

FILE NUMBER: A-2025-0021

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Thomas Fogarty and Sabrina Medeiros Costa  
**Address** 3 Sparklett Cres. Brampton, L6Z 1M7  
  
**Phone #** (647) 384-7722 **Fax #** \_\_\_\_\_  
**Email** benchmarkdab@gmail.com

2. **Name of Agent** Gerry Gerwazy Paluszkiewicz  
**Address** 58 Elm Ave. Toronto, Ontario M4W 1N7  
  
**Phone #** (416) 821 7000 **Fax #** \_\_\_\_\_  
**Email** gervaisdb@gmail.com

3. **Nature and extent of relief applied for (variances requested):**  
The proposed second storey addition does not comply with the minimum side yard setback of 1.8m.  
As per R2A(2) Zone 15.3.2.(e): 1.2 metres for the first storey or part thereof, plus 0.6 metres for each additional storey  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. **Why is it not possible to comply with the provisions of the by-law?**  
The Owners need more space for their family. The proposed east wall of the  
addition is supported by the existing garage wall  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. **Legal Description of the subject land:**  
**Lot Number** Lot 214  
**Plan Number/Concession Number** Registered Plan M-110  
**Municipal Address** 3 Sparklett Cres. Brampton, L6Z 1M7

6. **Dimension of subject land (in metric units)**  
**Frontage** 9.19 m  
**Depth** 30.48 m  
**Area** 280.11 s.m.

7. **Access to the subject land is by:**  
**Provincial Highway** \_\_\_\_\_ **Seasonal Road** \_\_\_\_\_  
**Municipal Road Maintained All Year** \_\_\_\_\_ **Other Public Road** \_\_\_\_\_  
**Private Right-of-Way** \_\_\_\_\_ **Water** \_\_\_\_\_

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Semi-detached house, ground floor area 68.05 sm, gross floor area 136.38 sm, 2 storey, width 9.2 m, length 30.48 m, height 8.00 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Semi-detached house, ground floor area 70.51 sm, gross floor area 176.05 sm, 2 storey, width 9.2 m, length 30.48 m, height 8.00 m

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING	
Front yard setback	7.00 m
Rear yard setback	8.08 m
Side yard setback	1.27 m
Side yard setback	0.00 m
PROPOSED	
Front yard setback	7.00 m
Rear yard setback	8.08 m
Side yard setback	1.27 m
Side yard setback	0.00 m

0. Date of Acquisition of subject land:	
1. Existing uses of subject property:	Single Family House
2. Proposed uses of subject property:	Single Family House
3. Existing uses of abutting properties:	Single Family Houses
4. Date of construction of all buildings & structures on subject land:	1979
5. Length of time the existing uses of the subject property have been continued:	46 years

16. (a) What water supply is existing/proposed?	
Municipal <input checked="" type="checkbox"/>	Other (specify) <input type="text"/>
Well <input type="checkbox"/>	
(b) What sewage disposal is/will be provided?	
Municipal <input checked="" type="checkbox"/>	Other (specify) <input type="text"/>
Septic <input type="checkbox"/>	
(c) What storm drainage system is existing/proposed?	
Sewers <input checked="" type="checkbox"/>	Other (specify) <input type="text"/>
Ditches <input type="checkbox"/>	
Swales <input type="checkbox"/>	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes

No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒

No

19. Has the subject property \_\_\_\_\_ ever been the subject of an application for minor variance?

Yes

No ☒

Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Toronto \_\_\_\_\_

THIS \_\_\_\_\_ 7th \_\_\_\_\_ DAY OF \_\_\_\_\_ February \_\_\_\_\_, 20 \_\_\_\_\_ 25 \_\_\_\_\_.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, \_\_\_\_\_ Gerry Gerwazy Paluszkiewicz \_\_\_\_\_, OF THE \_\_\_\_\_ OF \_\_\_\_\_

IN THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Toronto \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City \_\_\_\_\_ OF \_\_\_\_\_ Toronto \_\_\_\_\_

IN THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_

Toronto \_\_\_\_\_ THIS \_\_\_\_\_ 7th \_\_\_\_\_ DAY OF \_\_\_\_\_

February \_\_\_\_\_, 20 \_\_\_\_\_ 25 \_\_\_\_\_.



Signature of Applicant or Authorized Agent



A Commissioner etc.  
Joanna Milnes, Barrister and Solicitor

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED \_\_\_\_\_

*Chris*  
*Feb 14, 2025*

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

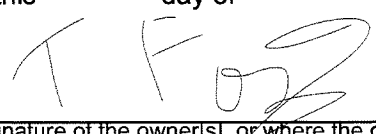
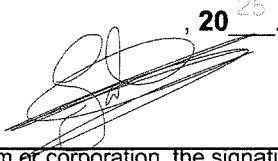
LOCATION OF THE SUBJECT LAND: 3 Sparklett Cres, Brampton L6Z 1M7

I/We, Thomas Fogarty and Sabrina Medeiros Costa  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Gerry Gerwazy Paluszkiewicz  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 6th day of February, 2025.  
   
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Thomas Fogarty

Sabrina Medeiros Costa

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 3 Sparklett Cres. Brampton L6Z 1M7

I/We, Thomas Fogarty and Sabrina Medeiros Costa  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 6th day of February, 2025.

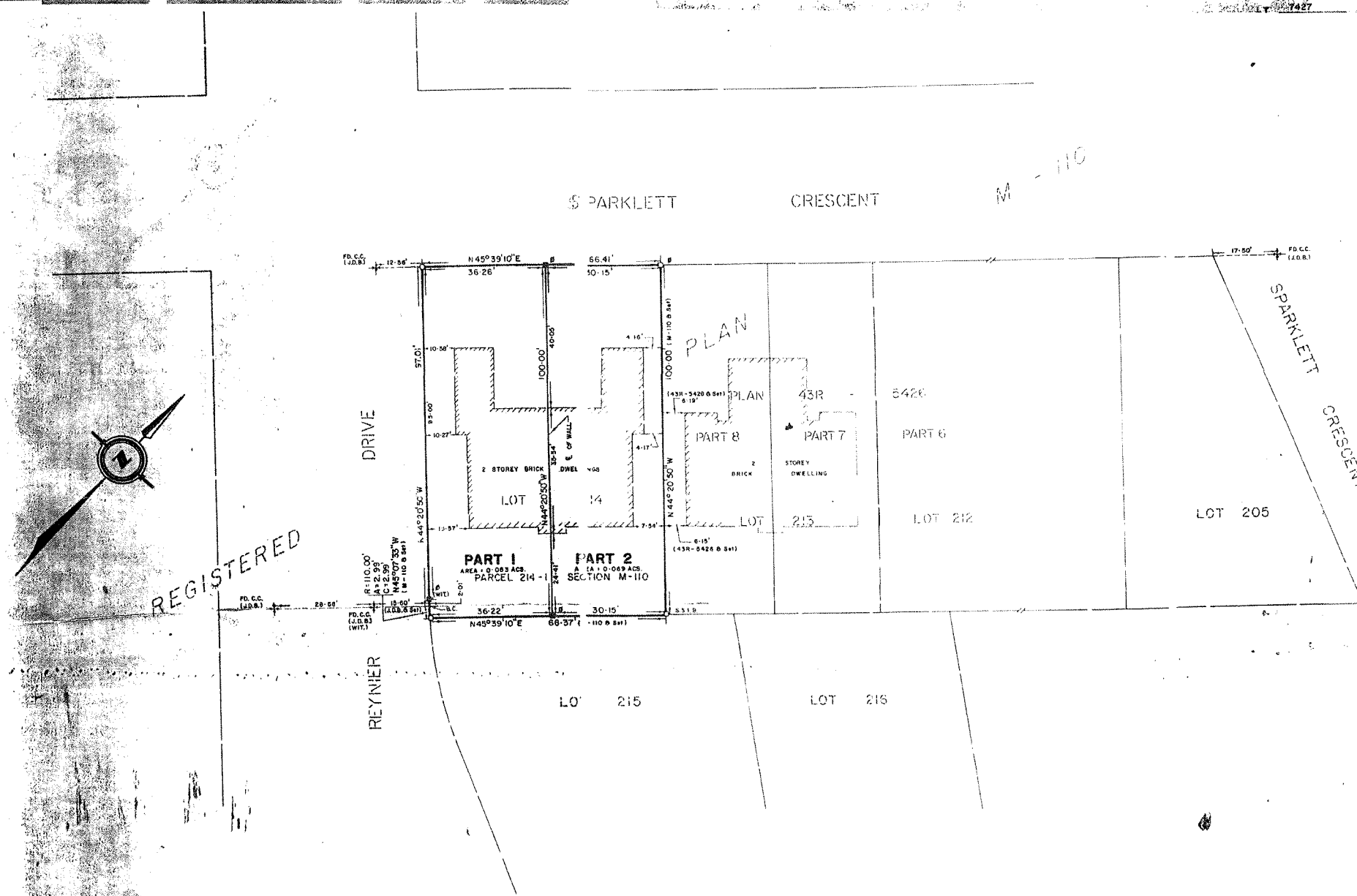
x T. Fogarty Sabrina Medeiros Costa  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Thomas Fogarty Sabrina Medeiros Costa

