

# SNELGROVE BAPTIST CHURCH

12061 HURONTARIO ST., BRAMPTON, ON L6Z 4P8

PROJECT NUMBER: 22001  
ISSUED FOR HERITAGE PERMIT  
January 28, 2025

## DRAWING LIST

### ARCHITECTURAL

AH000	Cover
AH001	Notes
AH002	Survey
AH005	Proposed Site Plan
AH105	Removals Plan - Ground Floor
AH106	Removals Plan - Basement
AH107	Removals Plan - Roof
AH111	Proposed Plan - Ground Floor
AH110	Proposed Plan - Basement
AH112	Proposed Plan - Roof
AH420	Removals Elevation - East & West
AH421	Removals Elevation - North
AH422	Removals Elevation - South
AH430	Proposed Elevation - East & West
AH431	Proposed Elevation - North
AH432	Proposed Elevation - South
AH500	Details
AH900	Photos
AH901	Photos
AH902	Photos



GRAPHIC AND SYSTEMS SCHEDULE

	CONSERVATION KEYNOTE
ROOM NAME <div><div>000</div><div>190 sf</div></div>	ROOM NAME AND NUMBER
	GRID NUMBER
	DETAIL NUMBER REFERENCING DRAWING NUMBER
	ELEVATION/BUILDING SECTION NUMBER REFERENCING DRAWING NUMBER
	EXTERIOR WALL CONSTRUCTION TYPES (SEE ALSO WALL TYPE SCHEDULE)
	FLOOR CONSTRUCTION TYPES (SEE ALSO WALL TYPE SCHEDULE)
	OPENINGS THROUGH WALL ASSEMBLY FOR MECHANICAL EQUIPMENT
	EXISTING WALLS AND PARTITIONS
	EXISTING COMPONENT
	EXISTING TO DEMOLISH
	PROPOSED WALLS AND PARTITIONS
	INFILL IN EXISTING WALLS AND PARTITIONS
	NOT INCLUDED IN EXTERIOR HERITAGE RESTORATION SCOPE. DRAWN FOR COORDINATION PURPOSES - TO BE COORDINATED WITH PRIME ARCHITECT AND CLIENT.
+ <div><div>123.456</div></div>	GEODETIC ELEVATION IN METRES AT TOP OF FLOOR ELEVATION (SEE STRUCT. DWGS)
	WINDOW NUMBER (SALVAGE) (SEE ALSO WINDOW SCHEDULE)
	LIGHT FIXTURE TYPE

GENERAL NOTES

G001	ALL DIMENSIONS, AREAS, LOCATIONS OF THE PROPOSED CONSERVATION WORK ARE INDICATED FOR GUIDANCE ONLY. THEY REQUIRE VERIFICATION ON SITE.	ELEMENTS DISTURBED OR DAMAGED.
G002	CONSERVATION, PROTECTION, STABILIZATION, AND DISMANTLING WORK TO BE CONDUCTED BY AN APPROVED CONTRACTOR.	G009 IF SALVAGED UNITS ARE INSUFFICIENT TO COMPLETE DESCRIBED MASONRY WORK, PROVIDE SAMPLE FOR NEW UNIT TO HERITAGE CONSULTANT FOR APPROVAL.
G003	THE ARCHITECTURAL HERITAGE (AH) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS INCDDING ALL DRAWINGS OF OTHER NSULTANTS.	G010 UNLESS NOTED ON THE DRAWINGS, DO NOT ALTER STRUCTURAL MEMBERS WITHOUT THE CONSULTANT'S PERMISSION
G004	THE FORMS OF DETERIORATION AND THE PROPOSED CONSERVATION WORK CONDUCTED IN THE AH DRAWINGS ARE BASED ON THE CONDITION ASSESSMENT AND THE SITE PHOTOS TAKEN BY GIAIMO ARCHITECTS ON FEB 4, 2022.	G011 THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, TEMPORARY WORKS DURING CONSTRUCTION.
G005	THE MOST STRINGENT REQUIREMENT GOVERNS WHERE DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS.	G012 PROVIDE ALL TEMPORARY SHORING, BRACING, HOARDING AND PROTECTION NECESSARY TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE REGULATIONS.
G006	THE EXTENT OF DETERIORATION AND THE PROPOSED CONSERVATION WORK INCLUDED IN THE CONSERVATION DRAWINGS ARE BASED ON THE CONDITION ASSESSMENT AT THE TIME OF REVIEW, AND ON LIMITED VISUAL OBSERVATION AND ACCESS. CONTRACTOR TO TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE CONSULTANT IF THE CONDITIONS HAVE CHANGED AND OBTAIN DIRECTION BEFORE PROCEEDING.	G013 WORK TO COMPLY WITH ONTARIO BUILDING CODE AND ALL APPLICABLE CODES OF AUTHORITIES HAVING JURISDICTION
G007	CONSERVATION, PROTECTION, STABILIZATION, AND DISMANTLING WORK TO BE CONDUCTED BY AN APPROVED HERITAGE CONTRACTOR.	G014 PROVIDE REASONABLE NOTICE FOR FIELD REVIEWS OF COMPLETED WORK PRIOR TO CONCEALING THE WORK. COOPERATE WITH THE CONSULTANTS RETAINED TO PERFORM FIELD REVIEW. PROVIDE SAFE ACCESS AND ASSISTANCE AS REQUIRED.
G008	PROTECT EXISTING STRUCTURES AND HERITAGE FEATURES FROM DAMAGE DURING CONSTRUCTION. PATCH AND MAKE GOOD ALL EXISTING BUILDING	G015 FIELD REVIEWS DO NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR CONFORMING WITH THE CONTRACT DOCUMENTS, ACCURACY AND QUALITY.
		G016 CONTRACTOR TO COORDINATE SALVAGING, INCLUDING BUT NOT LIMITED TO THE REMOVAL AND TEMPORARY STORAGE, OF ALL ELEMENTS THAT ARE TO BE SALVAGED AS PER HERITAGE ARCHITECTURAL DRAWINGS.
		G017 DEMOLITION OF INTERIOR STRUCTURAL AND FRAMING COMPONENTS IS NOT INCLUDED IN HERITAGE RESTORATION SCOPE.

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

Giaimo.

213 STERLING RD,  
SUITE 204  
TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
22001

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

DRAWING SCALE  
-

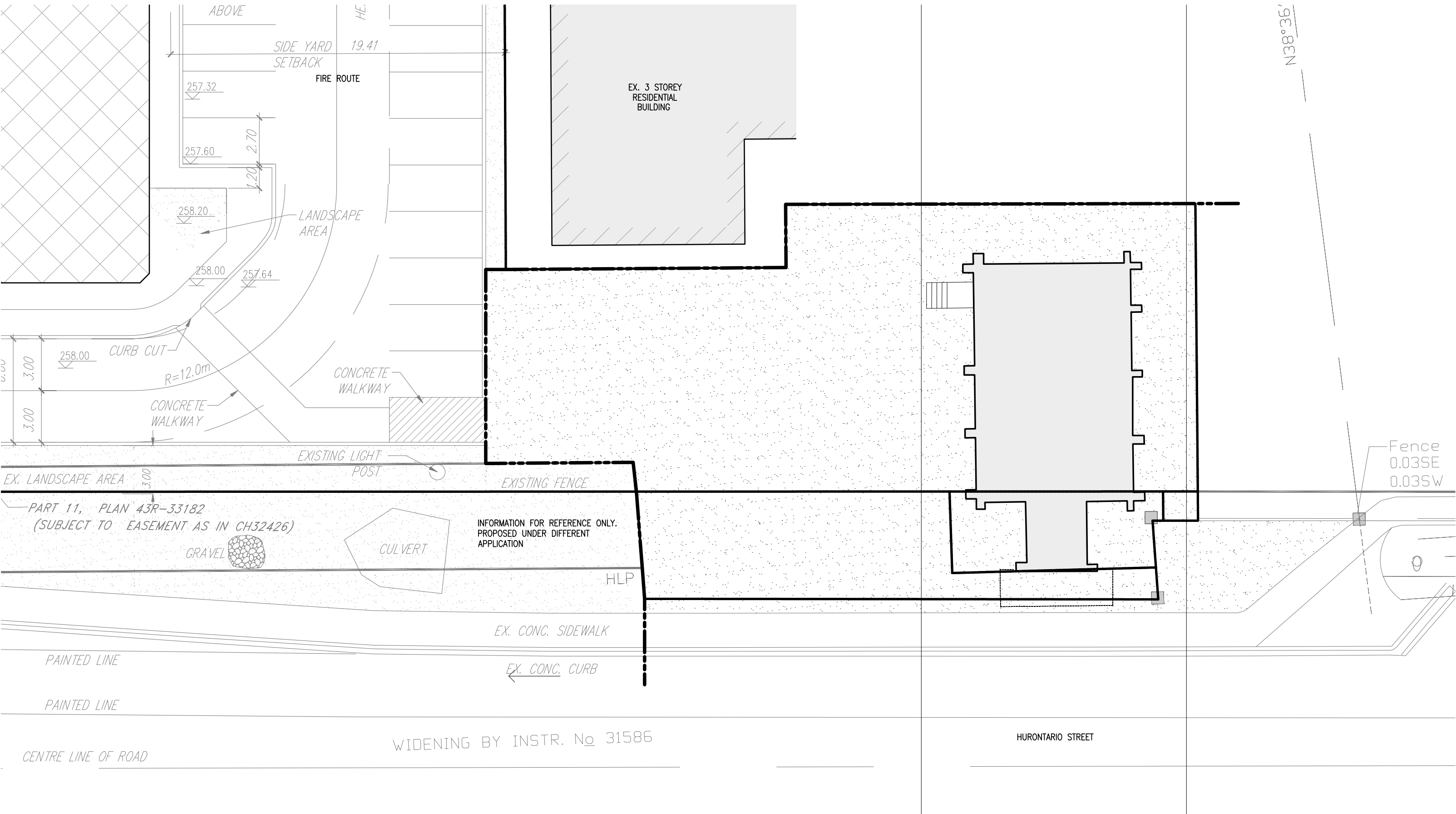
DRAWING TITLE  
NOTES

NORTH ARROW

SHEET NO.

