

FILE NUMBER: A-2025-0017

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Santhakumar Subramaniam/Santhakumar Kalanithy
Address 45 Turquoise Cres., Brampton, ON L6P2R3

Phone # 416 889 6323 Fax # _____
Email thripuran.santhakumar@gmail.com

2. Name of Agent Valiuddin Mohammed/Mechways Inc.
Address 6 Ripon St., Mississauga, ON L4T 1E2

Phone # 416 627 4100 Fax # _____
Email info@mechways.com

3. Nature and extent of relief applied for (variances requested):
To seek relief from zoning by law to allow a minimum rear yard set back of 4.73m whereas 7.5m is required.

4. Why is it not possible to comply with the provisions of the by-law?
The minimum required rear yard setback for this lot is 7.5m,which may be reduced to a minimum of 6m provided that the area of the rear yard is atleast 25% of the minimum required lot area. The proposed rear yard setback is 4.73m. Hence seeking relief for this difference.

5. Legal Description of the subject land: LOT 25
Lot Number _____
Plan Number/Concession Number PLAN M1712
Municipal Address 45 Turquoise Cres., Brampton, ON L6P2R3

6. Dimension of subject land (in metric units)
Frontage 11.06m
Depth 30.66m
Area 339.09 sqm

7. Access to the subject land is by:
Provincial Highway _____ Seasonal Road _____
Municipal Road Maintained All Year _____ Other Public Road _____
Private Right-of-Way _____ Water _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area - 120.02 sqm
Gross Floor Area -238.14 sqm
Number of Storeys-2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area - 120.02 sqm
Gross Floor Area - 238.14 sqm
Number of Storeys-2

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.01m
Rear yard setback	4.91m
Side yard setback	0.92m
Side yard setback	0.62m

PROPOSED

Front yard setback	6.01m
Rear yard setback	4.73m
Side yard setback	0.92m
Side yard setback	0.62m

0. Date of Acquisition of subject land:	April 2007
1. Existing uses of subject property:	Residential
2. Proposed uses of subject property:	Residential
3. Existing uses of abutting properties:	Residential
4. Date of construction of all buildings & structures on subject land:	February 2007
5. Length of time the existing uses of the subject property have been continued:	Since construction

16. (a) What water supply is existing/proposed?	
<input checked="" type="checkbox"/> Municipal	Other (specify) _____
<input type="checkbox"/> Well	
(b) What sewage disposal is/will be provided?	
<input checked="" type="checkbox"/> Municipal	Other (specify) _____
<input type="checkbox"/> Septic	
(c) What storm drainage system is existing/proposed?	
<input checked="" type="checkbox"/> Sewers	Other (specify) _____
<input type="checkbox"/> Ditches	
<input type="checkbox"/> Swales	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

S. Santhakumaran

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 31 DAY OF 01, 2025

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE city OF Mississauga

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city OF Toronto

IN THE province OF

Ontario THIS 23rd DAY OF

January, 2025.

Notary

A Commissioner etc.

S. Santhakumaran

Digitally signed by Valiuddin Mohammed
DN: cn=Valiuddin Mohammed, o=CA, ou=Mechways Inc., email=info@mechways.com
Date: 2025.01.23 12:19:27 -0500
Valiuddin Mohammed



Signature of Applicant or Authorized Agent

Rameshbhai Somabhai Patel
Ramesh Patel & Associates Lawyers
Professional Corporation
127 Westmore Dr. Unit 8 101,
Toronto, ON, M9V 3Y6
Tel: 416-742-2999 Fax: 416-742-3888
mail@rplawoffice.net

FOR OFFICE USE ONLY

Present Official Plan Designation:

Residential R1D-1812

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato
Zoning Officer

January 27, 2025
Date

DATE RECEIVED

Jan 31 / 2025
KB

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 45 Turquoise Cres., Brampton, ON L6P2R3

I/We, Santhakumar Subramaniam, Kalanithy Santhakumar
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Valiuddin Mohammed/Mechways Inc.

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application
for **minor variance** with respect to the subject land.

Dated this day of , 20__.

S. Santhakuma

S. Kalanithy

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 45 Turquoise Cres., Brampton, ON L6P2R3

I/We, Santhakumar Subramaniam, Kalanithy Santhakumar
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this day of , 20__.

S. Santhakumar

S. Kalanithy

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

8. Committee of Adjustment		
Residential Minor Variance Applications		
Above/Below Grade Variance (Door/Window)	\$11,949	Per Application
Driveway Variance	\$11,949	Per Application
Parking Variance	\$11,949	Per Application
Variances to Section 10.16 (Garden Suites) of the Zoning By-Law	\$11,949	Per Application
All Other Variances	\$2,990	Per Variance
Maximum Fee	\$11,949	Per Application
Institutional, Commercial or Industrial (ICI) Minor Variance Applications		
Minor Variance Application	11,949	Per Application
"After the Fact" Variance (Residential or ICI) Variance application resulting from a registered complaint, construction inspection, building order or enforcement action.	\$11,949	Per Application
Consent Applications		
Consent Application – Lot Creation	\$10,157	Per Application
Consent Application – All Other (in accordance with Planning Act S.57, 50(18), or 53(23))	\$5,078	Per Application
Committee of Adjustment Application Re-Circulated Pursuant to A Request by The Applicant to Defer an Application	\$5,000	Per Notice
Consent Certificate	\$2,127	Per Certificate
Replacement Notice Sign	\$75	Per Sign
Committee of Adjustment Application Refunds: <ul style="list-style-type: none"> \$400 refund if withdrawn prior to internal circulation (By-law 231-2007). \$300 refund if withdrawn prior to circulation of public notice of a hearing (By-law 231-2007). No refund if withdrawn once the circulation of the public notice of a hearing has occurred (By-law 231-2007). 		

1/14/25, 10:39 AM

MECHWAYS INC Mail - Submission: 25 004260 000 00 PREA - Rework Required



Valiuddin Mohammed <info@mechways.com>

Submission: 25 004260 000 00 PREA - Rework Required

shiza.athar@brampton.ca <shiza.athar@brampton.ca>

13 January 2025 at 08:59

To: INFO@mechways.com

Cc: thripuran.santhakumar@gmail.com

Please note that the above mentioned submission requires rework.

Address of the Property: 45 Turquoise Cres, Brampton, ON, L6P 2R3

Application Type: Permit to Construct or Demolish

Review Type: PRE - Zoning Screening

Rework Details: The minimum required rear yard setback for this lot is 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area. Please revise or reach out to the Planning department to discuss your options to comply with the ZBL. They can be reached at planning.development@brampton.ca

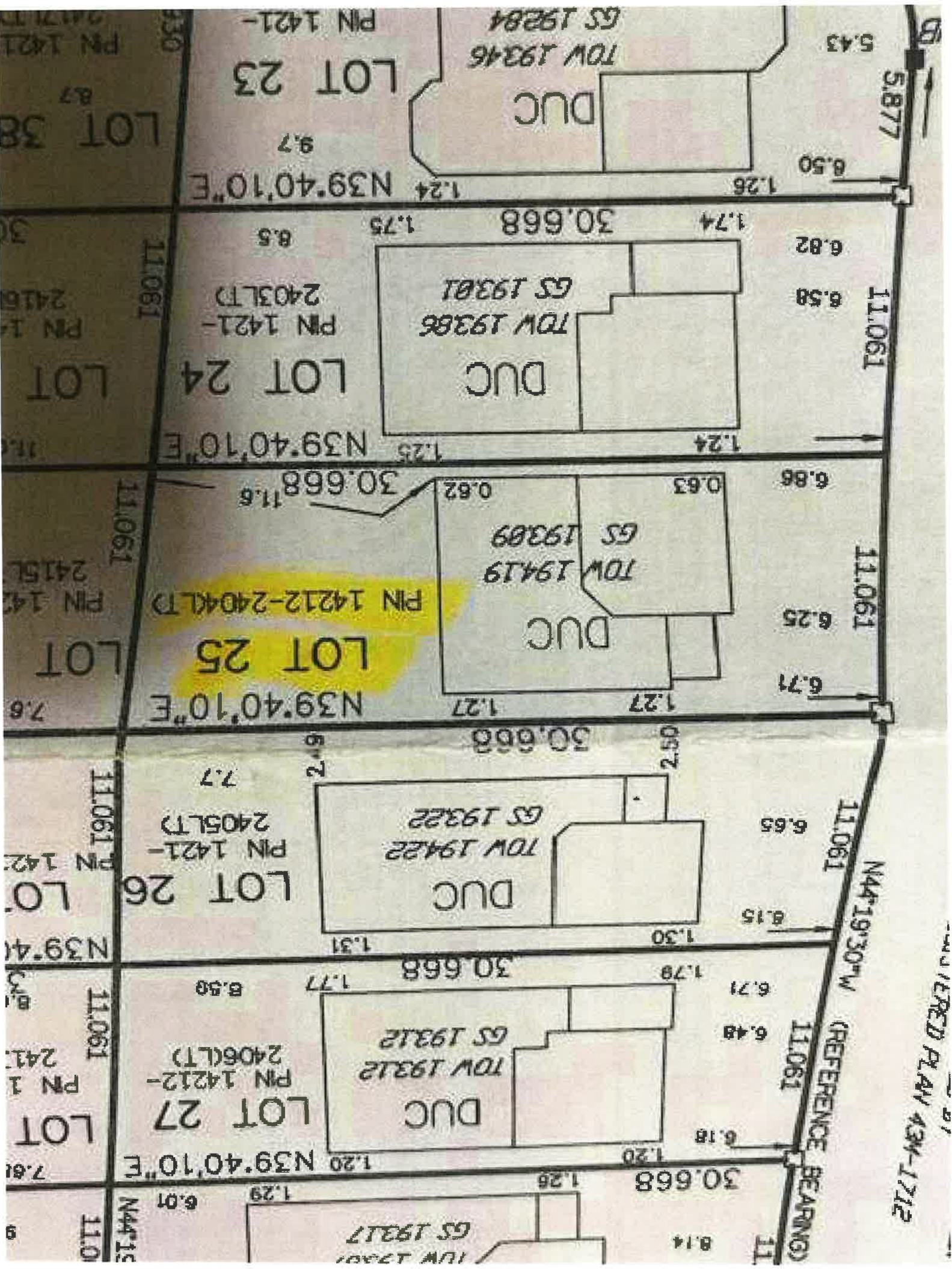
Please log into the Brampton Building and Business Portal and complete the rework requested. Once completed please click the 'Rework Completed' button so that the reviewer can be notified. You DO NOT NEED to submit a new application.