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT		PLAN 43R 7016 RECEIVED AND DEPOSITED DATE 16 July 1979
(DATE) 4th JULY, 1979 <i>R. A. Stocker</i> ROBERT A. STOCKER (NAME IN PRINT)		DEPUTY LAND REGISTRAR FOR THE LAND TITLES DIVISION OF PEEL (N° 43)
EXAMINER'S APPROVAL Approved JULY 12, 1979 <i>C. R. Woods</i> Asst. Examiner of Surveys		
PARTS 1 AND 2 - ALL OF PARCEL 214-1, SECTION M-110		
PLAN OF SURVEY OF LOT 214, REGISTERED PLAN M-110 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL SCALE: 1 INCH = 20 FEET J. D. BARNES LIMITED, SURVEYORS 1979		
NOTES: BEARINGS HEREON ARE ASTRONOMIC, DERIVED FROM THE SOUTH EASTERLY LIMIT OF SPARKLETT CRESCENT SHOWN AS N45°39'10"E ON REGISTERED PLAN M-110  ALL HANGING LINES SHOWN ON THIS PLAN HAVE BEEN VERIFIED □ DENOTES 1" SO. 4" LONG STANDARD IRON BAR PLANTED □ S.S.B. DENOTES 1" SO. 2" LONG SHORT STANDARD IRON BAR PLANTED ■ DENOTES 1/4" SO. 2" LONG IRON BAR PLANTED FD. DENOTES SURVEY MONUMENT FOUND WIT. DENOTES WITNESS J.D.B. DENOTES J.D. BARNES LIMITED, SURVEYORS  CAUTION: THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.		
SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER; 2. THE SURVEY WAS COMPLETED ON THE 20th DAY OF JUNE, 1979  4th JULY, 1979 DATE <i>Robert A. Stocker</i> ROBERT A. STOCKER ONTARIO LAND SURVEYOR		
J. D. BARNES LIMITED, Surveyors Cadastral, Geodetic, Photogrammetric and Engineering Surveys TORONTO, ONT. L4R 1A1 DRAWN BY: RMB CHECKED BY: W.J.B. 6-4-79 257 REVISION: 77-41-535-0-1		

C = 2.99'  
N 45° 07' 33" W  
(M-110 @ Set)

15.60'  
(A.D.B. @ Set)

2.01'  
B.C.  
(WIT)

36.22'

30.15'

**PART 1**  
AREA = 0.083 ACS.  
PARCEL 214 - 1  
SECTION M-110

(43R-5426 @ Set)

6.15'

7.34'

N 44° 20' 50" W

1/4

NGS

DWEL

2 STOREY BRICK

N 44° 20' 50" W

35.54'

E. OF WALL

15.97'

N 44° 20' 50" W

10.27'

95.00'

57.01'

10.38'

100.00'

40.05'

36.26'

30.15'

PLAN

(43R-5426 @ Set)

6.19'

PART 8

BRICK  
2

STOREY  
DWELLING

PART 7

43R

213

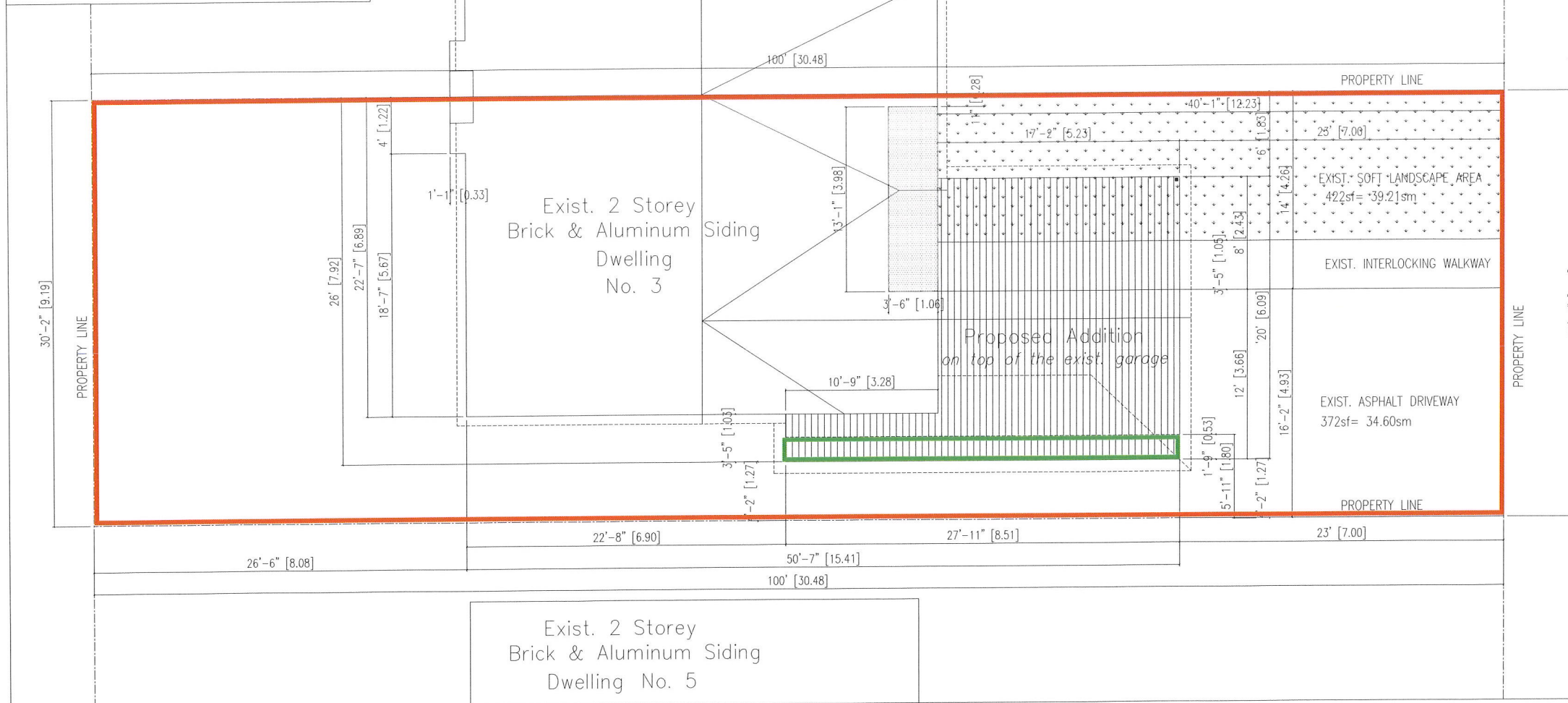
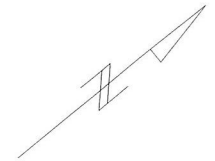
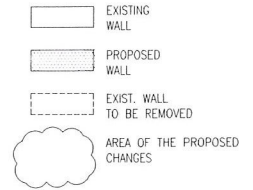
LOT



