SNELGROVE BAPTIST CHURCH

12061 HURONTARIO ST., BRAMPTON, ON L6Z 4P8

PROJECT NUMBER: 22001 ISSUED FOR HERITAGE PERMIT January 28, 2025

DRAWING LIST

ARCHITECTURAL

AH000	Cover
	Cover
AH001	Notes
AH002	Survey
AH005	Proposed Site Plan
AH105	Removals Plan - Ground Floor
AH106	Removals Plan - Basement
AH107	Removals Plan - Roof
AH111	Proposed Plan - Ground Floor
AH110	Proposed Plan - Basement
AH112	Proposed Plan - Roof
AH420	Removals Elevation - East & West
AH421	Removals Elevation - North
AH422	Removals Elevation - South
AH430	Proposed Elevation - East & West
AH431	Proposed Elevation - North
AH432	Proposed Elevation - South
AH500	Details
AH900	Photos
AH901	Photos
AH902	Photos



213 STERLING ROAD, SUITE 204 TORONTO, ON M6R 2B2 E. INFO@GIAIMO.CA

Giaimo.

GRAPHIC AND SYSTEMS SCHEDULE

CXXX)
ROOM NAME 000 190 sf
X1)
1 A101
1 A101
Wx
FLx
\bigotimes
+ 123.456

- CONSERVATION KEYNOTE

ROOM NAME AND NUMBER

GRID NUMBER

DETAIL NUMBER REFERENCING DRAWING NUMBER

ELEVATION/BUILDING SECTION NUMBER REFERENCING DRAWING NUMBER

EXTERIOR WALL CONSTRUCTION TYPES (SEE ALSO WALL TYPE SCHEDULE)

FLOOR CONSTRUCTION TYPES (SEE ALSO WALL TYPE SCHEDULE)

OPENINGS THROUGH WALL ASSEMBLY FOR MECHANICAL EQUIPMENT

EXISTING WALLS AND PARTITIONS

EXISTING COMPONENT

EXISTING TO DEMOLISH

PROPOSED WALLS AND PARTITIONS

- INFILL IN EXISTING WALLS AND PARTITIONS NOT INCLUDED IN EXTERIOR HERITAGE RESTORATION SCOPE. DRAWN FOR COORDINATION PURPOSES - TO BE COORDINATED WITH PRIME ARCHITECT AND CLIENT.
- I23.456 GEODETIC ELEVATION IN METRES AT TOP OF FLOOR ELEVATION (SEE STRUCT. DWGS)
- (W10) WINDOW NUMBER (SALVAGE) (SEE ALSO WINDOW SCHEDULE)

(I) LIGHT FIXTURE TYPE

GENERAL NOTES

- G001 ALL DIMENSIONS, AREAS, LOCATIONS OF THE PROPOSED CONSERVATION WORK ARE INDICATED FOR GUIDANCE ONLY. THEY REQUIRE VERIFICATION ON SITE.
- G002 CONSERVATION, PROTECTION, STABILIZATION, AND DISMANTLING WORK TO BE CONDUCTED BY AN APPROVED CONTRACTOR.

G003 THE ARCHITECTURAL HERITAGE (AH) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS INCDING ALL DRAWINGS OF OTHER NSULTANTS.

G004 THE FORMS OF DETERIORATION AND THE PROPOSED CONSERVATION WORK CONDUCTED IN THE AH DRAWINGS ARE BASED ON THE CONDITION ASSESSMENT AND THE SITE PHOTOS TAKEN BY GIAIMO ARCHITECTS ON FEB 4, 2022.

G005 THE MOST STRINGENT REQUIREMENT GOVERNS WHERE DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS.

- G006 THE EXTENT OF DETERIORATION AND THE PROPOSED CONSERVATION WORK INCLUDED IN THE CONSERVATION DRAWINGS ARE BASED ON THE CONDITION ASSESSMENT AT THE TIME OF REVIEW, AND ON LIMITED VISUAL OBSERVATION AND ACCESS. CONTRACTOR TO TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE CONSULTANT IF THE CONDITIONS HAVE CHANGED AND OBTAIN DIRECTION BEFORE PROCEEDING.
- G007 CONSERVATION, PROTECTION, STABILIZATION, AND DISMANTLING WORK TO BE CONDUCTED BY AN APPROVED HERITAGE CONTRACTOR.

G008 PROTECT EXISTING STRUCTURES AND HERITAGE FEATURES FROM DAMAGE DURING CONSTRUCTION. PATCH AND MAKE GOOD ALL EXISTING BUILDING ELEMENTS DISTURBED OR DAMAGED.

- G009 IF SALVAGED UNITS ARE INSUFFICIENT TO COMPLETE DESCRIBED MASONRY WORK, PROVIDE SAMPLE FOR NEW UNIT TO HERITAGE CONSULTANT FOR APPROVAL.
- G010 UNLESS NOTED ON THE DRAWINGS, DO NOT ALTER STRUCTURAL MEMBERS WITHOUT THE CONSULTANT'S PERMISSION
- G011 THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, TEMPORARY WORKS DURING CONSTRUCTION.
- G012 PROVIDE ALL TEMPORARY SHORING, BRACING, HOARDING AND PROTECTION NECESSARY TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE REGULATIONS.
- G013 WORK TO COMPLY WITH ONTARIO BUILDING CODE AND ALL APPLICABLE CODES OF AUTHORITIES HAVING JURISDICTION
- G014 PROVIDE REASONABLE NOTICE FOR FIELD REVIEWS OF COMPLETED WORK PRIOR TO CONCEALING THE WORK. COOPERATE WITH THE CONSULTANTS RETAINED TO PERFORM FIELD REVIEW. PROVIDE SAFE ACCESS AND ASSISTANCE AS REQUIRED.
- G015 FIELD REVIEWS DO NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR CONFORMING WITH THE CONTRACT DOCUMENTS, ACCURACY AND QUALITY.
- G016 CONTRACTOR TO COORDINATE SALVAGING, INCLUDING BUT NOT LIMITED TO THE REMOVAL AND TEMPORARY STORAGE, OF ALL ELEMENTS THAT ARE TO BE SALVAGED AS PER HERITAGE ARCHITECTURAL DRAWINGS.
- G017 DEMOLITION OF INTERIOR STRUCTURAL AND FRAMING COMPONENTS IS NOT INCLUDED IN HERITAGE RESTORATION SCOPE.

These Contract Documents are the property of the	Э
Architect. The Architect bears no responsibility for	
the interpretations of these documents by the	
contractor. Upon written application the Architect	
will provide written/graphic clarification or	
supplementary information regarding the intent of	
the Contract Documents. The Architect will review	r
Shop Drawings submitted by the Contractor for	
design conformance only.	

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

y of the dimensions required to perform the Work and lity for report any discrepancies with the Contract Documents to the Architect before commencing the hiter work

> Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

7

6

5

REV

ISSUED FOR HERITAGE PERMIT	28.01.2025
ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
ISSUED FOR CONSERVATION PLAN	09.06.2023
DESCRIPTION	DATE

NOT FOR CONSTRUCTION

Ciaimo. 213 STERLING RD, SUITE 204 TORONTO, ON MGR 2B2 PROJECT NAME AND ADDRESS

SNELGROVE BAPTIST CHURCH 12061 HURONTARIO STREET BRAMPTON, ON L6Z 4P8 info@giaimo.ca 22001 DRAWING TITLE

O. 647 479 4121

E.