If there is no response by 12-FEB-25 your application will automatically be cancelled.

You can log into the Brampton Building and Business Portal by clicking the following link.
<https://bramptonbbp.brampton.ca/citizenportal/app/login>

Thank You

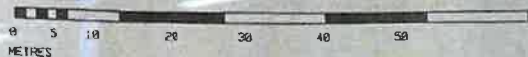
Please review the City of Brampton e-mail disclaimer statement at: <http://www.brampton.ca/EN/Online-Services/Pages/Privacy-Statement.aspx>



UNLTERED PLAW 43M-1712

SURVEYOR'S REAL PROPERTY REPORT (PART 1)
PLAN OF
LOTS 23 TO 38 BOTH INCLUSIVE
REGISTERED PLAN 43M-1712
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
YOUNG & YOUNG SURVEYING INC.

© 2006
SCALE 1:500

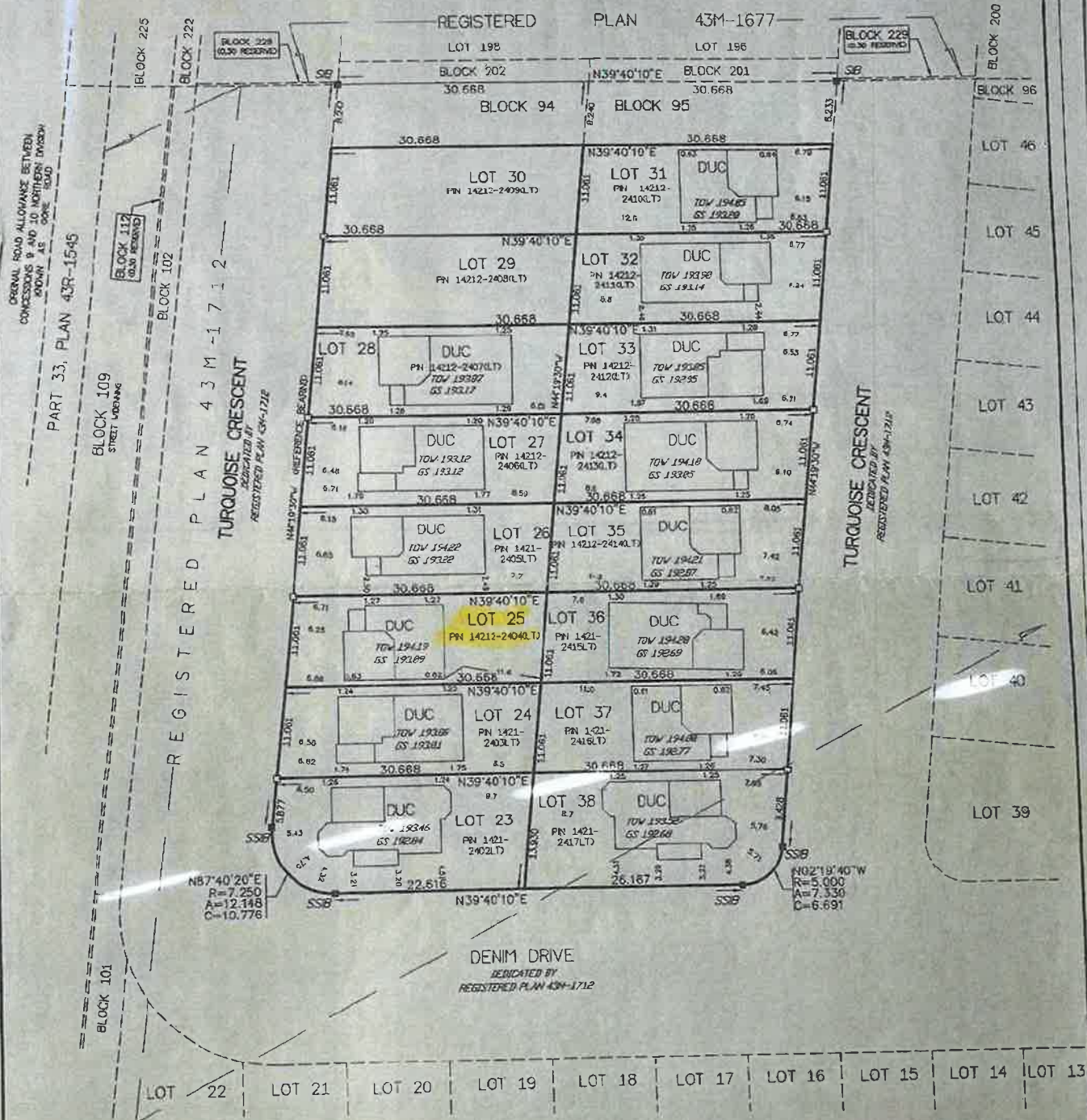


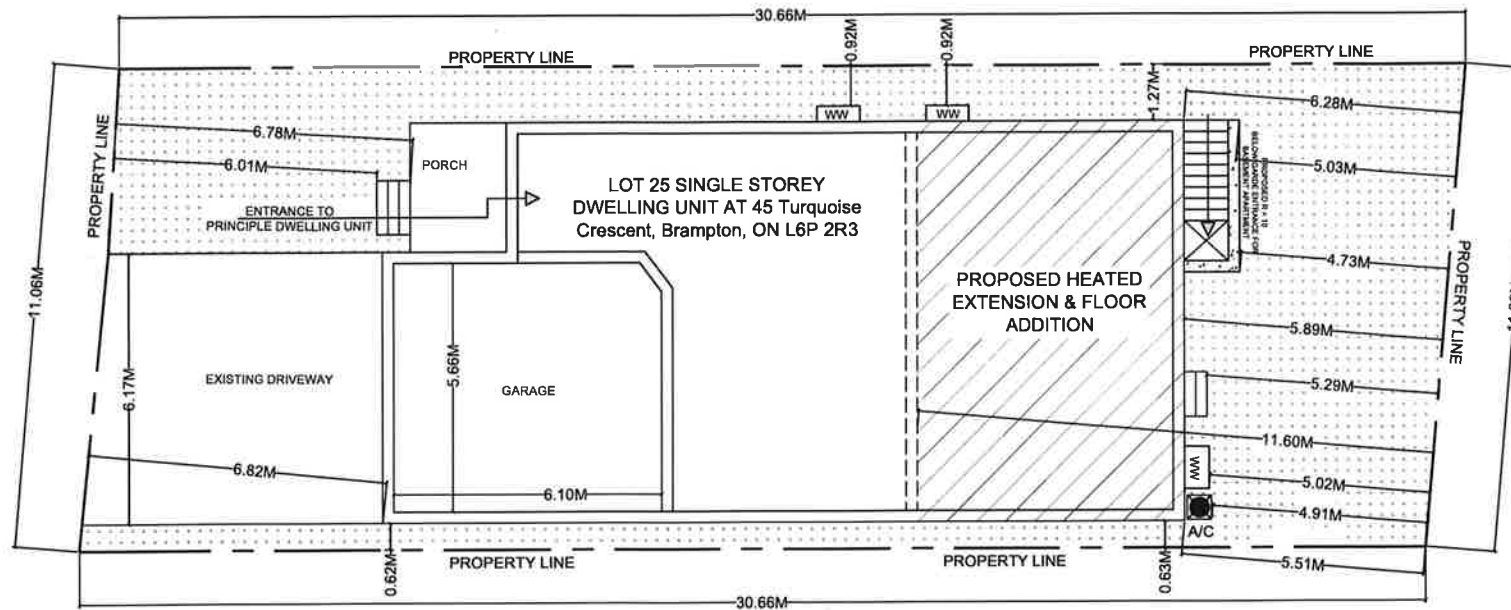
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1018026



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 2023, Section 20(2)

PART 2
DESCRIPTION OF LAND
Lots 23 to 38 Both Inclusive
Registered Plan 43M-1712
City of Brampton
Regional Municipality of Peel
COMPLIANCE WITH MUNICIPAL ZONING
NOT CERTIFIED BY THIS REPORT
REGISTERED EASEMENTS AND/OR
RIGHT OF WAYS
See PMS
ADDITIONAL REMARKS
NEW DWELLINGS





SITE STATISTICS	
PROJECT ADDRESS:	45 Turquoise Crescent, Brampton, ON L6P 2R3
LEGAL DESCRIPTION:	LOT 25 PLAN M1712
ZONING INFORMATION:	BYLAW IN EFFECT : ZONE: R1D
LOT INFORMATION:	LOT AREA: 336.72 m² LOT FRONTAGE: 11.06m (EXIST. TO REMAIN) BUILDING HEIGHT: MAXIMUM: 10.6 m

SETBACKS:	REQUIRED FRONT YARD : MIN 4.5 m PROP. : 6.80m
	EXTERIOR SIDE YARD : 1.27 m, 0.62 m
	MIN. REAR YARD : 7.5 m PROP. : 5.51 m
	LOT COVERAGE : 336.72 m²
	EXIST. BUILDING FOOTPRINT : (102.63 m²)
	INCLUDING GARAGE
	PROP. HEATED EXTENSION : (55.63 m²)
	PROPOSED LOT COVERAGE : 158.26 m² (47.00 %)

AREA STATISTICS	
GROSS FLOOR AREA CALCULATIONS	
A. PRINCIPAL RESIDENCE	
GROUND FLOOR GFA	= 120.02 m²
SECOND FLOOR GFA	= 144.47 m²
TOTAL	= 264.49 m²
B. BASEMENT	
BASEMENT G.F.A	= 118.12 m²
OWNER AREA G.F.A	= 62.53 m²
BASEMENT APARTMENT G.F.A	= 55.58 m²
ENTRANCE / EGRESS	

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEA



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 08 2025

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA,
ON L4T 5G6
TEL : 416-627-9100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