3 SPARKLETT CRES.  
BRAMPTON, ON, L6Z1M7

**NOTES** RE. ZONING BY-LAW PLAN M110 PT LOT 214 RP 43R7016 PART 2  
ZONING R2A(2)

1. LOT AREA: 9.19m (30.15') x 30.48m (100') = 280.11sm (3015sf)
2. LOT COVERAGE: 105.35sm (1134sf) / 280.11sm = 37.61% (MAX. 55%)
3. FLOOR EXIST. AREA: 136.38sm (1468sf)  
FLOOR ADDITION AREA: 39.67sm (427sf)  
FLOOR TOTAL AREA: 176.05sm (1895sf)  
GARAGE AREA: 23.04sm (248sf)  
FLOOR TOTAL AREA INCLUDING GARAGE: 199.09sm (2143sf)
4. BUILDING DEPTH (EXIST. AND PROPOSED): 15.41m  
BUILDING LENGTH (EXIST. AND PROPOSED): 15.41m
5. FRONT YARD SETBACK (EXIST. AND PROPOSED): 7.00m
6. REAR YARD SETBACK (EXIST. AND PROPOSED): 8.08m
7. SIDE YARD SETBACKS  
EAST YARD (EXIST. AND PROPOSED): 1.27m  
WEST YARD (EXIST. AND PROPOSED): 1.83m
8. BUILDING HEIGHT TO TOP OF THE ROOF (EXIST. AND PROPOSED): 8.00m  
FIRST FLOOR HEIGHT: 0.43m
9. FRONT YARD LANDSCAPING  
FRONT YARD AREA, EXIST. AND PROPOSED: 930sf = 86.40sm  
FRONT YARD USED FOR VEHICLE ACCESS EXIST. AND PROPOSED: 372sf = 34.60sm  
FRONT YARD LANDSCAPED AREA, EXIST. AND PROPOSED: 86.40 = 34.60 = 51.80sm  
FRONT YARD LANDSCAPED AREA / FRONT YARD AREA: 51.80 / 86.40 = 60% (MIN. 50%)



**gervais** design-build ltd.  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 2.17.2.1. of the building code.  
**Gerry Paluszkievicz** 25158  
NAME SIGNATURE BCIN / BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1. of the building code.  
**gervais design-build ltd.** 32547  
FIRM NAME BCIN / BCIN

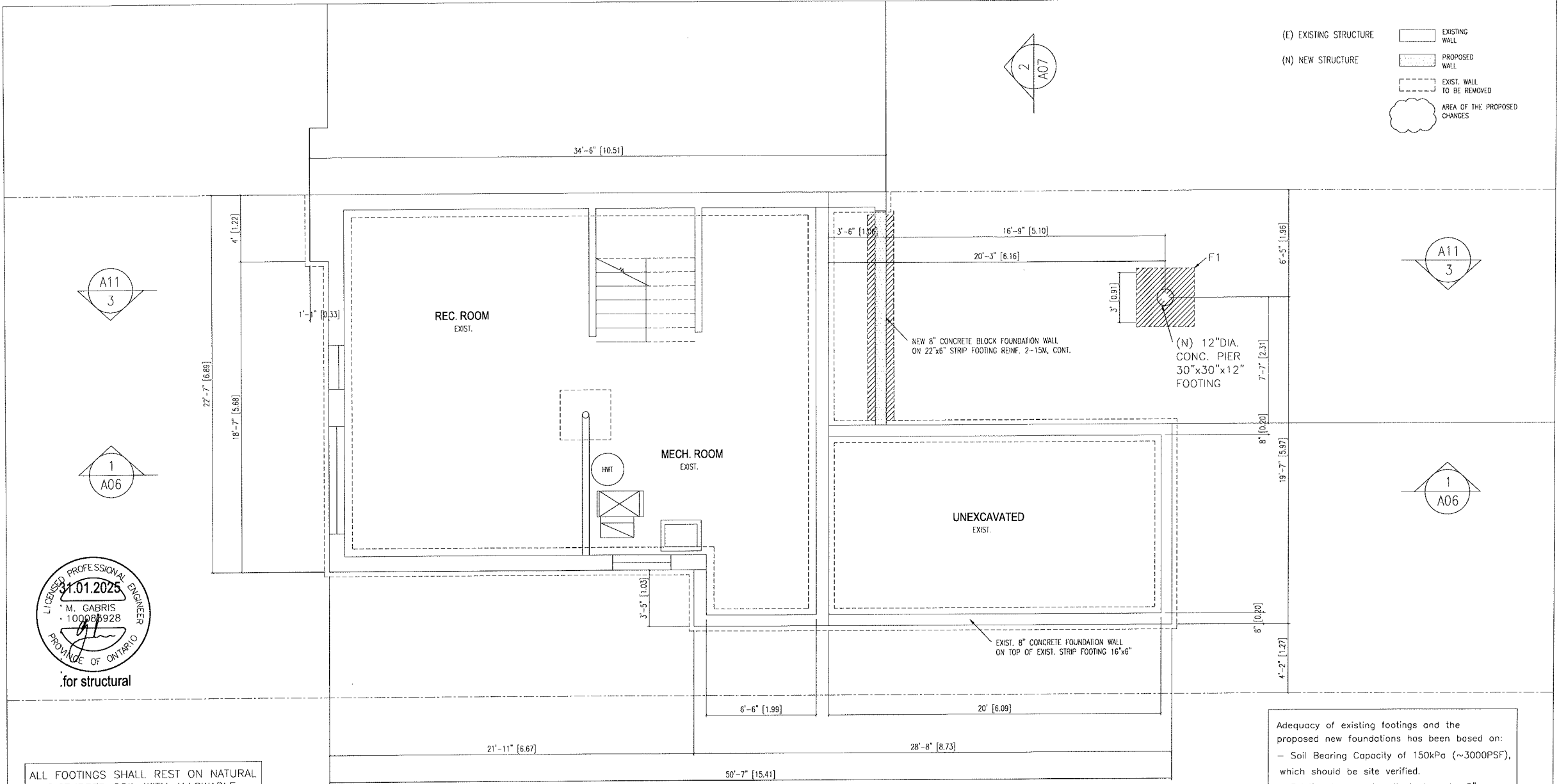
REVISION / ISSUE		
No	ITEM	DATE

**ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE**

**3 SPARKLETT CRES**  
**BRAMPTON, ONTARIO**  
JAN. 22, 2025

**Site Plan**  
**1:100 (1/8"=1'-0") A01**





ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL WITH ALLOWABLE BEARING CAPACITY OF 3000 PSF

FOOTING SCHEDULE		
FT.	SIZE	REINFORCEMENT
F1	30"x30"x12"DP	15M@12" EA. W. (TYP.)

STEEL COLUMN SCHEDULE		
PIER	SIZE	PLATE
C1	HSS 4x4x.25	BOTTOM 10"x1/2"x10"+ 2-3/4" A.B.x12" LONG CAP PLATE 8"x3/8"x6"

EXISTING STRUCTURE TO BE VERIFIED ON SITE

Adequacy of existing footings and the proposed new foundations has been based on:  
- Soil Bearing Capacity of 150kPa (~3000PSF), which should be site verified.  
- Existing basement walls to be min. 8" with 16" wide strip footings  
(4" footing projection on each side)

BASEMENT FLOOR AREA: 65.78sm (708sf)

