

FILE NUMBER: A-2025-0018

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) MINESH NAIDU & ALVEENA NAIDU  
Address 4 NECTARINE CRES L6S 5Y8 BRAMPTON  
  
Phone # 416 988-2904 Fax # \_\_\_\_\_  
Email minesh.naidu@gmail.com

2. Name of Agent EDDIE PERES EKP DESIGNS INC. (Eduardo F Peres) E.P.  
Address 537 ROGERS ROAD M6M 1B4 TORONTO  
  
Phone # (416) 658-6737 Fax # \_\_\_\_\_  
Email ekpdesigns@outlook.com

3. Nature and extent of relief applied for (variances requested):  
The Zoning By-law requires 1.8m side yard setback to the proposed second storey addition the proposed second floor addition will have 1.53 m side yard setback instead of required 1.80m side yard setback  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Why is it not possible to comply with the provisions of the by-law?  
GROWING FAMILY ADDITIONAL SPACE IS NEEDED VARIANCE IS MINOR IN NATURE  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. Legal Description of the subject land:  
Lot Number LOT 26 REGISTERED PLAN 43M-962 CITY OF BRAMPTON  
Plan Number/Concession Number \_\_\_\_\_  
Municipal Address 4 NECTARINE CRES L6S 5Y8 BRAMPTON

6. Dimension of subject land (in metric units)  
Frontage 11.0 m  
Depth 35.0 m  
Area 385.0 sq m

7. Access to the subject land is by:  
Provincial Highway \_\_\_\_\_ Seasonal Road \_\_\_\_\_  
Municipal Road Maintained All Year \_\_\_\_\_ Other Public Road \_\_\_\_\_  
Private Right-of-Way \_\_\_\_\_ Water \_\_\_\_\_

0. Particulars of all buildings and structures on or proposed for the subject land:  
(specify in metric units ground floor area, gross floor area, number of storeys,  
width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:**

EXISTING TWO STOREY TWO UNIT DWELLING 7.16 M X 13.06 M IRREGULAR TOTAL G.F.A. = 129.14 SQ.M

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**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

PROPOSED SECOND STOREY ADDITION TO A EXISTING TWO UNIT DWELLING 3.97 M X 4.19 M  
TOTAL G.F.A. = 145.77 SQ.M.

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1. Location of all buildings and structures on or proposed for the subject  
lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	<u>7.95 M</u>
Rear yard setback	<u>13.95 M</u>
Side yard setback	<u>1.53 M</u>
Side yard setback	<u>2.31 M</u>

**PROPOSED**

Front yard setback	<u>7.95</u>
Rear yard setback	<u>13.95</u>
Side yard setback	<u>1.53 M</u>
Side yard setback	<u>2.31 M</u>

0. Date of Acquisition of subject land: OCTOBER 06 2022
1. Existing uses of subject property: FULLY DETACHED TWO UNIT DWELLING
2. Proposed uses of subject property: FULLY DETACHED TWO UNIT DWELLING
3. Existing uses of abutting properties: FULLY DETACHED SINGLE FAMILY DWELLING
4. Date of construction of all buildings & structures on subject land: 1980 S +/-
5. Length of time the existing uses of the subject property have been continued: SINCE CONSTRUCTION

16. (a) What water supply is existing/proposed?

Municipal  
Well

Other (specify) MUNICIPAL

- (b) What sewage disposal is/will be provided?

Municipal  
Septic

Other (specify) MUNICIPAL

- (c) What storm drainage system is existing/proposed?

Sewers  
Ditches  
Swales

☐  
☒  
☐

Other (specify) MUNICIPAL

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes

No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes

No

19. Has the subject property ever been the subject of an application for minor variance?

Yes

No

Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Eddie Peres

Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ CITY \_\_\_\_\_ OF \_\_\_\_\_ BRAMPTON \_\_\_\_\_

THIS 04 DAY OF February, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, EDDIE PERES, OF THE CITY \_\_\_\_\_ OF TORONTO Brampton

IN THE \_\_\_\_\_ REGION \_\_\_\_\_ OF \_\_\_\_\_ PEEL \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY \_\_\_\_\_ OF \_\_\_\_\_ BRAMPTON \_\_\_\_\_

IN THE \_\_\_\_\_ REGION \_\_\_\_\_ OF \_\_\_\_\_

PEEL \_\_\_\_\_ THIS 23 04 DAY OF \_\_\_\_\_

JANUARY February 2025

Eddie Peres Eddie Peres

Signature of Applicant or Authorized Agent

Mercelyn Osayamen Osaze  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires June 20, 2025.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Residential R1C-467

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato  
Zoning Officer

January 30, 2025  
Date

DATE RECEIVED

February 4, 2025

Mercelyn

## APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 4 NECTARINE CRES L6S 5Y8 BRAMPTON

I/We, **MINESH NAIDU & ALVEENA NAIDU**

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

EDDIE PERES EKP DESIGNS INC.

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 23 RD day of JANUARY, 2025.

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**


To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

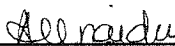
LOCATION OF THE SUBJECT LAND: 4 NECTARINE CRES L6S 5Y8 BRAMPTON

I/We, MINESH NAIDU & ALVEENA NAIDU  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 23 RD day of JANUARY , 2025.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

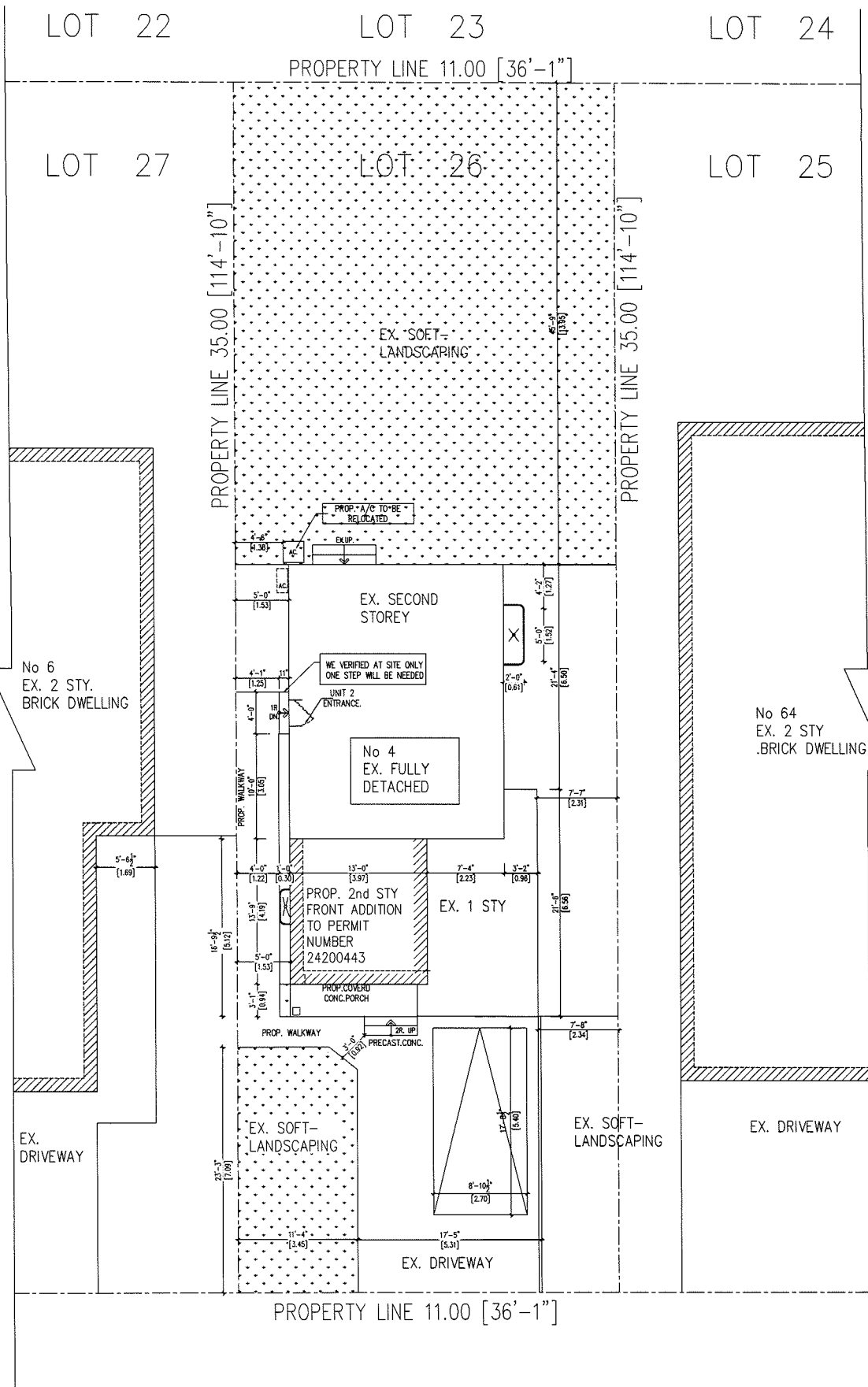
  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