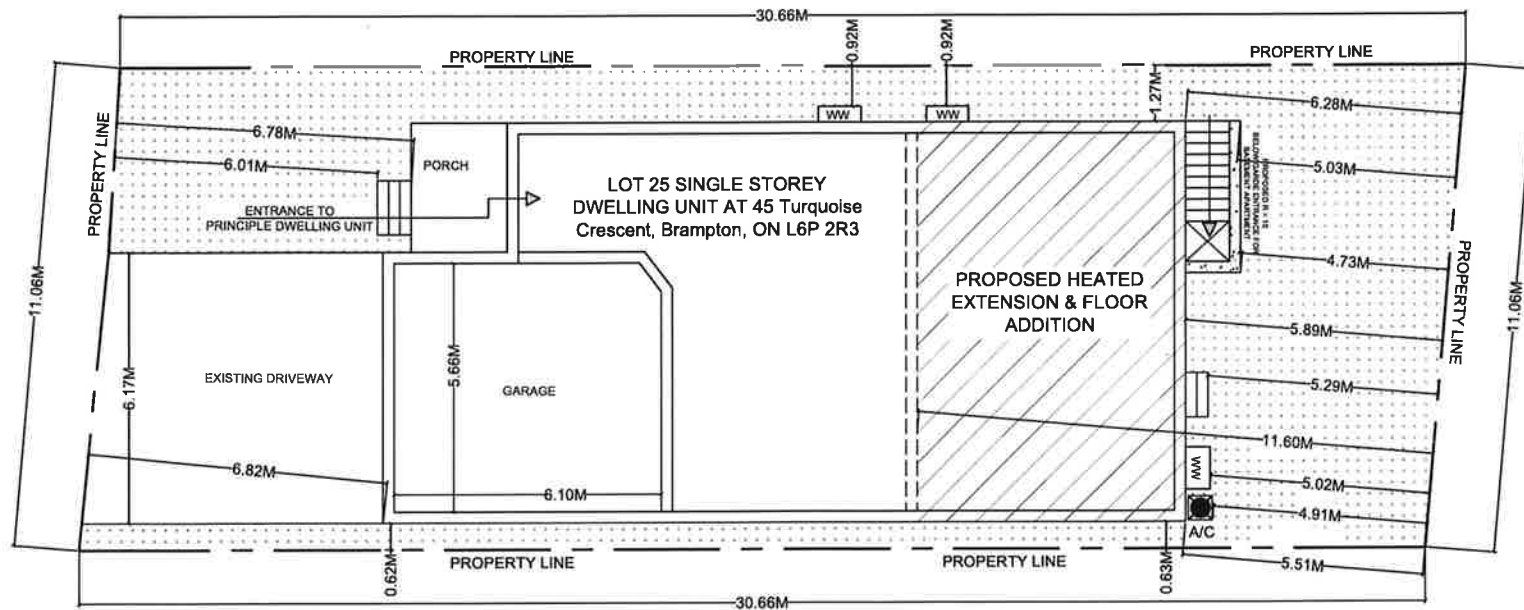
SHEET TITLE:

SITE PLAN

CHECKED: MA
DRAWN: TB
SCALE: 1/8"=1'
DATE: JAN 08 2025

DRAWING:

A0.1



SITE STATISTICS	
PROJECT ADDRESS:	45 Turquoise Crescent, Brampton, ON L6P 2R3
LEGAL DESCRIPTION:	LOT 25 PLAN M1712
ZONING INFORMATION:	BYLAW IN EFFECT : ZONE: R1D
LOT INFORMATION:	LOT AREA: 336.72 m² LOT FRONTAGE: 11.06m (EXIST. TO REMAIN) BUILDING HEIGHT: MAXIMUM: 10.6 m

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	EXIST. BUILDING FOOTPRINT : (102.63 m²)
	INCLUDING GARAGE
	PROP. HEATED EXTENSION : (55.63 m²)
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AREA STATISTICS	
GROSS FLOOR AREA CALCULATIONS	
A. PRINCIPAL RESIDENCE	
GROUND FLOOR GFA	= 120.02 m²
SECOND FLOOR GFA	= 144.47 m²
TOTAL	= 264.49 m²
B. BASEMENT	
BASEMENT G.F.A	= 118.12 m²
OWNER AREA G.F.A	= 62.53 m²
BASEMENT APARTMENT G.F.A	= 55.58 m²
ENTRANCE / EGRESS	

GENERAL NOTES:

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SEA



1	ISSUED FOR BUILDING PERMIT	JAN 08 2025
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIVON ST, MISSISSAUGA, ON L4T 2G6
TEL : 416-607-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

SHEET TITLE:

SITE PLAN

CHECKED: MA
DRAWN: TS
SCALE: 3/8"=1'
DATE: JAN 08 2025

DRAWING:

A0.1



DRAWINGS ARE TO BE READ NOT
SCALED.
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FOR THE SAME.
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OF THE DESIGNER.
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DOCUMENTATION ARE FINAL UNLESS
REVISED BY THE DESIGNER. IF A
DESIGN ERROR IS DISCOVERED
HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA
ON L4T 2G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

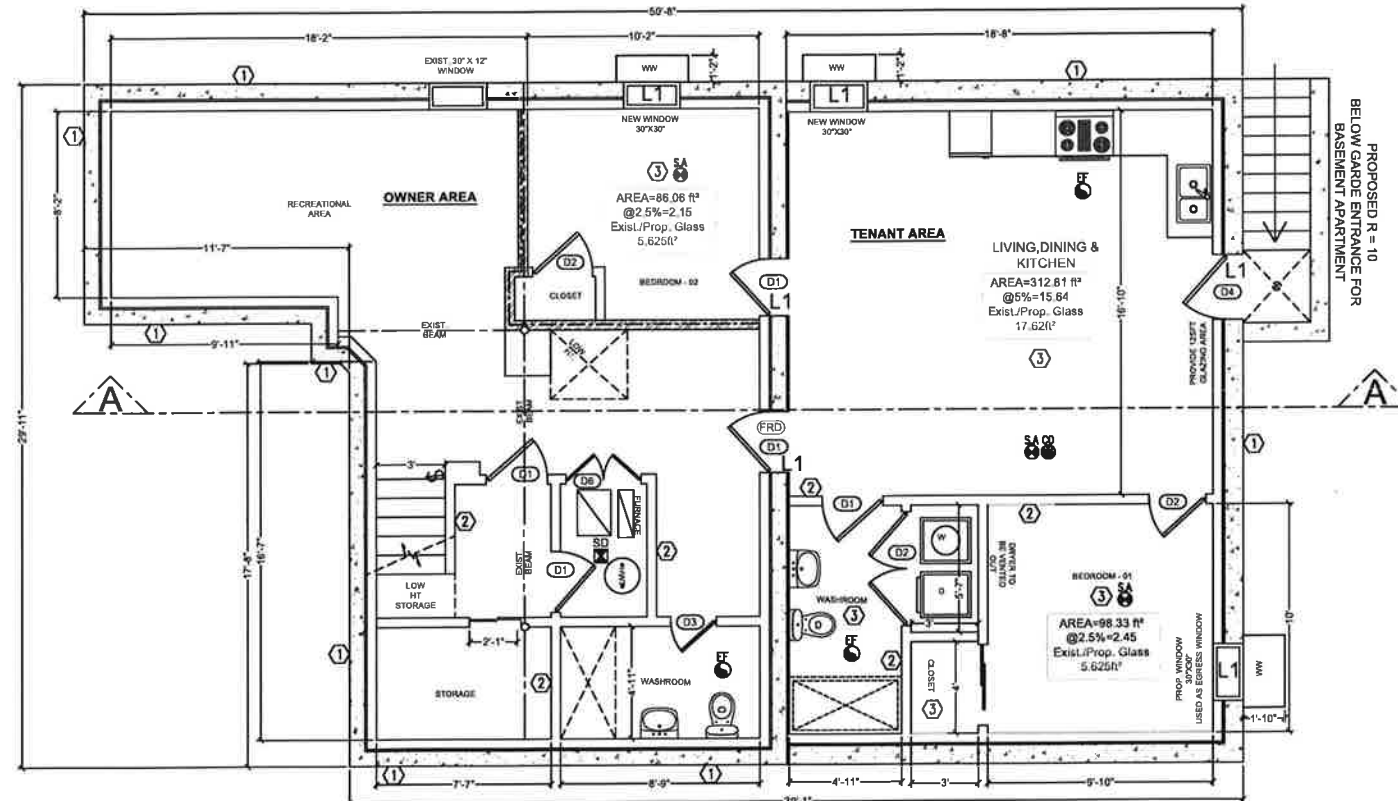
SHEET TITLE:

EXIST.
BASEMENT PLAN

CHECKED: MA
DRAWN: TS
SCALE: $\frac{1}{8}'' = 1'$
DATE: JAN 08 2025

DRAWING:

A1.1



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" X 80"
D2	30" X 80"
D3	24" X 80"
D4	34" X 80"
D5	60" X 80"
D6	40" X 80"

PROPOSED BASEMENT PLAN

BASEMENT G.F.A = 1271.5 ft² / 118.12 m²
OWNER AREA G.F.A = 673.17 ft² / 62.53 m²
BASEMENT APARTMENT G.F.A = 598.33 ft² / 55.58 m²

FIN. CEILING HEIGHT U/S OF JOISTS = 7' - 6"
FIN. CEILING HEIGHT U/S OF DUCT = 6' - 5"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

1	EXISTING FOUNDATION WALL (8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXIST. INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED)
2	DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWS ON BATHROOMS WALLS.)
3	PROVIDE 30 MINUTE F.R.R (SB3 W/IC 38 x 89 mm WOOD STUDS @ 610 mm O.C. W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEW/EXISTING WALL
SD	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
SA	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
CO	CARBON MONO OXIDE ALARM
SP	SPRINKLER
3	PROVIDE 30 MIN F.R.R: EX. JOISTS W/ 5/8" TYPE X GYPSUM BOARD WITH MIN. 75 mm INSULATION AS PER SB-2 TABLE 2.3.12
EF	EXHAUST FAN (50 CFM IN WASHROOM & 100 CFM IN KITCHEN)
EL	EMERGENCY LIGHT
SAR	SAR (SUPPLY AIR REGISTER) 10" x 4"
RAG	RAG (RETURN AIR GRILLE) 12" x 6"
3	PROVIDE 30 MINUTE F.R.R (2 x 1/2" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
L	LIGHT
L1	2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 160 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE
SP	STEEL POST
FRD	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE

GENERAL NOTES:

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SEAL:	
1	ISSUED FOR BUILDING PERMIT
NO.	DESCRIPTION
DATE	

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPLEY ST, MISSISSAUGA, ON L4T 2G8
TEL : +1 905 274 1000
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

