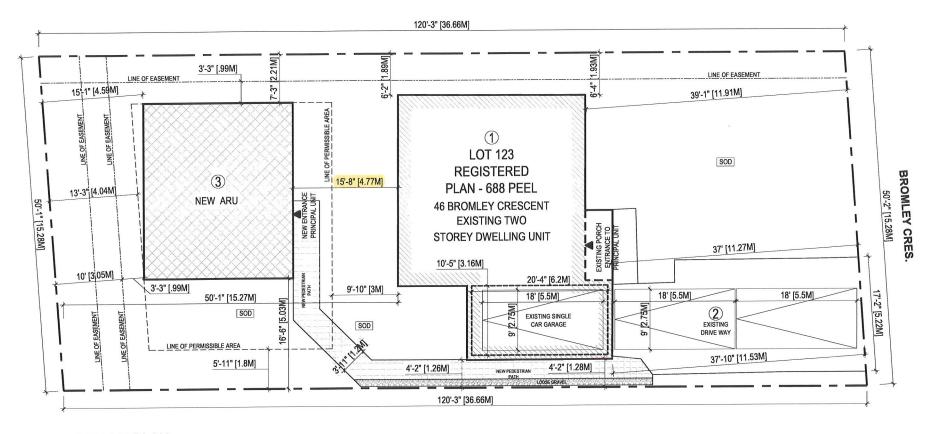
PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

DRAWING NO.

DATE MODIFIED FEBRUARY 08, 2024



SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

(2) EXISTING DRIVEWAY

_

③ NEW ARU

ENTRANCE / EGRESS

LOT STATISTICS

ZONING: LOT NO: PLAN NO: LOT AREA:

LOT AREA: 558.81 M²
LOT FRONTAGE: 50'-2" = 15.28 M
LOT DEPTH: 120'-3" = 36.66 M

R1B (1) 123

688

LOT COVERAGE STATISTICS

LOT AREA

= 6015 SFT / 558.81 M²

EXISTING BUILDING LOT COVERAGE AREA

= 1084 SFT / 100.70 M²

NEW A.R.U COVERED AREA

= 586 SFT / 54 M²

NEW LOT COVERAGE AREA (INCLUDING NEW ARU) = 1670 SFT / 155.14 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 27.76 %

GENERAL NOTES:

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THE BILLDIES SHALL YIBING THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWNINGS BEFORE START OF ANY JOB AT SITE MOORN NOT SECRETALLY DESCRIPTION OF THE SAME QUALITY IS SHATE STANDARDS THAT ARE RESITIONED FOR SINHAL WORK ALL WORS SHALL BE DONE IN ACCORDANCE WITH CONTRACT OF THE SAME STANDARDS SHALL BE DONE IN ACCORDANCE WITH CONTRACT OF THE SAME SECRETARY OF THE SAME SHAPE STANDARD SHALL BE SHAPE SHAPE STANDARD SHAPE SH

WRITTED DRIEMSIONS AND SPECIFIC MOTES SHAL TIME PRECEDENCE OVER SCALE DOMINISONS AN GENERAL ROTES. THE DESIGNER SHALL BE CONSULTE THE PRECEDENCE SHALL BE CONSULTE FORWARD AND SHALL BE SHALL BE SHALL BE FORWARD SHALL BE SHALL BE SHALL BE OR NOTES, OR IF A QUESTION ASSESS OVER THE BITTED OF THE PLANS OR NOTES, CONTRACTOR SHALL VERSE AND SHALL BE RESPONSIBLE FOR ALL DISESSOR SHALL DRIESSOR ALL DISESSOR ALL DISESSOR SHALL DRIFT SHALL BE SHALL B

REV DATE DESCRIPTION



TRUE NORTH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSED FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MET REQUIREMENTS SET OUT IN THE ONTARIO BUILDING COD DESIGN THE WORKS SHOWN ON THE ATTACHED DOCUMEN QUALIFICATION HEOREMATION.

REQUIRED METERS BEASE NEW TUMOR DOC. 2, 2333.0 THE RELIGIOUS

Haroon Maille (WA) 1

weDesignBuild Inc. 13
For Name



weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca

www.weDesignBulld.ca
PROJECT TITLE

NEW ARU / GARDEN SUITE

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BRAMPTON

DRAWING TITLE

NEW SITE PLAN

PROJECT NO. 20230322

DRAWN

M.N. H.M.

DRAWING NO.

A103

DECEMBER 04, 2024

CHECKED



FFR 1 9 2025

Committeee of Adjustment



205 Advance Blvd Brampton ON L6T 4V9

Good morning, Mr. Chair, and esteemed members of the Committee,

Thank you for the opportunity to present before you today regarding the Minor Variance application for the proposed Garden Suite, designated as an Additional Residential Unit (ARU). I wish to underscore the property owner's firm commitment to maintaining the integrity of the neighborhood while simultaneously addressing the critical demand for diverse housing options within our city.

This property features a significantly larger lot that facilitates the development of a thoughtfully designed twobedroom garden suite, intended to accommodate a small family of up to four individuals. This initiative is perfectly aligned with the objectives outlined in the More Homes, More Choice Act of 2019, reflecting our proactive approach to expanding the housing supply in the community.

I would like to draw your attention to the proposed lot coverage for the new garden suite. I want to highlight that this coverage remains well within the limits established by the City, considerably below the maximum allowable coverage of 30% for this zoning classification. Currently, the established lot coverage is only 18.02%, and with the addition of the two-bedroom garden suite, the total lot coverage will only increase to 27.76%. This provides a clear testament to the ample capacity available for this development, all while adhering to zoning regulations.

Additionally, the proposed site setbacks from the property lines and existing building lines not only conform to but also surpass the standards set forth in the city's zoning by-laws. The rear yard setback for the new building is 3 meters, which exceeds the required 2.5 meters. Similarly, the side yard setback measures 2.2 meters, also surpassing the minimum requirement of 1.8 meters. Furthermore, the distance between the building line of the existing dwelling and the new structure is 4.7 meters, exceeding the required 3.0 meters. This proposal is designed to enhance both the character and functionality of the neighborhood. The area allocated for the dwelling unit fulfills the minimum standards set by the Ontario Building Code (OBC) for a two-bedroom residence. It is crucial to recognize that even a minor reduction in size—such as six inches from any side—would render the unit unfeasible as a two-bedroom dwelling, thereby undermining the primary objective of this project.

Moreover, I would also like to emphasize that this property successfully meets all minimum parking requirements, thereby reinforcing its suitability for the proposed development. Considering these factors, it becomes apparent that advocating for a reduction in the size of the dwelling unit would not only be unreasonable but also counterproductive to our collective goal of increasing housing availability.

I respectfully request your support in considering our application for the approval of a 54m² ARU, which exceeds the current maximum allowed area of 35m². The rationale for presenting this application to the Committee of Adjustment is straightforward: we are seeking approval for a two-bedroom dwelling unit, essential for addressing the family housing needs within our community. Any size reduction would confine us to a one-bedroom apartment—fundamentally contradicting the intent of our proposal and the owner's vision for this development.

Thank you for your attention to this significant matter. We sincerely hope for your support in advancing this application.

I am glad to address any questions or concerns the committee may have. Thank you.

Haroon Malik

Flower City



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A-2024 - 0458

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

1.	Name of	Owner(s) Kuldip Singh & Jasvir Kaur Sekho	1
	Address	46 Bromley Cres., Brampton, ON L6T 1	Z1
	Phone #	647 - 924 - 7283	Fax #
	Email	kuldip.sekhon@icloud.com	
2	Name of	Agent Haroon Malik	
2.	Name of Address	14 Torrance Woods, Brampton, ON L6Y	2012
	7 tu u 1 000	14 Torrance Woods, Brampton, ON Lov	ZNS
	Phone #	647 - 770 - 3230	Fax #
	Email	haroon@wedesignbuild.ca	
3.	Nature ar	nd extent of relief applied for (variances	requested):
	To requ	est the permission to allow a gross	floor area of 586 sq. ft./ 51.28 sq.m for the
			um permitted area in all residential zones is
		ft./ 35 sq.m.	
4	M/hor in id	not nonciple to comply with the provin	ione of the by love?
4.		not possible to comply with the provis	
		. , .	and he intends to construct a more spacious
			gned to accommodate a small family of up to
			objectives of the More Homes, More Choice Act,
			ncluding the new garden suit is well below the
	allowed	maximum 30% for this zone.	
5.	Lenal De	scription of the subject land:	
J.	_	ber Lot 123	
		nber/Concession Number 688	
		al Address 46 Bromley Cres., Brampton, ON L	6T 1Z1
	-		
6.		on of subject land (<u>in metric units</u>)	
	Frontage		
	Depth	36.66 0.056 Ha.	
	Area	0.000 Па.	
7.	Access t	to the subject land is by:	
	Provinci	al Highway	Seasonal Road
		al Road Maintained All Year	Other Public Road
	Private F	Right-of-Way	Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible) EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) Existing Two story Single Dwelling Unit Ground Floor Gross Floor Area: 708 Sq. ft. / 65.78 Sq. M Width: 12.04M Height: 9 M (Appx.) Existing to remain length: 9.77 M PROPOSED BUILDINGS/STRUCTURES on the subject land: Proposed Single story Garden suite Ground Floor Gross Floor Area: 586 Sq. ft. / 54.44 Sq. M length: 6.81 M Width: 8.0 M Height: 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units) **EXISTING** Front yard setback 11.27 (Set Backs of Principal Dwelling to Remain) Rear yard setback 15.27 (Set Backs of Principal Dwelling to Remain) Side yard setback 1.89 (Set Backs of Principal Dwelling to Remain) 1.26 (Set Backs of Principal Dwelling to Remain) Side yard setback **PROPOSED** Front yard setback 4.77 (Set Back of the New Garden suit to Principal Dwelling) Rear yard setback 3.05(Set Back of the New Garden suit from Property Line) Side vard setback 2.21 (Set Back of the New Garden suit from Property Line) Side yard setback 5.03 (Set Back of the New Garden suit from Property Line) 10. Date of Acquisition of subject land: Not Known 11. Existing uses of subject property: Two Dwelling Unit 12. Proposed uses of subject property: Two Dwelling Unit + Garden Suit 13. Existing uses of abutting properties: Residential - Detached 14. Date of construction of all buildings & structures on subject land: 1965 Length of time the existing uses of the subject property have been continued: 59 15. What water supply is existing/proposed? 16. (a) Municipal 回 Other (specify) Well What sewage disposal is/will be provided? Other (specify) Municipal

Other (specify)

Septic

Sewers Ditches

Swales

(c) What storm drainage system is existing/proposed?