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tel. 416 821 7000

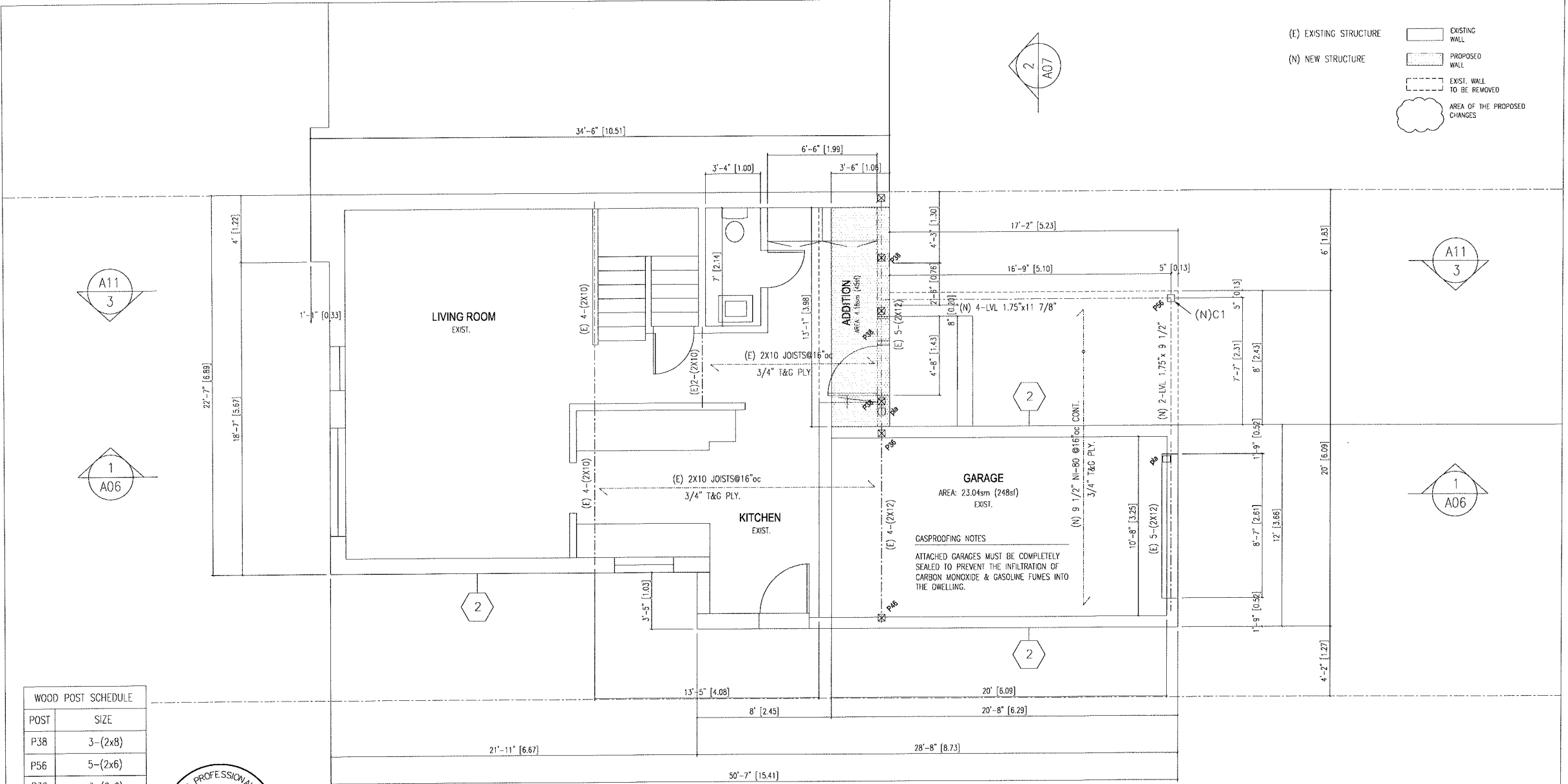
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Requires unless design is exempt under 2.1.7.1. of the building code.  
Gerry Paluszkiwicz 25158  
NAME SIGNATURE  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.1.7.1. of the building code.  
gervais design-build ltd. 32547  
FIRM NAME BCIN / BCIN

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No	ITEM	DATE

ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE

3 SPARKLETT CRES  
BRAMPTON, ONTARIO  
JAN. 22, 2025

Basement Floor Plan  
1:75 (3/16"=1'-0") A02



WOOD POST SCHEDULE	
POST	SIZE
P38	3-(2x8)
P56	5-(2x6)
P36	3-(2x6)
P46	4-(2x6)
P34	3-(2x4)
P44	4-(2x4)
pla	POINT LOAD ABOVE.



for structural

**gervais design-build ltd.**  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 2.17.3.2 of the building code.  
Gerry Paluszkiwicz  
NAME  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.3.2 of the building code.  
gervais design-build ltd.  
FIRM NAME  
25158  
BCIN / BCIN

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No	ITEM	DATE

**ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE**

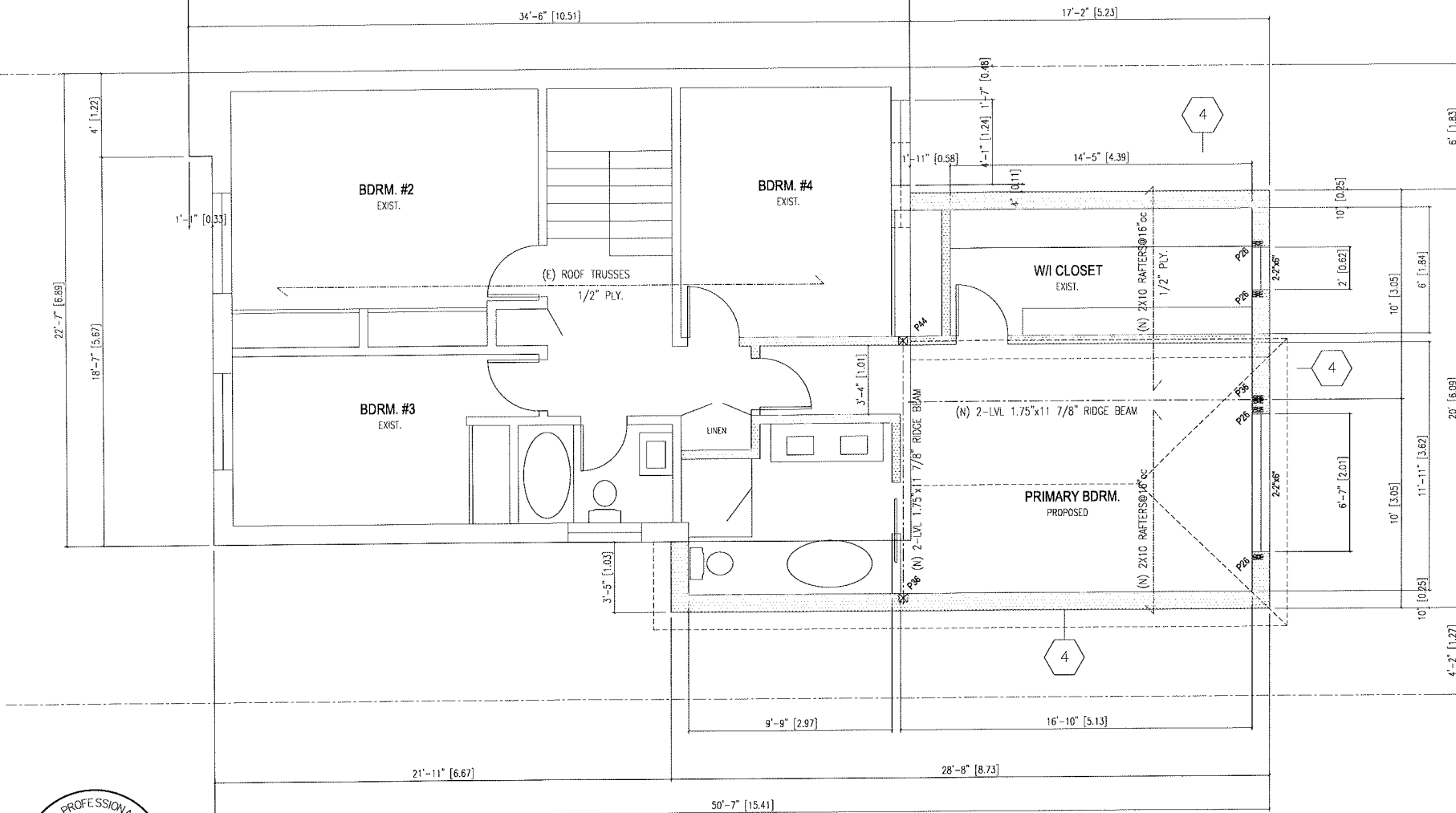
**3 SPARKLETT CRES**  
**BRAMPTON, ONTARIO**  
JAN. 22, 2025

**First Floor Plan**

1:75 (3/16"=1'-0") **A03**

FIRST FLOOR EXIST. AREA: 66.05sm (711sf)  
FIRST FLOOR ADDITION AREA: 4.18sm (45sf)  
FIRST FLOOR TOTAL AREA: 70.51sm (759sf)  
GARAGE AREA: 23.04sm (248sf)  
FIRST FLOOR TOTAL AREA INCLUDING GARAGE: 93.28sm (1004sf)

- (E) EXISTING STRUCTURE  
(N) NEW STRUCTURE
- EXISTING WALL  
PROPOSED WALL  
EXIST. WALL TO BE REMOVED  
AREA OF THE PROPOSED CHANGES