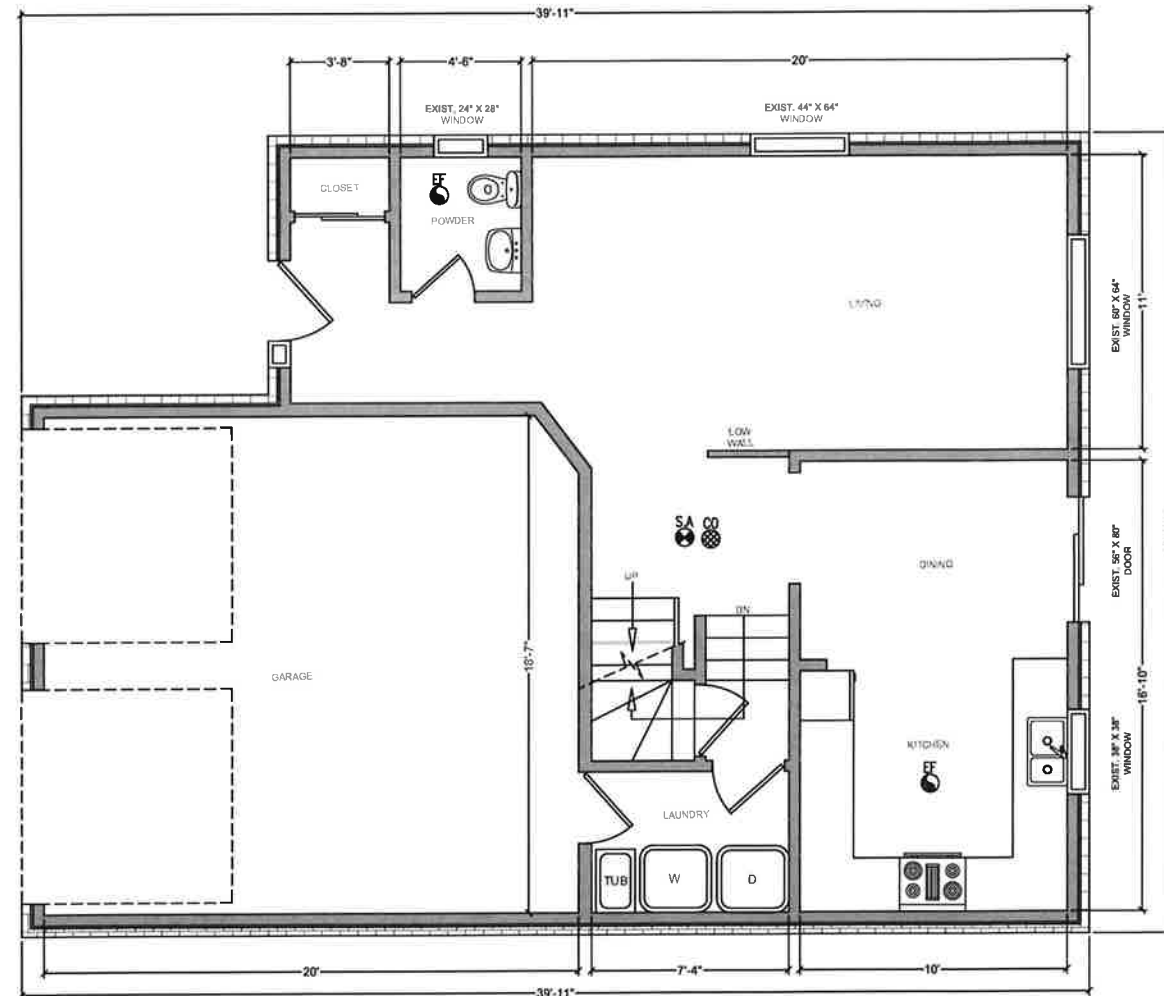
SHEET TITLE:

PROP. BASEMENT PLAN

CHECKED: MA
DRAWN: TS
SCALE: 1:75
DATE: JAN 08 2025

DRAWING:

A1.2



EXISTING FIRST FLOOR PLAN

GENERAL NOTES:

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SEAL



NO.	DESCRIPTION	DATE
2	REVISION	JAN 08 2025
1	ISSUED FOR BUILDING PERMIT	JAN 08 2025

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA, ONTARIO L4Y 1G5
TEL : 905.276.1000
FAX : 905.276.1001
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE CRESCENT, BRAMPTON, ON L6P 2R3

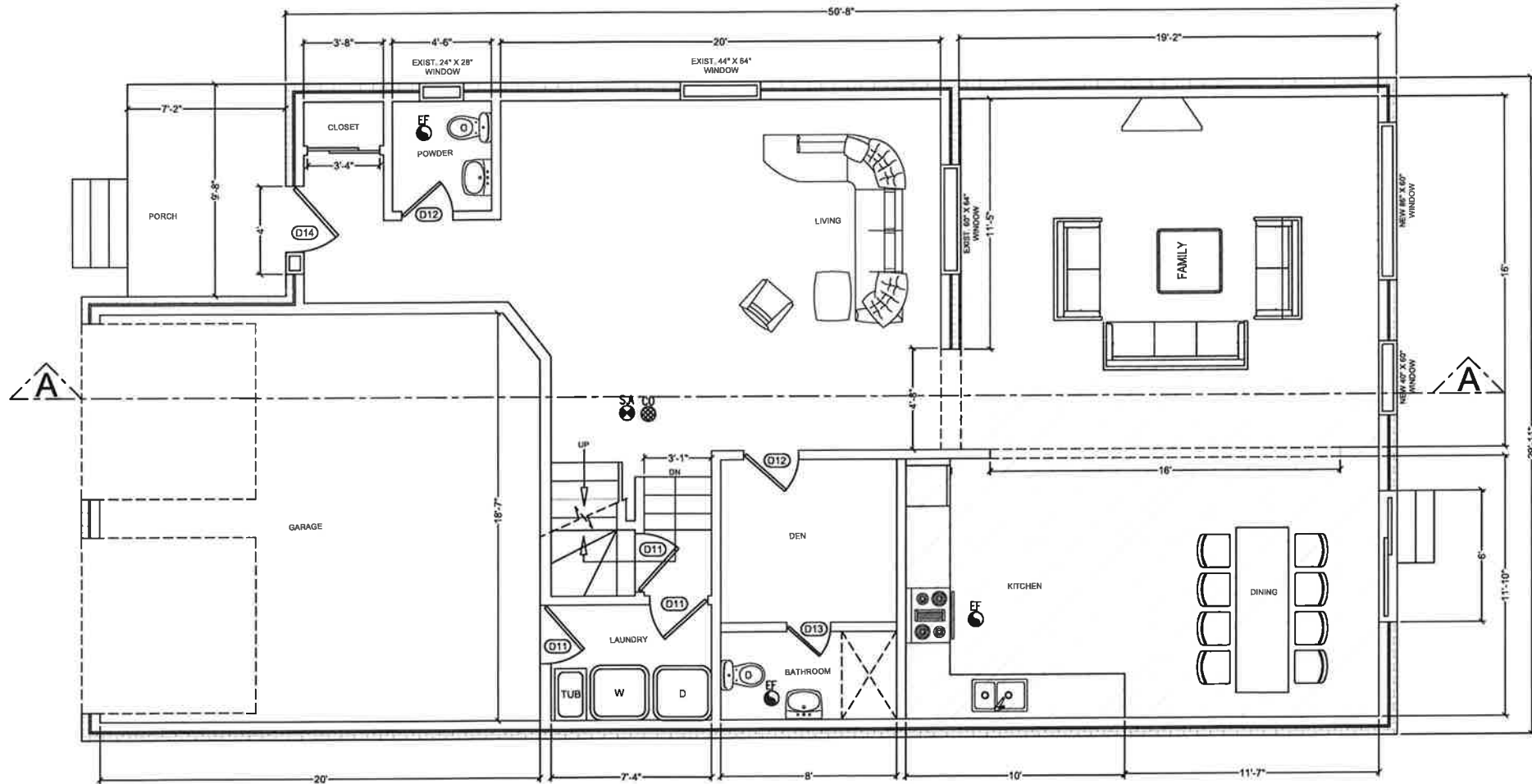
SHEET TITLE:

GROUND FLOOR PLAN

CHECKED: MA
DRAWN: TS
SCALE: 1/8" = 1'
DATE JAN 08 2025

DRAWING:

A1.3



PROP. FIRST FLOOR PLAN

FIRST FLOOR G.F.A = 1292.65 ft² / 120.02 m²

DOOR SCHEDULE	
DOOR#	DOOR SIZE
D11	32" X 80"
D12	30" X 80"
D13	24" X 80"
D14	36" X 80"

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.
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NO.	DESCRIPTION	DATE
2	REVISION	JAN 08 2025
1	ISSUED FOR BUILDING PERMIT	JAN 08 2025

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 RIPON ST. MISSISSAUGA, ON L4T 2G8
TEL : 416-657-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE CRESCENT, BRAMPTON, ON L6P 2R3

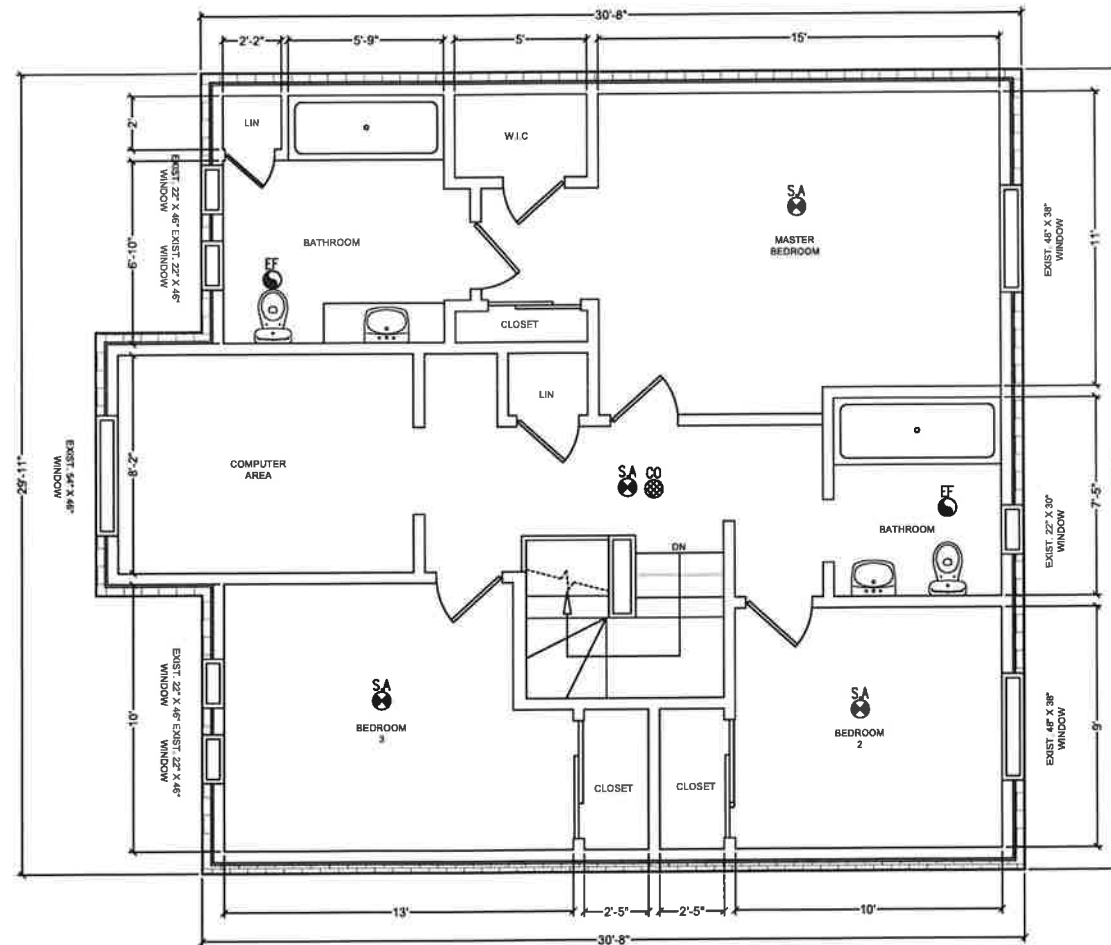
SHEET TITLE:

GROUND FLOOR PLAN

CHECKED: MA
DRAWN: TS
SCALE: 1/8" = 1'
DATE: JAN 08 2025

DRAWING:

A1.4



EXISTING SECOND FLOOR PLAN

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JAN 08 2025
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
 ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 2C8
 TEL : 416-637-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

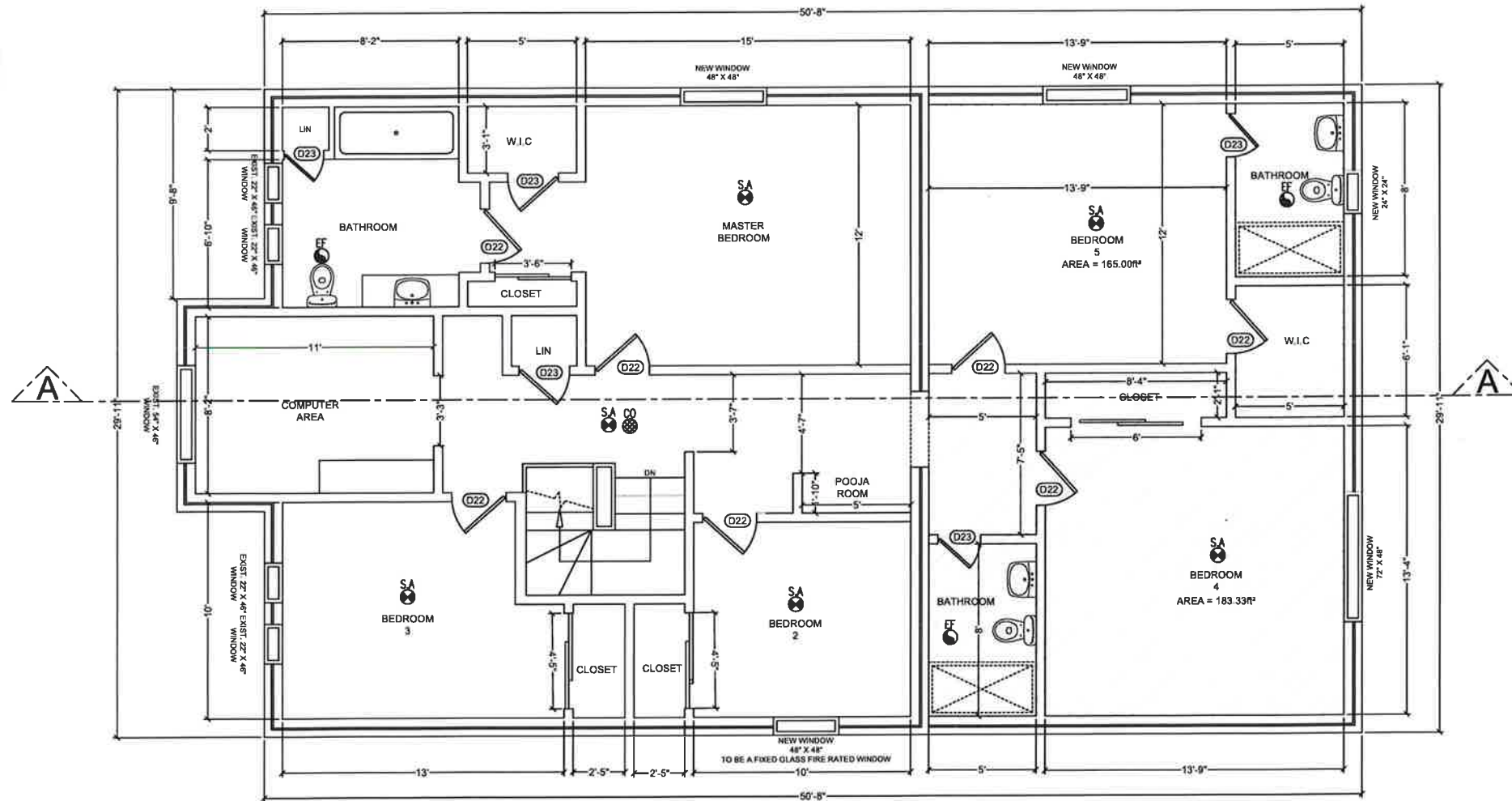
PROJECT:
 45 TURQUOISE CRESCENT, BRAMPTON, ON L6P 2R3

SHEET TITLE:
EXIST. SECOND FLOOR PLAN

CHECKED: MA
 DRAWN: TS
 SCALE: 1/8" = 1'
 DATE: JAN 08 2025

DRAWING:

A1.5



PROP. SECOND FLOOR PLAN
 SECOND FLOOR G.F.A = 1555.11 ft² / 144.47 m²

DOOR SCHEDULE	
DOOR#	DOOR SIZE
D21	32" x 80"
D22	30" x 80"
D23	24" x 80"
D24	36" x 80"

GENERAL NOTES:

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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 08 2025

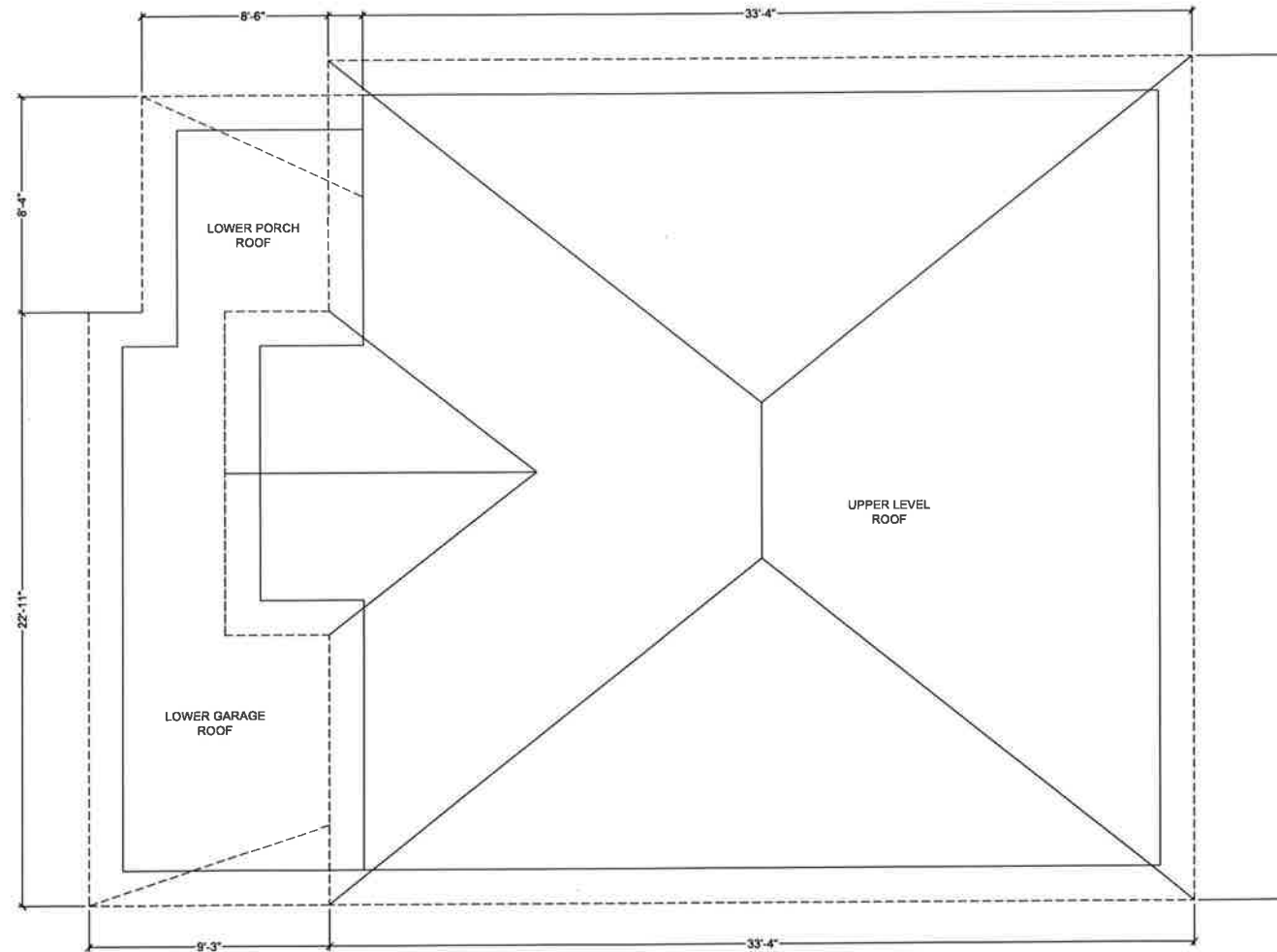
ENGINEER:
 Mechways Inc.
 ADDRESS : 6 RIVINGTON ST., MISSISSAUGA, ON L4T 2E6
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:
 45 TURQUOISE CRESCENT, BRAMPTON, ON L6P 2R3