8. Committee of Adjustment		
Residential Minor Variance Applications		
Above/Below Grade Variance (Door/Window)	\$11,949	Per Application
Driveway Variance	\$11,949	Per Application
Parking Variance	\$11,949	Per Application
Variances to Section 10.16 (Garden Suites) of the Zoning By-Law	\$11,949	Per Application
All Other Variances	\$2,990	Per Variance
Maximum Fee	\$11,949	Per Application
Institutional, Commercial or Industrial (ICI) Minor Variance Applications		
Minor Variance Application	11,949	Per Application
"After the Fact" Variance (Residential or ICI) Variance application resulting from a registered complaint, construction inspection, building order or enforcement action.	\$11,949	Per Application
Consent Applications		
Consent Application – Lot Creation	\$10,157	Per Application
Consent Application – All Other (in accordance with Planning Act S.57, 50(18), or 53(23))	\$5,078	Per Application
Committee of Adjustment Application Re-Circulated Pursuant to A Request by The Applicant to Defer an Application	\$5,000	Per Notice
Consent Certificate	\$2,127	Per Certificate
Replacement Notice Sign	\$75	Per Sign
<b>Committee of Adjustment Application Refunds:</b> <ul style="list-style-type: none"> <li>\$400 refund if withdrawn prior to internal circulation (By-law 231-2007).</li> <li>\$300 refund if withdrawn prior to circulation of public notice of a hearing (By-law 231-2007).</li> <li>No refund if withdrawn once the circulation of the public notice of a hearing has occurred (By-law 231-2007).</li> </ul>		

REFERENCE NO:  
90-20-561-00-26



# NECTARINE CRES

## SITE STATISTICS

LOT AREA =385.0 SQ.M (4144.10 SQ.FT)  
EX. 1st FLOOR AREA WITH GARAGE=98.20 SQ.M.  
EX. 1st FLOOR AREA WITHOUT GARAGE=79.97 SQ.M.  
EX. 2nd STY FLOOR AREA =49.17 SQ.M.  
PROP. 2nd FLOOR FRONT ADDITION=16.63 SQ.M  
PROP. COVERED CONC.PORCH AREA=3.44 SQ.M

FRONT LOT AREA =94.17 SQ.M.(1013.58 SQ.F)  
45% MIN. LANDSCAPING =47.08 SQ.M.  
PROP.WALKWAY AREA & STAIRS= 4.50 SQ.M.  
EX.DRIVEWAY AREA=42.48 SQ.M.  
ACTUAL SOFT LANDSCAPING AREA=50.19/94.17=53.30%

TOTAL G.F.A.=145.77 SQ.M/385.0 =37.86 %  
TOTAL PROP. LOT COVERAGE=101.55 SQ.M/ 385.0 =26.37 %

### EKP DESIGNS INC.

537 ROGERS ROAD  
TORONTO, ONTARIO  
M6M-1B4  
TEL. No. 416-658-6737  
CELL No. 416-723-6983  
EMAIL: ekpdesigns@outlook.com




THIS DRAWING IS AN INSTRUMENT OF SERVICE  
ISSUED BY AND IS THE PROPERTY OF  
EKP DESIGNS INC. THE CONTRACTOR MUST  
PROTECT AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND  
CONDITIONS ON SITE AND MUST NOTIFY  
EKP DESIGNS INC. OF ANY VARIATIONS FROM  
THE SUPPLIED INFORMATION.  
THE DRAWING IS NOT TO SCALE.  
THE USER IS RESPONSIBLE FOR THE  
ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL,  
ELECTRICAL, ETC. INFORMATION SHOWN ON THE  
DRAWINGS BEFORE PROCEEDING WITH WORK.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE  
CODES AND REGULATIONS OF AUTHORITIES.  
HAVING ASSUMED THE CONTRACTOR'S WORKING  
FROM DRAWINGS NOT SPECIFICALLY MARKED  
FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY  
FOR CORRECTIONS OR DAMAGES  
RESULTING FROM HIS/HER WORK.

No.	REVISIONS	DATE


The undersigned has released and taken responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to design the work shown on the  
attached documents.  
Required unless design is exempt under 3.2.4.3.(5) Division C  
of the Ontario Building Code.  
DATE PLOTTED: 2023-11-05  
NAME: EKP DESIGNS INC.  
SIGNATURE: [Signature]  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C  
of the Ontario Building Code.  
EKP DESIGNS INC.  
FIRM NAME: EKP DESIGNS INC.


PROJECT  
PROP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION  
TO FRONT HOUSE 24020443  
4 NECTARINE CRES  
CITY OF BRAMPTON  
DRAWING NAME  
SITE PLAN  
DESIGNED BY: EKP  
CHECKED BY: EKP  
DATE: OCT. 2023  
SCALE: AS SHOWN  
FILE: 2023  
DRAWING NO: A1

# LINTEL SCHEDULE

- |   |                             |
|---|-----------------------------|
| S.A   | SMOKE ALARM(INTERCONNECTED) |
|  | (STROBE-VISUAL SIGNALING)   |
| C.M.D   | CARBON MONOXIDE DETECTOR    |
|  | MECHANICAL VENTILATION      |
| M.V.  | MECHANICAL VENTILATION      |
|  | SOLID WOOD BEARING          |
|   | MIN. WIDTH OF BEAM          |

WALL SCHEDULE:

 INDICATES NEW 2"x4"@16" O.C.  
PARTITION WALL W/ 1/2" G.W.B.  
ON BOTH SIDES

2" X 4" WALL STUDS @ 16" O.C. WITH  
 5/8" TYPE X G.W.B. ON BOTH SIDES, FILL  
 CAVITY WITH R14 ROCKWOOL  
 SafendSound STONEWOOL  
 NON-COMBUSTABLE INSULATION

☐ EXISTING WALL TO BE REMAIN

----- DOTTED LINES  
----- INDICATE EX. TO BE REMOVED

~~ST~~~~C1~~ CEILING SCHEDULE +U/S OF STAIRS

FLOORS & U/S OF STAIRS

1-LAYER 15.9mm (5/8") TYPE "X" GWB OVER  
METAL FURRING CHANNELS @ 406mm ( 16")  
PERPENDICULAR TO FL. JOISTS. W/ ABSORPTIVE  
MATERIAL FIBRE PROCESSED FROM ROCK OR SLAG  
(ROXUL SafenSound NON-COMBUSTIBLE INSULATION.  
(1 HR. FIRE RESISTANCE RATING & 53 STC CLASS)  
AS PER SB-3 TABLE-2 F10E )

 CEILING-ADD ONE LAYER OF 5/8" TYPE-X G.W.B.