AH001





These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

**SNELGROVE BAPTIST CHURCH**  
**12061 HURONTARIO STREET**  
**BRAMPTON, ON L6Z 4P8**

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
**22001**

DRAWING TITLE

**PROPOSED SITE PLAN**

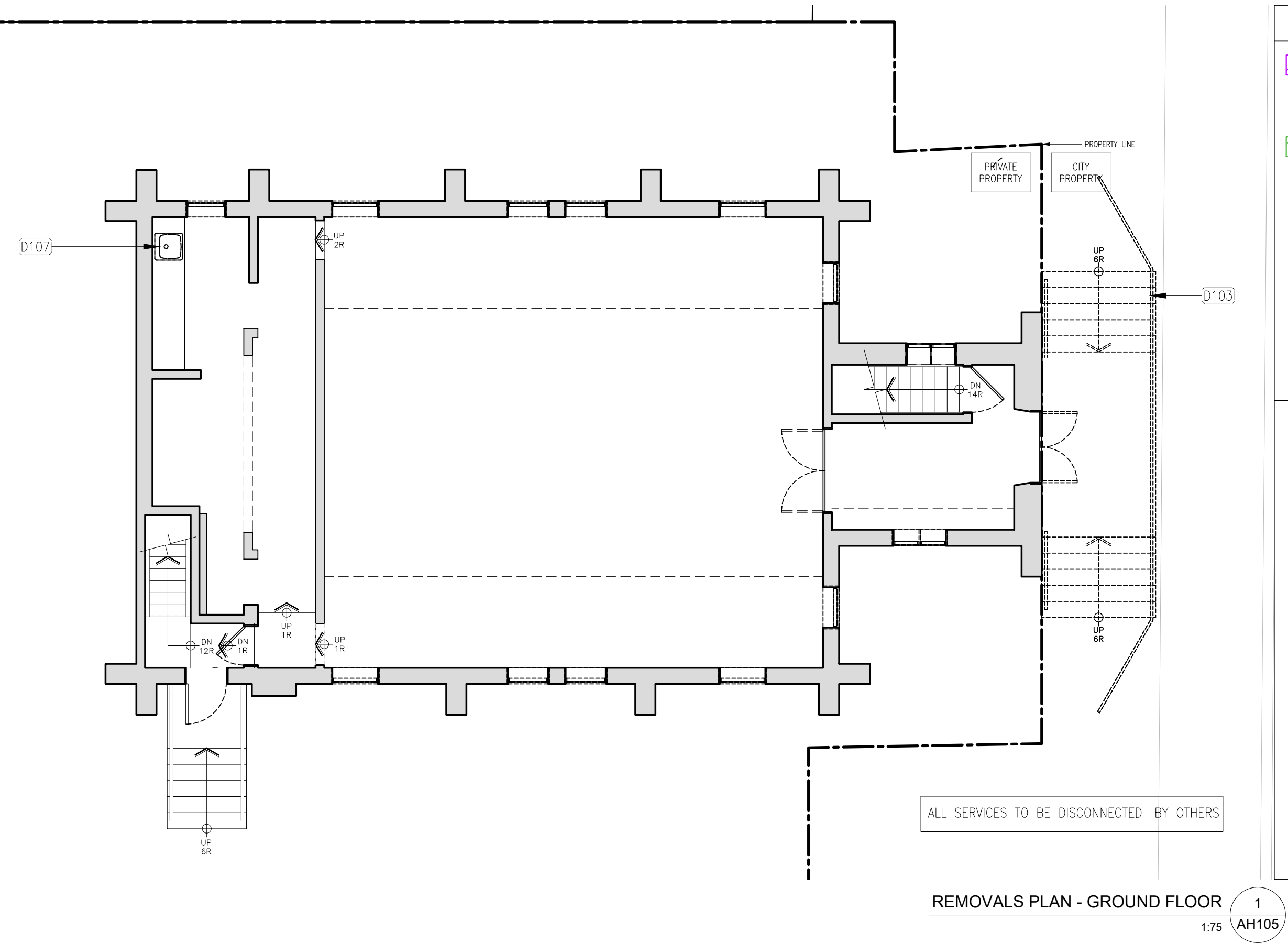
DRAWING SCALE  
**1:200**

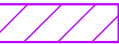



SHEET NO.

**AH005**





DEMO, REMOVALS AND SALVAGE NOTES	
	D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
	D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
	D104 NOT USED.
	D105 NOT USED.
	D106 NOT USED.
	D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
	D108 NOT USED.
	D109 REMOVE EXISTING LIGHT FIXTURE.
PROTECTION, STABILIZATION, AND DISMANTLING NOTES	
	D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
	D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
	D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
	D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
	D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
	D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
	D207 RETAIN AND PROTECT EXISTING CHIMNEY.