17.		subject proposition or cons		bject of an a	pplication u	nder the	Planning A	Act, for	approval of a plan of
	Yes [No 🔽	4					
	If answ	er is yes, pro	ovide detai	ls: File#	ŧ			Status	·
18.	Has a p	re-consultat	ion applica	ation been fil	ed?				
	Yes		No 🔽	2					
19.	Has the	subject pro	perty ever	been the sul	bject of an ap	plication	for minor	varian	ce?
	Yes		No 🖸	Z	Unknown				
	If answ	er is yes, pro	ovide detai	ils:					
	Fil	e# e# e#	_ Decision	on			Relief Relief Relief		
						+	(malay)	H	
					Sig	nature of	Applicant(s	s) or Au	thorized Agent
DATI	ED AT T	HE City		OF	Brampton		, ipp(c	,, 0	anon_ou / igom
	5 5th		December	r	, 20 24				_
THE SUB	IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.								
I	, Haroon	Malik			_, OF TH	IE city		OF	Brampton
IN THE	Region	OF	Peel		SOLEMNLY	DECLAF	RE THAT:		
BELIEVIN OATH.	ED BEFO OF Region THI	BE TRUE AIDRE ME AT T	ND KNOW! HE OF DAY O	ING THAT IT Gagan a Com Provin for the City of Expir	IS OF THE S deep Jaswai S missioner, etc ice of Ontario, e Corporation of Brampton res Septembe	of the	RCE AND I	EFFEC	N CONSCIENTIOUSLY T AS IF MADE UNDER horized Agent
	_				FICE USE O	NLY			
		nt Official Pla							
Present Zoning By-law Classification: This application has been reviewed with respect to the variances required and the results of the									
	said review are outlined on the attached checklist.								
	-	Zon	ing Officer		_	-		Date	
		DA	TE RECEIV	ED D	ec. 13.	206	94		
	Co	Date Application	ation Deem	ned			7		Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton ca

LOCATION OF THE SUBJECT LAND: 46 Bromley Cros., Brampton, ON L6T 1Z1
I/We, Kuldip Singh & Jasvir Kaur Sekhon please print/type the full name of the owner(s)
bisess bringfile no initiative or ne-desired
the undersigned, being the registered owner(s) of the subject lands, hereby authorize
weDesignBuild Inc. c/o Haroon Malik
please print/type the full name of the agent(s)
to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.
Dated this sh day of December , 2024
Date tribati
Kuch Grap / Ano. Januiz Kawa Sephan
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)
(where the owner is a firm or corporation, please print or type the full name of the person signing.)
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

coa@brameton_ca

/We,	Kuldip Singh & Jasvir Kaur Sekhon
	please print/type the full name of the owner(s)
the City	ersigned, being the registered owner(s) of the subject land, hereby authorize the Members of of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon we noted property for the purpose of conducting a site inspection with respect to the attached ion for Minor Variance and/or consent.
Dated t	nis 5t h day of December , 2024
	nature of the owner[s], or where the owner is a firm or corporation the signature of an officer of the owner.)
(Sig	
(sig	

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

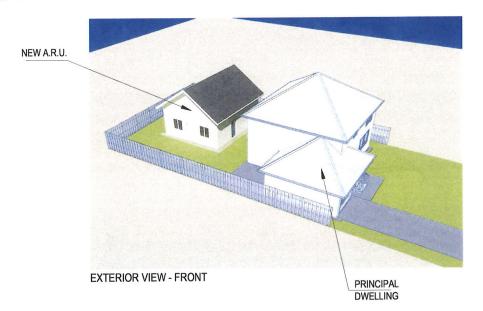
NEW ARU UNIT AT REAR YARD

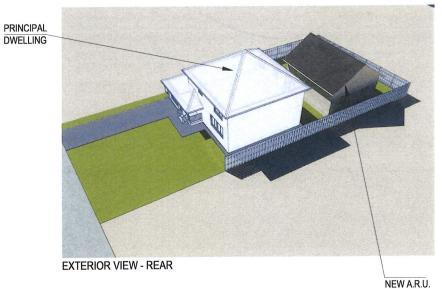
46 BROMLEY CRESCENT, BRAMPTON. ON L6T 1Z1

	LIST OF DRAWINGS	
Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	EXISTING SITE LAYOUT PLAN	A102
4	NEW SITE LAYOUT PLAN	A103
5	NEW ARU UNIT	A104
6	NEW ROOF PLAN	A105
7	NEW / FRONT ELEVATION	A106
8	NEW / LEFT SIDE ELEVATION	A107
9	NEW / RIGHT SIDE ELEVATION	A108
10	NEW / REAR ELEVATION	A109
11	NEW / SECTION -"A A"	A110
12	NEW / SECTION -"B B"	A111
13	WALL SECTION DETAIL	A112
14	NEW ARU ELECTRICAL PLAN	E101



LOCATION











weDesignBuild Inc.

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

NEW ARU / GARDEN

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE LIST OF DRAWINGS

PROJECT NO. 20230322

DRAWN M.N.

снескер Н.М.

A000

CONSTRUCTION NOTES

(1) EXTERIOR WALL (VINYL SIDING)
EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)

NTERIOR WALLS

- (2) NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- (ZA) INTERIOR PARTITIONS (PLUMBING & HVAC WALLS)
 38X140 (2"X6") STUDS @ 400mm (16") O.C. 2X TOP
 PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS,
 12.7mm (½") DRYWALL 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN
 CONC. AND WOOD
- 3 NEW CEILING

 3 NEW JULIAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY

 ABOVE. JOINTS TAPED AND SEALED AND PAINTED.

SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS

- FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON ENGINEERED
 - FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE).
 CONVENTIONAL FRAMING
 FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD
 - FINISHED FLOUR ON 22.201111 (1/a) TO NOVE AND SHOVE 0.5.15. 301 ECORT WHOSE FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE), PROVIDE SOLID BLOCKING @ 1200mm (3-11 ") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.
- NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)), 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.

MECHANICAL VENTILATION

- 6 50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP. 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST
- INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE)
 ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA
 INCLUDING BASEMENT AS PER OBC 9.10.19
- (8) INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3, & CAN/CSA-6.19

ALL STAIRS/EXTERIOR STAIRS

ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Table 9.8.4.1 Rise for Rectangular Treads, Tapered Treads & Winders and Run For Rectangular Treads Forming Part of Sentences 9.8.4.1 (1) and 9.8.4.2 (1)

Stair Type	Max. Rise,mm, for All Steps	Min. Rise,mm, for All Steps	Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950 (C).B.C. 9.8.2.)	Min. Width	860

GUARD/HANDRAIL 9.8.7.4

ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.

HAND RAIL @ LNT. LANDING

HAND RAIL @ LNT. STIAR = 865mm (2'-10")

GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")

HAND RAIL @ LNT. LANDING = 865mm (2'-10") HAND RAIL @ LNT. STIAR = 865mm (2'-10")

WOOD / METAL PICKETS < 100mm (4") BETWEEN

NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") & 900mm (2-11") ABOVE SURFACE WILL FACILITATE CLIMBING.

= 865mm (2'-10")

EXHAUST & VENTS:

PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.

12) CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS.
PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED
LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES
ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.

ROOF CONSTRUCTION

- (3) SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN, FINISH & SLOPE TO MATCH WITH EXISTING.
- PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- 16 MAINTAIN VENTILATION AS PER 9.19.1. OBC
- WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M² IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 ½"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSULATION
- ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- 19 PRE-FINISHED VINYL SOFFIT
- 20 38X140 (2"X6") WOOD FASCIA, ALUMINUM CLAD.
- PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- (23) REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- CERAMIC TILE WALLS, AND CEILING IN SHOWER CW PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(a) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- (25) CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 500X150 (20"X6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO BE 75 KPa
- (28) PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- PRE-CAST CONCRETE SILL.
- ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
- 32) MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB, 150X150 (9"X9") W.W.M. REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- (34) EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING * BEYOND EXTERIOR WALL

- (36) FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141,
 EMERGENCY LIGHTING EQUIPMENT AS PER OBC 9.9.12
- 38 EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF
- BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOE TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

GENERAL NOTES:

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Haroon Malik () 102

weDesignitudid Inc.



weDesignBuild Inc.

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
GENERAL NOTES

PROJECT NO. 20230322

DRAWN M.N. H.M.