CEILING-ADD ONE LAYER OF 5/8" TYPE-X G.W.B  
OVER EXISTING ASSSUMED 1/2" G.W.B.(45MIN)

H1 H.V.A.C. SYSTEM ALTERATION:

IN A BUILDING NOT MORE THAN 4 DWELLING UNITS, THE EXISTING HEATING AND AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

### CEILING ASSEMBLIES :

2-LAYER 15.9mm (5/8") TYPE "x" GWB OVER METAL  
FURRING CHANNELS @ 406mm (16") PERPENDICULAR TO FL.  
JOISTS. W/ ABSORPTIVE MATERIAL FIBRE PROCESSED FROM  
ROCK OR SLAG (ROXUL SafenSound ON-COMBUSTIBLE  
INSULATION (1 HR. FIRE RESISTANCE RATING & 53 STC  
CLASS) AS PER SB-3 TABLE-2 F10E )

## WALL TIE SCHEDULE:

TIE-1  
EPOXY GROUT /W HILTI HIT ??? 200 OR  
APPROVED ???

TIE-2  
TIE END STUD TO EX.BLOCK  
WALL W/ 1/4" DIA TAPCON  
SCREWS @24" O.C. MAX.

**PI** 2" FOAMULAR CODEBOARD R10  
(RSI 1.76) XPS RIGID INSULATION  
TO INNER FACE OF BLOCK,  
2"x4"WD. STUDS @ 16" OR 24"  
O.C W/ ECOTOUCH PINK  
FIBREGLAS INSULATION R14(RSI  
2.11/2.46) 6 MIL POLY,  
CONTINUOUS V.BARRIER  $\frac{1}{2}$ " G.W.B.  
TOTAL R VALUE=R24 CI

50. WINDOWS  
AT LEAST ONE WINDOW IN EACH BEDROOM TO HAVE MIN. 0.35m<sup>2</sup>  
(3.775q.ft.) UNOBSTRUCTED AREA OR OPENABLE AREA WITH MIN.  
WIDTH OF 380mm (15"). MIN 0.28m<sup>2</sup> (3.0 S.F) OF OPENABLE  
WINDOW AREA FOR NATURAL VENTILATION.

51. ALL NEW WINDOWS LOCATED LESS THAN 2000mm (6'-7") FROM ADJACENT GROUND TO COMPLY WITH O.B.C. SECTION 9.7.5.3 RESISTANCE TO FORCED ENTRY. MUST ALSO COMPLY WITH 12.3.1.2., SB-12, TABLE 3.1.1.2.A(IP) FOR MAXIMUM U-VALUES AND MINIMUM ENERGY RATINGS (ER) FOR WINDOWS SKYLIGHTS AND SLIDING GLASS DOORS.

52. DOORS  
ALL NEW ENTRANCE DOORS SHALL MEET THE REQUIREMENTS OF  
O.B.C. SECTION 9.7.5.2. RESISTANCE TO FORCED ENTRY, & 9.7.6.1.  
FOR INSTALLATION.

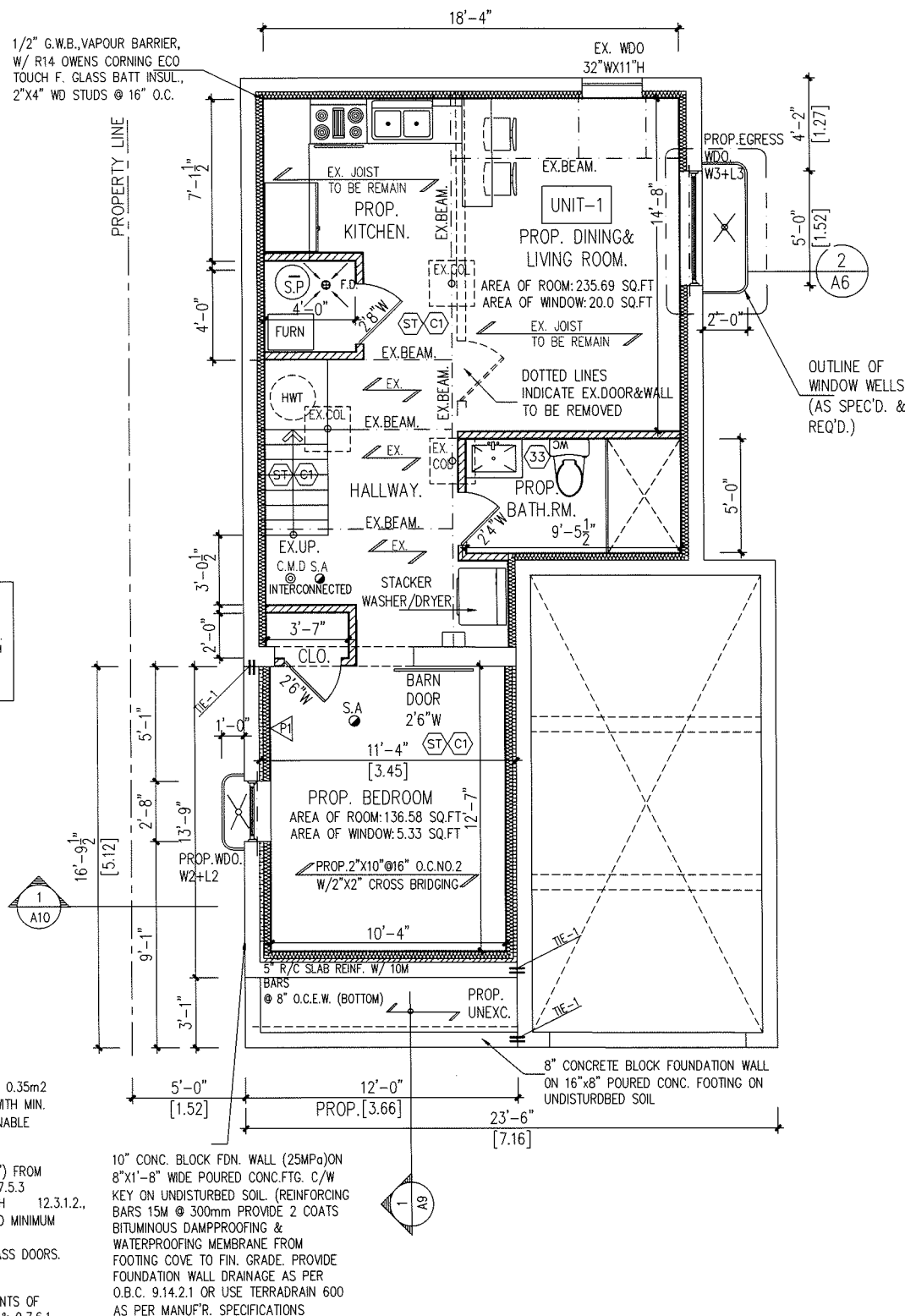
33. WASHROOM TO BE MECHANICALLY VENTED DIRECTLY TO EXTERIOR IN ORDER TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

WOOD LINTELS

	METRIC	IMPERIAL
W1	2- 38 X 140	2- 2" X 6" SPR. #1
W2	2- 38 X 184	2- 2" X 8" SPR. #1
W3	2- 38 X 235	2- 2" X 10" SPR. #1
W4	2- 38 X 286	2- 2" X 12" SPR. #1

## STEEL LINTELS

	METRIC	IMPERIAL
L1	90 X 90 X 6.0	3 1/2" X 3 1/2" X 1/4"
L2	90 X 90 X 8.0	3 1/2" X 3 1/2" X 5/16"
L3	100 X 90 X 8.0	4" X 3 1/2" X 5/16"
L4	125 X 90 X 8.0	5" X 3 1/2" X 5/16"



1 BASEMENT FLOOR PLAN  
A2 SCALE : 3/16" = 1' - 0"

SCALE : 3/16" = 1' - 0'

PROVIDE ALL BRACING, SHORING, AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK. STRUCTURAL INTEGRITY OF ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED & ANCHORED TO PROVIDE THE NECESSARY STRENGTH & RIGIDITY & STABILITY AS PER O.B.C. 9.23.21.