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO. 22001

DRAWING TITLE

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

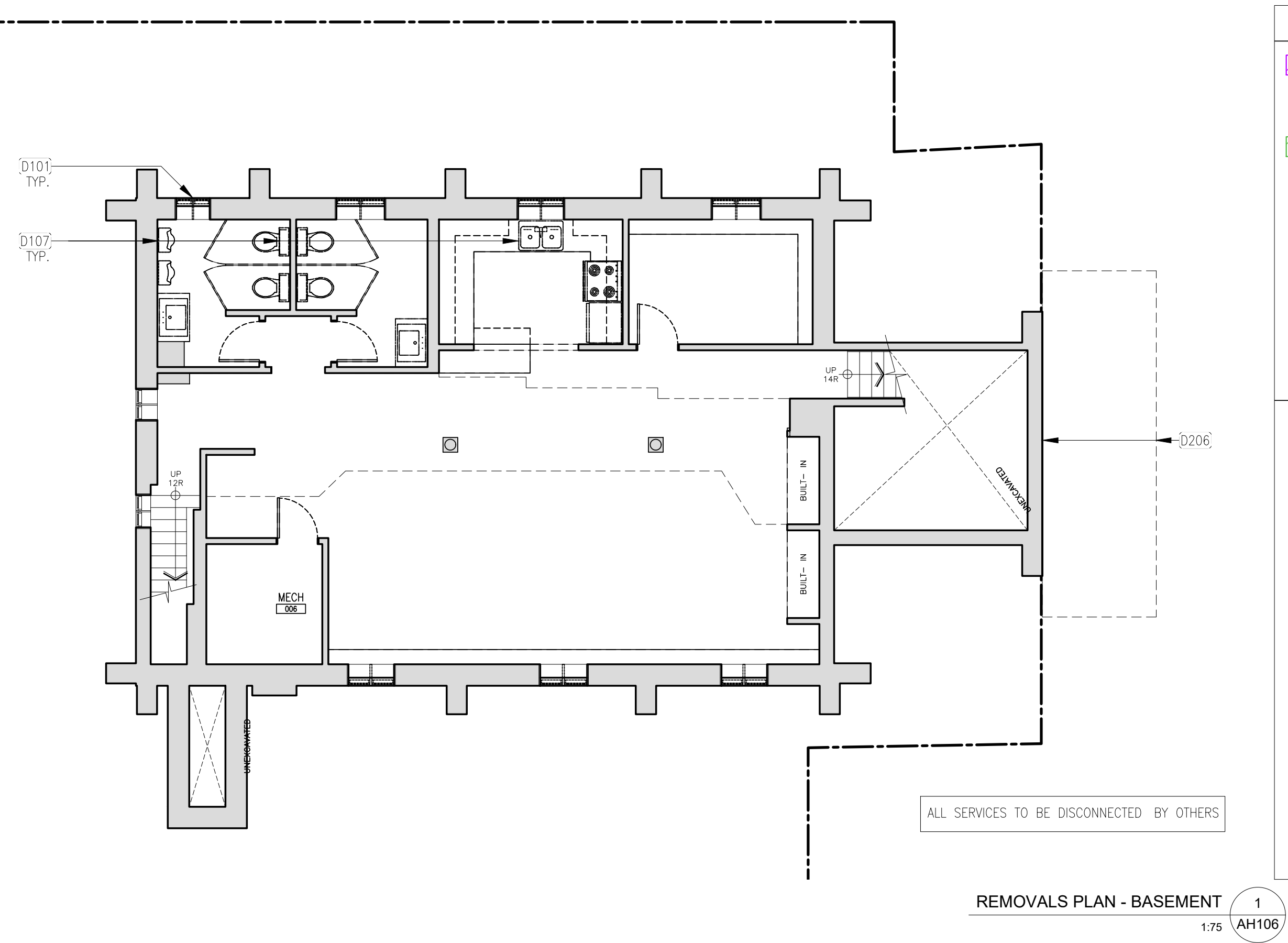
DRAWING SCALE 1:75

REMOVALS PLAN - GROUND FLOOR

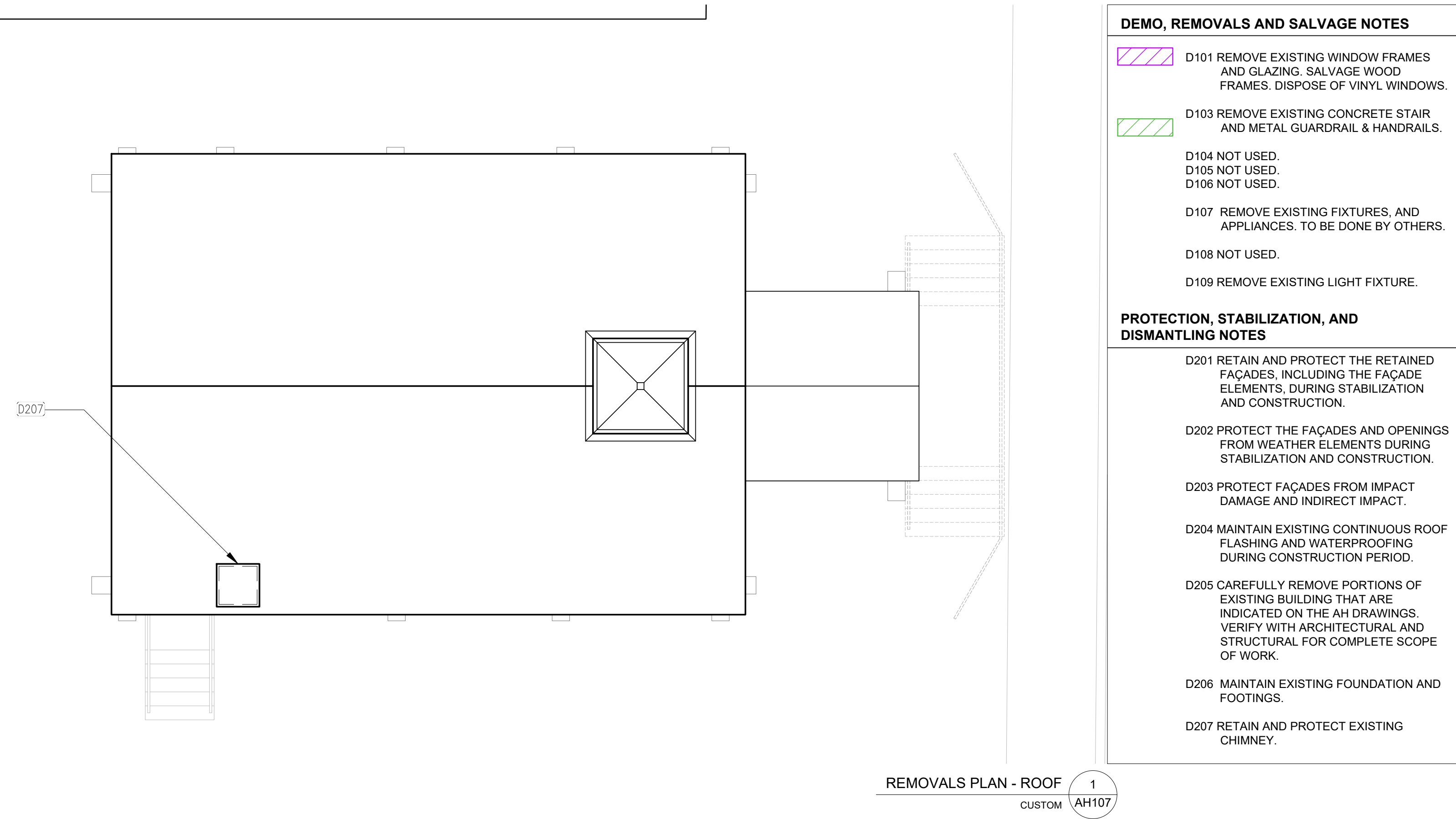
NORTH ARROW

SHEET NO.

AH105



- DEMO, REMOVALS AND SALVAGE NOTES**
- D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
- D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
- D104 NOT USED.  
D105 NOT USED.  
D106 NOT USED.
- D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
- D108 NOT USED.
- D109 REMOVE EXISTING LIGHT FIXTURE.
- PROTECTION, STABILIZATION, AND DISMANTLING NOTES**
- D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
- D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
- D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
- D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
- D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
- D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
- D207 RETAIN AND PROTECT EXISTING CHIMNEY.



DEMO, REMOVALS AND SALVAGE NOTES

- D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
- D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
- D104 NOT USED.  
D105 NOT USED.  
D106 NOT USED.
- D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
- D108 NOT USED.
- D109 REMOVE EXISTING LIGHT FIXTURE.

PROTECTION, STABILIZATION, AND DISMANTLING NOTES

- D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
- D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
- D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
- D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
- D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
- D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
- D207 RETAIN AND PROTECT EXISTING CHIMNEY.

REMOVALS PLAN - ROOF

CUSTOM

1

AH107

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

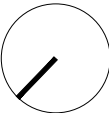
PROJECT NO. 22001

DRAWING TITLE

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

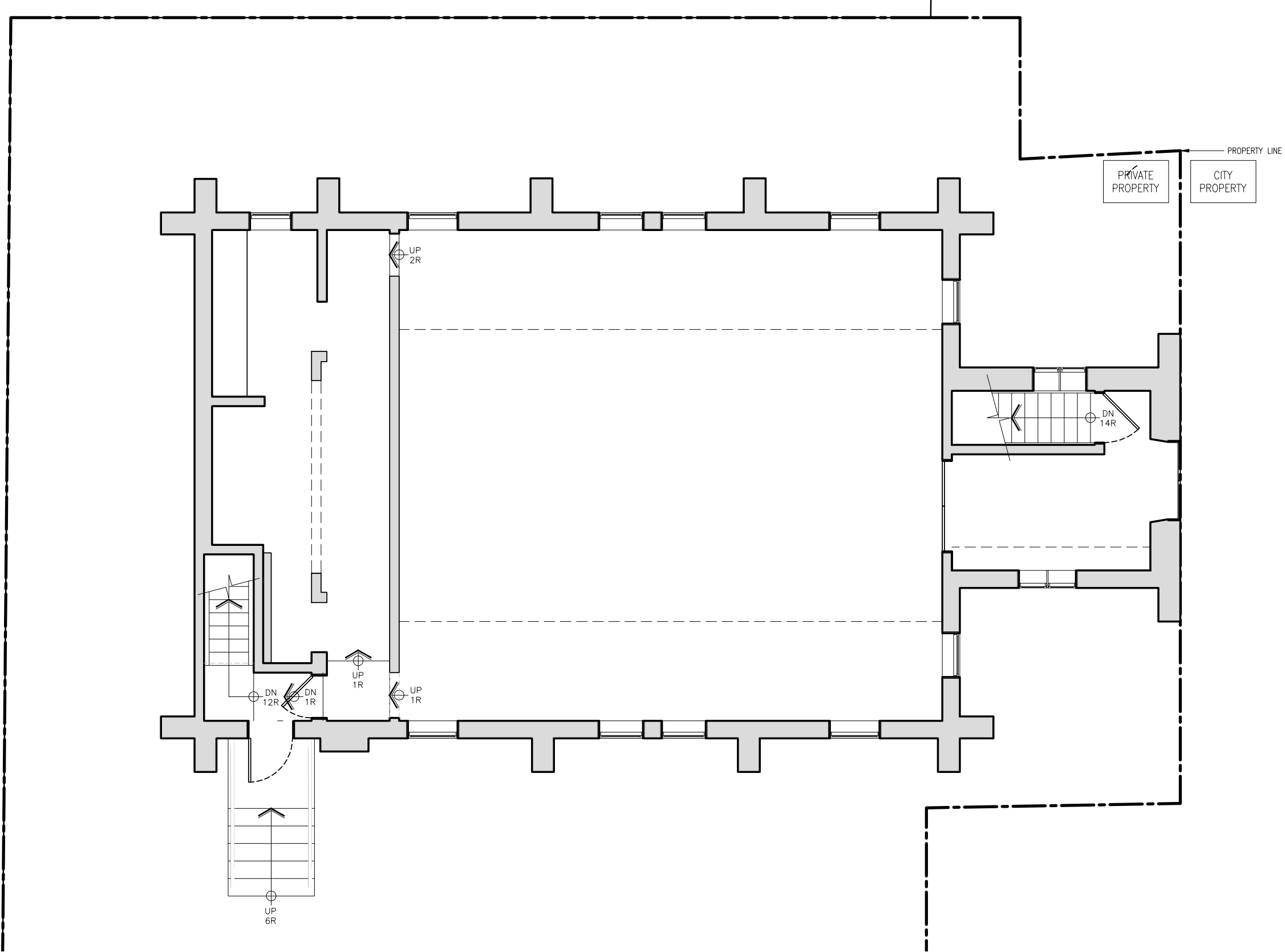
DRAWING SCALE  
CUSTOM

NORTH ARROW



SHEET NO.