DRAWING SCALE

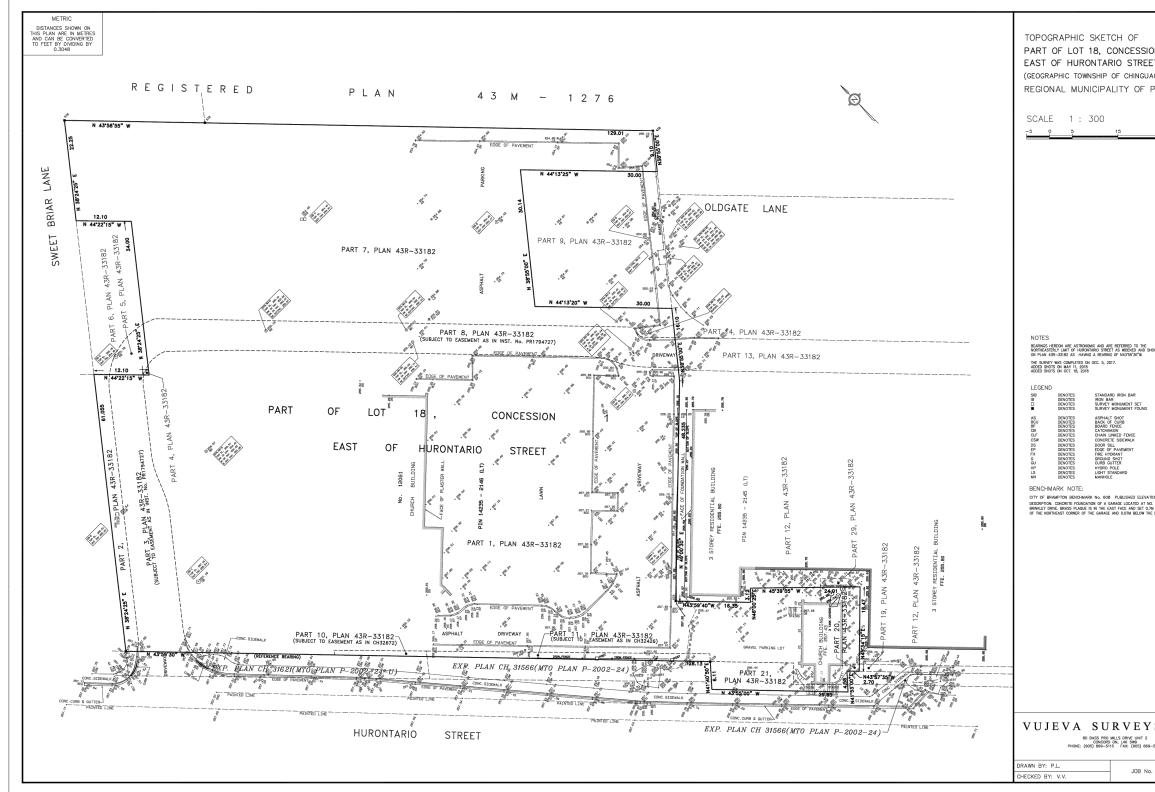
NOTES

PROJECT NO

NORTH ARROW







These Contract Documents are the property o Architect. The Architect bears no responsibility the interpretations of these documents by the contractor. Upon written application the Archite will environ the architecture the architecture of the arch	/ for
will provide written/graphic clarification or supplementary information regarding the inten the Contract Documents. The Architect will rev Shop Drawings submitted by the Contractor fo	/iew
design conformance only.	

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

the dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the t work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