SUPPORT POSTS:

PROVIDE POSTS UNDER ALL BEAMS/GIRDER  
TRUSSES ETC. POSTS ARE TO RUN CONTINUOUS  
TO THE FDN.WALL OR EQUIVALENT SUPPORT  
ORC 92083 92381 923107

NOTE:

EXISTING FLOOR FRAMING TO BE REVIEWED DURING CONSTRUCTION

## EKP DESIGNS INC.

537 ROGERS ROAD  
TORONTO, ONTARIO  
M6M-1B4  
TEL. No. 416-658-6737  
CELL No. 416-723-6983  
EMAIL : ekadesians@outlook.com

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF EXP DESIGNS INC. THE CONTRACTOR MUST VERIFY THE DESIGN RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY EXP DESIGNS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DRAWING IS NOT TO SCALE. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL ETC. VERIFY INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH WORK. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR DAMAGES RESULTING FROM HIS/HER WORK.

[illegible]

BEFORE STARTING THE CONSTRUCTION  
CONTRACTOR SHALL VERIFY ALL DRAWINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on attached documents.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

**EDUE PERES**  
NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

**REGISTRATION INFORMATION**  
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

**EOP DESIGNS INC.**  
FIRM NAME \_\_\_\_\_

PROJECT PROP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION TO PERMIT NUMBER 24200443 4 NECTARINE CRES CITY OF BRAMPTON		
DRAWING NAME EX. BASEMENT FLOOR PLAN		
DESIGNED BY EXP	DRAWN BY EXP	APPROVED BY EXP
PROJECT No. 2024-114	DATE NOV 2024	SCALE AS SHOWN
FILE: 2024		A2

LEGEND:

- S.A. SMOKE ALARM (INTERCONNECTED)  
(STROBE-VISUAL SIGNALING)
- C.M.D. CARBON MONOXIDE DETECTOR
- MECHANICAL VENTILATION
- M.V. MECHANICAL VENTILATION  
SOLID WOOD BEARING  
MIN. WIDTH OF BEAM
- EX. VENT (4"X10")

LINTEL SCHEDULE

WOOD LINTELS

	METRIC	IMPERIAL
W1	2- 38 X 140	2- 2" X 6" SPR. #1
W2	2- 38 X 184	2- 2" X 8" SPR. #1
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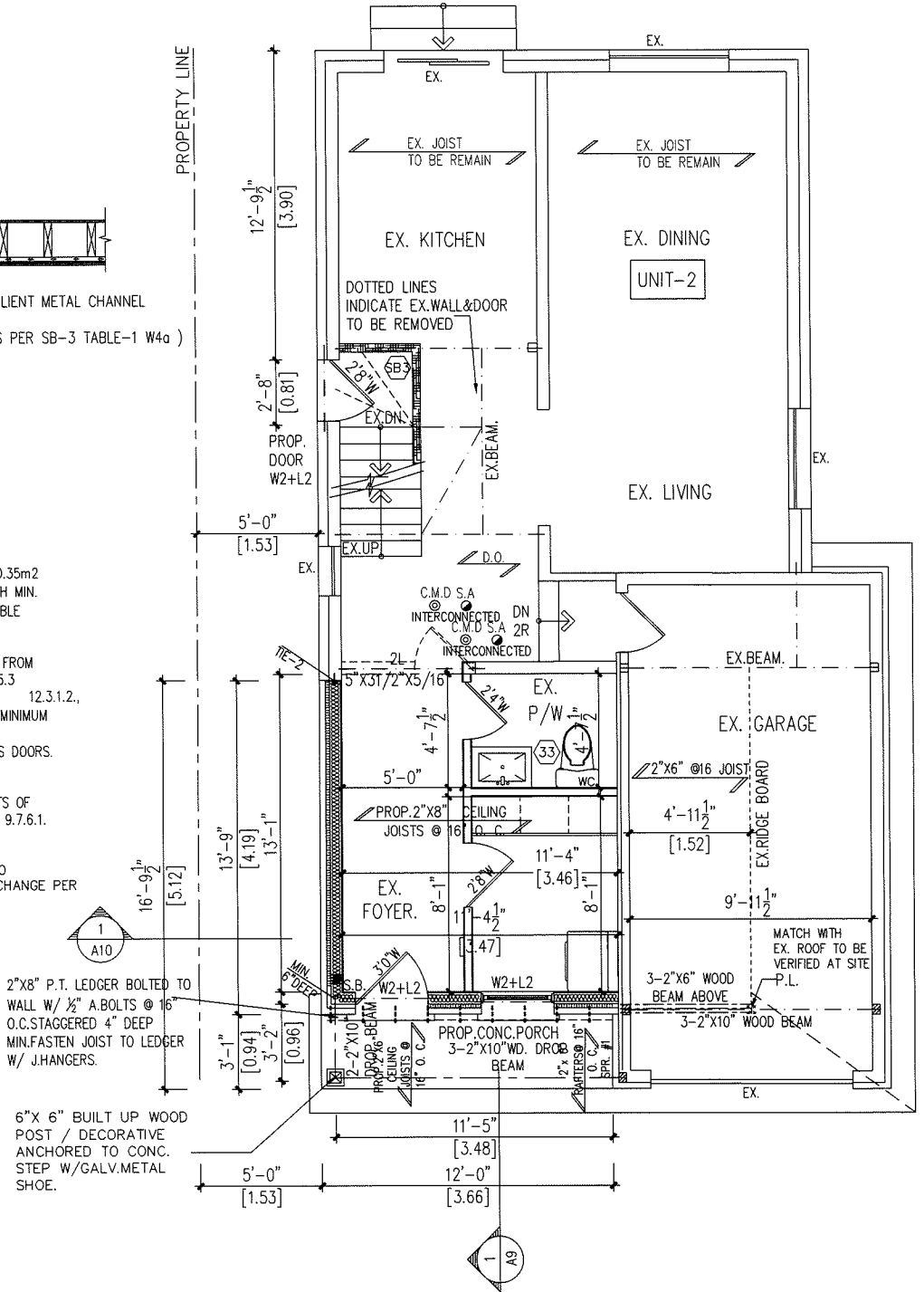
WALL SCHEDULE:

- INDICATES NEW 2"X4" @ 16" O.C.
- PARTITION WALL W/ 1/2" G.W.B. ON BOTH SIDES
- 2" X 4" WALL STUDS @ 16" O.C. WITH  
1/2" TYPE X G.W.B. ON BOTH SIDES, FILL  
CAVITY WITH R14 ROCKWOOL  
SafendSound STONEWOOL  
NON-COMBUSTIBLE INSULATION
- EXISTING WALL TO BE REMAIN
- DOTTED LINES  
INDICATE EX. TO BE REMOVED

- SB3-W4  
-38mmX89mm WOOD STUDS SPACED 406mm  
-89mm THICK ABSORPTIVE MATERIAL  
-RESILIENT METAL CHANNEL ON ONE SIDE @ 406 mm  
-2 LAYER OF 15.9MM TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL  
-15.9MM TYPE X GYPSUM BOARD  
(1 HR. FIRE RESISTANCE RATING & 51 STC CLASS) AS PER SB-3 TABLE-1 W4a)

- 1/2" PLYWOOD SHEATHING, 2"X6" WALL @ 16" O.C.  
R19 MIN. F.GLASS INSUL. CONTINUOUS V. BARRIER  
W/ 1/2" G.W.B. AS INDICATED READY TO RECEIVE  
PAINT. APPLY DUROCK POLAR BEAR AIR/MOISTURE  
BARRIER & ADHESIVE, 1.5" (R5 MIN.) DUROCK PUCCS  
INSULATION BOARD, 10 mm DRAINAGE LAYER, FIBRE  
MESH EMBEDDED INTO PREP. COAT. APPLY BASE  
PRIMER & FINISH COAT. TOTAL R VALUE=R24 CI  
(CONTINUOUS)

50. WINDOWS  
AT LEAST ONE WINDOW IN EACH BEDROOM TO HAVE MIN. 0.35m<sup>2</sup>  
(3.77Sq.Ft.) UNOBSTRUCTED AREA OR OPENABLE AREA WITH MIN.  
WIDTH OF 380mm (15"). MIN 0.28m<sup>2</sup> (3.0 S.F) OF OPENABLE  
WINDOW AREA FOR NATURAL VENTILATION.
51. ALL NEW WINDOWS LOCATED LESS THAN 2000mm (6'-7") FROM  
ADJACENT GROUND TO COMPLY WITH O.B.C. SECTION 9.7.5.3  
RESISTANCE TO FORCED ENTRY. MUST ALSO COMPLY WITH 12.3.1.2,  
SB-12, TABLE 3.1.1.2.A (IP) FOR MAXIMUM U-VALUES AND MINIMUM  
ENERGY RATINGS (ER) FOR WINDOWS SKYLIGHTS AND SLIDING GLASS DOORS.
52. DOORS  
ALL NEW ENTRANCE DOORS SHALL MEET THE REQUIREMENTS OF  
O.B.C. SECTION 9.7.5.2. RESISTANCE TO FORCED ENTRY, & 9.7.6.1.  
FOR INSTALLATION.
53. WASHROOM TO BE MECHANICALLY VENTED DIRECTLY TO  
EXTERIOR IN ORDER TO PROVIDE AT LEAST ONE AIR CHANGE PER  
HOUR.