AH107



PROPOSED PLAN - GROUND FLOOR

1  
1:75 AH111

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

**Giaimo.** 213 STERLING RD,  
SUITE 204  
TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

**SNELGROVE BAPTIST CHURCH**  
**12061 HURONTARIO STREET**  
**BRAMPTON, ON L6Z 4P8**

O. 647 479 4121  
E. info@giaimo.ca

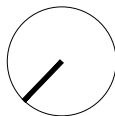
PROJECT NO.  
**22001**

DRAWING TITLE

**PROPOSED PLAN - GROUND FLOOR**

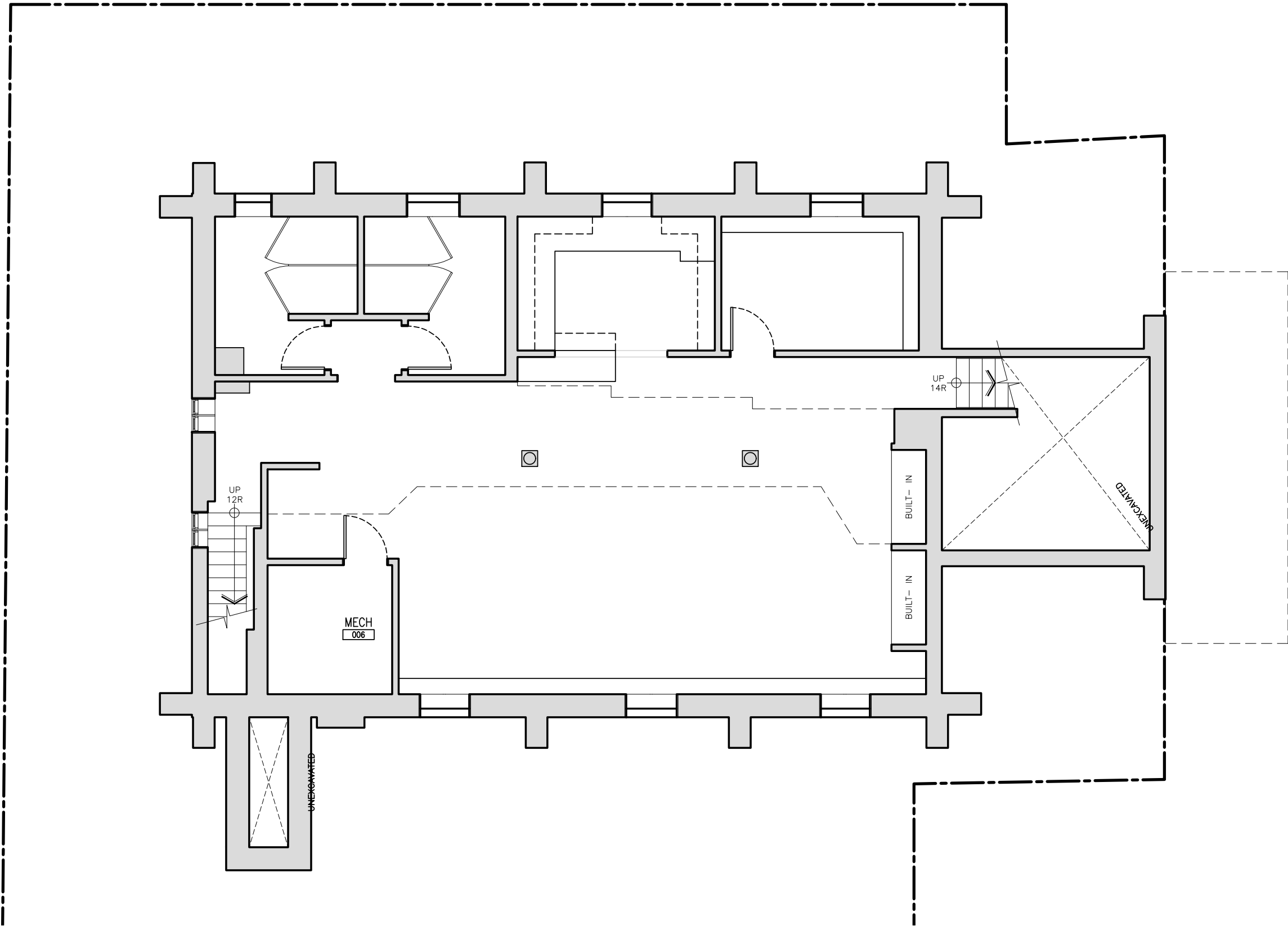
DRAWING SCALE  
**1:75**

NORTH ARROW



SHEET NO.

**AH111**



PROPOSED PLAN - BASEMENT

1  
AH110  
1:75

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

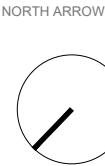
**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2  
PROJECT NAME AND ADDRESS  
**SNELGROVE BAPTIST CHURCH**  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
22001

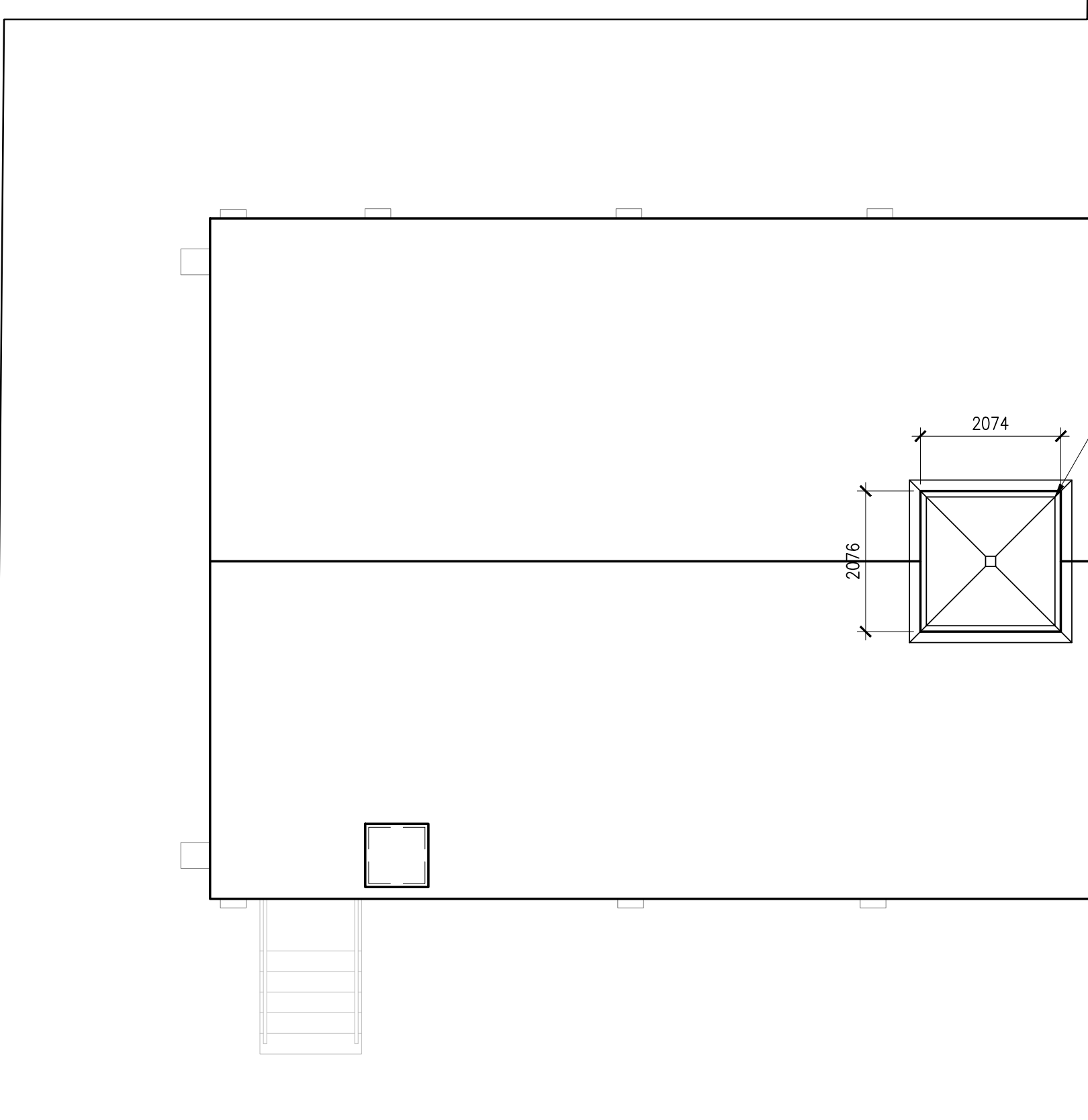
DRAWING TITLE  
PROPOSED PLAN - BASEMENT

DRAWING SCALE  
1:75



SHEET NO.

AH110



PROPOSED PLAN - ROOF

1

AH112

1:75

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

Giaimo.

213 STERLING RD,  
SUITE 204  
TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

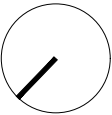
PROJECT NO.  
22001

DRAWING TITLE  
PROPOSED PLAN - ROOF

PROJECT NAME AND ADDRESS  
Snelgrove Baptist Church  
12061 Hurontario Street  
Brampton, ON L6Z 4P8