REV	DESCRIPTION	DATE
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
8	ISSUED FOR HERITAGE PERMIT	28.01.2025

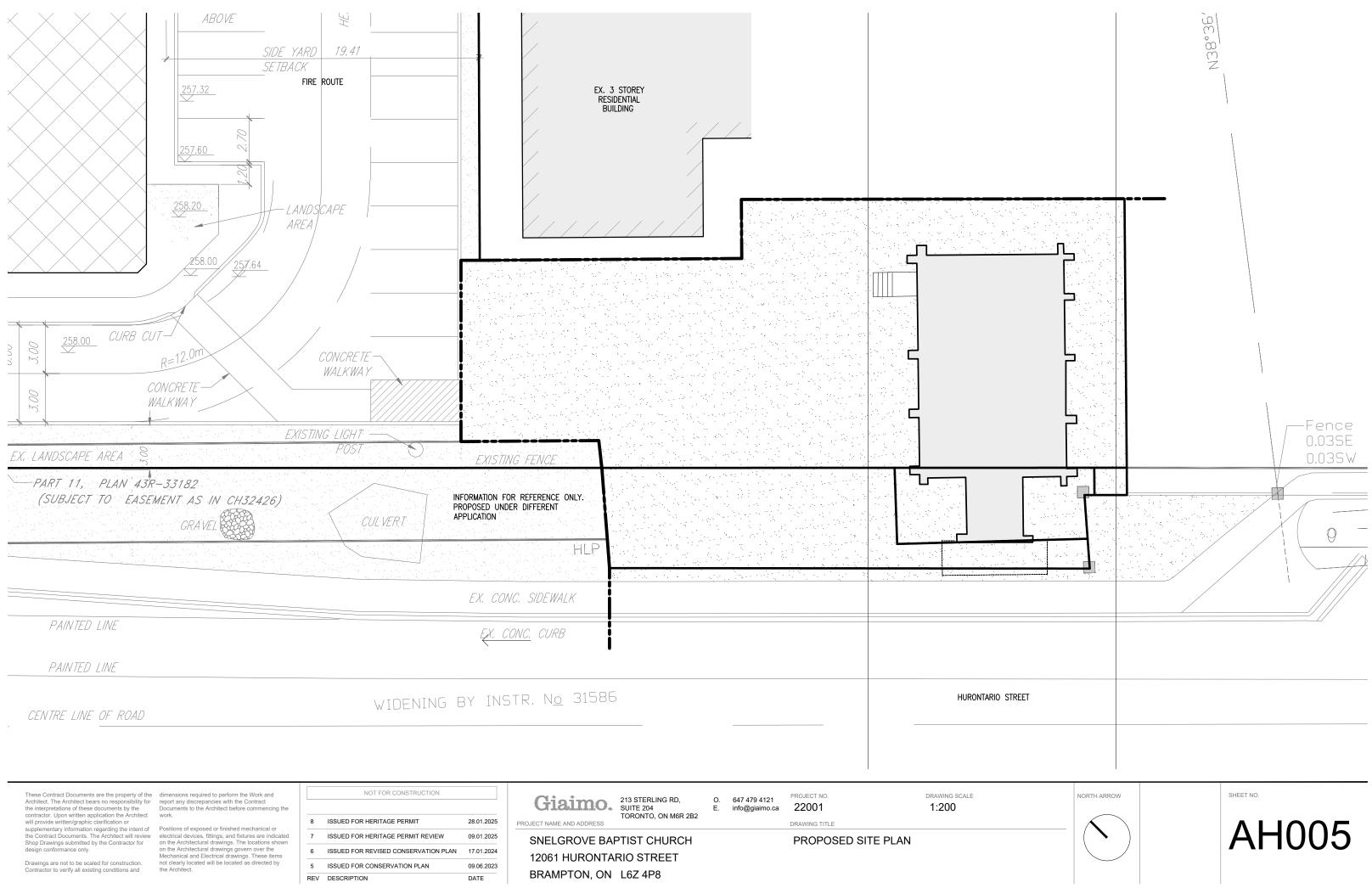
NOT FOR CONSTRUCTION

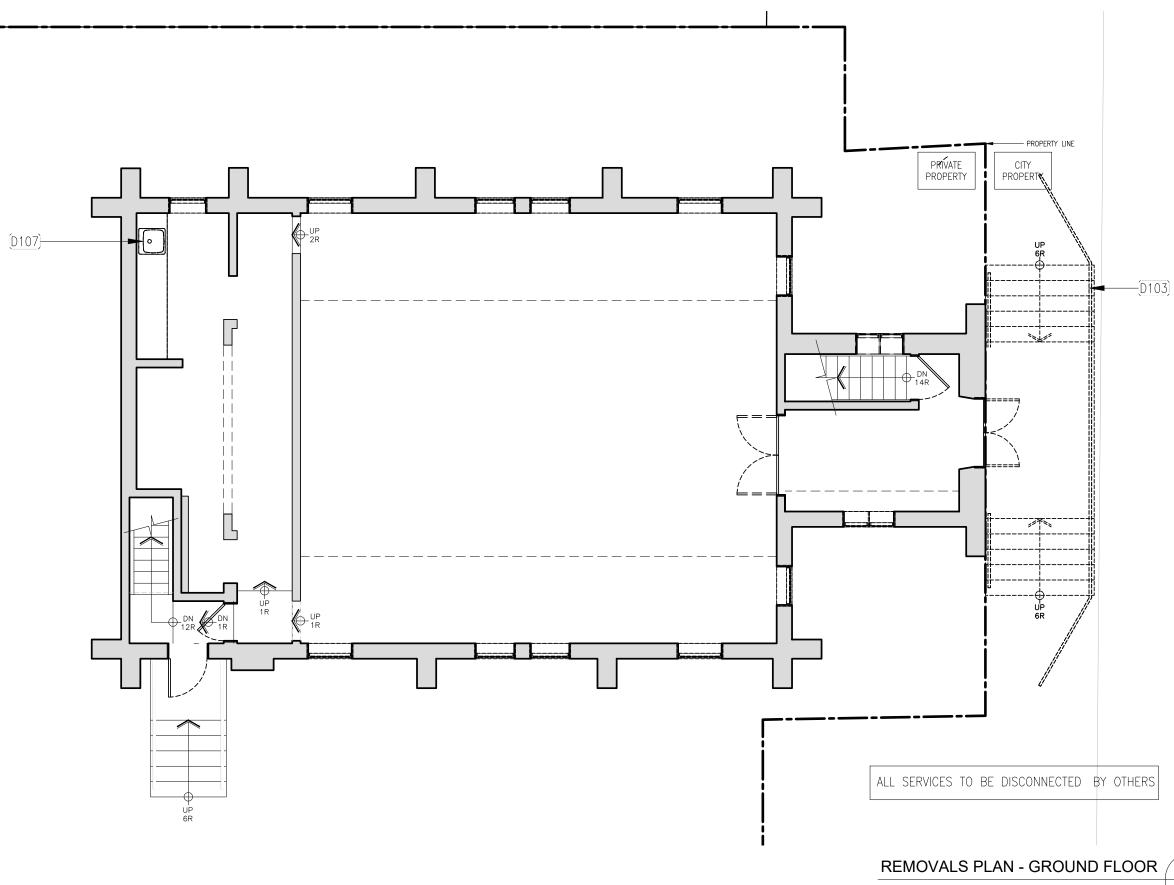
Giaimo.	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001	DRAWING SCALE
PROJECT NAME AND ADDRESS				DRAWING TITLE	
SNELGROVE BAR	PTIST CHURCH			SURVEY	
12061 HURONTARIO STREET					
BRAMPTON, ON	L6Z 4P8				

N 1 T	
.COUSY)	
PEEL	
25 METRES	
METRES	
WIN	
ON 252.959 METRES.	
ON 252.959 METRES. 4 SOUTH BRICK.	
S LTD	
5035	
14 0070	
14 - 2036	

NORTH ARROW







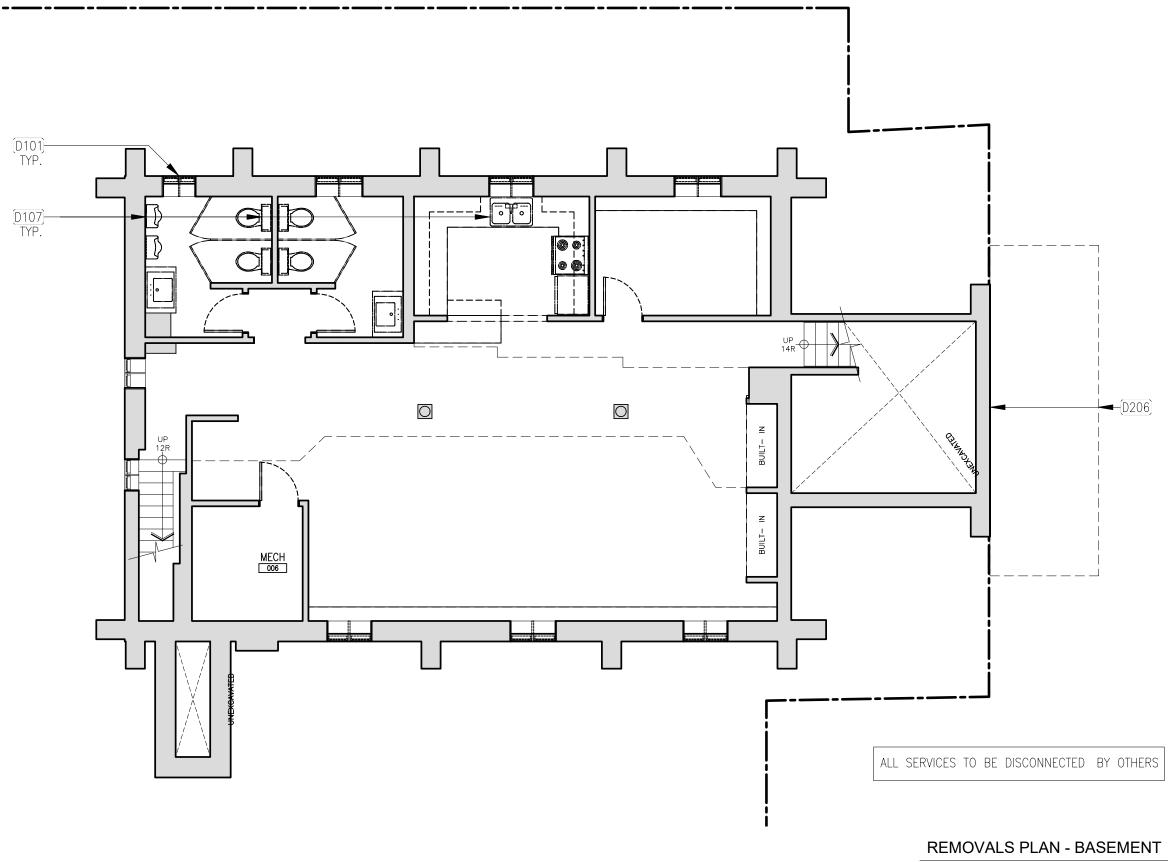
1:75 AF

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Using provide written/graphic carlification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. The scales terms not clearly located will be located as directed by the Architect.