WOOD POST SCHEDULE	
POST	SIZE
P38	3--(2x8)
P56	5--(2x6)
P46	4--(2x6)
P36	3--(2x6)
P26	2--(2x6)
P54	5--(2x4)
P44	4--(2x4)
P34	3--(2x4)
pla	POINT LOAD ABOVE



for structural

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1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 2.1.1.2. of the building code.  
Gerry Paluszkiwicz  
NAME  
SIGNATURE  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.1.1.2. of the building code.  
gervais design-build ltd.  
FIRM NAME  
25158  
BCN / BCEN  
32547  
BCN / BCEN

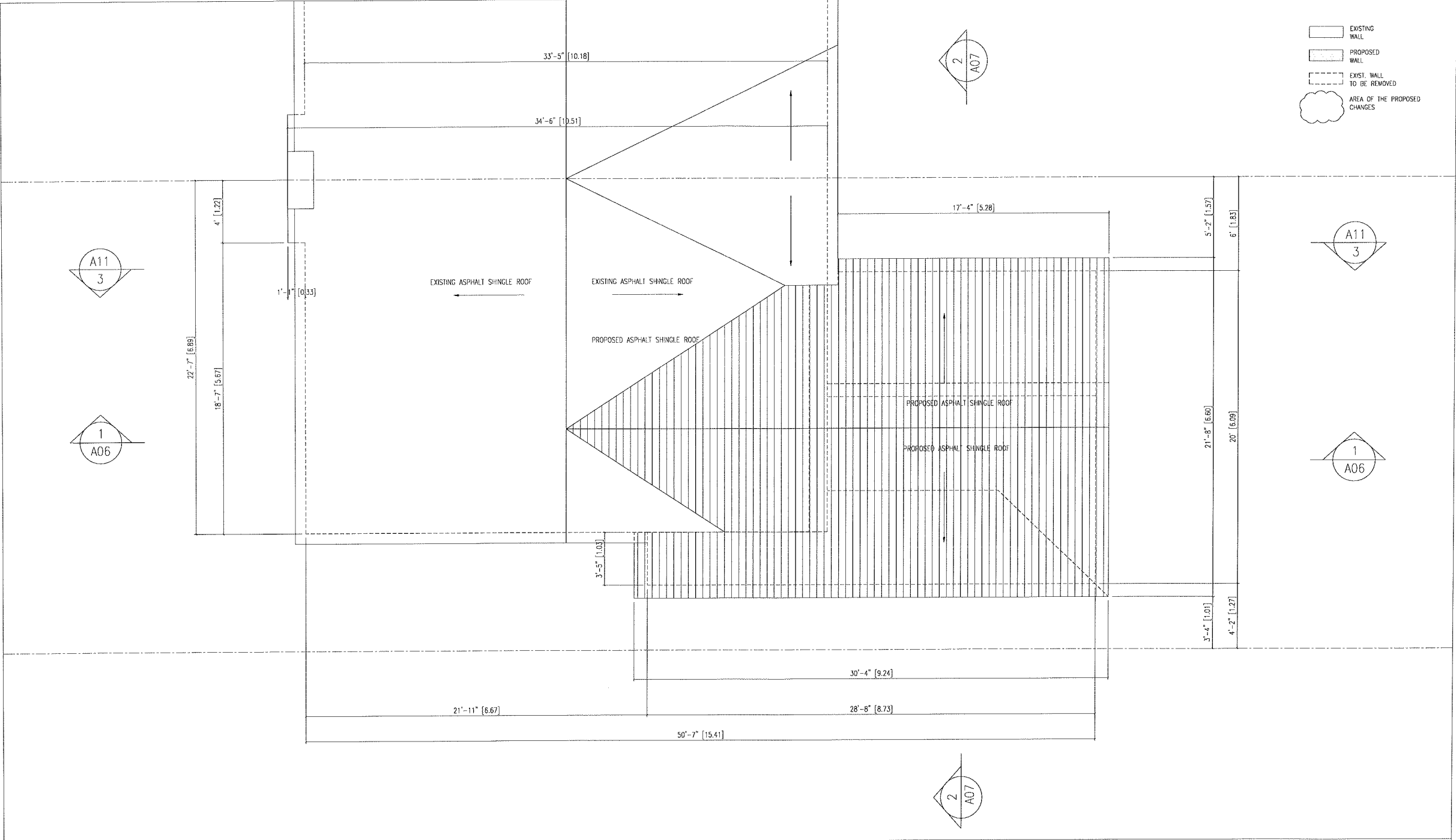
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No	ITEM	DATE

**ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE**

**3 SPARKLETT CRES**  
BRAMPTON, ONTARIO  
SEPT. 9, 2024

**Second Floor Plan**  
1:75 (3/16"=1'-0") **A04**

SECOND FLOOR EXIST. AREA: 70.33sm (757sf)  
SECOND FLOOR ADDITION AREA: 35.49sm (382sf)  
SECOND FLOOR TOTAL AREA: 105.82sm (1139sf)



**gervais design-build ltd.**  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.4.1 of the building code.  
**Gerry Paluszkiwicz** 25158  
NAME SIGNATURE  
Required unless design is exempt under 2.17.4.1 of the building code.  
**gervais design-build ltd.** 32547  
FIRM NAME BCIN / BCIN

REVISION / ISSUE		
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**ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE**

**3 SPARKLETT CRES**  
**BRAMPTON, ONTARIO**  
JAN. 22, 2025

**Roof Plan**  
**1:75 (3/16"=1'-0") A05**

- EXISTING WALL
- PROPOSED WALL
- EXIST. WALL TO BE REMOVED
- AREA OF THE PROPOSED CHANGES



**gervais design-build Ltd.**  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Qualification: Professional  
Required unless design is exempt under 2.1.1. of the building code.

Gerry Paluszkiwicz  
NAME: Gerry Paluszkiwicz  
SIGNATURE: [Signature]  
FIRM NAME: gervais design-build Ltd.  
BCON / BCEN: 32547

REVISION / ISSUE		
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ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE

3 SPARKLETT CRES  
BRAMPTON, ONTARIO  
JAN. 22, 2025

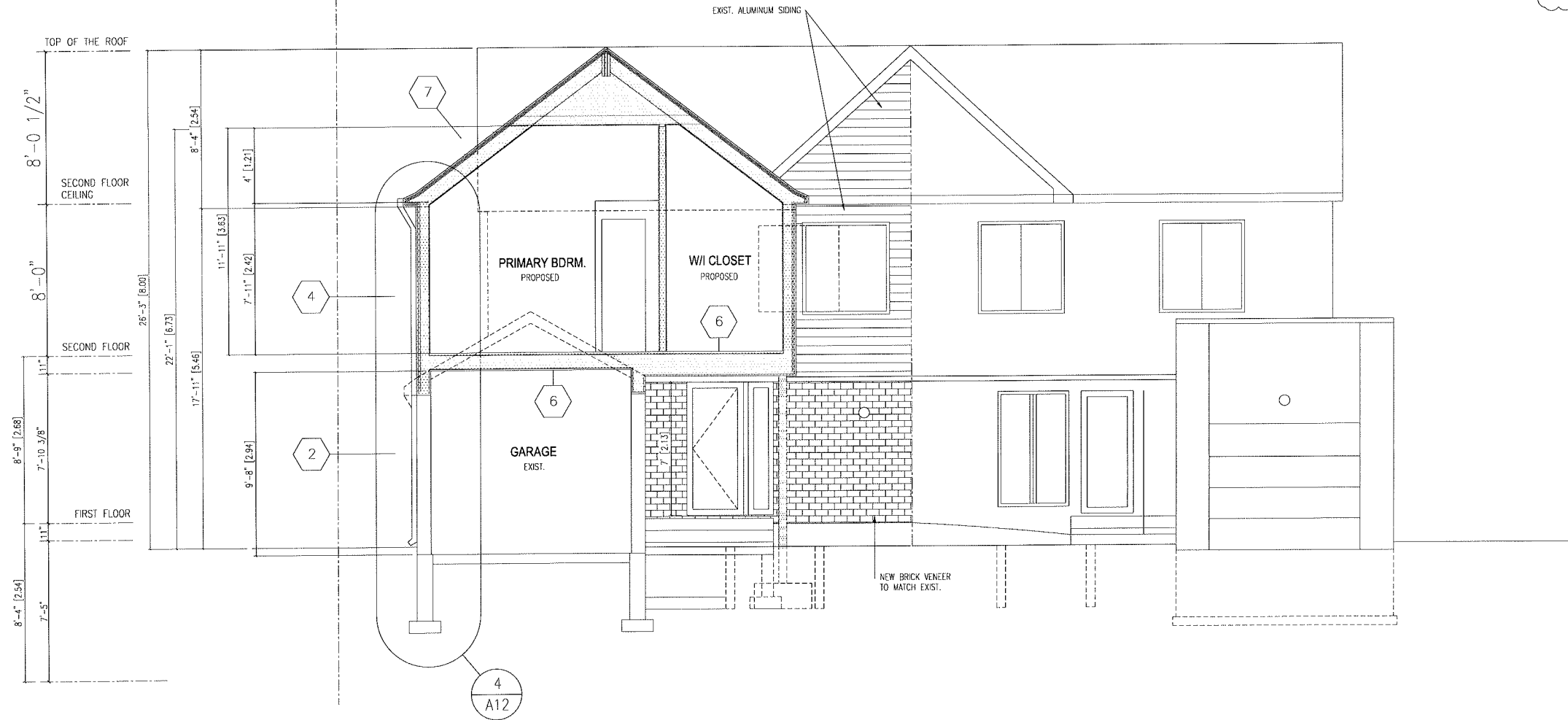
Section 1-1  
1:75 (3/16"=1'-0") A06

EXISTING WALL

PROPOSED WALL

EXIST. WALL TO BE REMOVED

AREA OF THE PROPOSED CHANGES



1 SPARKLETT CRES

3 SPARKLETT CRES

**gervais** design-build ltd.  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 7.1.5.2. of the building code.  
**Gerry Paluszkiwicz**  
NAME  
SIGNATURE  
REGISTRATION NUMBER: 25158  
gervais design-build ltd.  
FIRM NAME  
BCIN / BCIN

REVISION / ISSUE		
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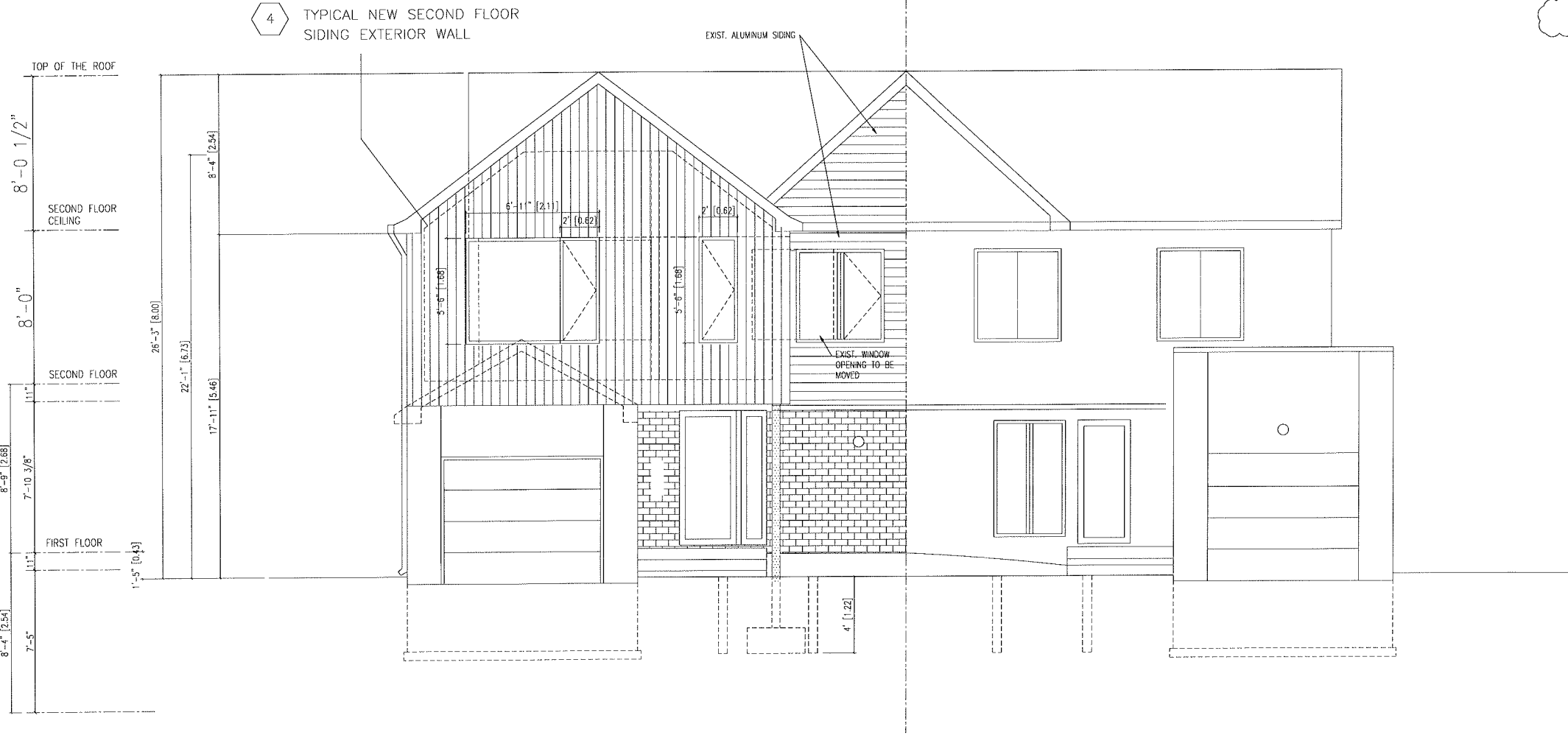
**ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE**

**3 SPARKLETT CRES**  
**BRAMPTON, ONTARIO**  
JAN. 22, 2025

**North Elevation**  
1:75 (3/16"=1'-0") **A07**



- EXISTING WALL
- PROPOSED WALL
- EXIST. WALL TO BE REMOVED
- AREA OF THE PROPOSED CHANGES



**gervais** design-build ltd.

1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.2.3.1. of the building code