DRAWING SCALE  
1:75

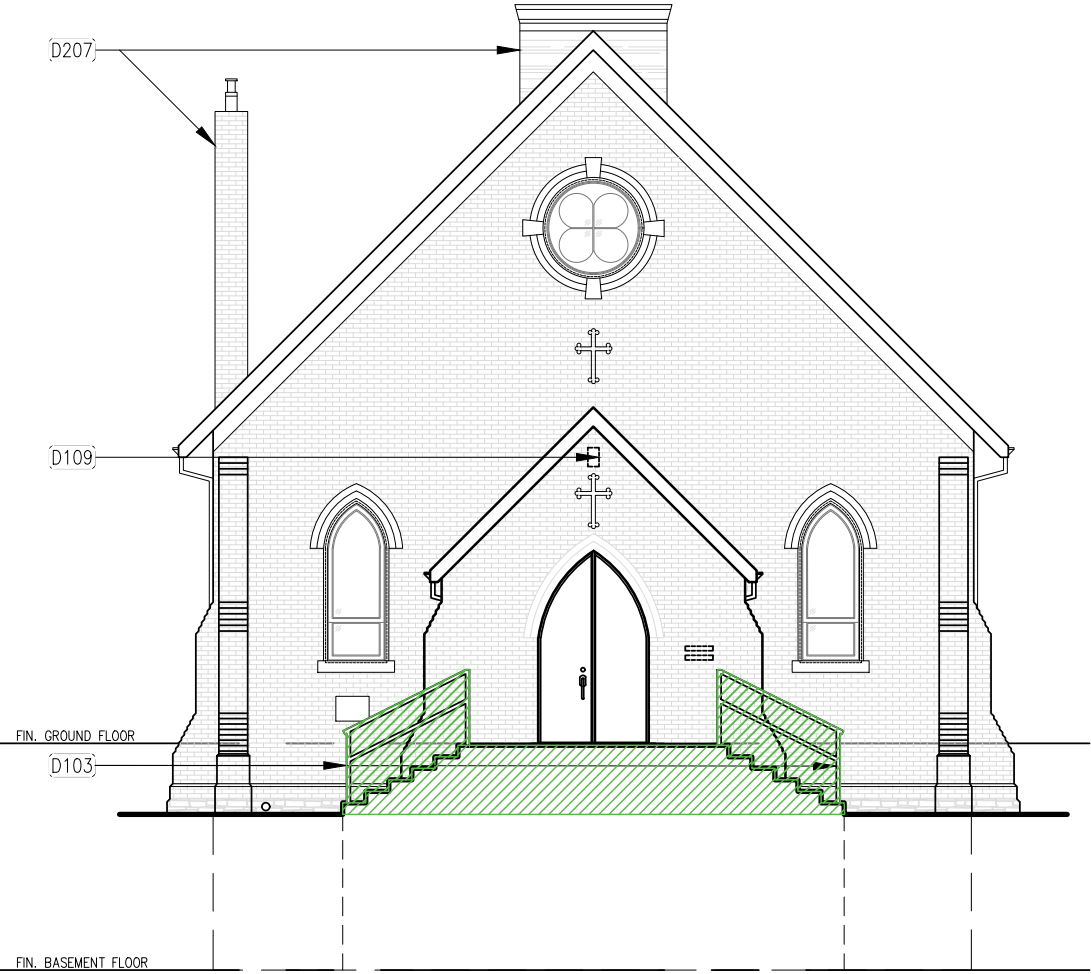
NORTH ARROW



SHEET NO.

AH112

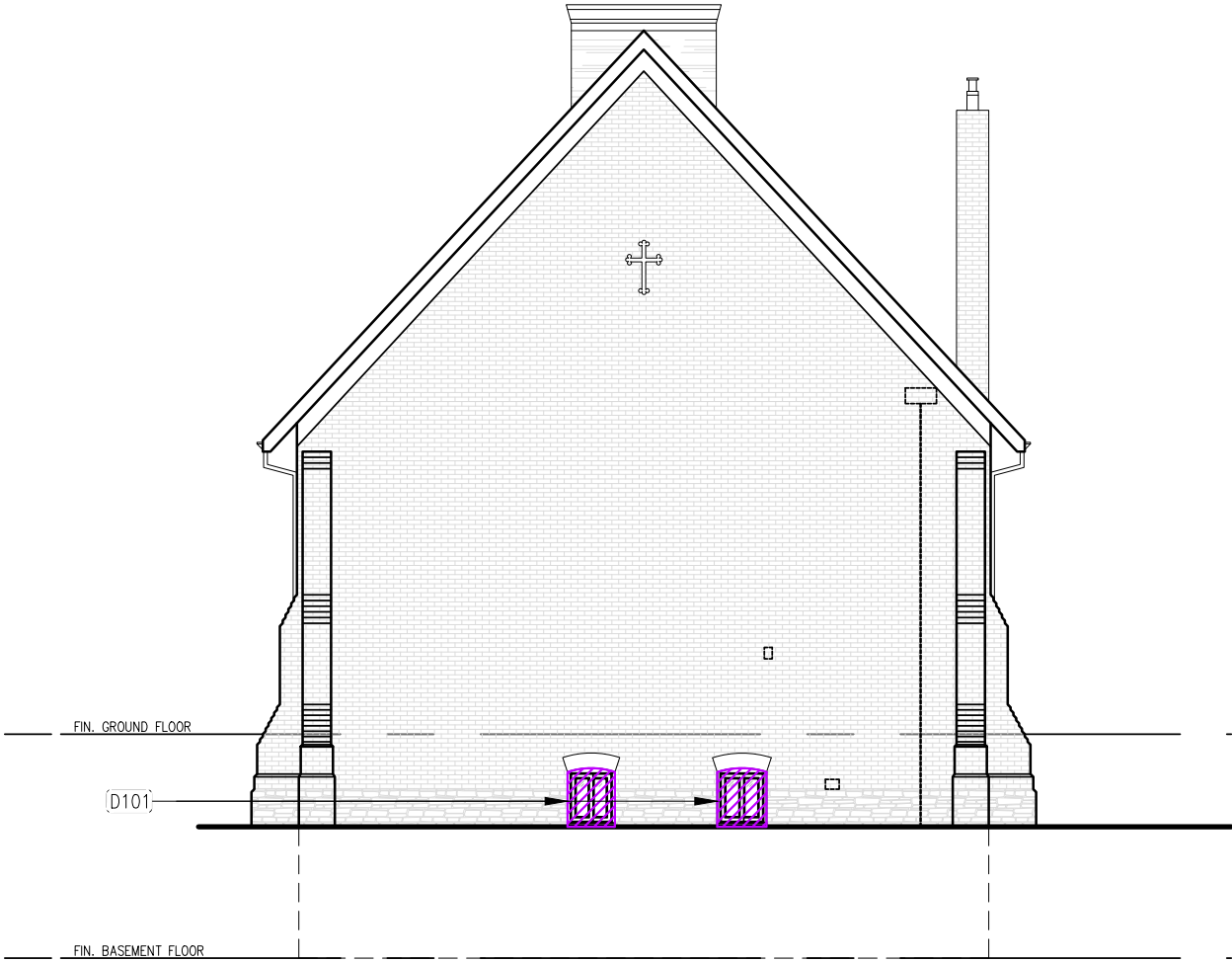




CONSERVATION - DEMOLITION ELEVATION - WEST

1:100

1  
AH420



CONSERVATION - DEMOLITION ELEVATION - EAST

1:100

2  
AH420

DEMO, REMOVALS AND SALVAGE NOTES

- D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
- D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
- D104 NOT USED.  
D105 NOT USED.  
D106 NOT USED.
- D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
- D108 NOT USED.
- D109 REMOVE EXISTING LIGHT FIXTURE.

PROTECTION, STABILIZATION, AND DISMANTLING NOTES

- D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
- D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
- D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
- D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
- D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
- D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
- D207 RETAIN AND PROTECT EXISTING CHIMNEY.

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
22001

DRAWING TITLE

REMOVALS ELEVATION - EAST & WEST

DRAWING SCALE  
1:100

NORTH ARROW

SHEET NO.

AH420



These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO. 22001

DRAWING TITLE

**SNELGROVE BAPTIST CHURCH**  
**12061 HURONTARIO STREET**  
**BRAMPTON, ON L6Z 4P8**

DRAWING SCALE  
**1:100**

**REMOVALS ELEVATION - NORTH**

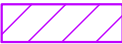

NORTH ARROW

SHEET NO.

**AH421**



DEMO, REMOVALS AND SALVAGE NOTES

-  D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
-  D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
- D104 NOT USED.  
D105 NOT USED.  
D106 NOT USED.
- D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
- D108 NOT USED.
- D109 REMOVE EXISTING LIGHT FIXTURE.

PROTECTION, STABILIZATION, AND DISMANTLING NOTES

- D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
- D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
- D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
- D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
- D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
- D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
- D207 RETAIN AND PROTECT EXISTING CHIMNEY.

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2  
O. 647 479 4121  
E. info@giaimo.ca

PROJECT NAME AND ADDRESS  
**SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8**

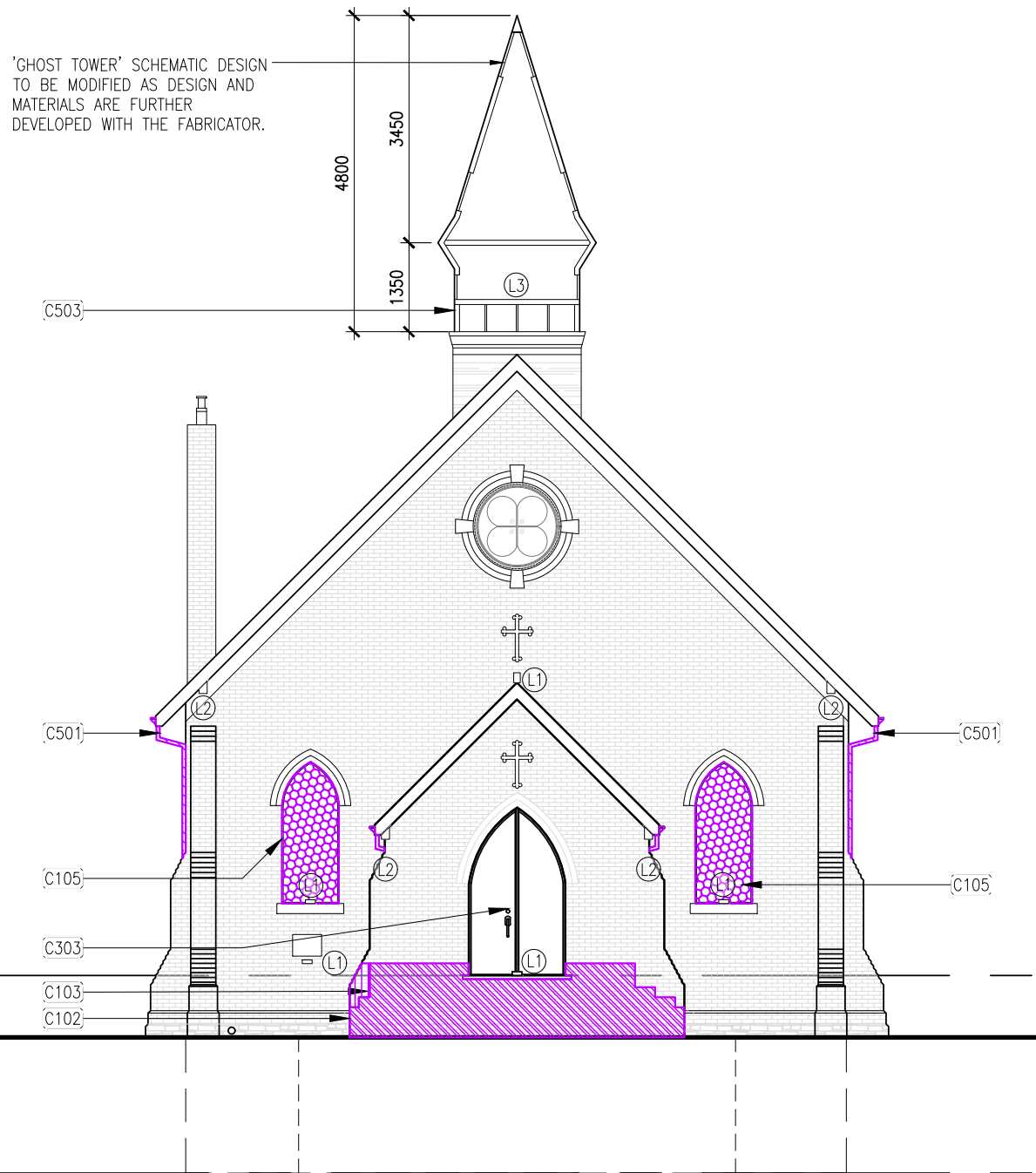
PROJECT NO. **22001**  
DRAWING TITLE  
**REMOVALS ELEVATION - SOUTH**

DRAWING SCALE  
**1:100**

NORTH ARROW

SHEET NO.