DRAWING NO

A100

SCHEDULES

ROOM FINISH SCHEDULE

ROOM ROOM	FLO	OOR	BASE		W.	WALLS		CEILING		REMARKS	
NO. NAME	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	T.C.W.A.W.O	
NEW ARU	1						,				
1 LIVING/DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"		
2 BEDROOMS (2 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"		
3 BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"		

		DO	oors	AND W	INDOWS SCHE	JULE
NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
				DOC	RS	
D1	2'-8"X6'-8"	0"-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-6"X6'-8"	0'-0"	02	WOODEN DOOR	NEW BED ROOMS	
D4	2'-0"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
				WIND	OWS	
W1	4 - 0"X 4'-0"	2'-10"	04	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOMS	AS PER MANUFACTURER SPECS & STANDARDS
		-				

DOOR SCHEDULE NOTES

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS. 2- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

3- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3''ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	\$ ₃
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	GFI C WP
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	×
EXHAUST FAN	0
FD: FLOOR DRAIN	0
SPRINKLER	+
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
CO: CARBON MONOXIDE DETECTOR	⊗
LIGHT	Ø
EMERGENCY LIGHT	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	→A

WALL LEGEND

EXTERIOR WALL WITH VINYL SIDING

III

FRAME WALL CONSTRUCTION
FINSH AS PER ELEVATIONS
SHEATHING PAPER, LAYERS
TO OVERLAP FACH OTHER
EXTERIOR YIPE SHEATHING
26 WOOD STUDSE 400 O.C.
HY SEATHING A CONTINUOUS CONTACT
W/ SHEATHING A CONTINUOUS
VALUE OF THE SHEATHING
SOLE FALLER BOTTON
MITTEROR WALL SHISH MY 12° DRY WALL JONTS
TAPED AND SEALED

INTERIOR DRY WALL PARTITION



1\2" GYPSUM BOARD EACH SIDE OF 2"X4" OR 2"X6" SPRUCE STUDS @ 16" O.C.

NOTE:
PLEASE REFER WALL SECTION FOR DETAILS.
ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS
OTHERWISE NOTED.

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Name



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE

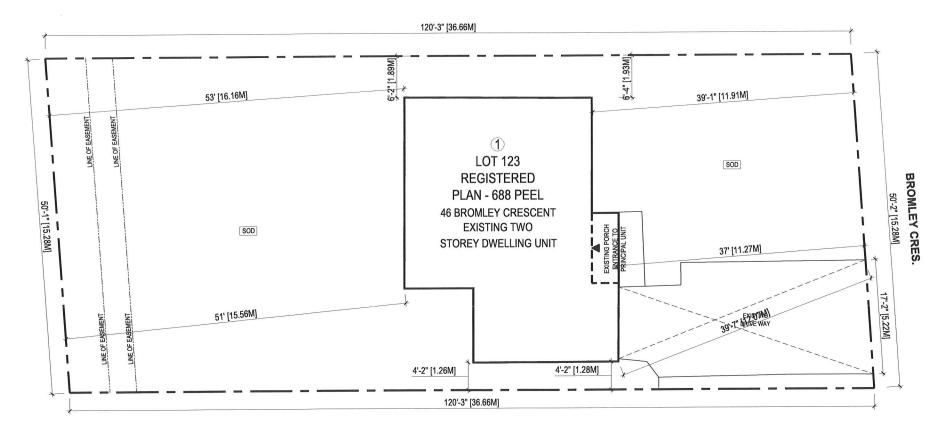
LEGENDS & DOOR
WINDOW SCHEDULES

PROJECT NO. 20230322

DRAWN M.N. H.M.

DRAWING NO.

A101



EXISTING SITE PLAN

SCALE : 32" = 1'-0"

GENERAL NOTES:





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PROJECT TITLE NEW ARU / GARDEN SUITE

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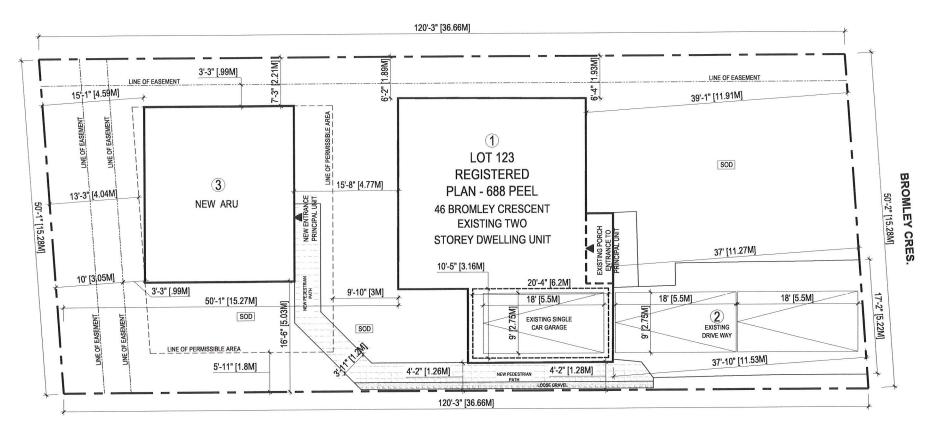
DRAWING TITLE EXISTING SITE PLAN

PROJECT NO. 20230322

DRAWN M.N.

H.M.

DATE MODIFIED



SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

2 EXISTING DRIVEWAY

▲ ENTRANCE / EGRESS

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1)
LOT NO: 123
PLAN NO: 688
LOT AREA: 558.81 M²
LOT FRONTAGE: 50'-2" = 15.28 M
LOT DEPTH: 120'-3" = 36.66 M

LOT COVERAGE STATISTICS

LOT AREA = 6015 SFT / 558.81 M²

EXISTING BUILDING LOT COVERAGE AREA = 1084 SFT / 100.70 M²

NEW A.R.U COVERED AREA = 586 SFT / 54.44 M²

NEW LOT COVERAGE AREA (INCLUDING NEW ARU) = 1670 SFT / 155.14 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE = 18.02 %

NEW LOT COVERAGE AREA = 27.76 %

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

NEW SITE PLAN

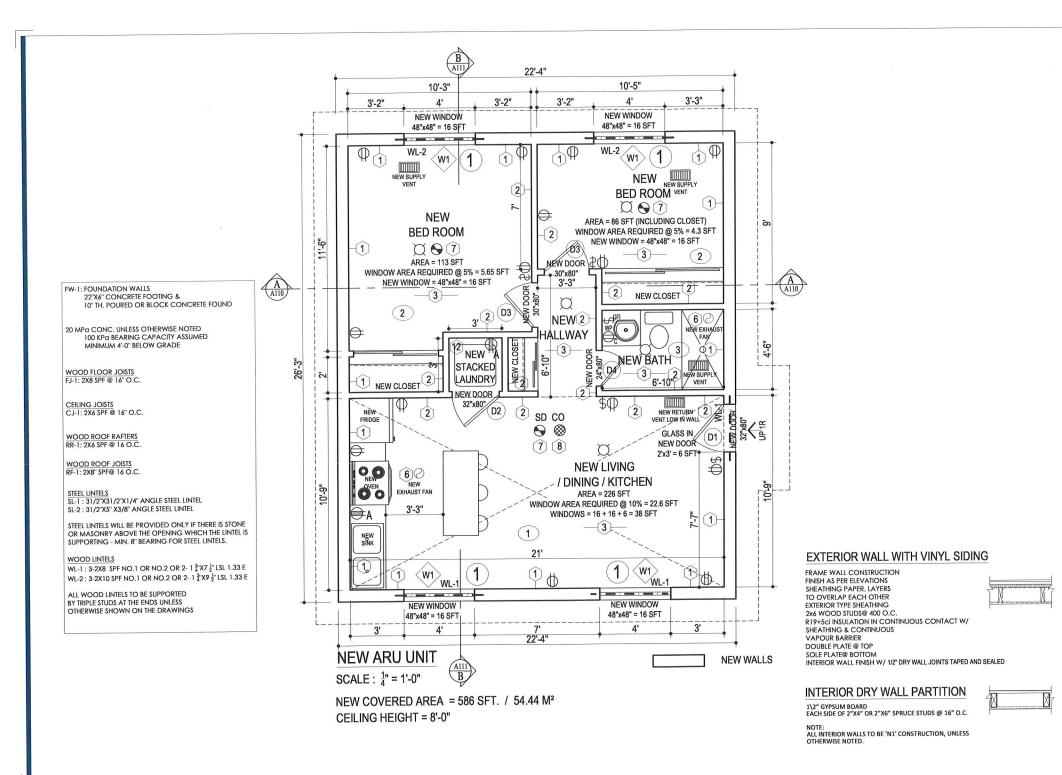
PROJECT NO. 20230322

DRAWN M.N. H.M.

DRAWING NO.

A103

MODIFIED DECEMBER 04, 2024



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW ARU UNIT

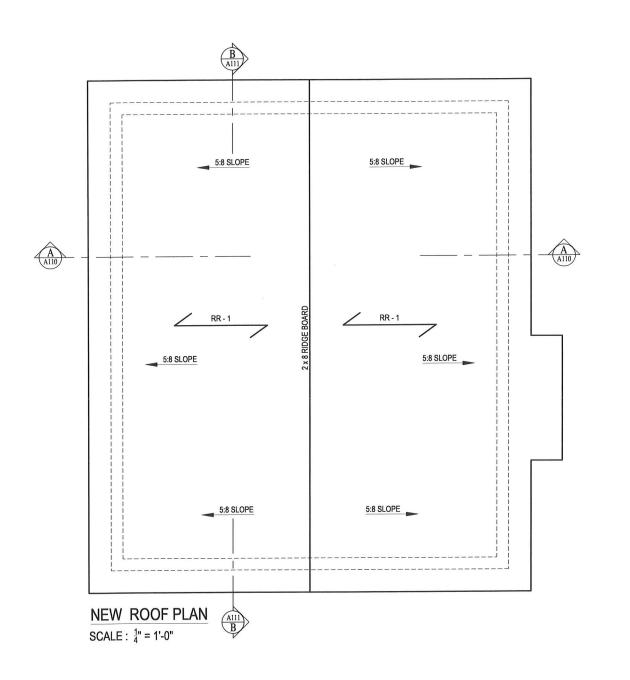
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

NEW ROOF PLAN

PROJECT NO. 20230322

M.N.