SHEET TITLE:
 EXIST. SECOND FLOOR PLAN

CHECKED: MA
 DRAWN: TS
 SCALE: 1/8" = 1'
 DATE: JAN 08 2025

DRAWING:
 A1.6



EXIST. ROOF PLAN

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JAN 08 2025
NO.	DESCRIPTION	DATE

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 BIRCH ST. MISSISSAUGA,
ON L4T 3G6
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

SHEET TITLE:

**EXIST. ROOF
PLAN**

CHECKED: MA
DRAWN: TS
SCALE: 1/8" = 1'
DATE: JAN 08 2025

DRAWING:

A1.7

DRAWINGS ARE TO BE READ NOT
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ENGINEER:

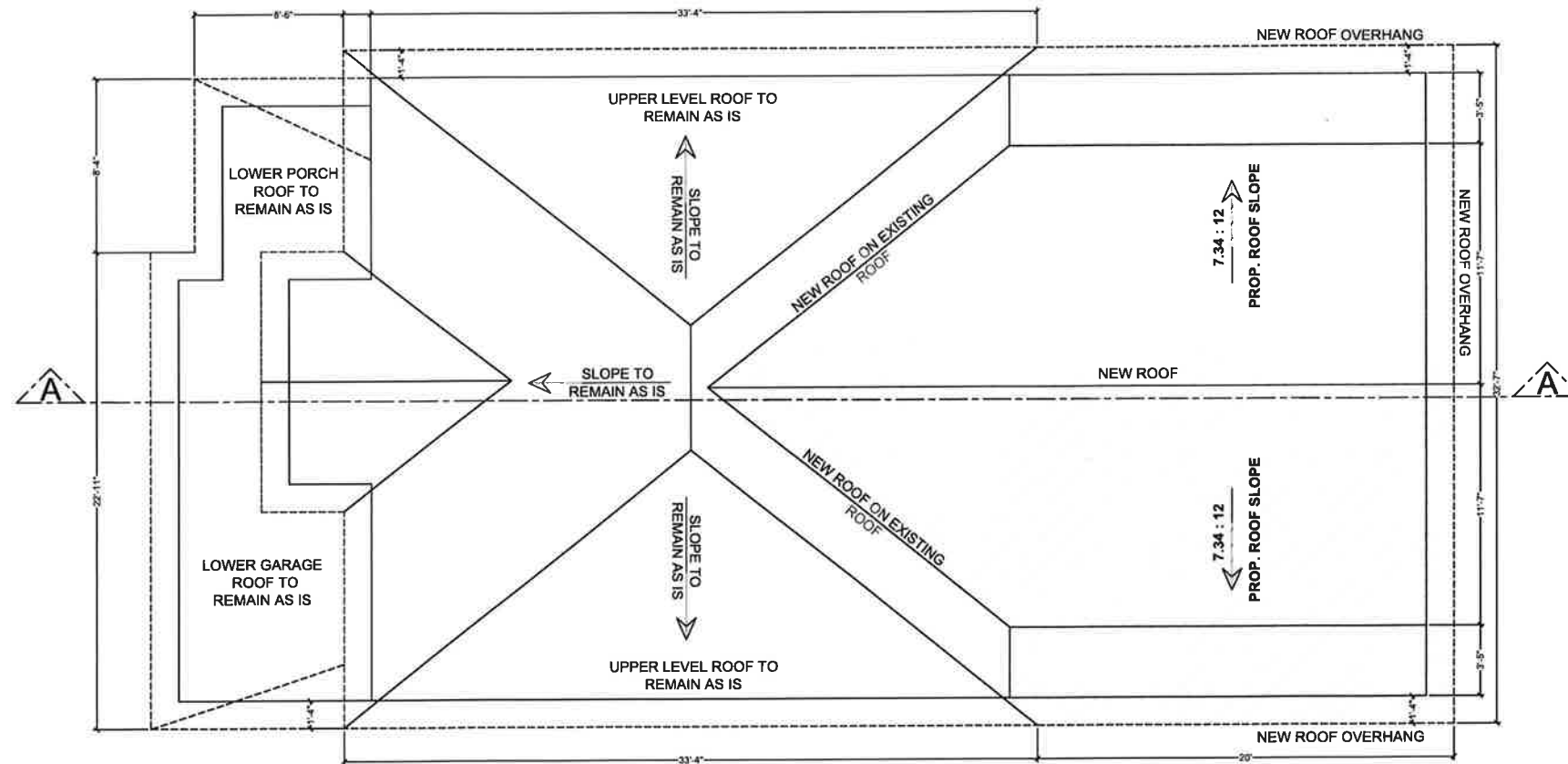
ADDRESS : 6 RIFON ST, MISSISSAUGA,
ON L4T 3G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

PROP. ROOF
PLAN

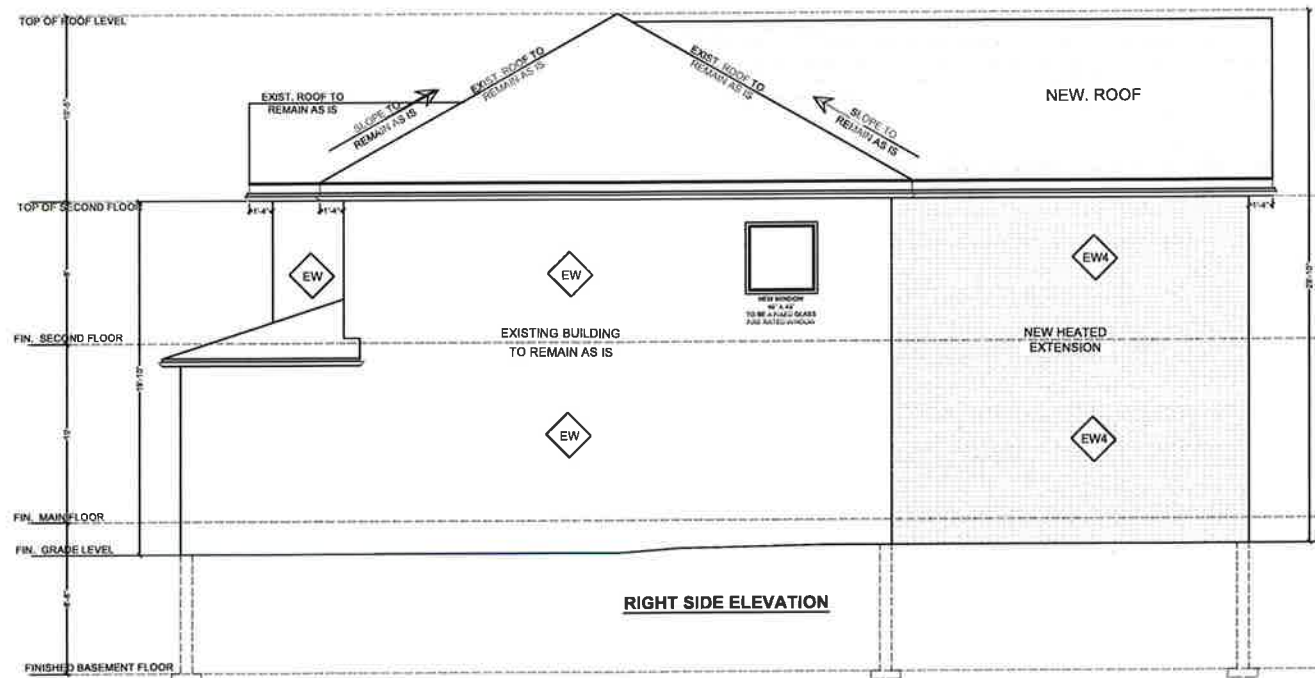
DRAWING:

A 1.8



PROP. ROOF PLAN

PROP ROOF



RIGHT SIDE ELEVATION

GENERAL NOTES:

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SEAL:



1 ISSUED FOR BUILDING PERMIT JAN 08 2025

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4T 2G8
TEL : 916 6274100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE CRESCENT, BRAMPTON, ON L6P 2R3

SHEET TITLE:

RIGHT SIDE ELEVATION

CHECKED: MA
DRAWN: TS
SCALE: 1/8"=1'
DATE: JAN 08 2025

DRAWING:

A2.2

**DRAWINGS ARE TO BE READ NOT
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THE DOCUMENTS PROVIDED IS
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OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION
MATERIALS AND METHODS MUST BE
REVIEWED BY THE DESIGNER. IF ANY
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ENGINEER:

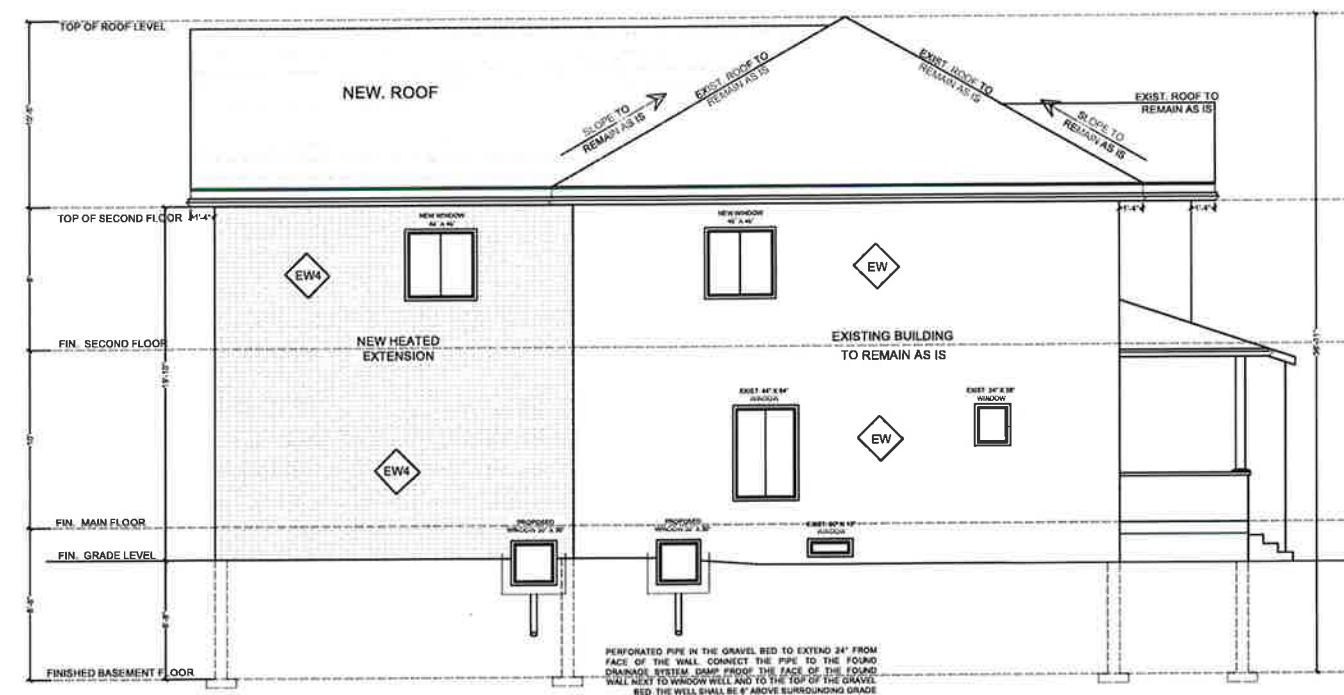
 *Machways Inc.*

ADDRESS : 6 RIFON ST, MISSISSAUGA
ON L4T 2G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