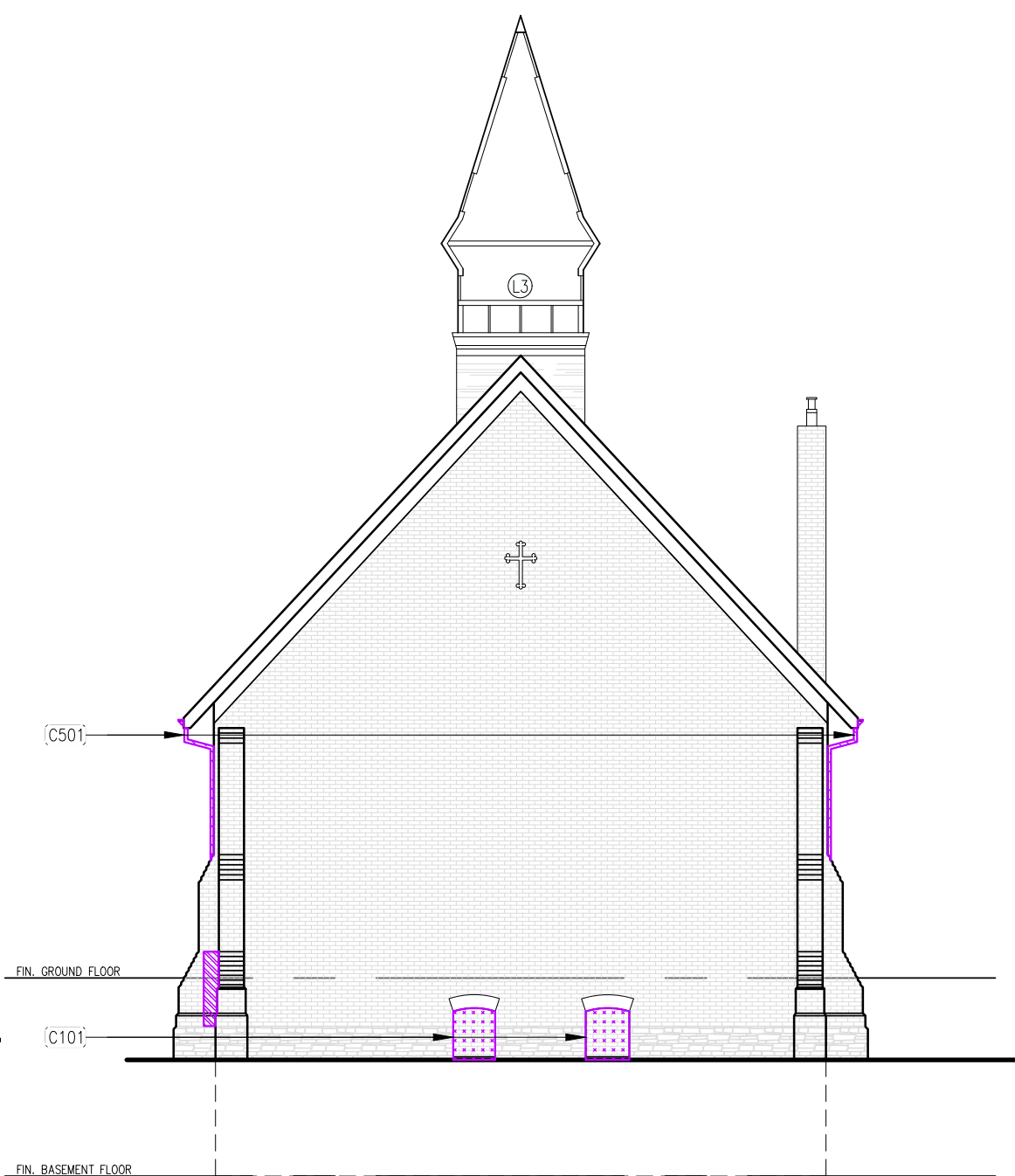
**AH422**



CONSERVATION - PROPOSED ELEVATION - WEST

1:100

1  
AH430



CONSERVATION - PROPOSED ELEVATION - EAST

1:100

2  
AH430

## CONSERVATION NOTES

- \*\*\*\*\* C101 INFILL FORMER OPENING (WINDOW OR DOOR) WITH MASONRY UNITS, RECESS 1" FROM EXTERIOR FACE OF EXISTING. BRICK CHARACTERISTICS (COLOUR, SIZE, TEXTURE) TO BE CONFIRMED BY HERITAGE CONSULTANT.
- //// C102 REPLACE DAMAGED AND MISSING BRICKS.
- |||| C103 REPAIR PARTIALLY COLLAPSED BUTTRESS.
- C104 NOT USED.
- |||| C105 OPTION 1: PROVIDE PERFORATED STEEL PANEL ON EXTERIOR, FASTENED TO BRICK ON INSIDE OF WINDOW OPENING. OPTION 2: REFER TO C101. REFER TO AH500 FOR DETAILS FOR PRICING.
- C301 NOT USED.
- |||| C302 SAND AND PAINT DOOR AND FRAME.
- C303 SECURE DOOR FROM INSIDE. TO BE DONE BY OTHERS.
- //// C501 REPAIR EXISTING EAVESTROUGHS AND DOWNSPOUTS. REPLACE AS REQUIRED TO ENSURE PROPER AND CONTINUOUS FLOW. DIRECT FLOW AWAY FROM BUILDING AND ITS FOUNDATIONS.
- C502 PROVIDE NEW EXTERIOR LIGHTING AS SHOWN ON ELEVATIONS.
- L1 LED UP-LIGHTING FIXTURE
- L2 LED DOWN-LIGHTING FIXTURE
- L3 LED UP-LIGHTING FIXTURE FOR THE TOWER
- C503 PROVIDE STAINLESS STEEL FRAME 'GHOST' TOWER.

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

**SNELGROVE BAPTIST CHURCH**  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
**22001**

DRAWING TITLE

**PROPOSED ELEVATION - EAST & WEST**

DRAWING SCALE  
**1:100**

NORTH ARROW

SHEET NO.

**AH430**





CONSERVATION NOTES

- C101 INFILL FORMER OPENING (WINDOW OR DOOR) WITH MASONRY UNITS, RECESS 1" FROM EXTERIOR FACE OF EXISTING. BRICK CHARACTERISTICS (COLOUR, SIZE, TEXTURE) TO BE CONFIRMED BY HERITAGE CONSULTANT.
- C102 REPLACE DAMAGED AND MISSING BRICKS.
- C103 REPAIR PARTIALLY COLLAPSED BUTTRESS.
- C104 NOT USED.
- C105 OPTION 1: PROVIDE PERFORATED STEEL PANEL ON EXTERIOR, FASTENED TO BRICK ON INSIDE OF WINDOW OPENING. OPTION 2: REFER TO C101. REFER TO AH500 FOR DETAILS FOR PRICING.
- C301 NOT USED.
- C302 SAND AND PAINT DOOR AND FRAME.
- C303 SECURE DOOR FROM INSIDE. TO BE DONE BY OTHERS.
- C501 REPAIR EXISTING EAVESTROUGHS AND DOWNSPOUTS. REPLACE AS REQUIRED TO ENSURE PROPER AND CONTINUOUS FLOW. DIRECT FLOW AWAY FROM BUILDING AND ITS FOUNDATIONS.
- C502 PROVIDE NEW EXTERIOR LIGHTING AS SHOWN ON ELEVATIONS.
- L1 LED UP-LIGHTING FIXTURE
- L2 LED DOWN-LIGHTING FIXTURE
- L3 LED UP-LIGHTING FIXTURE FOR THE TOWER
- C503 PROVIDE STAINLESS STEEL FRAME 'GHOST' TOWER.