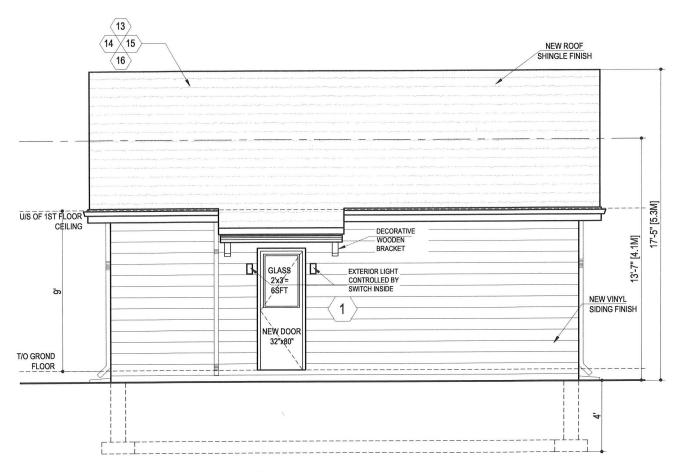
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DATE MODIFIED



NEW / FRONT ELEVATION

SCALE: 1 = 1'-0"

GLAZED OPENINGS:

WALL AREA: 253 SFT / 23.50 M² LIMITING DISTANCE = 25.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.34%)

WINDOW AREA ALLOWED: 100%

GENERAL NOTES:



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PROJECT TITLE

NEW ARU / GARDEN SUITE

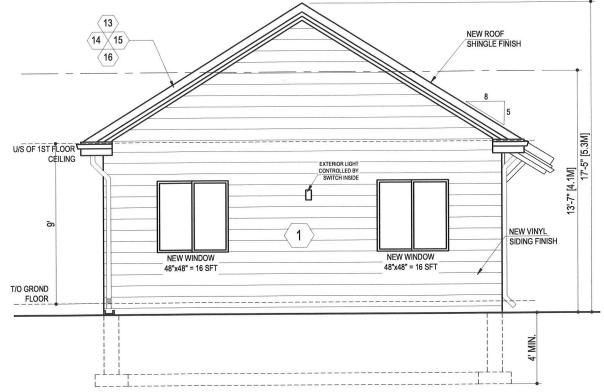
PROJECT ADDRESS 46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE **ELEVATION**

PROJECT NO. 20230322

DRAWN M.N.

H.M.



NEW / LEFT SIDE ELEVATION

SCALE : 1" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M² LIMITING DISTANCE = 5.05 M

WINDOW AREA PROVIDED: 16+ 16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 67%

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Haroon Malik (Light 1)

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

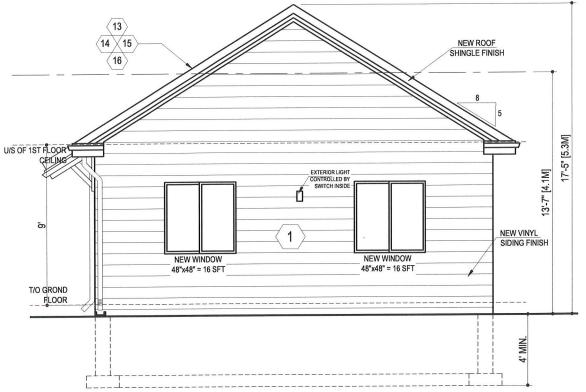
DRAWING TITLE
ELEVATION

PROJECT NO. 20230322

DRAWN M.N. H.M.

DRAWING NO.

A10



NEW / RIGHT SIDE ELEVATION

SCALE : \frac{1}{4}" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 256 SFT / 23.78 M² LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16+16 = 32 SFT / 2.97 M² (12.48%)

WINDOW AREA ALLOWED: 17%

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Harron Malik 10274

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
ELEVATION

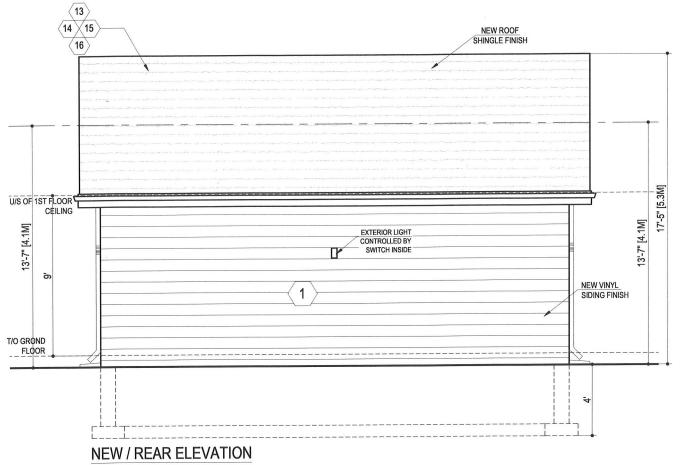
PROJECT NO. 20230322

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H.M.

DRAWING NO.

A10



SCALE : ¹/₄" = 1'-0"







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PROJECT TITLE
NEW ARU / GARDEN SUITE

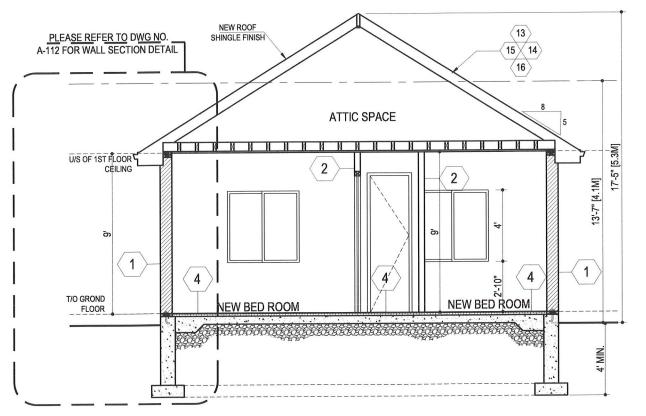
PROJECT ADDRESS
46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE ELEVATION

PROJECT NO. 20230322

DRAWN M.N.

H.M.



SECTION "A-A"

SCALE : 1/4" = 1'-0"

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WHITTEN DEMENSIONS AND SPECIFIC HOTES SWA ACE PRECEDENCY OWNS SACIAL DEMENSIONS AN UNDERAN MOTES, THE DESIGNER SHALL BE CONSULT ON CASPINCTION & THE SITE CONSISTION SCOUNTERED ARE DEPENDENT THAN SHOWN IN IT WE NOTES, OIF FOR QUESTION ARRESS OVER THE INTER-TION OF THE PROPERTY OF THE INTER-TION SHALL BE SERVISIBLE FOR ALL, GIORDISO DO SHALL BE SERVISIBLE FOR ALL, GIORDISO WHICH CASPING AND SHALL WE SHALL

PROJECT NORTH TRUE NORTH

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Haroon Malik Name

REGISTRATION INFORMATION
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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

SECTION A"-A"

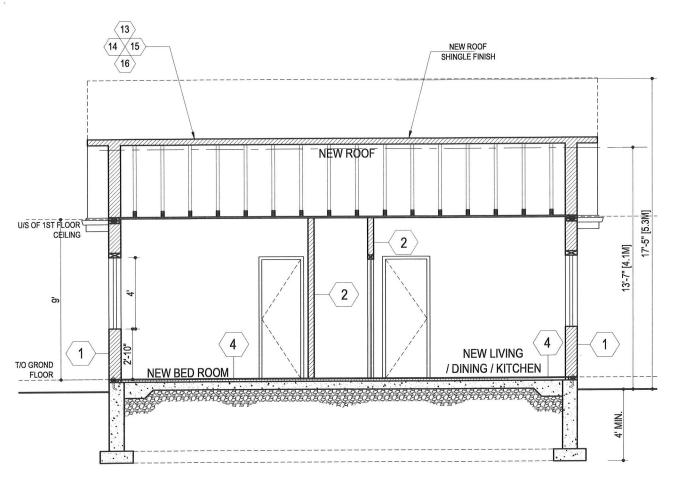
PROJECT NO. 20230322

DRAWN M.N. снескер Н.М.

DRAWING NO.

A110

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SECTION "B-B"

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REGISTRATION INFORMATION

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION B"-B"