SHEET TITLE:
LEFT SIDE
ELEVATION

DRAWING:
A2.3

SPATIAL AREA CALCULATION	
TOTAL WALL AREA	= 954.22 ft ² / 24.23 m ²
LIMITING DISTANCE(AVERAGE)	= 1.27m
MAXIMUM ALLOWABLE GLAZED AREA @ 7%	= 66.79 ft ² / 6.20 m ²
TOTAL GLAZED AREA ABOVE GRADE	= 64.14 ft ² / 5.95 m ²



LEFT SIDE ELEVATION



SECTION AA

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 08 2025

ENGINEER:

Mechways Inc.

ADDRESS : 5 RIFON ST, MISSISSAUGA,
ON L4T 2G6
TEL : 416-602-7100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

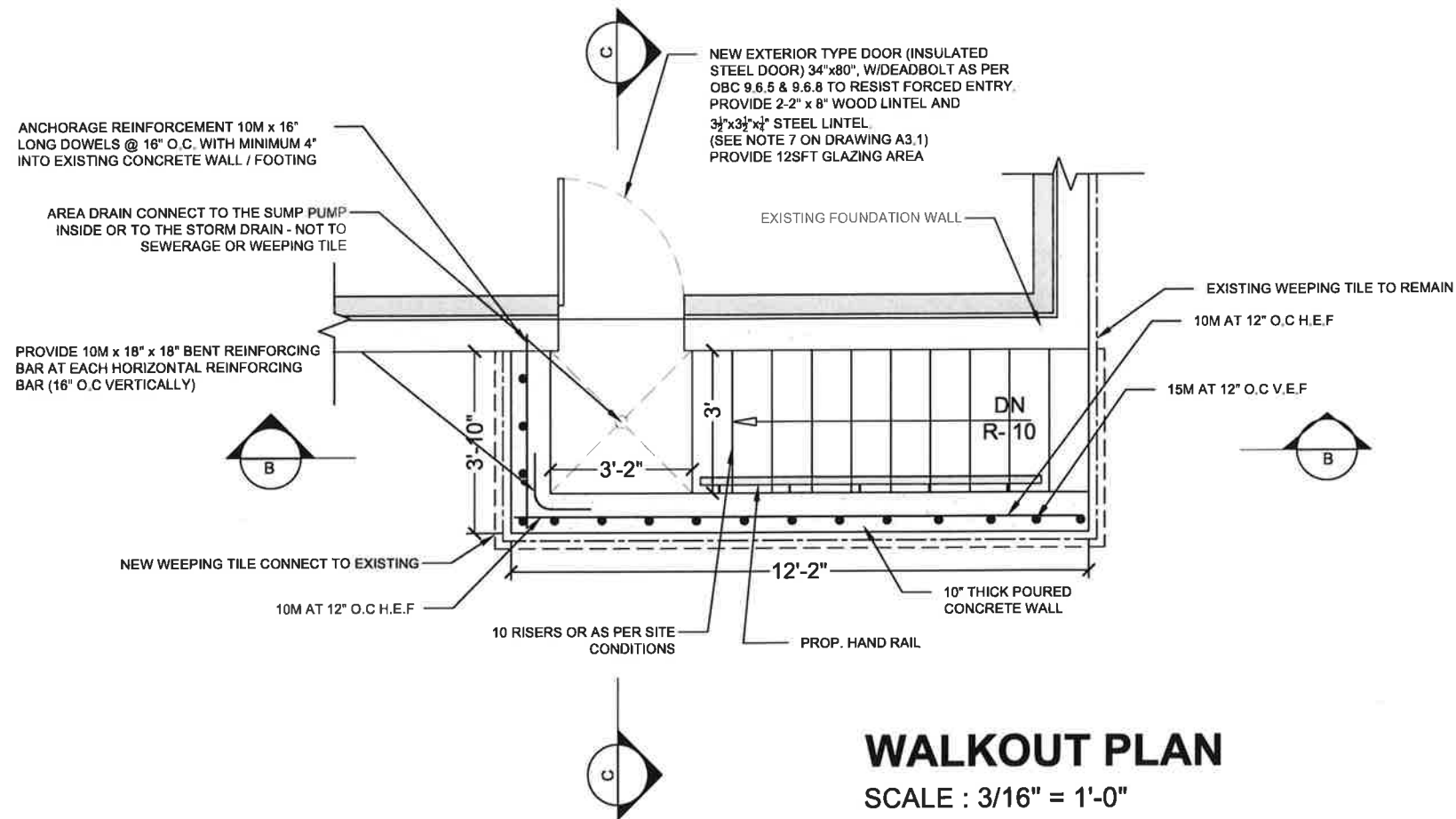
SHEET TITLE:

SECTION A-A

CHECKED: MA
DRAWN: TS
SCALE: 1:75
DATE: JAN 08 2025

DRAWING:

A3.1



GENERAL NOTES:

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SEAL



1 ISSUED FOR BUILDING PERMIT JAN 08 2025

NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
ADDRESS : 1 RIFON ST, MISSISSAUGA, ONT L4V 1P5
TEL : (905) 277-1100
EMAIL : info@mechways.com
WEBSITE : www.mechways.com

PROJECT:

45 TURQUOISE CRESCENT, BRAMPTON, ON L6P 2R3

SHEET TITLE:

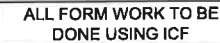
WALKOUT PLAN

CHECKED: MA
DRAWN: TS
SCALE: 3/16" = 1'
DATE: JAN 08 2025

DRAWING:

A4.1

SCALE : 3/16" = 1'-0"



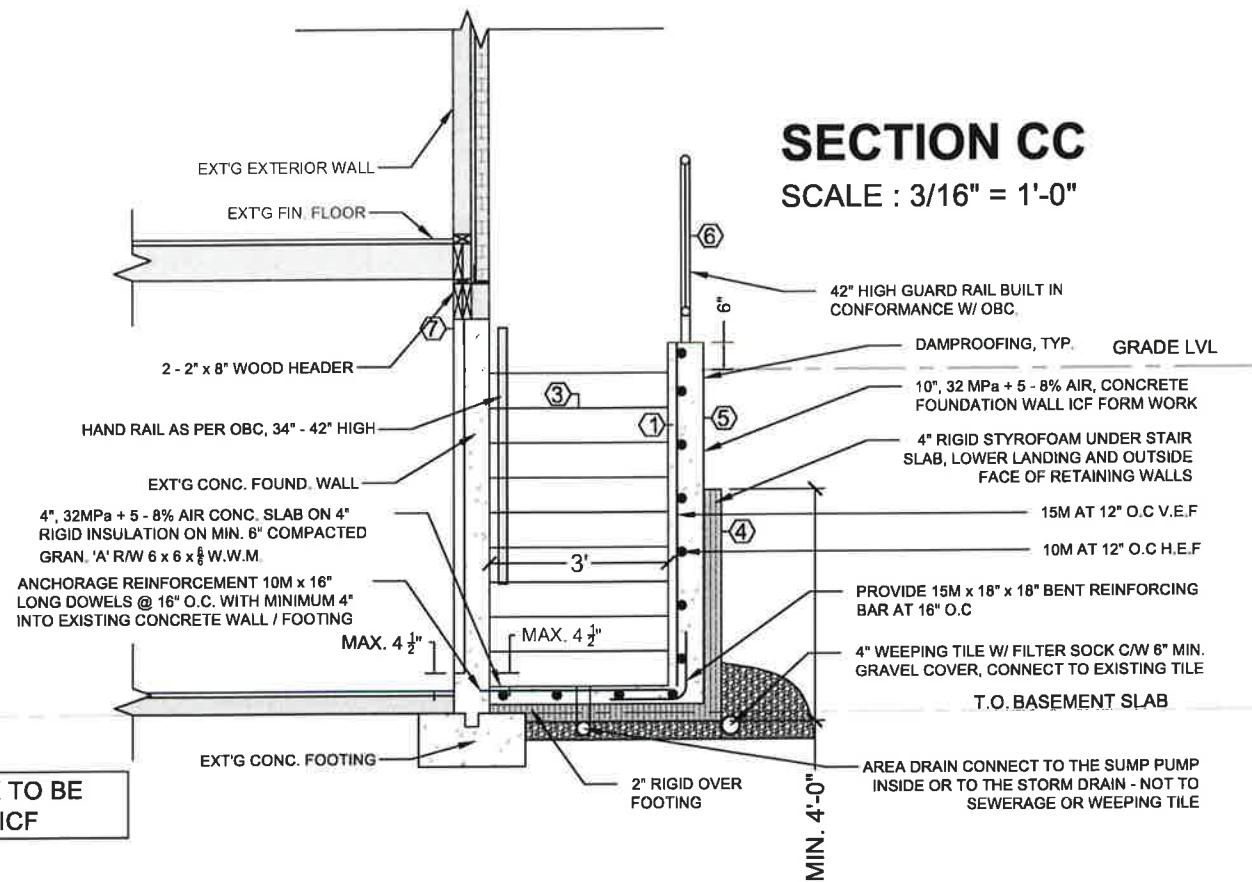
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ADDRESS : 3 RIVON ST, MISSISSAUGA,
ON L4T 2G8
TEL : 416-687-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

SECTION A-A

A4.2



ALL FORM WORK TO BE
DONE USING ICF

SECTION CC

SCALE : 3/16" = 1'-0"

GENERAL NOTES:

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SEAL



1 ISSUED FOR
BUILDING PERMIT JAN 08 2025

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.