PROPOSED ELEVATION - NORTH

1  
AH431

1:100

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
REV	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

**SNELGROVE BAPTIST CHURCH**  
**12061 HURONTARIO STREET**  
**BRAMPTON, ON L6Z 4P8**

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
**22001**

DRAWING TITLE

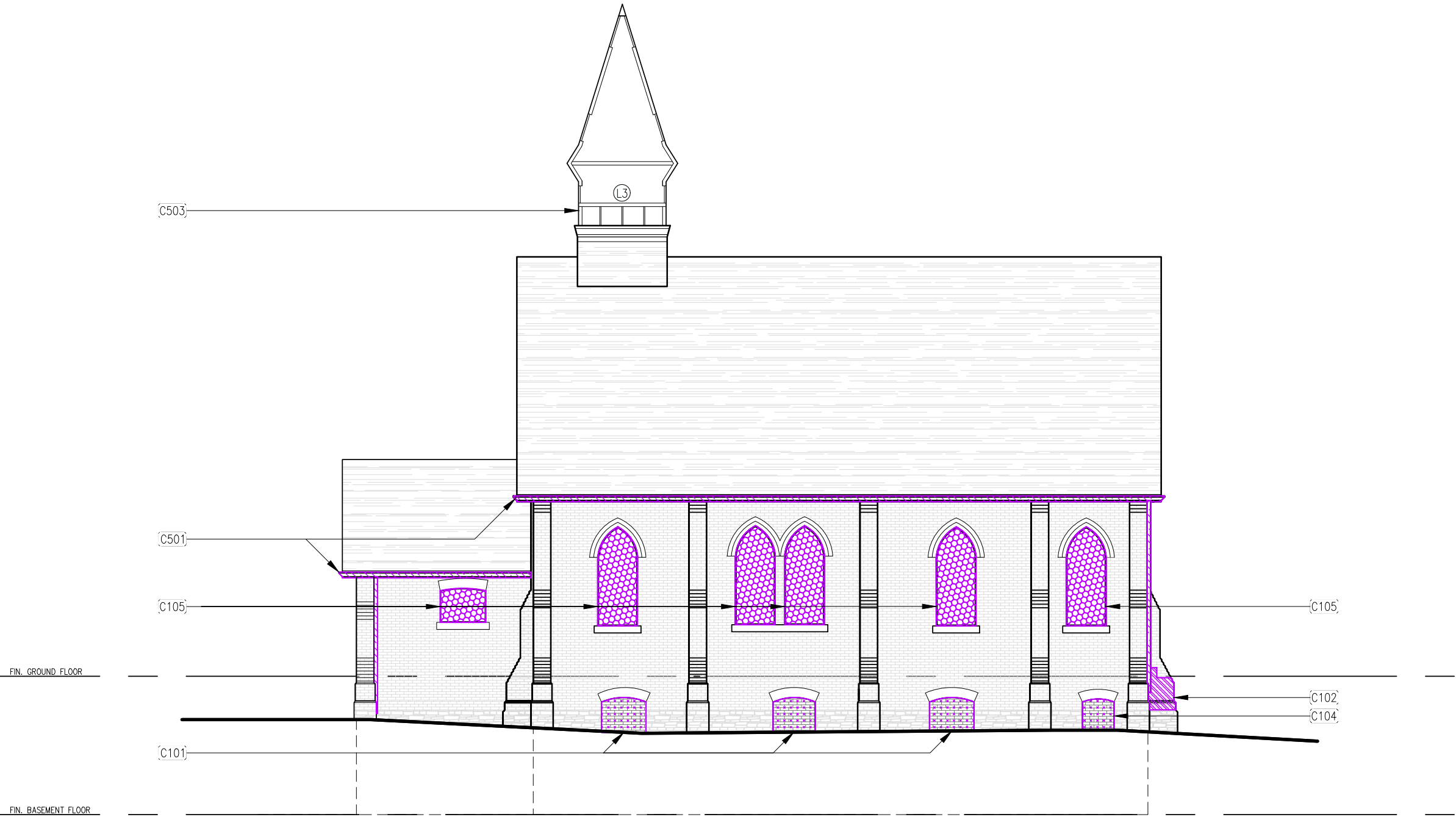
**PROPOSED ELEVATION - NORTH**

DRAWING SCALE  
**1:100**

NORTH ARROW

SHEET NO.

**AH431**



CONSERVATION NOTES

C101 INFILL FORMER OPENING (WINDOW OR DOOR) WITH MASONRY UNITS, RECESS 1" FROM EXTERIOR FACE OF EXISTING. BRICK CHARACTERISTICS (COLOUR, SIZE, TEXTURE) TO BE CONFIRMED BY HERITAGE CONSULTANT.

C102 REPLACE DAMAGED AND MISSING BRICKS.

C103 REPAIR PARTIALLY COLLAPSED BUTTRESS.

C104 NOT USED.

C105 OPTION 1: PROVIDE PERFORATED STEEL PANEL ON EXTERIOR, FASTENED TO BRICK ON INSIDE OF WINDOW OPENING. OPTION 2: REFER TO C101. REFER TO AH500 FOR DETAILS FOR PRICING.

C301 NOT USED.

C302 SAND AND PAINT DOOR AND FRAME.

C303 SECURE DOOR FROM INSIDE. TO BE DONE BY OTHERS.

C501 REPAIR EXISTING EAVESTROUGHS AND DOWNSPOUTS. REPLACE AS REQUIRED TO ENSURE PROPER AND CONTINUOUS FLOW. DIRECT FLOW AWAY FROM BUILDING AND ITS FOUNDATIONS.

C502 PROVIDE NEW EXTERIOR LIGHTING AS SHOWN ON ELEVATIONS.

- L1 LED UP-LIGHTING FIXTURE  
L2 LED DOWN-LIGHTING FIXTURE  
L3 LED UP-LIGHTING FIXTURE FOR THE TOWER

C503 PROVIDE STAINLESS STEEL FRAME 'GHOST' TOWER.

PROPOSED ELEVATION - SOUTH

1:100

1

AH432

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO.  
22001

DRAWING SCALE  
1:100

DRAWING TITLE

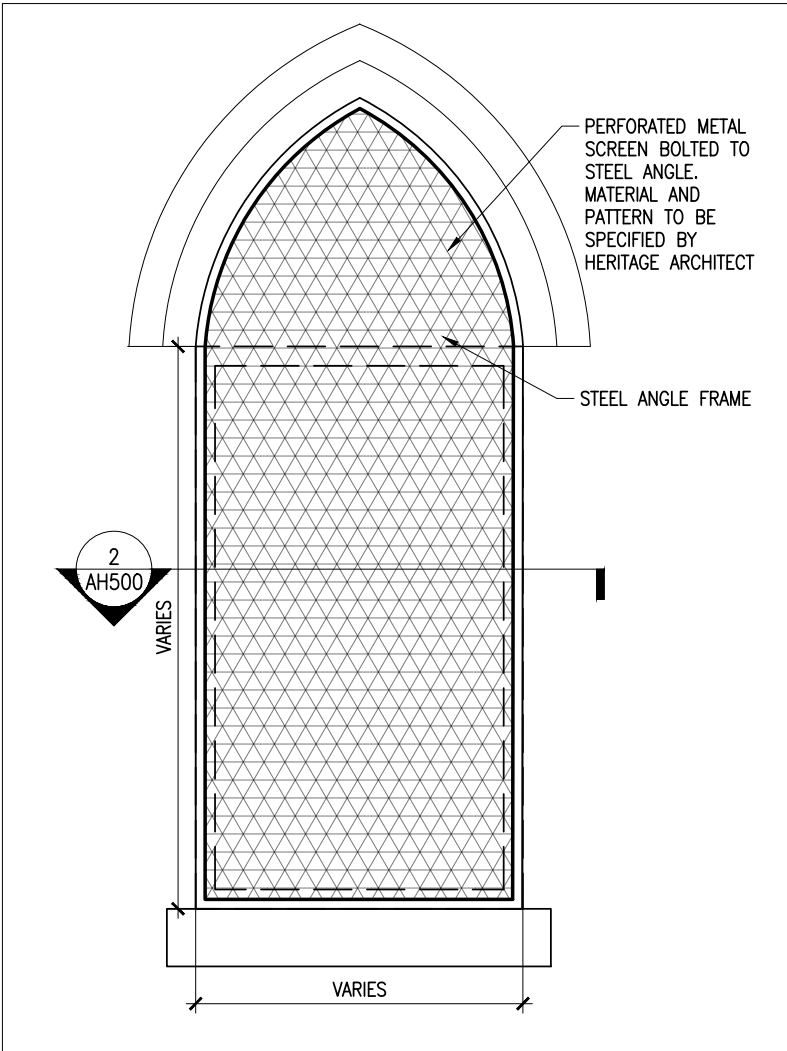
PROPOSED ELEVATION - SOUTH

NORTH ARROW

SHEET NO.