	NOT FOR CONSTRUCTION	
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

ION		Giaimo.	CONLECC	O. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001	DRAWING SCALE 1:75
	28.01.2025	PROJECT NAME AND ADDRESS	TORONTO, ON M6R 2B2			DRAWING TITLE	
VIEW	09.01.2025	SNELGROVE BAI	PTIST CHURCH	REMOVALS PLA	AN - GROUND FLOOR		
ION PLAN	17.01.2024	12061 HURONTA	RIO STREET	-			
	09.06.2023						
	DATE	BRAMPTON, ON	L6Z 4P8				

DEMO, R	EMO	VALS AND S	ALVAGE NOTES			
	D101	AND GLAZING	TING WINDOW FRAMES 6. SALVAGE WOOD POSE OF VINYL WINDOWS.			
	D103		TING CONCRETE STAIR GUARDRAIL & HANDRAILS.			
	D105	NOT USED. NOT USED. NOT USED.				
	D107		STING FIXTURES, AND TO BE DONE BY OTHERS.			
	D108	NOT USED.				
	D109	REMOVE EXIS	TING LIGHT FIXTURE.			
PROTECT DISMANT		STABILIZATI NOTES	ION, AND			
	D201	FAÇADES, INC	ROTECT THE RETAINED CLUDING THE FAÇADE URING STABILIZATION UCTION.			
	D202	FROM WEATH	FAÇADES AND OPENINGS IER ELEMENTS DURING N AND CONSTRUCTION.			
	D203		ADES FROM IMPACT INDIRECT IMPACT.			
D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.						
	D205	EXISTING BUIL INDICATED ON VERIFY WITH	EMOVE PORTIONS OF LDING THAT ARE N THE AH DRAWINGS. ARCHITECTURAL AND . FOR COMPLETE SCOPE			
	D206	MAINTAIN EXIS FOOTINGS.	STING FOUNDATION AND			
	D207	RETAIN AND PL CHIMNEY.	ROTECT EXISTING			
05						
NORTH ARR	:OW		SHEET NO.			
			AH105			



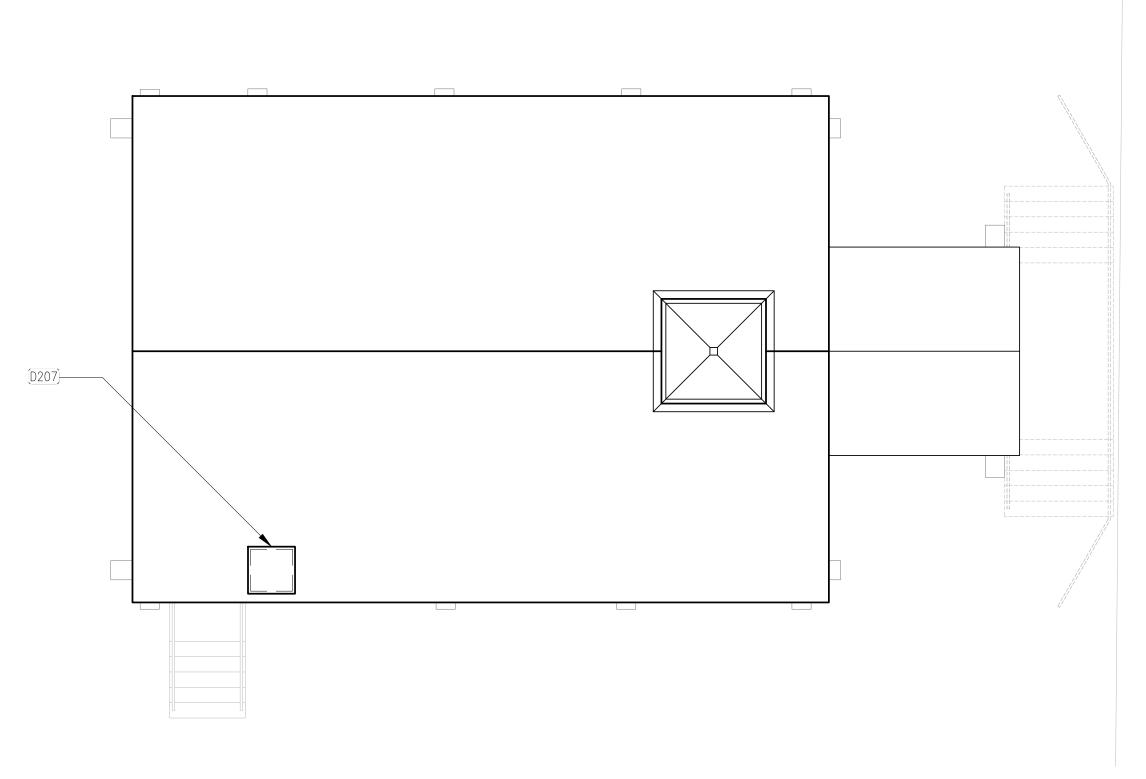
1:75 AF

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Using provide written/graphic carlification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. The scales terms not clearly located will be located as directed by the Architect.

	NOT FOR CONSTRUCTION	
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

28.01.2025	Giaimo. 213 STEF SUITE 20 TORONT		647 479 4121 info@giaimo.ca	PROJECT NO. 22001 DRAWING TITLE	drawing scale 1:75
09.01.2025	SNELGROVE BAPTIST (CHURCH	REMOVALS PLAN - BASEMENT		
17.01.2024	12061 HURONTARIO ST	REET			
09.06.2023					
DATE	BRAMPTON, ON L6Z 4	28			