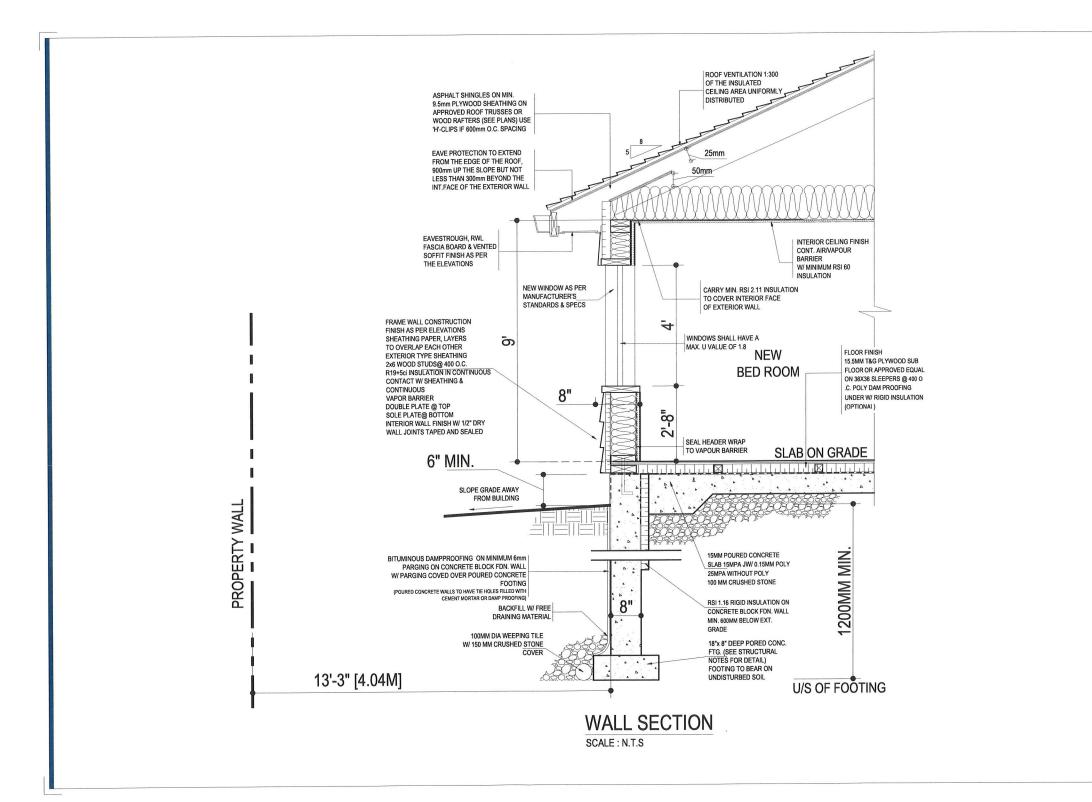
PROJECT NO. 20230322

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THE BULLDER SHALL VERBY THAT SITE CONDITIONS AS CONSISTENT WITH THE INCOMMATION PROVIDED IN THESE DIAWNINGS BEFORE START OF ANY JOR AT SITE WORK NOT SECRETICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SINLAR WORK, ALL WORKS SHALL BE DOME IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & BESPECTIVE CITY'S

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REGISTRATION INFORMAT

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTIONAL DETAIL

PROJECT NO. 20230322

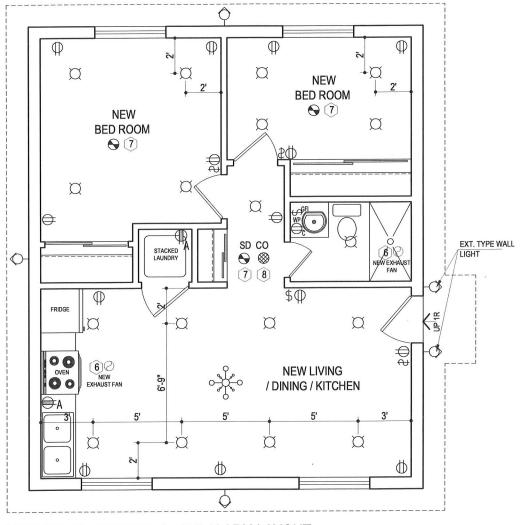
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ELECTRICAL LEGEND

NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4	\$3	CHANDELIER (AS APPROVED)	~ } }
DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	4	48" LED LINEAR WRAP LIGHT, 30W	
WEATHERPROOF RECEPTACLE 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3"ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR EXTERIOR USE.		EXHAUST FAN	0
	→ WP	SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
		CO: CARBON MONOXIDE DETECTOR	\otimes
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE	GFI C WP	4" RECESSED POT LIGHT	Ø
C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	C WP	PENDANT LIGHT	#
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕ _A	EXTERIOR TYPE WALL MOUNTED LIGHT	$\vdash \Diamond$

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PROJECT TITLE NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

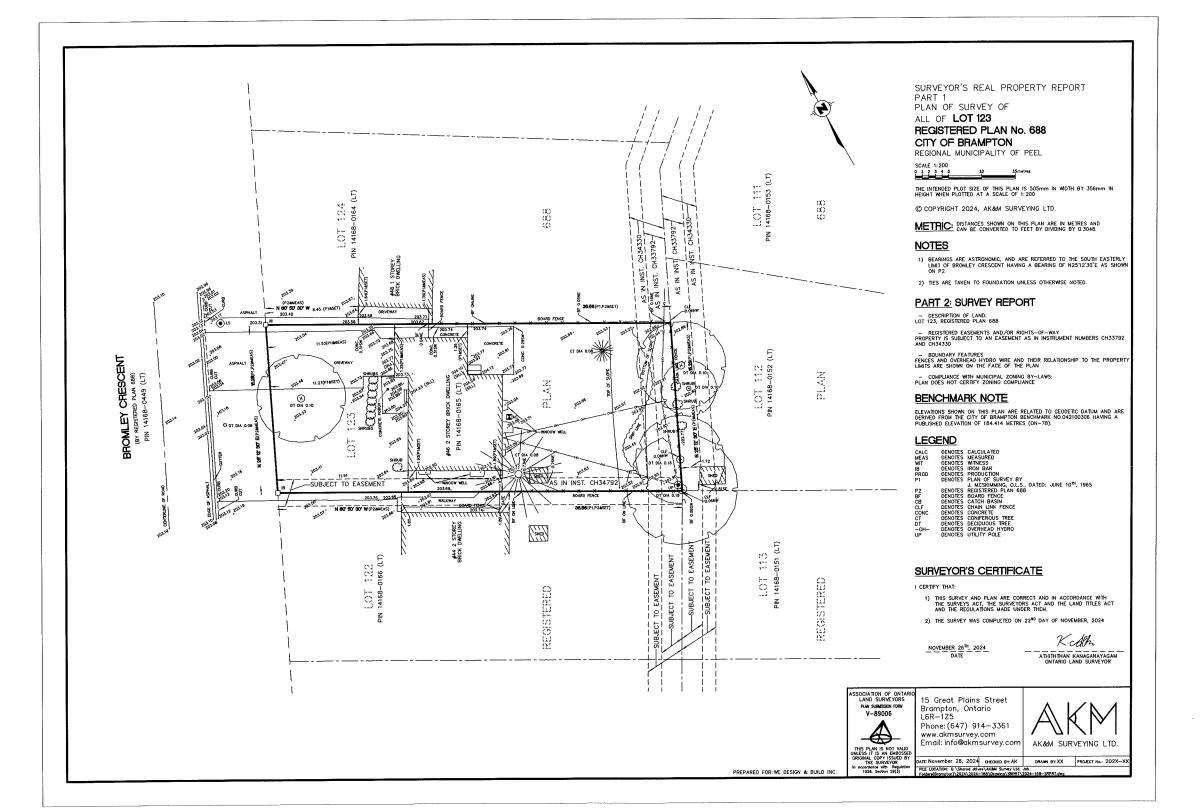
DRAWING TITLE **NEW ARU UNIT ELECTRICAL PLAN**

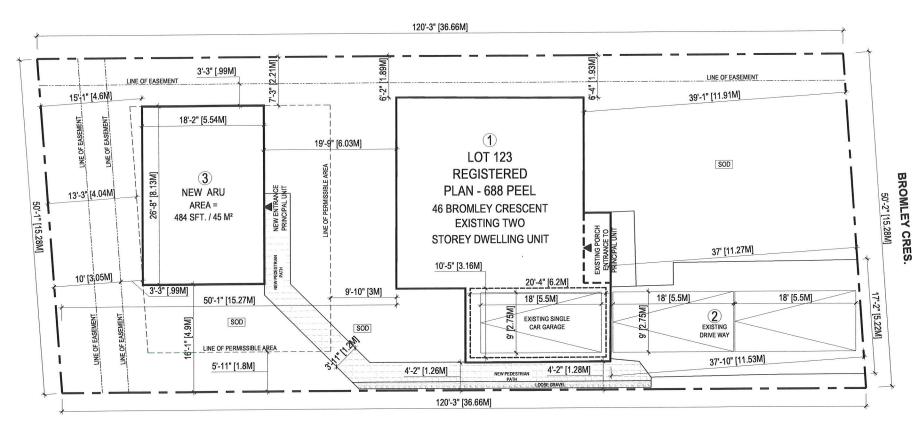
PROJECT NO. 20230322

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DRAWING NO.





NEW SITE PLAN

SCALE : $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

▲ ENTRANCE / EGRESS

(2) EXISTING DRIVEWAY

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1) 123 LOT NO: 688 PLAN NO: 558.81 M² LOT AREA: LOT FRONTAGE: 50'-2" = 15.28 M LOT DEPTH: 120'-3" = 36.66 M

LOT COVERAGE STATISTICS

= 6015 SFT / 558.81 M² LOT AREA EXISTING BUILDING LOT COVERAGE AREA = 1084 SFT / 100.70 M² = 484 SFT / 45.00 M² NEW A.R.U COVERED AREA

NEW LOT COVERAGE AREA (INCLUDING NEW ARU) = 1568 SFT / 145.70 M²

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE	= 18.02 %
NEW LOT COVERAGE AREA	= 26.07 %

GENERAL NOTES:

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE **NEW SITE PLAN**

PROJECT NO. 20230322

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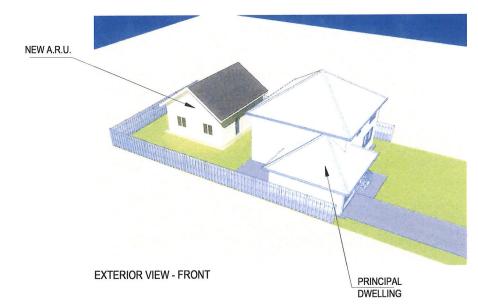
NEW ARU UNIT AT REAR YARD

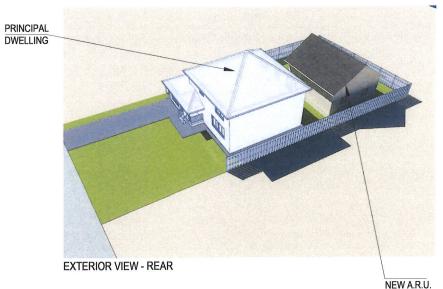
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0.11	DECODIDATION	DMC#
Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	EXISTING SITE LAYOUT PLAN	A102
4	NEW SITE LAYOUT PLAN	A103
5	NEW ARU UNIT	A104
6	NEW ROOF PLAN	A105
7	NEW / FRONT ELEVATION	A106
8	NEW / LEFT SIDE ELEVATION	A107
9	NEW / RIGHT SIDE ELEVATION	A108
10	NEW / REAR ELEVATION	A109
11	NEW / SECTION -"A A"	A110
12	NEW / SECTION -"B B"	A111
13	WALL SECTION DETAIL	A112
14	NEW ARU ELECTRICAL PLAN	E101



LOCATION





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THE BULDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & STANDARDS THAT ARE MEDICAL BE DONE IN ACCORDANCE WITH VOINTS SHALL BE DONE IN ACCORDANCE WITH TOWNING BY A WAS AND STANDARDS.