AH432



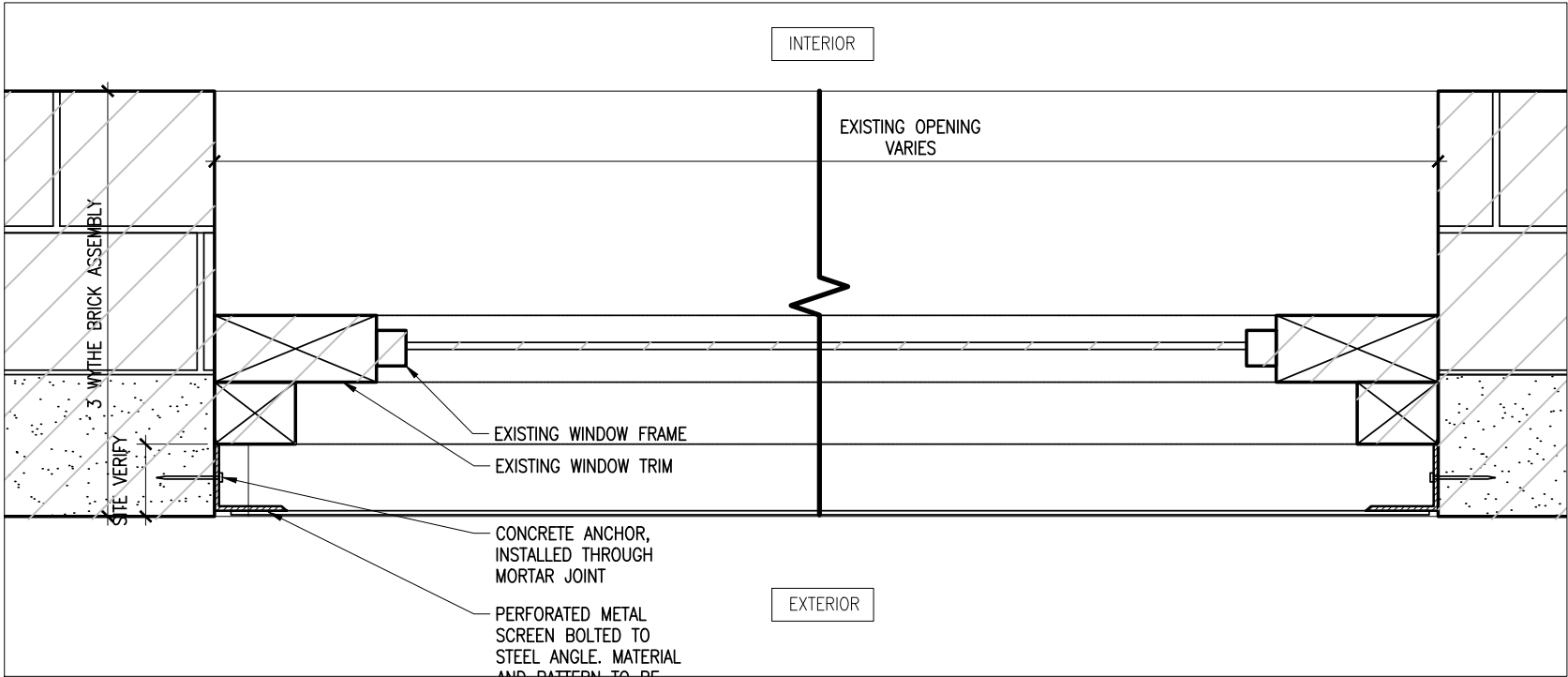


PERFORATED METAL SCREENS AT EXISTING GROUND FLOOR WINDOWS

3

1:20

AH500

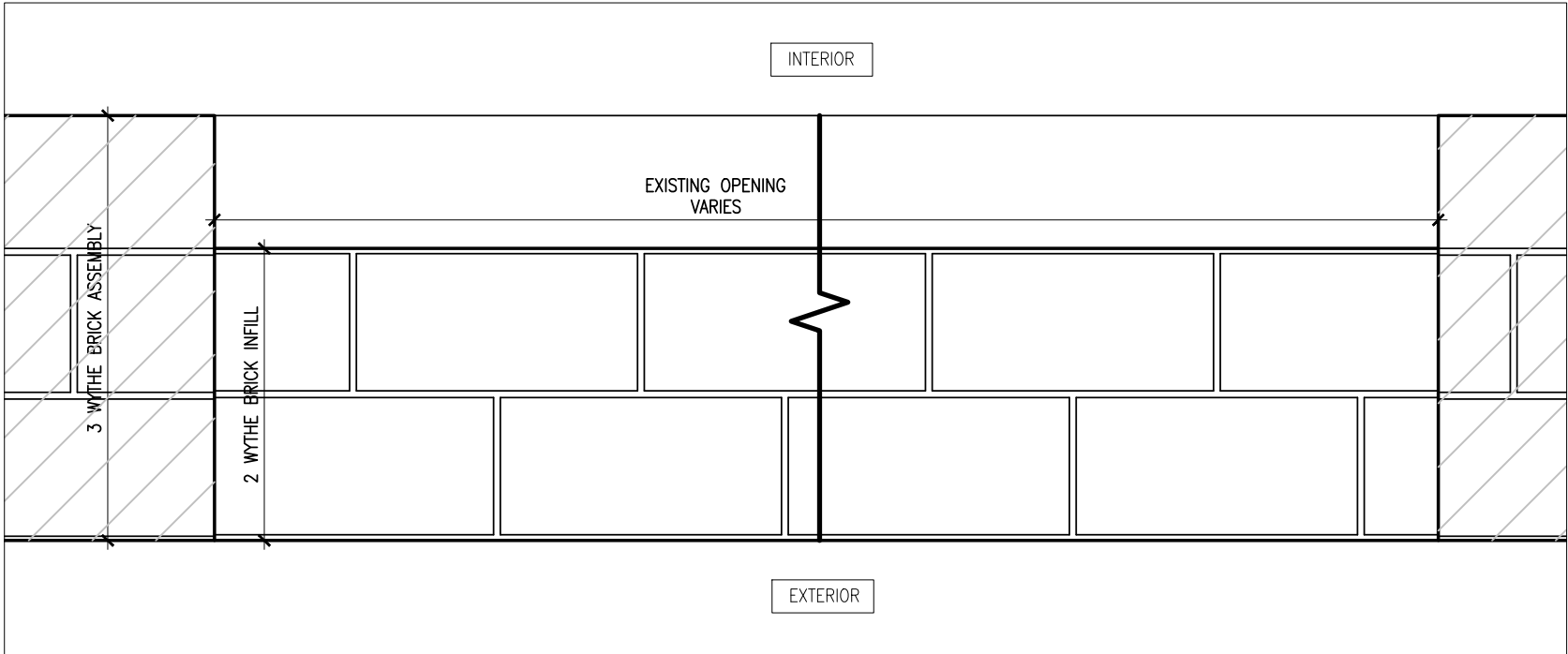


PERFORATED METAL SCREENS AT EXISTING GROUND FLOOR WINDOWS

2

1:5

AH500



BRICK INFILL AT EXISTING BASEMENT WINDOWS

1

1:5

AH500

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

PROJECT NAME AND ADDRESS

**SNELGROVE BAPTIST CHURCH**  
**12061 HURONTARIO STREET**  
**BRAMPTON, ON L6Z 4P8**

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO. **22001**

DRAWING TITLE

**DETAILS**

DRAWING SCALE  
**VARIOUS**

NORTH ARROW

SHEET NO.

**AH500**

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.





EAST ELEVATION - PHOTOGRAPH

4

NA AH900



NORTH ELEVATION - PHOTOGRAPH

3

NA AH900



SOUTH ELEVATION - PHOTOGRAPH

2

NA AH900



WEST ELEVATION - PHOTOGRAPH

1

NA AH900

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO. 22001

DRAWING TITLE

PHOTOS

NOTE: ALL PHOTOS TAKEN SEP 27TH 2024

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

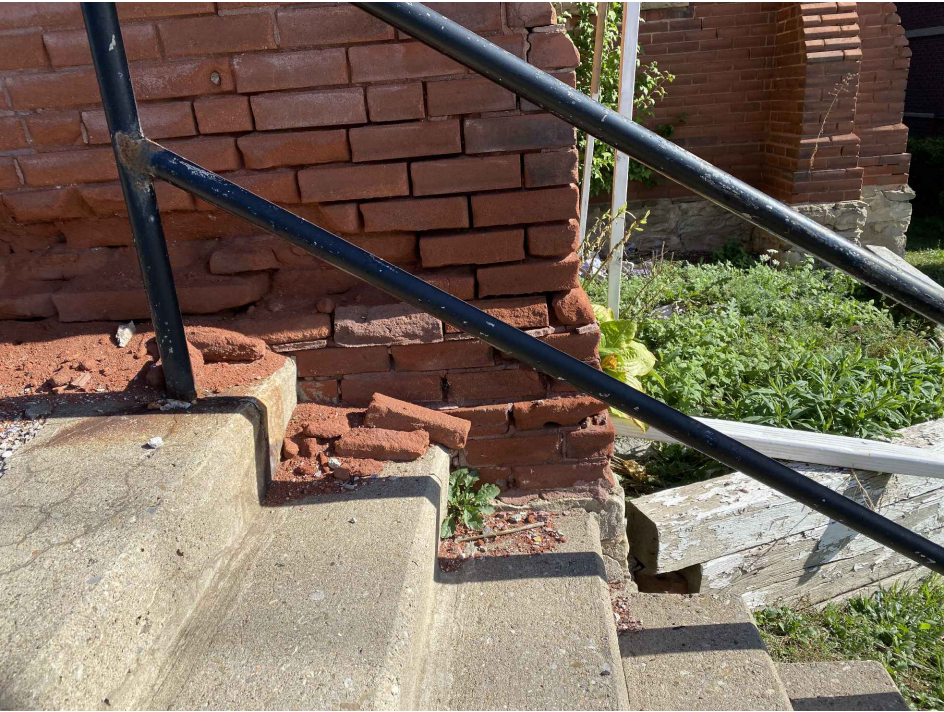
DRAWING SCALE  
VARIOUS

NORTH ARROW

SHEET NO.

AH900





WEST ELEVATION - PHOTOGRAPH

1  
NA AH901



WEST ELEVATION - PHOTOGRAPH

1  
NA AH901



WEST ELEVATION - PHOTOGRAPH

1  
NA AH901

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO. 22001

DRAWING TITLE

PHOTOS

NOTE: ALL PHOTOS TAKEN SEP 27TH 2024

DRAWING SCALE VARIOUS

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

NORTH ARROW

SHEET NO.

AH901





SOUTH ELEVATION - PHOTOGRAPH

1  
NA AH902



SOUTH ELEVATION - PHOTOGRAPH

1  
NA AH902

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION		
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

**Giaimo.** 213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2

O. 647 479 4121  
E. info@giaimo.ca

PROJECT NO. 22001

DRAWING SCALE VARIOUS

PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH  
12061 HURONTARIO STREET  
BRAMPTON, ON L6Z 4P8

DRAWING TITLE

PHOTOS  
NOTE: ALL PHOTOS TAKEN SEP 27TH 2024

NORTH ARROW

SHEET NO.

AH902