DEMO, R	EMO	ALS AND S	ALVAGE NOTES
	D101	AND GLAZING	TING WINDOW FRAMES SALVAGE WOOD POSE OF VINYL WINDOWS.
	D103		TING CONCRETE STAIR UARDRAIL & HANDRAILS.
	D105	NOT USED. NOT USED. NOT USED.	
	D107		TING FIXTURES, AND TO BE DONE BY OTHERS.
	D108	NOT USED.	
	D109	REMOVE EXIST	TING LIGHT FIXTURE.
PROTECT DISMANT	•	STABILIZATI NOTES	ION, AND
	D201	FAÇADES, INC	ROTECT THE RETAINED CLUDING THE FAÇADE URING STABILIZATION UCTION.
	D202	FROM WEATH	FAÇADES AND OPENINGS ER ELEMENTS DURING N AND CONSTRUCTION.
	D203		ADES FROM IMPACT INDIRECT IMPACT.
	D204	FLASHING ANI	STING CONTINUOUS ROOF D WATERPROOFING STRUCTION PERIOD.
	D205	EXISTING BUIL INDICATED ON VERIFY WITH	EMOVE PORTIONS OF LDING THAT ARE N THE AH DRAWINGS. ARCHITECTURAL AND FOR COMPLETE SCOPE
	D206	MAINTAIN EXIS FOOTINGS.	STING FOUNDATION AND
	D207	RETAIN AND PI CHIMNEY.	ROTECT EXISTING
06			
NORTH ARR	OW		SHEET NO.
			AH106



REMOVALS PLAN - ROOF

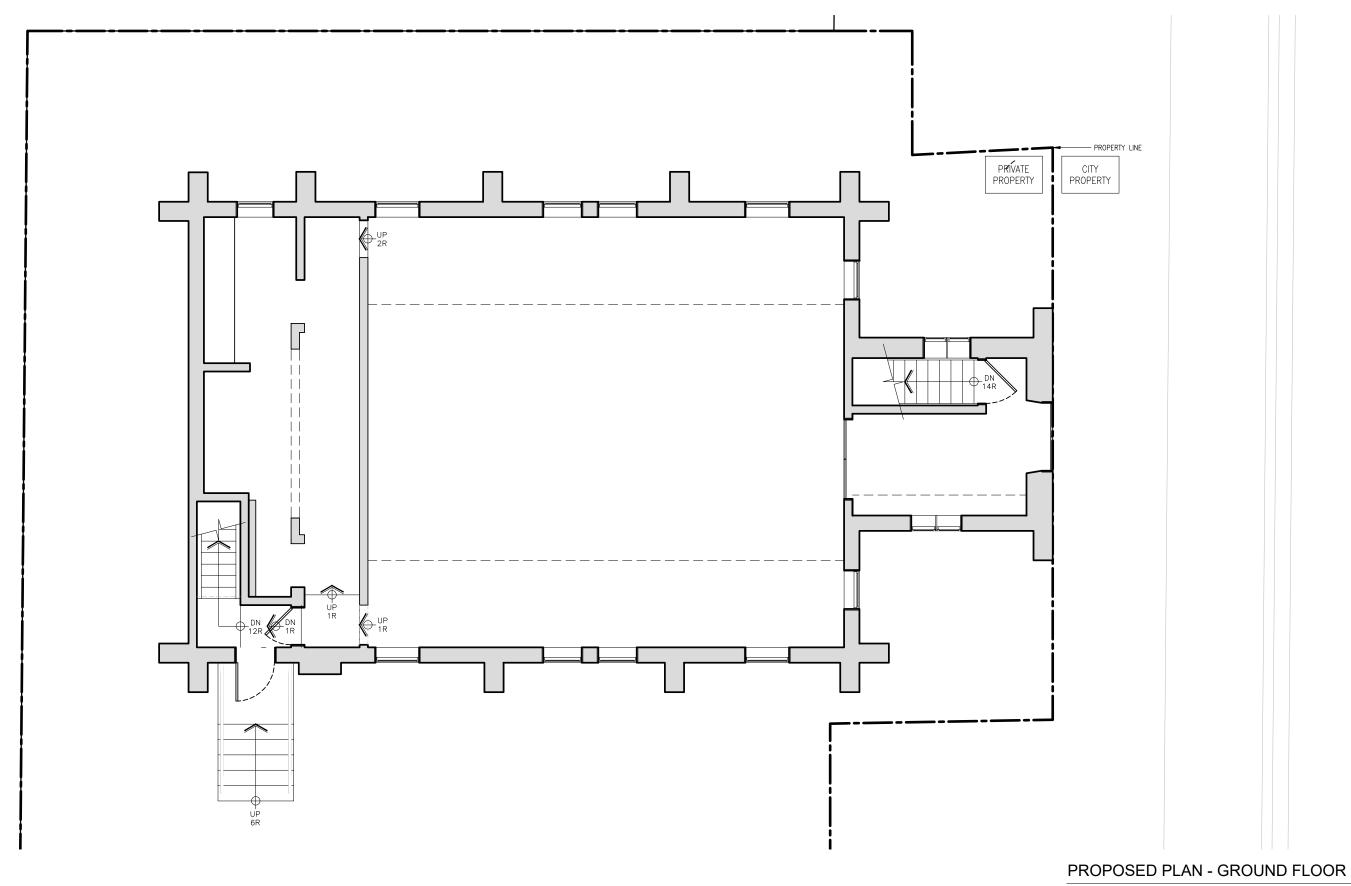
CUSTOM A

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. These items not clearly located will be located as directed by the Architect.

	NOT FOR CONSTRUCTION	
8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

01.2025	Giaimo.	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001 DRAWING TITLE	DRAWING SCALE CUSTOM
01.2025	SNELGROVE BAI			REMOVALS PI	_AN - ROOF	
01.2024	12061 HURONTA	RIO STREET				
TE	BRAMPTON, ON	L6Z 4P8				

REMOVALS AND SALVAGE NOTES
D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
D104 NOT USED. D105 NOT USED. D106 NOT USED.
D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
D108 NOT USED.
D109 REMOVE EXISTING LIGHT FIXTURE.
CTION, STABILIZATION, AND NTLING NOTES
D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
D207 RETAIN AND PROTECT EXISTING CHIMNEY.
ARROW SHEET NO.
AH107



These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

NOT FOR CONSTRUCTION 8 ISSUED FOR HERITAGE PERMIT 28.01.2025 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01.2025 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01.2024 5 ISSUED FOR CONSERVATION PLAN 09.06.2023 REV DESCRIPTION DATE

Giaimo.	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001 DRAWING TITLE	drawing scale 1:75
SNELGROVE BAR	PTIST CHURCH			PROPOSED PLAN	- GROUND FLOOR
12061 HURONTA	RIO STREET				
BRAMPTON, ON	L6Z 4P8				