Gerry Paluszkiwicz 25158 -  
NAME SIGNATURE BCN / BCIN

gervais design-build ltd. 32547  
FIRM NAME BCN / BCIN

REVISION / ISSUE		
No	ITEM	DATE

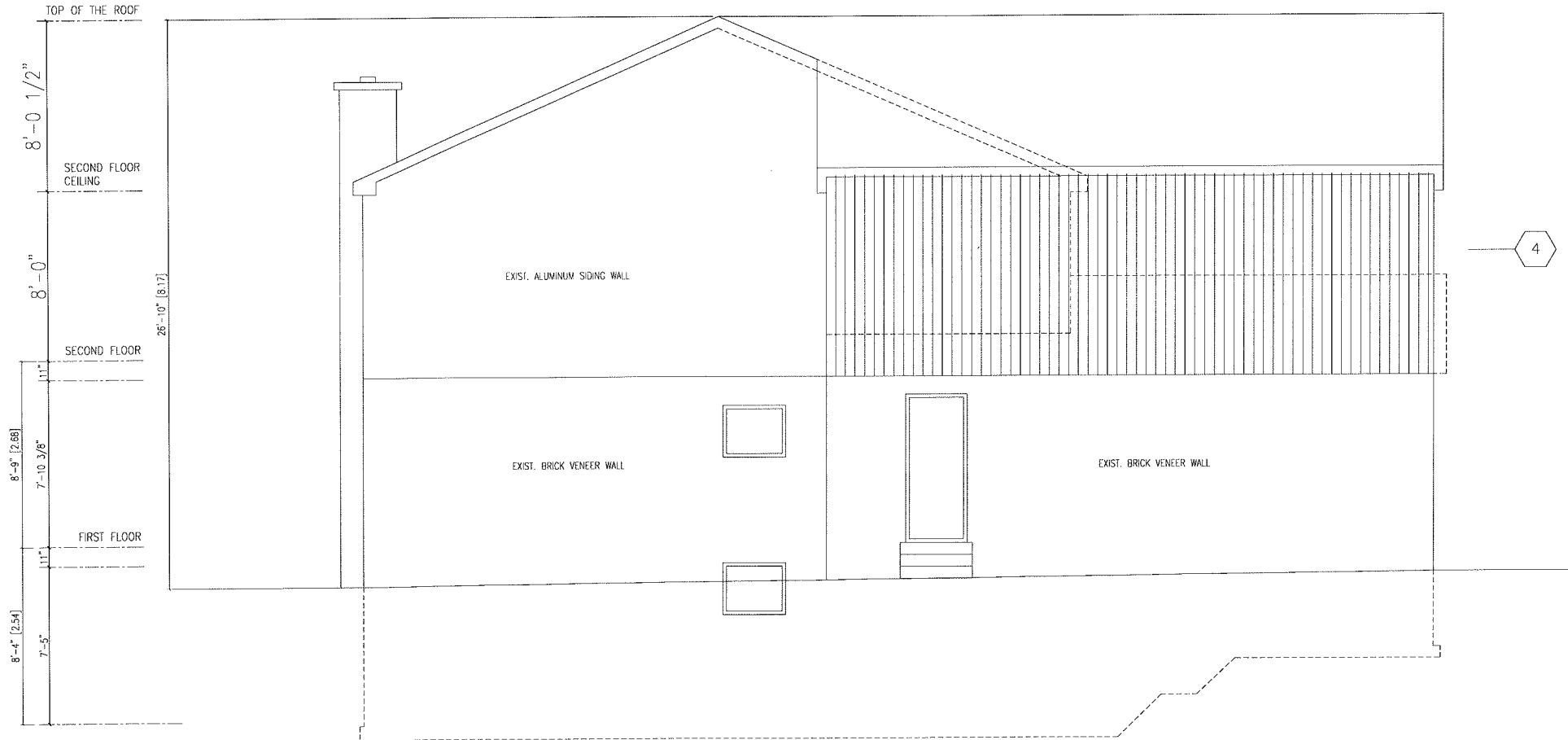
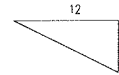
ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE

3 SPARKLETT CRES  
BRAMPTON, ONTARIO  
JAN. 22, 2025

North Elevation

1:75 (3/16"=1'-0") A08

- EXISTING WALL
- PROPOSED WALL
- EXIST. WALL TO BE REMOVED
- AREA OF THE PROPOSED CHANGES



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Required unless design is exempt under 2.1.2.1. of the Building Code.  
**Gerry Paluszkiewicz** 25158  
NAME SIGNATURE BCIN / BCIN  
Required unless design is exempt under 2.1.2.1. of the Building Code.  
gervais design-build ltd. 32547  
FIRM NAME BCIN / BCIN

REVISION / ISSUE		
No	ITEM	DATE

ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE

3 SPARKLETT CRES  
BRAMPTON, ONTARIO  
JAN. 22, 2025

East Elevation  
1:75 (3/16"=1'-0") **A09**



**gervais** design-build ltd.  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

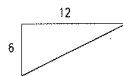
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.7.1.1. of the building code.  
**Gerry Paluszkiewicz** 25158  
NAME SIGNATURE  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.7.1.1. of the building code.  
**gervais design-build ltd.** 32547  
FIRM NAME BCIN / BCIN

REVISION / ISSUE		
No	ITEM	DATE

**ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE**

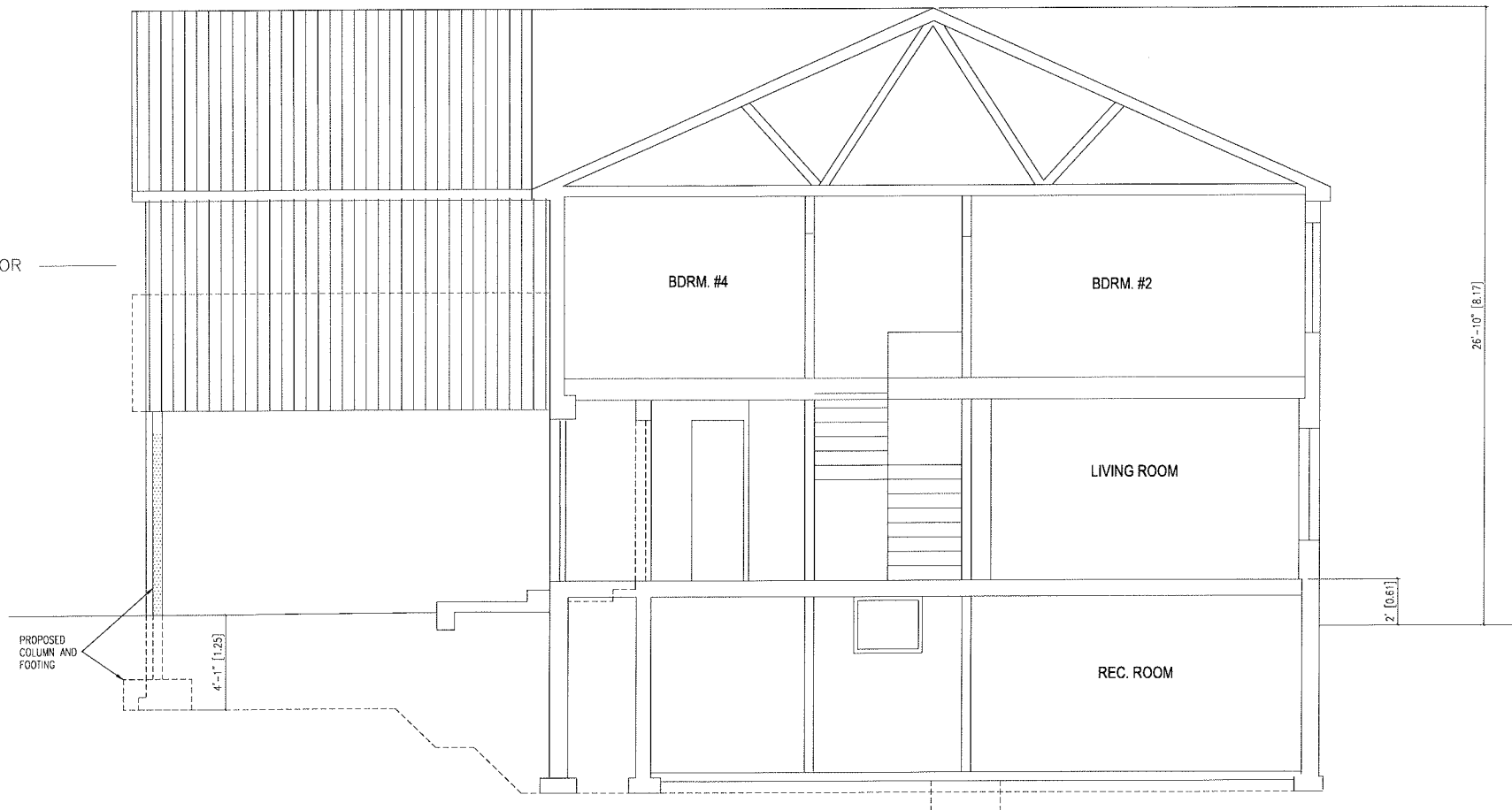
**3 SPARKLETT CRES**  
BRAMPTON, ONTARIO  
JAN. 22, 2025

**South Elevation**  
1:75 (3/16"=1'-0") **A10**



- EXISTING WALL
- PROPOSED WALL
- EXIST. WALL TO BE REMOVED
- AREA OF THE PROPOSED CHANGES

4 TYPICAL NEW SECOND FLOOR SIDING EXTERIOR WALL.



- TOP OF THE ROOF
- 8'-0 1/2"
- SECOND FLOOR CEILING
- 8'-0"
- SECOND FLOOR
- 7'-10 3/8" [2.68]
- 8'-9" [2.68]
- FIRST FLOOR
- 7'-5" [2.54]
- 8'-4" [2.54]



Section 3-3

**gervais** design-build ltd.  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under 2.1.7.1. of the building code.  
NAME: **Gerry Paluszkiwicz** SIGNATURE: *[Signature]* REGISTRATION NO.: **25158**  
Required unless design is exempt under 2.1.7.1. of the building code.  
FIRM NAME: **gervais design-build ltd.** BCIN / BCIN: **32547**

REVISION / ISSUE		
No.	ITEM	DATE

ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE

3 SPARKLETT CRES  
BRAMPTON, ONTARIO  
JAN. 22, 2025

West Elevation  
1:75 (3/16"=1'-0") **A11**

LEGEND

- 1

TYPICAL FOUNDATION WALL

– EXIST. WATERPROOFING

– BITUMINOUS DAMPPROOFING

– PARGING

– 8" CONCRETE FOUNDATION WALL

– R12 FIBERGLASS INSULATION

– 2"x4" WOOD @16"o.c. STRAPPING

– AIR & VAPOR BARRIER

– 1/2" G.W.B.
- 2

TYPICAL EXIST. FIRST FLOOR BRICK EXTERIOR WALL

– 4" BRICK VENEER

– 1" AIR SPACE

– BREATHABLE MOISTURE BARRIER

– 1/2" PLYWOOD SHEETING

– 2"x4" WOOD STUDS @16"o.c.