WRITTIN DIMERSIONS AND SPECIFIC NOTES SHAT YARE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNES SHALL BE CONSULT FOR CLARIFICATION. IF THE STIE CONSULT DISCOUNTERED ARE DIFFERENT FROM SHAPE IN THE CONTINUE OF THE PLANS OR NOTES, OF THE STIE OF HITE PLANS OR NOTES, CONTRACTOR SHALL VERB AND SHALL BE RESPONSIBLE FOR ALL DIMENSION DISCOUNT THE INTERPRETATION OF ALL DIMENSION DISCOUNT PROBLEMS OF THE PLANS OR NOTES, CONTRACTOR SHALL VERB AND SHALL BE RESPONSIBLE FOR ALL DIMENSION DISCOUNTS OR ALL DIMENSION DISCOUNTS OF THE PLANS OR NOTES. CONTRACTOR SHALL VERB AND SHALL BE RESPONSIBLE FOR ALL DIMENSION DISCOUNTS OF THE PLANS OR NOTES. THE PLANS OF THE PLANS OR NOTES. THE PLANS OF THE PLANS OR NOTES. THE PLANS OF THE PLA

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REGISTRATION INFORMATION
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WeDesign Build Inc. 111



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PROJECT TITL

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
LIST OF DRAWINGS

PROJECT NO. 20230322

DRAWN M.N.

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CONSTRUCTION NOTES

EXTERIOR WALL (VINYL SIDING) EXTERIOR WALL WITH VINYL SIDING FINISH. (SEE WALL LEGEND FOR DETAILED SPECS.)

- NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- INTERIOR PARTITIONS (PLUMBING & HVAC WALLS) 38X140 (2"X6") STUDS @ 400mm (16") O.C. 2X TOP PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS, 12.7mm (½") DRYWALL - 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN CONC. AND WOOD

1/2" REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY (16) ABOVE. JOINTS TAPED AND SEALED AND PAINTED.

SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS

FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON

FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE). CONVENTIONAL FRAMING

FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID BLOCKING @ 1200mm (3'-11") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.

NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)), 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.

MECHANICAL VENTILATION

- 50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP. 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE)
- ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA INCLUDING BASEMENT - AS PER OBC 9.10.19
- INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19

ALL STAIRS/EXTERIOR STAIRS

ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW

Rise for Rectangular Treads, Tapered Treads & Winders and Run For Rectangular Treads Forming Part of Sentences 9 8 4 1 (1) and 9 8 4 2 (1)

Stair Type	Max. Rise,mm, for All Steps	Min. Rise,mm, for All Steps	Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950 (0	D.B.C. 9.8.2.)	Min. Width	860

GUARD/HANDRAIL 9.8.7.4

ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.

HAND RAIL @ LNT. LANDING

= 865mm (2'-10") HAND RAIL @ LNT. STIAR = 865mm (2'-10")

GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")

HAND RAIL @ LNT. LANDING = 865mm (2'-10")

HAND RAIL @ LNT. STIAR = 865mm (2'-10")

WOOD / METAL PICKETS < 100mm (4") BETWEEN NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm

(4") & 900mm (2'-11 ") ABOVE SURFACE WILL FACILITATE CLIMBING.

- **EXHAUST & VENTS:**
- PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN. BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.
- CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS. PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.

ROOF CONSTRUCTION

- SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN, FINISH & SLOPE TO MATCH WITH EXISTING.
- PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1:300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- MAINTAIN VENTILATION AS PER 9.19.1. OBC
- WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M2 IN AREA WITH NO DIMENSION LESS THAN 545 mm. (21 1/2"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSULATION.
- ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- (19) PRE-FINISHED VINYL SOFFIT
- (20) 38X140 (2"X6") WOOD FASCIA, ALUMINUM CLAD.
- PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- CERAMIC TILE WALLS, AND CEILING IN SHOWER C/W PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(q) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 500X150 (20"X6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO **(27)** BE 75 KPa
- PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS. (28)
- (29) PRE-CAST CONCRETE SILL.
 - ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
- MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB, 150X150 (9"X9") W.W.M. REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE & DEADBOLT LOCK.
- WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING \S^n BEYOND EXTERIOR WAIT

- (36) FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* - AS PER OBC 9.9.12
- EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF
- BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOE TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

GENERAL NOTES:

REV	DATE	DESCRIPTION





REGISTRATION INFORMATION 111001 BON



weDesignBuild Inc.

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **GENERAL NOTES**

PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

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SCHEDULES

ROOM FINISH SCHEDULE

ROOM ROOM NO. NAME	OM	FLC	OOR	В	ASE	W	ALLS	CEILIN	G		REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	KLWAKKO	
NEW ARU	J										
1 LIVING/I	/DINING/KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	
2 BEDRO	OOMS (1 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	
3 ВАТН		CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	9'-0"	

		DO	oors	AND W	INDOWS SCHEI	DULE
NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
				DOO	RS	
D1	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	NEW MAIN ENTRANCE	AS PER MANUFACTURER SPECS & STANDARDS
D2	2'-8"X6'-8"	0'-0"	01	WOODEN DOOR	LAUNDRY	
D3	2'-6"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BED ROOM	
D4	2'-0"X6'-8"	0'-0"	01	WOODEN DOOR	NEW BATH	
D5	2'-9"X6'-8"	0'-0"	01	WOODEN DOOR	CLOSET	
				WIND	ows	
W1	4'-0"X 4'-0"	2" - 10"	02	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOM	AS PER MANUFACTURER SPECS & STANDARDS
W2	4'-0"X 4'-0"	2'-10"	02	ALUMINUM WINDOW	NEW LIVING / DINNING / KITCHEN & BED ROOM	AS PER MANUFACTURER SPECS & STANDARDS
_						

DOOR SCHEDULE NOTES

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS. 2- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

3- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGENDS

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	\$ ₃
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	GFI C WP
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	×
EXHAUST FAN	0
FD: FLOOR DRAIN	0
SPRINKLER	+
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	•
CO: CARBON MONOXIDE DETECTOR	⊗
LIGHT	Ø
EMERGENCY LIGHT	5
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	⊕A

WALL LEGEND

EXTERIOR WALL WITH VINYL SIDING

FRAME WALL CONSTRUCTION
FINSH AS PER ELEVATIONS
SHEATHING PAPEL, LYTERS
TO OVERLAP EACH OTHER
EXTERIOR YIPS SHEATHING
26 WOOD STUDSE 400 O.C.
HY SECRETARIAN CONTINUOUS CONTACT
WY SHEATHING & CONTINUOUS
OUBLE FLAKE & DOP
SOLE PLAKE & BOTTOM
INTERIOR WALL FINISH WY 1/2" DRY WALL JONTS
TAPED AND SEALED

INTERIOR DRY WALL PARTITION



1\2" GYPSUM BOARD EACH SIDE OF 2"X4" OR 2"X6" SPRUCE STUDS @ 16" O.C.

NOTE: PLEASE REFER WALL SECTION FOR DETAILS. ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS OTHERWISE NOTED.

GENERAL NOTES:

REV DATE DESCRIPTION

PROJECT NORTH



weDesignBuild Inc. MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9 (647) 770 3230 info@weDesignBuild.ca www.weDesignBuild.ca

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE

LEGENDS & DOOR WINDOW SCHEDULES

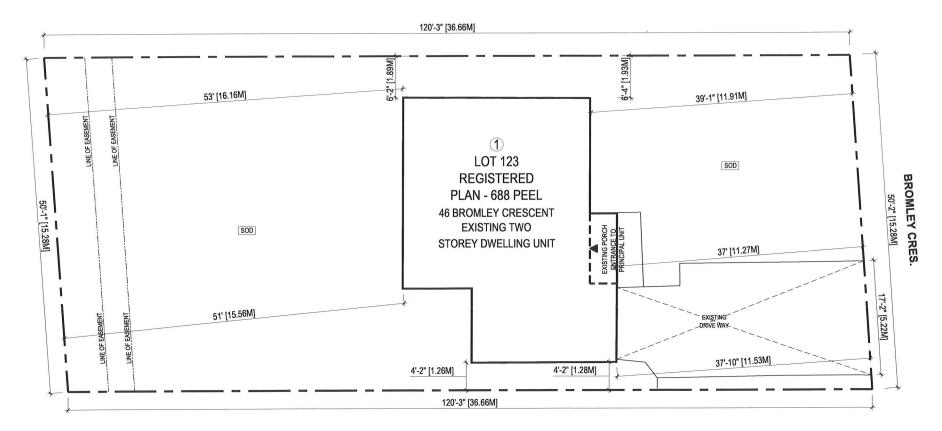
PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

A101

DATE MODIFIED



EXISTING SITE PLAN

SCALE : 3/32" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
EXISTING SITE PLAN

PROJECT NO. 20230322

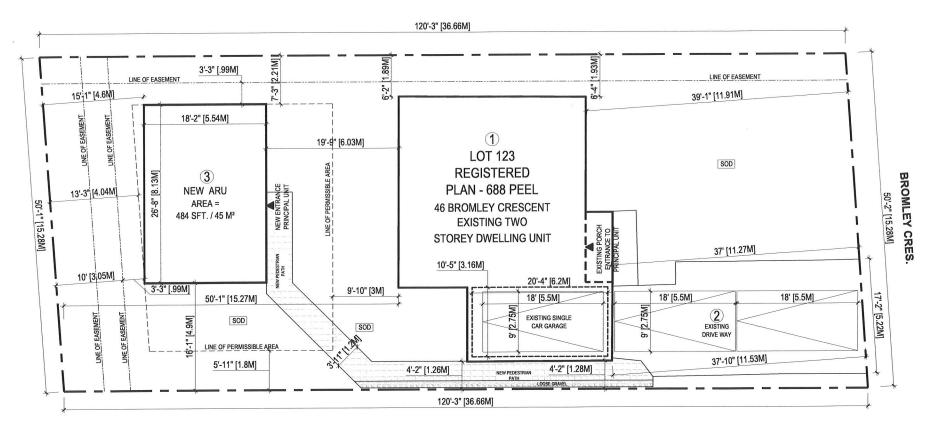
DRAWN M.N.