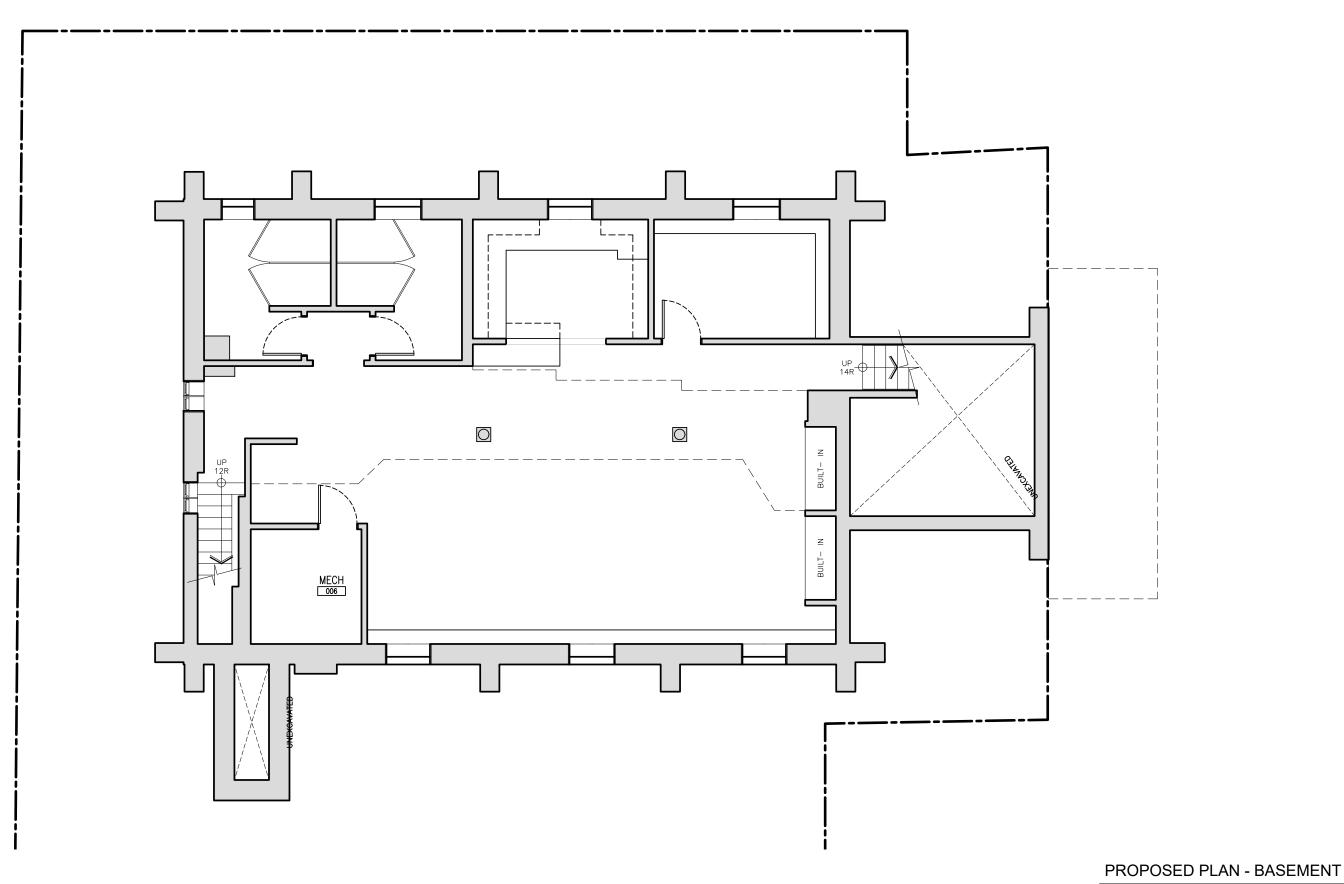


1

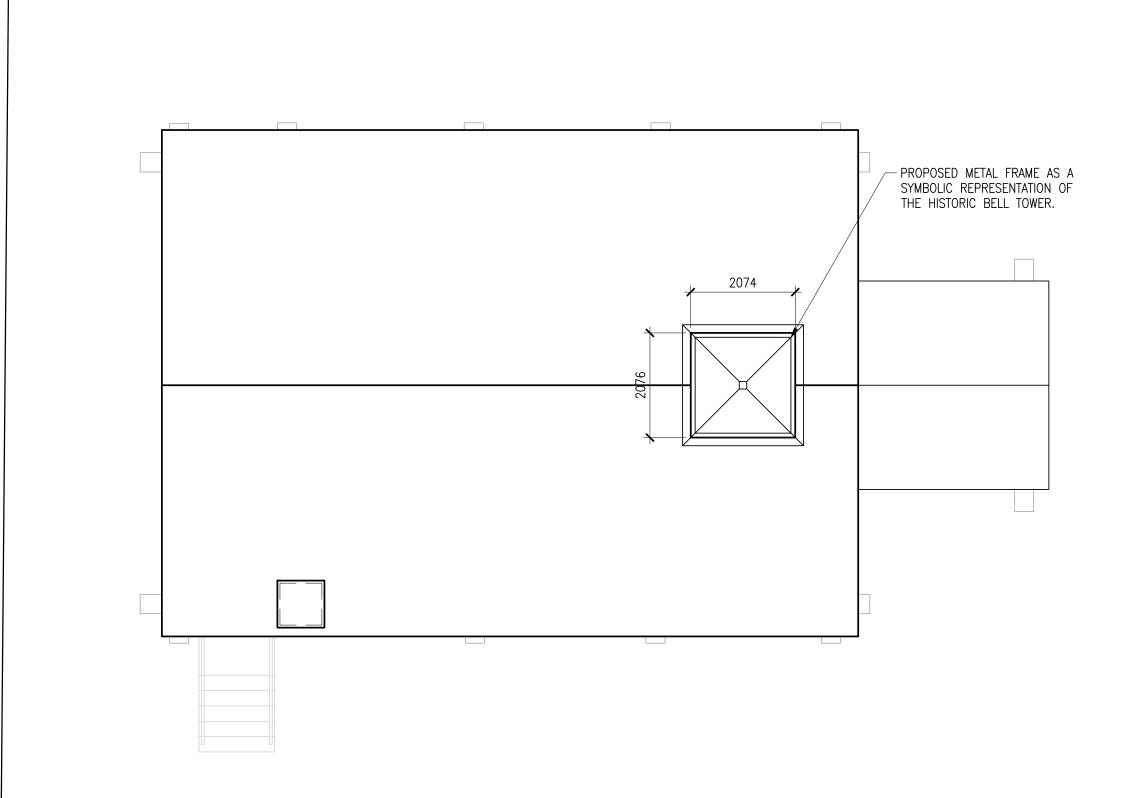
1:75 AH111

SHEET NO.

NORTH ARROW



								PROPOSE	D PLAN - BASEMENT 1 1:75 AH110
Architect. The Architect bears no responsibility for rep	tensions required to perform the Work and ort any discrepancies with the Contract suments to the Architect before commencing the	NOT FOR CONSTRUCTION		Giaimo. 213 STERLING RD, O. SUITE 204 E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001	DRAWING SCALE	NORTH ARROW	SHEET NO.
contractor. Upon written application the Architect wor will provide written/graphic clarification or	work.	8 ISSUED FOR HERITAGE PERMIT	28.01.2025	TORONTO, ON M6R 2B2 PROJECT NAME AND ADDRESS		DRAWING TITLE	1.70		
the Contract Documents. The Architect will review ele		7 ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025			PROPOSED PLAN - BA	SEMENT		AH110
design conformance only.	the Architectural drawings govern over the chanical and Electrical drawings. These items	6 ISSUED FOR REVISED CONSERVATION PLA	N 17.01.2024	12061 HURONTARIO STREET					
Drawings are not to be scaled for construction. not	clearly located will be located as directed by Architect.	5 ISSUED FOR CONSERVATION PLAN	09.06.2023						
	ontoot.	REV DESCRIPTION	DATE	BRAMPTON, ON L6Z 4P8					