1 FIRST FLOOR PLAN  
A3 SCALE : 3/16" = 1' - 0"

NOTE:

EXISTING FLOOR FRAMING TO BE REVIEWED DURING  
CONSTRUCTION

PROVIDE ALL BRACING, SHORING, AND  
NEEDLING NECESSARY FOR THE SAFE  
EXECUTION OF THIS WORK. STRUCTURAL  
INTEGRITY OF ALL MEMBERS SHALL BE SO  
FRAMED, FASTENED, TIED, BRACED & ANCHORED  
TO PROVIDE THE NECESSARY STRENGTH &  
RIGIDITY & STABILITY AS PER O.B.C. 9.23.2.1.

SUPPORT POSTS:

PROVIDE POSTS UNDER ALL BEAMS/GIRDER  
TRUSSES ETC. POSTS ARE TO RUN CONTINUOUS  
TO THE FDN. WALL OR EQUIVALENT SUPPORT  
O.B.C. 9.20.8.3, 9.23.8.1, 9.23.10.7.

EKP DESIGNS INC.

537 ROGERS ROAD  
TORONTO, ONTARIO  
M6M-1B4  
TEL. No. 416-658-6737  
CELL No. 416-723-6983  
EMAIL : ekpdesigns@outlook.com

THIS DRAWING IS AN INSTRUMENT OF SERVICE  
AND IS THE PROPERTY OF EKP DESIGNS INC. THE  
DESIGNER IS NOT RESPONSIBLE FOR THE  
ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL,  
ELECTRICAL ETC. VERY INFORMATION SHOWN ON THE  
DRAWINGS BEFORE PROCEEDING WITH WORK.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE  
CODES AND REQUIREMENTS OF AUTHORITY.  
HAVING JURISDICTION THE CONTRACTOR WORKING  
FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY  
AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES  
RESULTING FROM HIS/HER WORK.

No.	REVISIONS	DATE

BEFORE STARTING THE CONSTRUCTION  
CONTRACTOR SHALL VERIFY ALL DRAWINGS

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to design the work shown on the  
attached documents.

QUALIFICATION INFORMATION  
Registered unless design is exempt under 3.2.4.3 (3) Division C  
of the Ontario Building Code.

DATE PERIOD: 2024-11-4  
NAME: EKP DESIGNS INC.  
FIRM NAME: EKP

SIGNATURE: [Signature]  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.3 (3) Division C  
of the Ontario Building Code.  
EKP DESIGNS INC.  
FIRM NAME: EKP

PROJECT: PROP. AND CITY FRONT ADDITION & INTERIOR ALTERATION  
TO PERMIT NUMBER 24020443  
& ELECTRICAL CDS  
CITY OF BRAMPTON

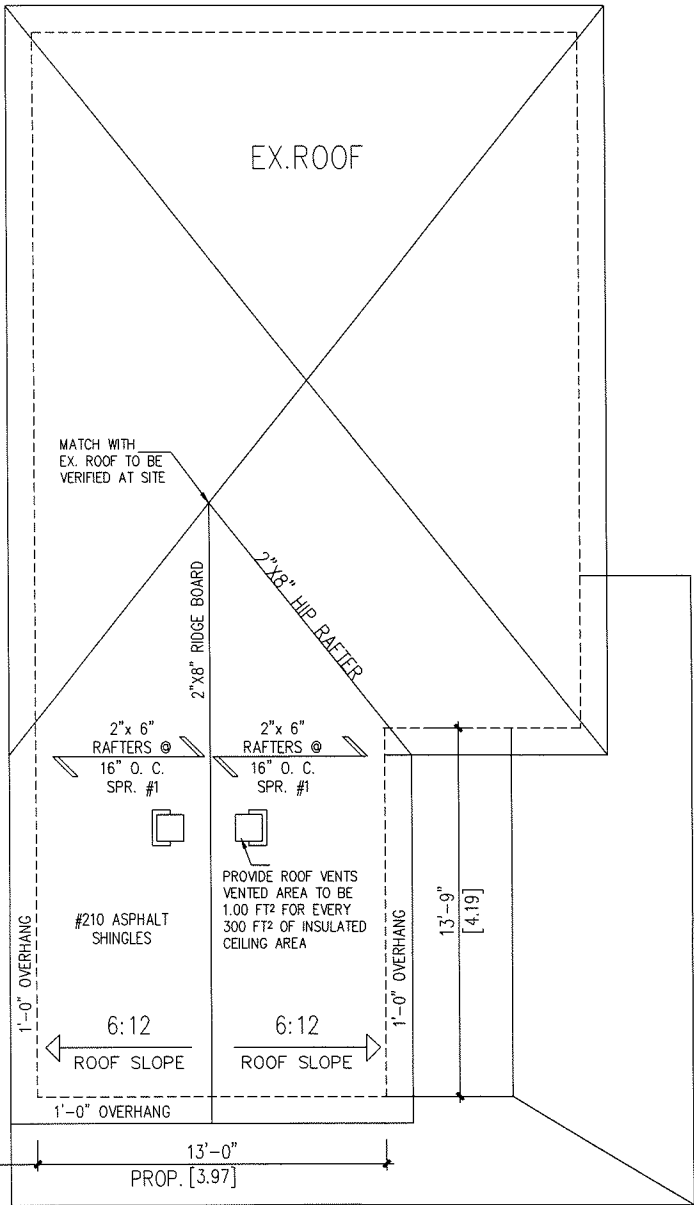
DRAWING NAME: FIRST FLOOR PLAN

DESIGNED BY: EKP  
CHECKED BY: EKP  
DATE: NOV 2024  
SCALE: AS SHOWN  
APPROVED BY: EKP  
DATE: 2024

A3

PROJECT EXP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION TO POINT NUMBER 24500443 4 NECTARINE CRES CITY OF BRAMPTON		
DRAWING NAME SECOND FLOOR PLAN		
DESIGNED BY EXP	DRAWN BY EXP	APPROVED BY EXP
PROJECT No. 2024-116	DATE NOV 2024	SCALE AS SHOWN
FILE 2024	A4	

PROPERTY LINE



1 ROOF PLAN  
A5 SCALE : 3 / 16 " = 1' - 0 "

EKP DESIGNS INC.

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AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND  
CONDITIONS ON SITE AND MUST NOTIFY  
EKP DESIGNS INC. OF ANY VARIATIONS FROM  
THE SUPPLIED INFORMATION.  
THE DESIGNER IS NOT RESPONSIBLE FOR THE  
ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL,  
ELECTRICAL ETC. VERIFY INFORMATION SHOWN ON THE  
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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE  
CODES AND REQUIREMENTS OF AUTHORITIES  
HAVING JURISDICTION. THE CONTRACTOR WORKING  
FROM DRAWINGS NOT SPECIFICALLY MARKED  
FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY  
AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES  
RESULTING FROM HIS/HER WORK.

NO.	REVISIONS	DATE

BEFORE STARTING THE CONSTRUCTION  
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QUALIFICATION INFORMATION  
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of the Ontario Building Code.