CHECKED H.M.

DRAWING NO.

A102

TE MODIFIED



NEW SITE PLAN

SCALE: $\frac{3}{32}$ " = 1'-0"

SCOPE OF WORK

NEW A.R.U UNIT IN THE REAR YARD

1 EXISTING TWO STOREY DWELLING TO REMAIN

(2) EXISTING DRIVEWAY

▲ ENTRANCE / EGRESS

(3) NEW ARU

LOT STATISTICS

ZONING: R1B (1) 123 LOT NO: PLAN NO: 558.81 M² LOT AREA: LOT FRONTAGE: 50'-2" = 15.28 M 120'-3" = 36.66 M LOT DEPTH:

LOT COVERAGE STATISTICS

LOT AREA = 6015 SFT / 558.81 M² EXISTING BUILDING LOT COVERAGE AREA = 1084 SFT / 100.70 M² = 484 SFT / 45.00 M² NEW A.R.U COVERED AREA = 1568 SFT / 145.70 M² NEW LOT COVERAGE AREA (INCLUDING NEW ARU)

MAXIMUM BUILDING LOT COVERAGE ALLOWED = 30 %

EXISTING LOT COVERAGE	= 18.02 %
NEW LOT COVERAGE AREA	= 26.07 %

GENERAL NOTES:

DATE DESCRIPTION







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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS 46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **NEW SITE PLAN**

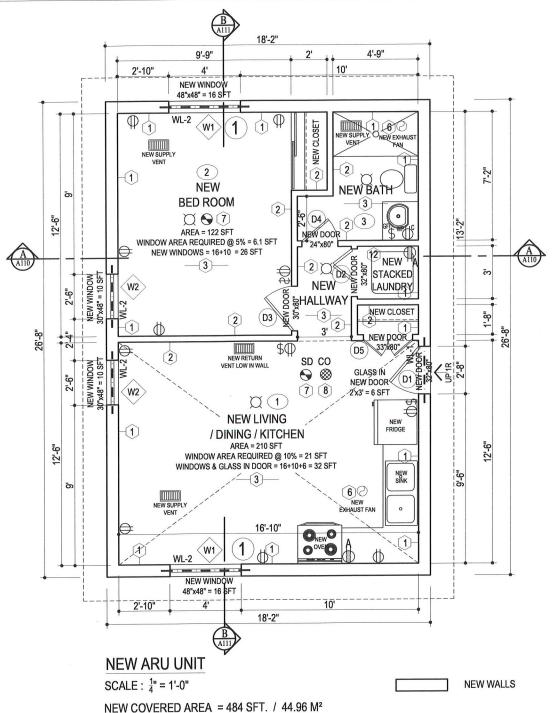
PROJECT NO. 20230322

DRAWN M.N.

CHECKED H.M.

DRAWING NO.

A103



CEILING HEIGHT = 8'-0"

EXTERIOR WALL WITH VINYL SIDING

FRAME WALL CONSTRUCTION
FINISH AS PER ELEVATIONS
SHEATHING PAPER, LAYERS
TO OVERLAP EACH OTHER
EXTERIOR TYPE SHEATHING
2/6 WOOD STUIDS® 400 O.C.
R19+5ci INSULATION IN CONTINUOUS CONTACT W/
SHEATHING & CONTINUOUS
VAPOUR BARRIER
DOUBLE PLATE® TOP
SOLE PLATE® TOP
SOLE PLATE® BOTTOM
INTERIOR WALL FINISH W/ 1/2° DRY WALL JOINTS TAPED AND SEALED

INTERIOR DRY WALL PARTITION

1\2" GYPSUM BOARD EACH SIDE OF 2"X4" OR 2"X6" SPRUCE STUDS @ 16" O.C.

NOTE: ALL INTERIOR WALLS TO BE 'N1' CONSTRUCTION, UNLESS OTHERWISE NOTED.

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QUALIFICATION INFORMATION

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
NEW ARU UNIT

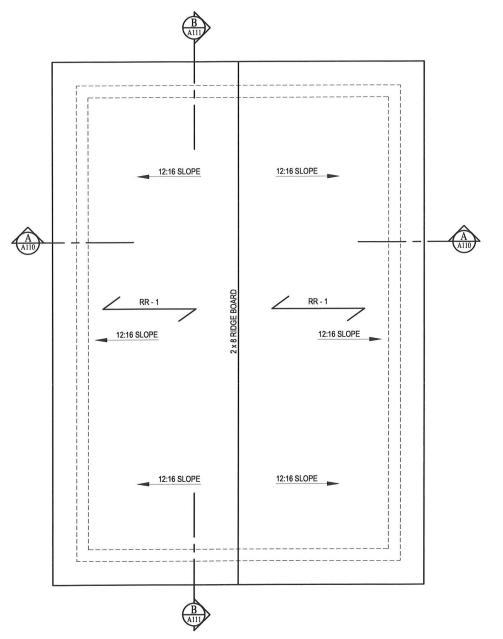
PROJECT NO. 20230322

DRAWN M.N. H.M.

DRAWING NO.

A104

DATE MODIFIED FEBRUARY 08, 2024



NEW ROOF PLAN

SCALE : ¹/₄" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

NEW ROOF PLAN

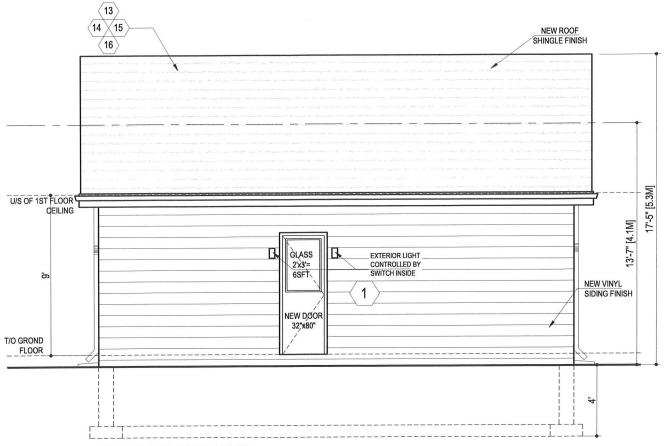
PROJECT NO. 20230322

DRAWN CHECKED H.M.

DRAWING

A105

DATE MODIFIED



NEW FRONT ELEVATION

SCALE : 1/4 = 1'-0"

GLAZED OPENINGS:

WALL AREA: 257 SFT / 23.87 M² LIMITING DISTANCE = 26.37 M

WINDOW AREA PROVIDED: 6 = 6 SFT / 0.55 M² (2.30%)

WINDOW AREA ALLOWED: 100%

GENERAL NOTES:



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PROJECT TITLE

NEW ARU / GARDEN SUITE

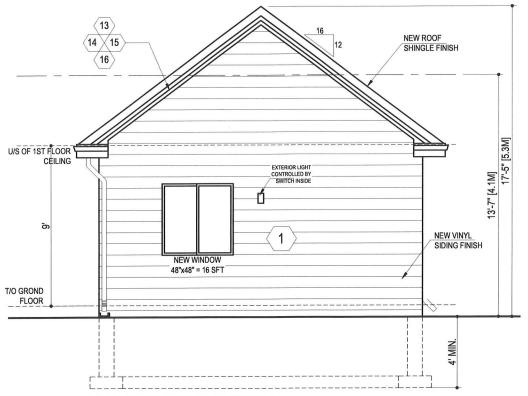
PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE ELEVATION

PROJECT NO. 20230322

DRAWN CHECKED M.N.

A106



NEW LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 235 SFT / 21.83 M² LIMITING DISTANCE = 4.9 M

WINDOW AREA PROVIDED: 16 = 16 SFT / 1.48 M² (6.77%)

WINDOW AREA ALLOWED: 45%

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Name REGISTRATION INFORMATION

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
ELEVATION

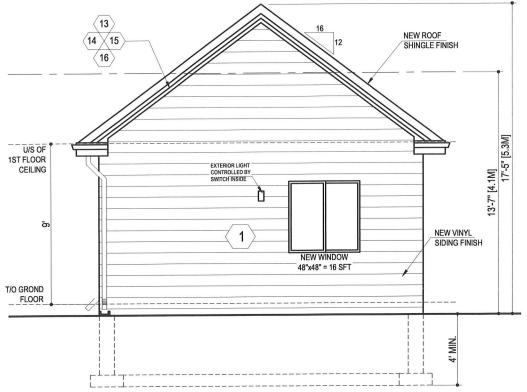
PROJECT NO. 20230322

DRAWN M.N. СНЕСКЕВ

DRAWING NO.