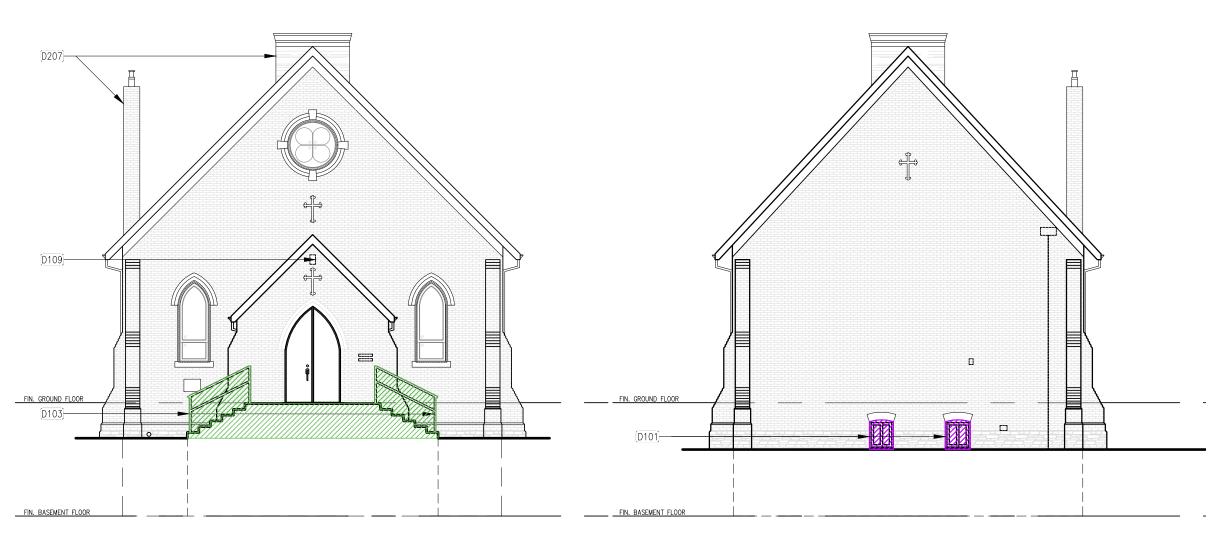


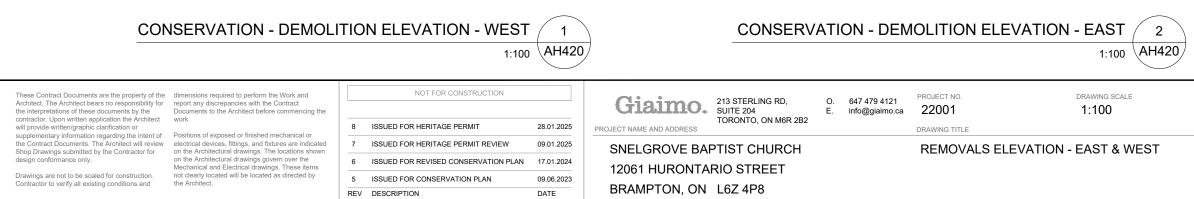
These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the	report any discrepancies with the Contract Documents to the Architect before commencing the work. Positions of exposed or finished mechanical or		NOT FOR CONSTRUCTION		UTLALLIU. SUITE	E 204		647 479 4121 info@giaimo.ca	PROJECT NO. 22001	DRAWING SCALE	
contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of		8	ISSUED FOR HERITAGE PERMIT	28.01.2025	TORONTO, ON M6R 2B2 PROJECT NAME AND ADDRESS			DRAWING TITLE			
		7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025	SNELGROVE BAPTIST CHURCH				PROPOSED PLAN - ROO	F	
design conformance only.		the Architectural drawings govern over the 6	6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024	12061 HURONTARIO STREET					
Drawings are not to be scaled for construction. Contractor to verify all existing conditions and		5	ISSUED FOR CONSERVATION PLAN	09.06.2023							
		REV	DESCRIPTION	DATE	BRAMPTON, ON L6Z	. 4P8					



PROPOSED PLAN - ROOF

1





 EMOVALS AND SALVAGE NOTES
D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDO\
D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAIL
D104 NOT USED. D105 NOT USED. D106 NOT USED.
D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHER
D108 NOT USED.
D109 REMOVE EXISTING LIGHT FIXTURE.
ION, STABILIZATION, AND LING NOTES
D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
D202 PROTECT THE FAÇADES AND OPENIN FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION
D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
D204 MAINTAIN EXISTING CONTINUOUS RC FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOP OF WORK.
or work.
D206 MAINTAIN EXISTING FOUNDATION AN FOOTINGS.

NORTH ARROW





REMOVALS ELEVATION - NORTH

1:100 AH

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Using provide written/graphic carlification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. The scales terms not clearly located will be located as directed by the Architect.

8 ISSUED FOR HERITAGE PERMIT 28.01 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01 5 ISSUED FOR CONSERVATION PLAN 09.06 REV DESCRIPTION DAT

NOT FOR CONSTRUCTION

3.01.2025	Giaimo. PROJECT NAME AND ADDRESS	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001 DRAWING TITLE	DRAWING SCALE 1:100
9.01.2025	SNELGROVE BAR	PTIST CHURCH	REMOVALS ELEVATION - NORTH			
7.01.2024 9.06.2023 ATE	12061 HURONTA BRAMPTON, ON					

DEMO, R	EMOVALS AND SALVAGE NOTES
	D101 REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.
	D103 REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.
	D104 NOT USED. D105 NOT USED. D106 NOT USED.
	D107 REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.
	D108 NOT USED.
	D109 REMOVE EXISTING LIGHT FIXTURE.
	TION, STABILIZATION, AND LING NOTES
	D201 RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.
	D202 PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.
	D203 PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.
	D204 MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.
	D205 CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.
	D206 MAINTAIN EXISTING FOUNDATION AND FOOTINGS.
	D207 RETAIN AND PROTECT EXISTING CHIMNEY.
1 1421	
NORTH ARE	OW SHEET NO.
	AH421



REMOVALS ELEVATION - SOUTH

1:100 AF

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Using provide written/graphic carlification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. The scales terms not clearly located will be located as directed by the Architect.