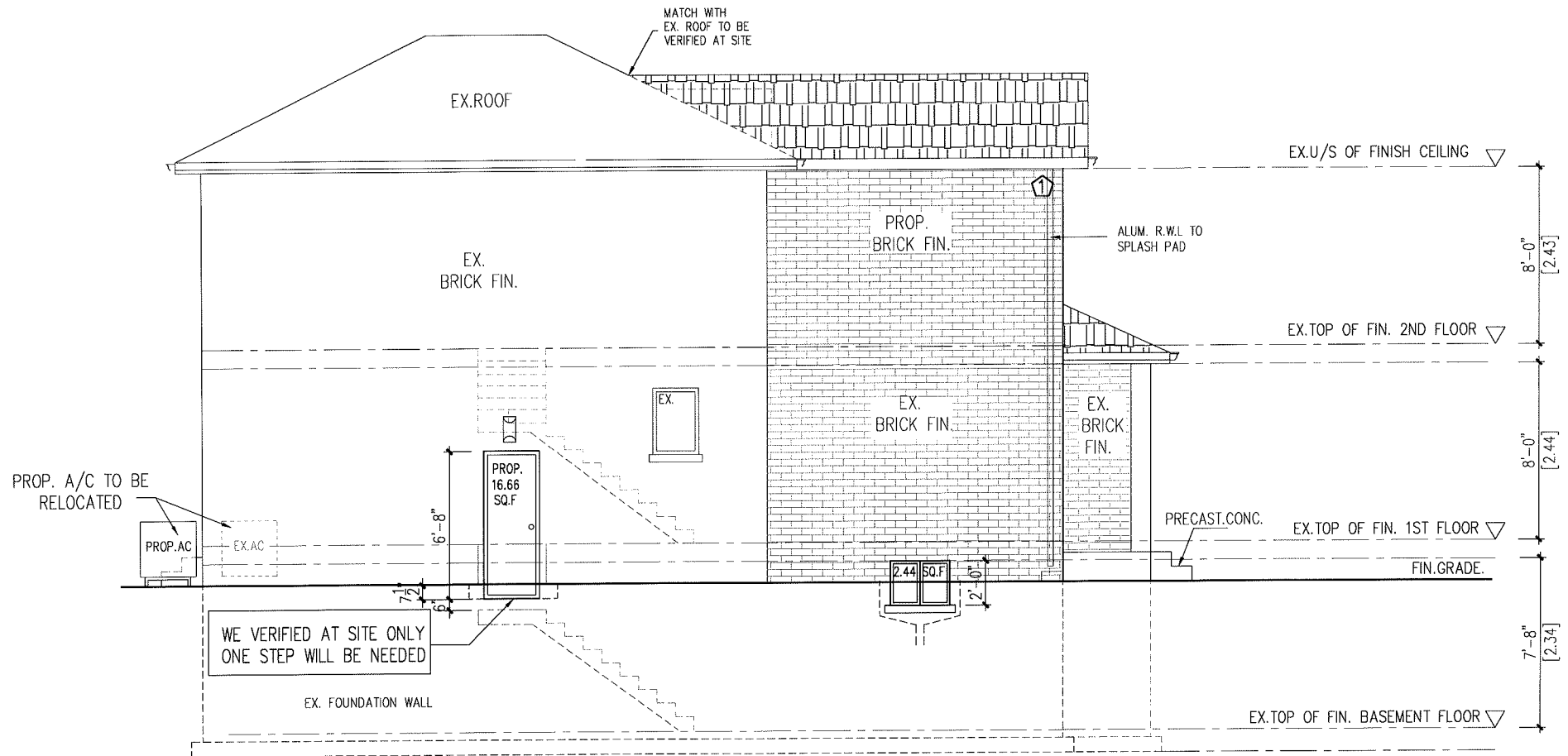
DATE PERFORMED: 3024  
NAME: EKP  
SIGNATURE: [Signature]  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C  
of the Ontario Building Code.

PROJECT:  
PROP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION  
TO EXISTING HOUSE 3400443  
4 MCKINNEY CRESC  
CITY OF BRANTFORD

DRAWING NAME  
SECOND FLOOR PLAN

DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
PROJECT NO. 2024-111	DATE NOV 2024	SCALE AS SHOWN
2024		A5





1 SIDE (WEST) ELEVATION  
A7 SCALE : 3 / 16 " = 1' - 0 "

BRICK DETAIL:  
COLOR TYPE: CLAYLAND  
COMPANY BRAND: KING KLINKER  
SIZE: KING STOCKED 14MM (1/8") THICKNESS

### EKP DESIGNS INC.

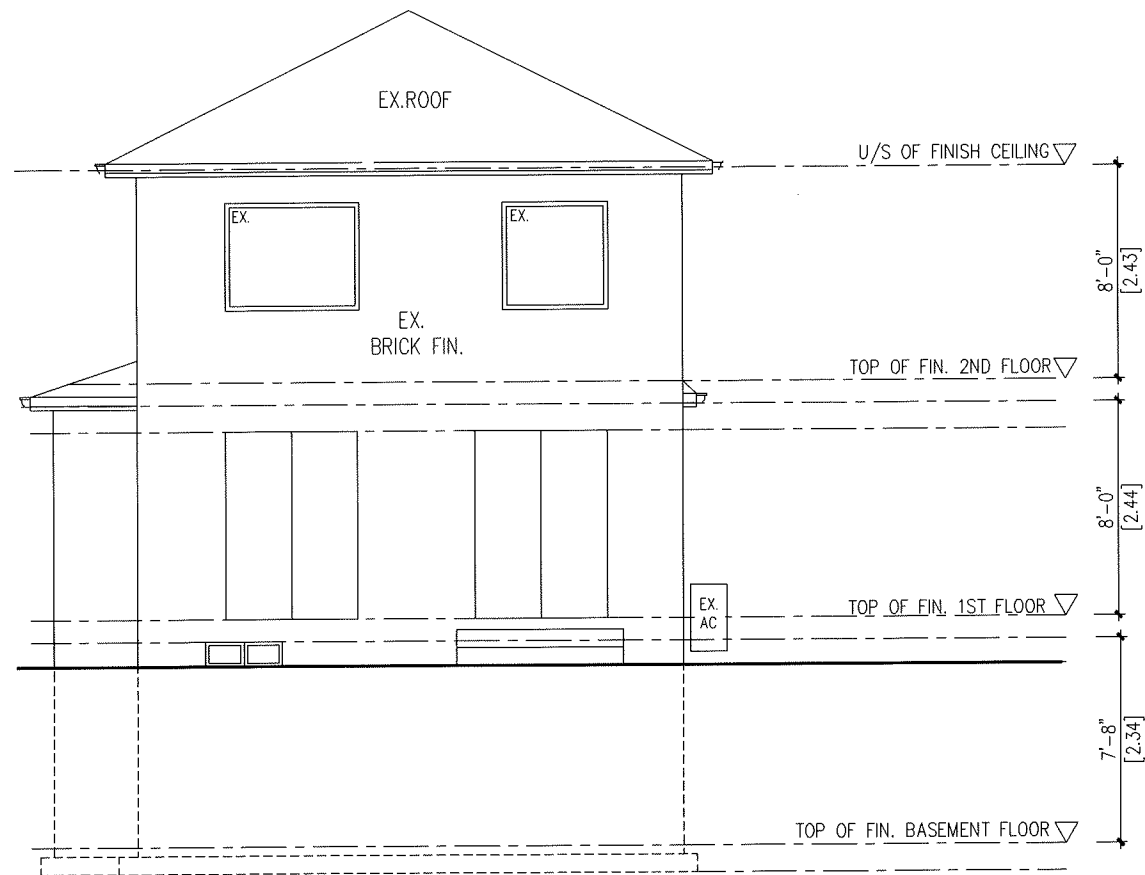
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No.	REVISIONS	DATE

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Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
QUALIFICATION INFORMATION  
EDDIE PERES 37296 BCIN  
NAME SIGNATURE  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
EKP DESIGNS INC. 38281

PROJECT PROP: 2nd STY FRONT ADDITION & INTERIOR ALTERATION TO PERMIT NUMBER 24200443 4 NECTARINE CRES CITY OF BRAMPTON		
DRAWING NAME SIDE ELEVATION		
DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
PROJECT No. 2024-114	DATE NOV 2024	SCALE AS SHOWN
FILE: 2024	A7	