ADDRESS 14 RIVER ST, MISSISSAUGA, ONT L4Y 1G8

TEL: 905-276-1100 FAX: 905-276-1101

EMAIL: info@mechways.com WEBSITE: www.mechways.com

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

SHEET TITLE:

SECTION B-B

CHECKED: MA

DRAWN: TS

SCALE: 3/16" = 1'

DATE: JAN 08 2025

DRAWING:

A4.3

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES

- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA

- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OR LATEROALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSEQUENCE SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.

- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.

- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.

MINIMUM YIELD STRENGTH OF STEEL 60 KSI

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
 RUN 10" MINIMUM 14" MAXIMUM
 TREAD 10" MINIMUM 14" MAXIMUM
 TREAD SHOULD BE A MAX. OF 1" > RUN
 ADJUST STEP SIZE TO SUIT SITE

- RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
 RUN 10" MINIMUM 14" MAXIMUM
 TREAD 10" MINIMUM 14" MAXIMUM
 TREAD SHOULD BE A MAX. OF 1" > RUN
 ADJUST STEP SIZE TO SUIT SITE

4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.

- 4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.

- 4B PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

10" POURED CONCRETE WALL W/O
REINFORCING REQUIRED FOR WALL
HEIGHTS TO A MAX. OF 1200mm, UNLESS
MENTIONED OTHERWISE.

- 10" POURED CONCRETE WALL W/O
REINFORCING REQUIRED FOR WALL
HEIGHTS TO A MAX. OF 1200mm, UNLESS
MENTIONED OTHERWISE.

PROVIDE 15M VERTICAL STEEL
REINFORCEMENT @ 12" O.C. AND 10M
DISTRIBUTION REINFORCEMENT @12"
O.C. PROVIDE MINIMUM 3" CONCRETE
COVER FOR MAIN REINFORCEMENT
PLACED TOWARD EARTH SIDE

42" HIGH WHERE DISTANCE FROM GRAD
TO BOTTOM OF WALKOUT EXCEEDS 5'-1
36" FOR LESSER HEIGHTS. MAXIMUM 4
BETWEEN VERTICAL PICKETS

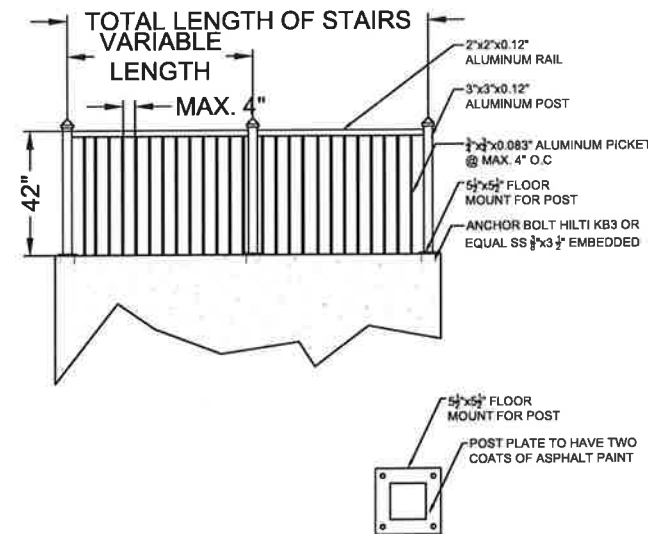
- 42" HIGH WHERE DISTANCE FROM GRAD
TO BOTTOM OF WALKOUT EXCEEDS 5'-1
36" FOR LESSER HEIGHTS. MAXIMUM 4
BETWEEN VERTICAL PICKETS

EXTERIOR TYPE DOOR (42MM INSULATE
STEEL DOOR) SIZE 2'-10" x 6'-8", W/
DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO
RESIST FORCED ENTRY. PROVIDE LINTE
AS FOLLOWS:

- EXTERIOR TYPE DOOR (42MM INSULATE
STEEL DOOR) SIZE 2'-10" x 6'-8", W/
DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO
RESIST FORCED ENTRY. PROVIDE LINTE
AS FOLLOWS:

WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
ANGLE STEEL LINTELS WITH MINIMUM
BEARING OF 150MM

SCALE : 1/8" = 1'-0"



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SPOILED. CONTRACTOR MUST VERIFY ALL
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1	ISSUED FOR BUILDING PERMIT	JAN 08 2025
NO.	DESCRIPTION	DATE

Mechways Inc.

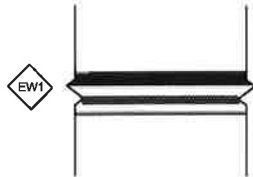
ADDRESS : 6 RIFON ST, MISSISSAUGA,
ON L4T 2B8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

GUARDRAIL DETAILS

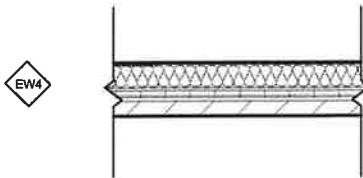
CHECKED: MA
DRAWN: TS
SCALE: $\frac{1}{4}'' = 1'$
DATE: JAN 08 2025

A4.4



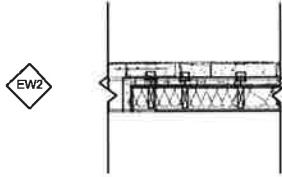
SIDING WALL CONSTRUCTION

- PREP SIDING VENEER AS PER MANUFACTURER
- TYVEK AIR BARRIER OR APPROVED EQUAL (SHEATHING PAPER)
- 13MM (21") EXTERIOR GRADE PLYWOOD SHEATHING 38 MM X 120MM (1'21" X 5-21") WOOD STUDS @ 406MM (1'-4") O.C. W/RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS
- 6MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL
- 13MM(21") GYPSUM WALL BOARD INERIOR FINISH



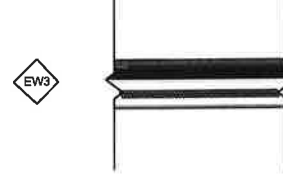
EW-1 - EXTERIOR STUD WALL - MASONRY VENEER

- 90mm BRICK VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- AIR VAPOUR BARRIER
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22)FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



EW- 2 - EXTERIOR STUD WALL - STONE VENEER

- 76 - 92mm STONE VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- SHEET TYPE AVB
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22)FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



EW- 3 - EXTERIOR WALL W/ STUCCO

- 7/8" MIN THICK THREE COAT CEMENT PLASTER
- 2" DEEP "Z" CLIP @16 O.C HORIZONTALLY
- 3.4 LBS SELF-FURRING METAL LATH ATTACHED TO "Z" CLIP
- 2 LAYER OF GRADE "D" BUILDING PAPER OR 1 LAYER OF DUPONT TYVEK STUCCO WRAP UNDER CEMENT PLASTER TYP.
- 1" THICK POLY-ISO RIGID INSULATION AND 1" THICK EPS SHEATHING, TYPICAL
- PLYWOOD SHEATHING ON EXTERIOR SIDE
- 2ND LAYER OF PLYWOOD SHEATHING WHERE OCCURS
- WOOD STUD FRAMING PER STRUCTURAL WITH R22 INSULATION
- 5/8" TYPE "X" GYPSUM BOARD FINISH FACE TEXTURED & PAINTED AS SCHEDULED

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JAN 08 2025
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 2G8
TEL : 1-800-222-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3

SHEET TITLE:

**WALL ASSEMBLY
DETAILS**

CHECKED: MA
DRAWN: TS
SCALE: 1/4"=1'
DATE: JAN 08 2025

DRAWING:

A5.1

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH		
LIVING, DINING/ KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2286	
BEDROOMS	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2286	
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2286	
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYPSUM BD.			

DOOR SCHEDULE

1.
- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
2.
- EGRESS DOOR - PROP. BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

- ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- 1
- EXISTING 8" CONC. FOUNDATION WALL MOISTURE BARRIER
2X4 SPF#2 STUDS @ 16" O.C WALL W/6MIL POLY WITH EXIST. INSULATION 6MIL POLY VAPOR BARRIER ½" GYPSUM BOARD
- 2
- NEW/ EXISTING DRYWALL - ½" GYPSUM BOARD, ON BOTH SIDES
2"x4" STUDS @16" OC
- 3
- EXISTING / PROPOSED CEILING
EXISTING CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SHALL SATISFIES THE HORIZONTAL FIRE SEPARATION REQUIREMENT 15 MINUTE F.R.R (1/2" GYPSUM BOARD). REMOVE 24"x48" CEILING TILE IF EXIST AND REPLACE WITH 1/2" GYPSUM BOARD CEILING
- 4
- 20 MIN. FIRE RESISTANCE RATED DOOR FOR WALL BETWEEN PRINCIPAL RESIDENCE AREA AND THE BASEMENT APARTMENT
- 5
- EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- 6
- MECHANICAL VENTILATION
24 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST
- 7
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- 8
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- 9
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

\$

3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS

GFI
WP

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER

RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.

RECEPTACLE

LIGHT

SPOT LIGHT

EMERGENCY LIGHT

FD: FLOOR DRAIN

SPRINKLER

DUCT TYPE SMOKE DETECTOR

SMOKE ALARM

CARBON MONOXIDE DETECTOR

EXHAUST FAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SCALED.
CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE
FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE
DESIGNER BEFORE COMMENCING THE
WORK. THE DRAWINGS AND
DOCUMENTS PROVIDED HERE WITHIN
ARE THE EXCLUSIVE PROPERTY OF
MECHWAYS INC. REPRODUCTION OF
THE DOCUMENTS PROVIDED IS
PROHIBITED WITHOUT THE CONSENT
OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION
DOCUMENTATION ARE FINAL UNLESS
REVISED BY THE DESIGNER. IF ANY
DISCREPANCIES ARE DISCOVERED
HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 08 2025

ENGINEER:

Mechways Inc.

ADDRESS : 16 RYAN ST, MISSISSAUGA,
ON L4T 2G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

45 TURQUOISE
CRESCENT, BRAMPTON,
ON L6P 2R3
L6W 4M7

SHEET TITLE:

GENERAL NOTES

CHECKED: SB
DRAWN: MA
SCALE: NA
DATE: JAN 08 2025

DRAWING:

A6.1

Zoning Non-compliance Checklist

File No.
A-2025-0017

Applicant: Valiuddin Mohammed
Address: 45 Turquoise Cres.
Zoning: Residential R1D - 1812
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 5.51m to a proposed two storey addition	whereas the by-law requires a minimum rear yard setback of 7.5m	1812.2.(5)
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato
Reviewed by Zoning

January 27, 2025
Date