A107

DATE MODIFIED



NEW RIGHT SIDE ELEVATION

SCALE : \frac{1}{4}" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 235 SFT / 21.83 M² LIMITING DISTANCE = 2.21 M

WINDOW AREA PROVIDED: 16 = 16 SFT / 1.48 M2 (6.77%)

WINDOW AREA ALLOWED: 17%

GENERAL NOTES:

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. BRAMPTON

DRAWING TITLE **ELEVATION**

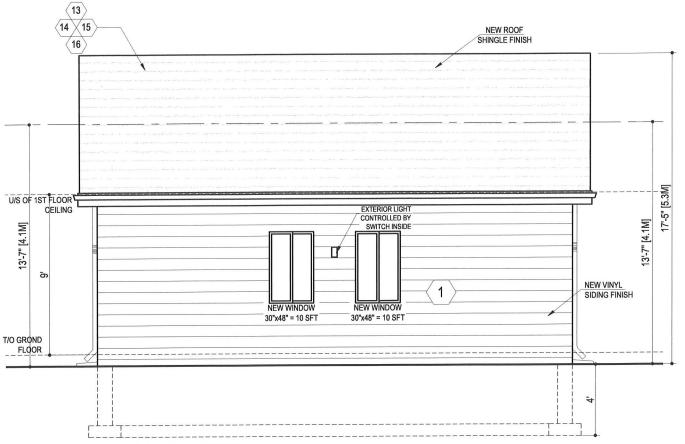
PROJECT NO. 20230322

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CHECKED H.M.

A108

DATE MODIFIED



NEW REAR ELEVATION

SCALE : 1/4" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 257 SFT / 23.87 M² LIMITING DISTANCE = 4.04 M

WINDOW AREA PROVIDED: 10+10 = 20 SFT / 1.85 M² (7.75%)

WINDOW AREA ALLOWED: 45%

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
ELEVATION

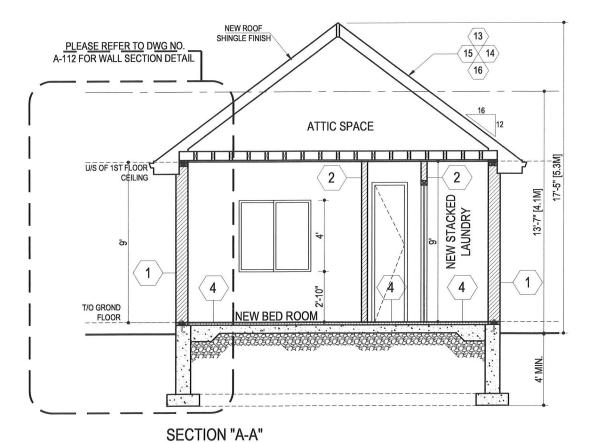
PROJECT NO. 20230322

DRAWN M.N. снескер

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A109

DATE MOD



SCALE : ¹/₄" = 1'-0"

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTION A"-A"

PROJECT NO. 20230322

DRAWN M.N.

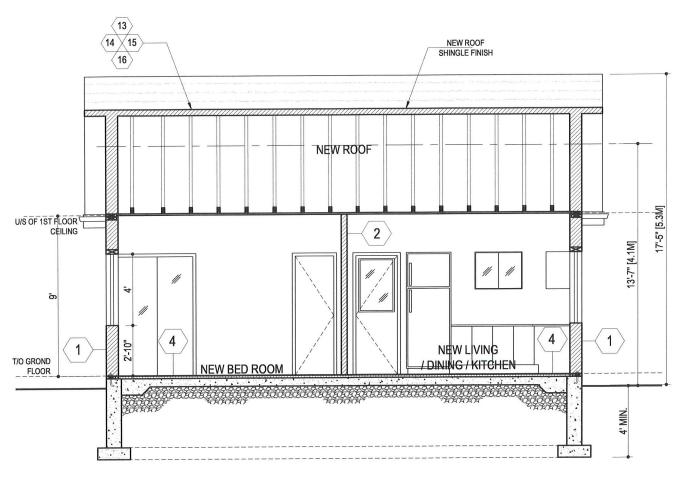
DRAWING NO.

A110

DATE MODIFIED

FEBRUARY 08, 2024

снескер Н.М.



SECTION "B-B"

SCALE: 1" = 1'-0"

GENERAL NOTES:

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE SECTION B"-B"

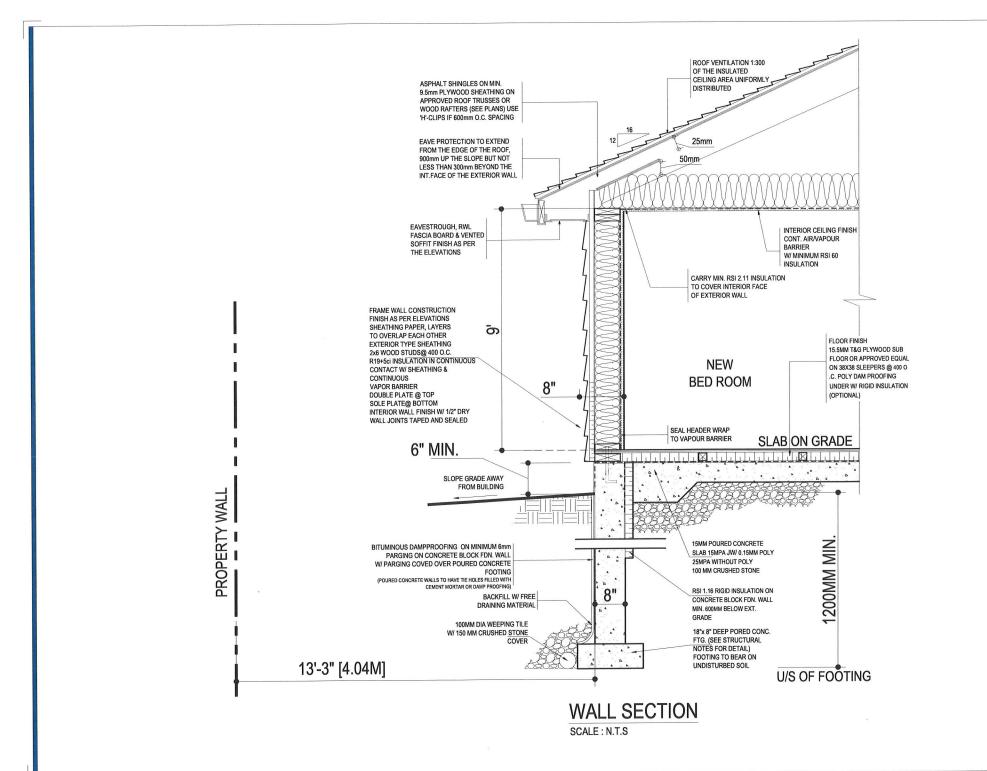
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WeDesignBuild Inc. 1110



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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES.
BRAMPTON

DRAWING TITLE
SECTIONAL DETAIL

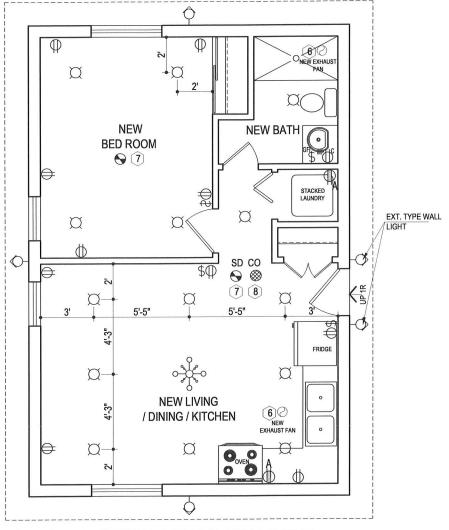
PROJECT NO. 20230322

DRAWN M.N. CHECKED H.M.

DRAWING N

A112

DATE MODIFIED



ELECTRICAL LEGEND

NEW ARU ELECTRICAL & FIRE ALARM LAYOUT

3 OR 4 WAY SWITCH INSTALL AT 3'-3"ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4	\$ ₃	CHANDELIER (AS APPROVED)	~ }
DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	4	48" LED LINEAR WRAP LIGHT, 30W	
WEATHERPROOF RECEPTACLE 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE .INSTALL AT 3'-3"ABOVE FINISH LEVEL , MEETS ALL STANDARDS FOR		EXHAUST FAN	0
	₩P	SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	Θ
EXTERIOR USE.		CO: CARBON MONOXIDE DETECTOR	\otimes
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE	GFI WP	4" RECESSED POT LIGHT	X
C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	C WP	PENDANT LIGHT	#
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	\bigoplus_{A}	EXTERIOR TYPE WALL MOUNTED LIGHT	\mapsto

GENERAL NOTES:

PROJECT NORTH



weDesignBuild Inc.

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PROJECT TITLE

NEW ARU / GARDEN SUITE

PROJECT ADDRESS
46 BROMLEY CRES. **BRAMPTON**

DRAWING TITLE **NEW ARU UNIT**

ELECTRICAL PLAN
PROJECT NO.
20230322

DRAWN M.N.

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DRAWING NO.

E101

DATE MODIFIED

Zoning Non-compliance Checklist

File		
A	-2024	-0458

Applicant: Haroon Malik Address: 46 Bromley Cres

Zoning: R1B(1), Mature Neighbourhood

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
GARDEN SUITE	To permit a proposed garden suite having a gross floor area of 54.44 sq. m,	whereas the by-law permits a maximum gross floor area of 35 sq. m for a garden suite in all other Residential zones.	10.16.2 (c)
SCHEDULE "C"			
OTHER - DECK			

Sniza Atnar	
Reviewed by Zoning	
2024/12/09	
Date	