1 REAR ELEVATION  
A11 SCALE : 3 / 16 " = 1' - 0 "

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No.	REVISIONS	DATE

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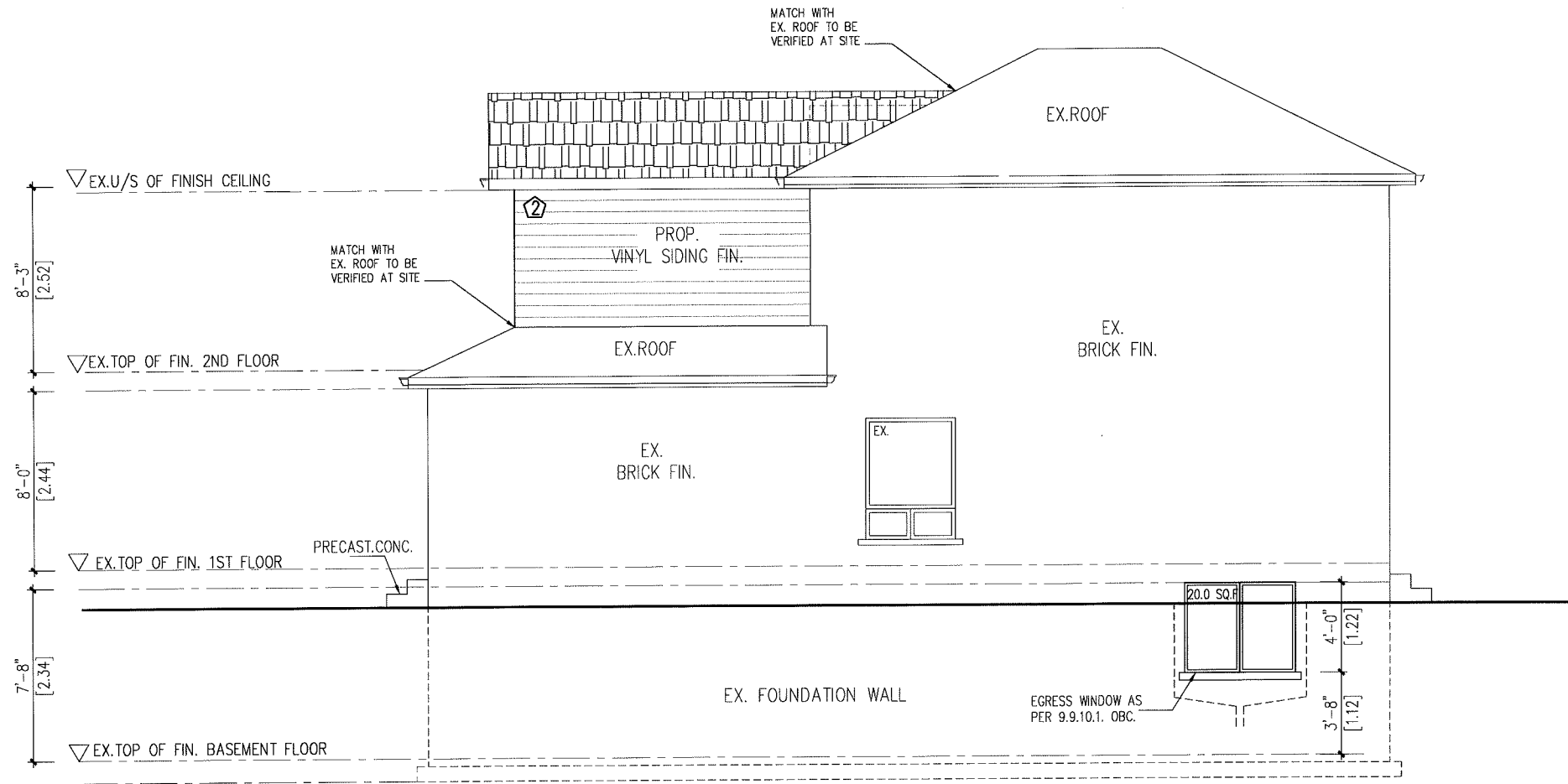
QUALIFICATION INFORMATION  
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EDDIE PERES 37296  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

EKP DESIGNS INC. 38281

PROJECT PROP. 1STY FRONT ADDITION&CONVERT TWO UNITS & BASEMENT INTERIOR ALTERATION 4 NECTARINE CRES CITY OF BRAMPTON		
DRAWING NAME REAR ELEVATION & DETAIL		
DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
PROJECT No. 2023-116	DATE OCT 2023	SCALE AS SHOWN
FILE: 2023	A11	



THE OPENING DISTANCE FROM PROPERTY LINE

AS PER O.B.C. 9.10.15.2(1)  
LIMITING DISTANCE = 2.34 M  
WALL AREA = 644.11 SQ.FT (59.83 SQ.M )  
MAX. AREA OF UNPROTECTED OPENINGS = 64.41 SQ.FT (5.98 SQ.M ) 10%  
ACTUAL AREA OF UNPROTECTED OPENINGS = 37.44 SQ.FT (3.47 SQ.M ) OK  
TOTAL WINDOW FRAMES AREA = 41.60 - (41.60 X 10%) = 37.44 SQ.F

1 SIDE (EAST) ELEVATION  
A8 SCALE : 3 / 16 " = 1' - 0 "

2 VINYL SIDING DETAIL:  
COLOR TYPE: SEDONA RED  
COMPANY BRAND: ONTARIO SIDING  
SIZE: (0.035") THICKNESS

EKP DESIGNS INC.

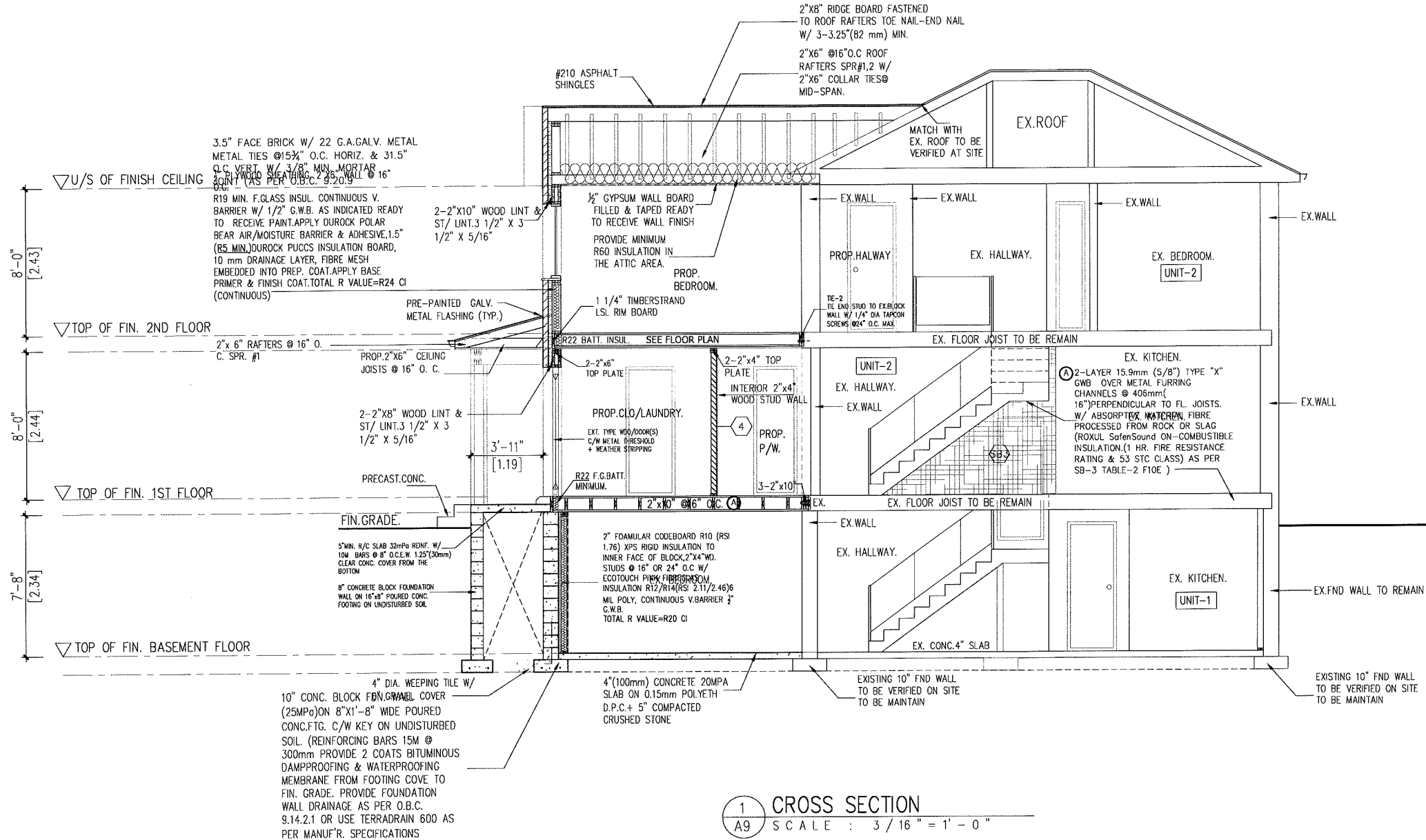
537 ROGERS ROAD  
TORONTO, ONTARIO  
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TEL. No. 416-658-6737  
CELL No. 416-723-6983  
EMAIL : ekpdesigns@outlook.com