– R12 FIBERGLASS INSULATION

– AIR & VAPOR BARRIER

– 1/2" G.W.B.
- 3

TYPICAL EXIST. SECOND FLOOR SIDING EXTERIOR WALL

– ALUMINUM SIDING

– 3/4" WOOD SPACERS

– BREATHABLE MOISTURE BARRIER

– 1/2" PLYWOOD SHEETING

– 2"x4" WOOD STUDS @16"o.c.

– R12 FIBERGLASS INSULATION

– AIR & VAPOR BARRIER

– 1/2" G.W.B.
- 4

TYPICAL NEW SECOND FLOOR SIDING EXTERIOR WALL

– ALUMINUM SIDING

– 3/4" WOOD SPACERS

– BREATHABLE MOISTURE BARRIER

– 1/2" PLYWOOD SHEETING

– 2"x6" WOOD STUDS @16"o.c.

– R22 CLOSED-CELL SPRAYED-FOAM INSULATION

– 1/2" G.W.B.
- 5

TYPICAL WALL BETWEEN GARAGE AND HOUSE

– 1/2" G.W.B. TAPED AND SANDED

– EXIST. 2"x4" WOOD STUDS @16"o.c.

– R24 CLOSED-CELL FOAM INSULATION

– 1/2" G.W.B. TAPED AND SANDED

- 6

TYPICAL EXPOSED FLOOR ASSEMBLY

– FINISHED FLOORING

– 3/4" T&G PLYWOOD – ALL EDGES SUPPORTED BY

– R35 2lb SPRAYED-FOAM INSULATION

– FLOOR JOISTS AS PER PLAN

– 1/2" G.W.B. TAPED AND SANDED, ALL EDGES FULLY SUPPORTED
- 7

TYPICAL NEW SLOPED ROOF ASSEMBLY

– ASPHALT SHINGLES

– ICE AND WATER SHIELD ON ENTIRE SLOPED ROOF

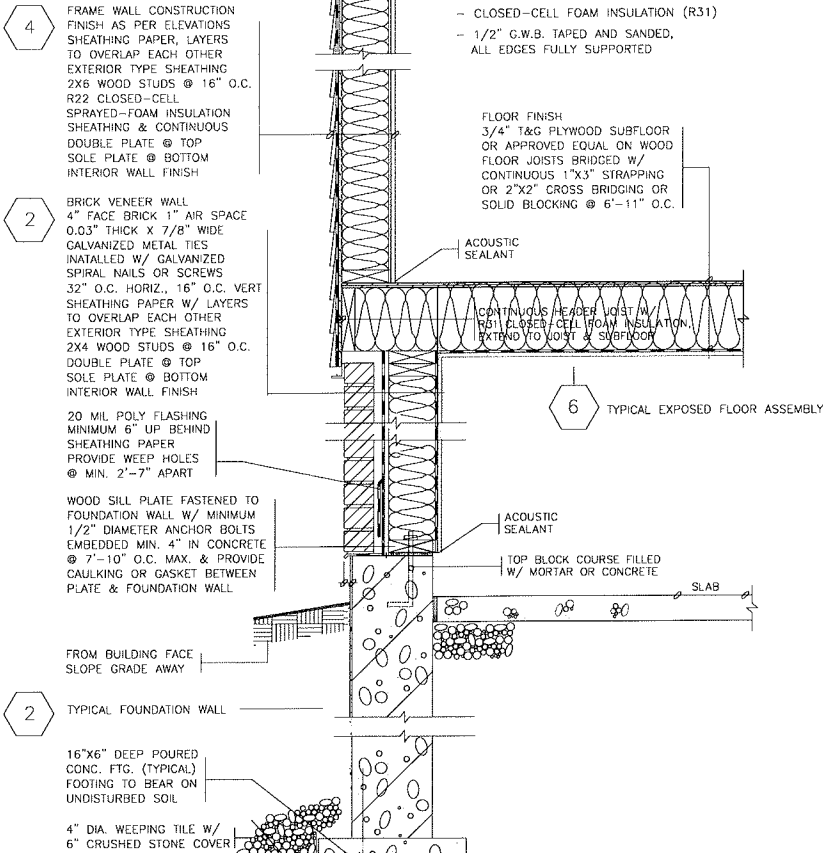
– 1/2" PLYWOOD

– WOOD RAFTERS AS PER

– CLOSED-CELL FOAM INSULATION (R31)

– 1/2" G.W.B. TAPED AND SANDED,

Spray foam insulation:  
Insulation to conform to CAN/ULC-S705.1, "Thermal insulation applied rigid polyurethane foam, Medium density-material specifications", insulation installers are to be certified by the manufacturer. Insulation is to be installed in accordance with CAN/ULC-S705.2-05. "thermal insulation -spray applied rigid polyurethane foam, medium density". Upon completion of the spray foam insulation installation, the certified installer or a professional engineer submit to the inspector, verification that the installation of the system has been completed in accordance with the manufacture's specifications and standards. Due to the hazardous conditions related to gassing, no inspections shall be conducted until 24 hours after installation. Continuous 6 mil poly vapour barrier is to be installed on the warm side of the ceiling. Pot lights are acceptable if they are sealed units listed by ULC and the vapour barrier is installed around the light.



Section 4



**gervais** design-build Ltd.  
1-58 ELM AVE, TORONTO, ON M4W 1N7  
email: gervaisdb@gmail.com  
tel. 416 821 7000

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
Required unless design is exempt under 2.1.1.2. of the building code.  
QUALIFICATION INFORMATION  
NAME: **Gerry Paluszkiwicz** 25158  
SIGNATURE: [Signature]  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.1.1.2. of the building code.  
FIRM NAME: **gervais design-build Ltd.** 32547  
BCN / BCEN

REVISION / ISSUE		
No	ITEM	DATE

ALTERATIONS TO THE  
EXISTING SINGLE FAMILY  
SEMIDETACHED HOUSE

3 SPARKLETT CRES  
BRAMPTON, ONTARIO  
JAN. 22, 2025

Details  
1:75 (3/16"=1'-0") **A12**

February 10, 2025

**COMMITTEE OF ADJUSTMENT  
CITY OF BRAMPTON**

**RE: MUNICIPAL STREET NO: 3 Sparklett Cres, Brampton, ON, L6Z 1M7  
SECOND STOREY ADDITION ON TOP OF THE EXISTING GARAGE**

We are proposing an addition on top of the existing single car in semi-detached house which will be located within the outline of the existing bungalow with an extension to the west. At the west side the second floor addition extends beyond the garage wall to accommodate the space needed for the Primary bedroom. There is also small addition proposed at the front hallway, for the Powder Room and closets.

The existing house is too small for the Owner's family of 5 people.

We trust that the above is satisfactory.

Yours truly,

A handwritten signature in black ink, appearing to read 'Gerry Paluszkiewicz', with a long horizontal flourish extending to the right.

Gerry Paluszkiewicz  
Gervais Design-Build Ltd.



# Zoning Non-compliance Checklist

File No.  
A2025-0021

Applicant: Gerry Gerwazy Paluszkiewicz  
Address: 3 Sparklett Cres  
Zoning: R2A(2)  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS – SIDE	To permit an interior side yard setback of 1.27m to a proposed second storey addition,	whereas the by-law requires a minimum interior side yard setback of 1.2m to the first storey or part thereof, plus 0.6m for each additional storey, or part thereof.	15.3.2 (e)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE “C”			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2025/02/11

Date