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EDDIE PERES  
NAME SIGNATURE BCIN 37296  
REGISTRATION INFORMATION  
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EKP DESIGNS INC. 38281

PROJECT PROP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION TO PERMIT NUMBER 24200443 4 HECTARINE CRES CITY OF BRAMPTON		
DRAWING NAME SIDE ELEVATION		
DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
PROJECT No. 2024-114	DATE NOV 2024	SCALE AS SHOWN
FILE: 2024	A8	



1 CROSS SECTION  
A9 SCALE : 3 / 16 " = 1' - 0 "

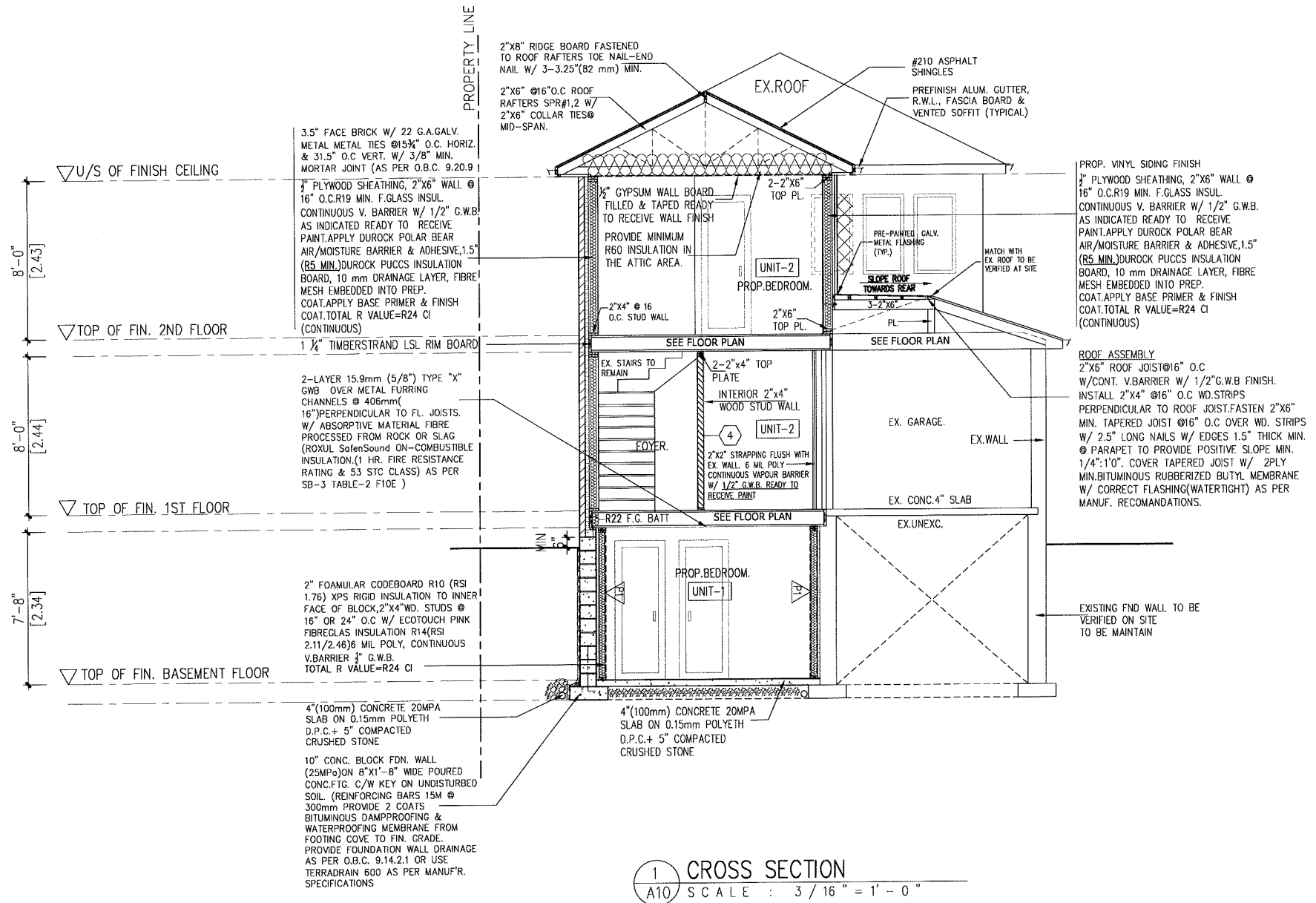
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EDDIE PERES  
NAME  
SIGNATURE  
37296 BCN  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.  
EXP DESIGNS INC. 38281

PROJECT PROP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION TO PERMIT NUMBER 24200443 4 NECTARINE CRES CITY OF BRAMPTON		
DRAWING NAME CROSS SECTION		
DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
PROJECT No. 2024-114	DATE NOV 2024	SCALE AS SHOWN
FILE: 2024	A9	



1 CROSS SECTION  
A10 SCALE : 3 / 16 " = 1' - 0 "

EKP DESIGNS INC.  537 ROGERS ROAD TORONTO, ONTARIO M6M-1B4 TEL. No. 416-658-6737 CELL No. 416-723-6983 EMAIL : ekpdesigns@outlook.com	THIS DRAWING AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF EKP DESIGNS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY EKP DESIGNS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DRAWING IS NOT TO SCALE. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL ELECTRICAL ETC. VERIFY INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED "FOR CONSTRUCTION" MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS/HER WORK.	No.	REVISIONS	DATE	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:  QUALIFICATION INFORMATION Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  EDDIE PERES NAME SIGNATURE 37296 BCIN  REGISTRATION INFORMATION Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  EKP DESIGNS INC. 38281	PROJECT PROP. 2nd STY FRONT ADDITION & INTERIOR ALTERATION TO PERMIT NUMBER 24200443 4 NECTARINE CRES CITY OF BRAMPTON		
						DRAWING NAME CROSS SECTION		
						DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
						PROJECT No. 2024-114	DATE NOV 2024	SCALE AS SHOWN
						FILE: 2024	A10	

# Zoning Non-compliance Checklist

File No.

A-2025-0018

Applicant: EDDIE PERES  
Address: 4 NECTARINE CRES  
Zoning: Residential R1C-467  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit an interior side yard setback of 1.53m to a proposed second storey addition	whereas the by-law requires a minimum interior side yard setback of 1.2m to the first storey, or part thereof, plus 0.6m for each additional storey, or part thereof, where the lot width is less than or equal to 16 metres.	10.27.b.i
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato  
Reviewed by Zoning

January 30, 2025  
Date