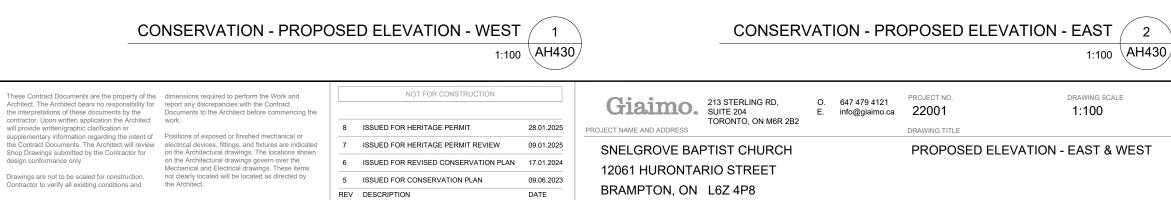
8 ISSUED FOR HERITAGE PERMIT 28.01.2 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01.2 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01.2 5 ISSUED FOR CONSERVATION PLAN 09.06.2 REV DESCRIPTION DATE

NOT FOR CONSTRUCTION

1.2025	Giaimo. PROJECT NAME AND ADDRESS	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001 DRAWING TITLE	DRAWING SCALE 1:100
1.2025 1.2024 6.2023 E	SNELGROVE BAF 12061 HURONTAI BRAMPTON, ON	RIO STREET			REMOVALS ELE	VATION - SOUTH

DEN	DEMO, REMOVALS AND SALVAGE NOTES				
	D101	REMOVE EXISTING WINDOW FRAMES AND GLAZING. SALVAGE WOOD FRAMES. DISPOSE OF VINYL WINDOWS.			
	D103	REMOVE EXISTING CONCRETE STAIR AND METAL GUARDRAIL & HANDRAILS.			
	D105	NOT USED. NOT USED. NOT USED.			
	D107	REMOVE EXISTING FIXTURES, AND APPLIANCES. TO BE DONE BY OTHERS.			
	D108	NOT USED.			
	D109	REMOVE EXISTING LIGHT FIXTURE.			
	TECTION, MANTLING	STABILIZATION, AND NOTES			
	D201	RETAIN AND PROTECT THE RETAINED FAÇADES, INCLUDING THE FAÇADE ELEMENTS, DURING STABILIZATION AND CONSTRUCTION.			
	D202	PROTECT THE FAÇADES AND OPENINGS FROM WEATHER ELEMENTS DURING STABILIZATION AND CONSTRUCTION.			
	D203	PROTECT FAÇADES FROM IMPACT DAMAGE AND INDIRECT IMPACT.			
	D204	MAINTAIN EXISTING CONTINUOUS ROOF FLASHING AND WATERPROOFING DURING CONSTRUCTION PERIOD.			
	D205	CAREFULLY REMOVE PORTIONS OF EXISTING BUILDING THAT ARE INDICATED ON THE AH DRAWINGS. VERIFY WITH ARCHITECTURAL AND STRUCTURAL FOR COMPLETE SCOPE OF WORK.			
	D206	MAINTAIN EXISTING FOUNDATION AND FOOTINGS.			
	D207	RETAIN AND PROTECT EXISTING CHIMNEY.			
1 422					
١	IORTH ARROW	SHEET NO.			
		AH422			

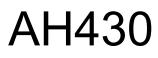




CONSEF	VATION NOTES
	C101 INFILL FORMER OPENING (WINDOW OR DOOR) WITH MASONRY UNITS, RECESS 1" FROM EXTERIOR FACE OF EXISTING. BRICK CHARACTERISTICS (COLOUR, SIZE, TEXTURE) TO BE CONFIRMED BY HERITAGE CONSULTANT.
	C102 REPLACE DAMAGED AND MISSING BRICKS.
	C103 REPAIR PARTIALLY COLLAPSED BUTTRESS.
	C104 NOT USED.
	C105 OPTION 1: PROVIDE PERFORATED STEEL PANEL ON EXTERIOR, FASTENED TO BRICK ON INSIDE OF WINDOW OPENING. OPTION 2: REFER TO C101. REFER TO AH500 FOR DETAILS FOR PRICING.
	C301 NOT USED.
	C302 SAND AND PAINT DOOR AND FRAME.
	C303 SECURE DOOR FROM INSIDE. TO BE DONE BY OTHERS.
	C501 REPAIR EXISTING EAVESTROUGHS AND DOWNSPOUTS. REPLACE AS REQUIRED TO ENSURE PROPER AND CONTINUOUS FLOW. DIRECT FLOW AWAY FROM BUILDING AND ITS FOUNDATIONS.
	 C502 PROVIDE NEW EXTERIOR LIGHTING AS SHOWN ON ELEVATIONS. L1 LED UP-LIGHTING FIXTURE L2 LED DOWN-LIGHTING FIXTURE L3 LED UP-LIGHTING FIXTURE FOR THE TOWER
	C503 PROVIDE STAINLESS STEEL FRAME 'GHOST' TOWER.

)

NORTH ARROW





PROPOSED ELEVATION - NORTH

1:100 AH431

1

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Using provide written/graphic carlification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. The scales terms not clearly located will be located as directed by the Architect.

8 ISSUED FOR HERITAGE PERMIT 7 ISSUED FOR HERITAGE PERMIT 6 ISSUED FOR REVISED CONSERV 5 ISSUED FOR CONSERVATION PL REV DESCRIPTION

NOT FOR CONSTRUCTION		Giaimo.	213 STERLING RD, SUITE 204	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001	DRAWING SCALE 1:100
OR HERITAGE PERMIT	28.01.2025	PROJECT NAME AND ADDRESS	TORONTO, ON M6R 2B2			DRAWING TITLE	
OR HERITAGE PERMIT REVIEW	09.01.2025	SNELGROVE BAF	PTIST CHURCH			PROPOSED ELE	EVATION - NORTH
OR REVISED CONSERVATION PLAN	17.01.2024	12061 HURONTAI					
OR CONSERVATION PLAN	09.06.2023	BRAMPTON. ON L6Z 4P8					
TION	DATE	BRAMPTON, ON	L6Z 4P8				

CONSER	RVATION NOTES
	C101 INFILL FORMER OPENING (WINDOW OR DOOR) WITH MASONRY UNITS, RECESS 1" FROM EXTERIOR FACE OF EXISTING. BRICK CHARACTERISTICS (COLOUR, SIZE, TEXTURE) TO BE CONFIRMED BY HERITAGE CONSULTANT.
	C102 REPLACE DAMAGED AND MISSING BRICKS.
	C103 REPAIR PARTIALLY COLLAPSED BUTTRESS.
	C104 NOT USED.
	C105 OPTION 1: PROVIDE PERFORATED STEEL PANEL ON EXTERIOR, FASTENED TO BRICK ON INSIDE OF WINDOW OPENING. OPTION 2: REFER TO C101. REFER TO AH500 FOR DETAILS FOR PRICING.
	C301 NOT USED.
	C302 SAND AND PAINT DOOR AND FRAME.
	C303 SECURE DOOR FROM INSIDE. TO BE DONE BY OTHERS.
	C501 REPAIR EXISTING EAVESTROUGHS AND DOWNSPOUTS. REPLACE AS REQUIRED TO ENSURE PROPER AND CONTINUOUS FLOW. DIRECT FLOW AWAY FROM BUILDING AND ITS FOUNDATIONS.
	 C502 PROVIDE NEW EXTERIOR LIGHTING AS SHOWN ON ELEVATIONS. L1 LED UP-LIGHTING FIXTURE L2 LED DOWN-LIGHTING FIXTURE L3 LED UP-LIGHTING FIXTURE FOR THE TOWER C503 PROVIDE STAINLESS STEEL FRAME 'GHOST' TOWER.

NORTH ARROW





PROPOSED ELEVATION - SOUTH

1:100 Al

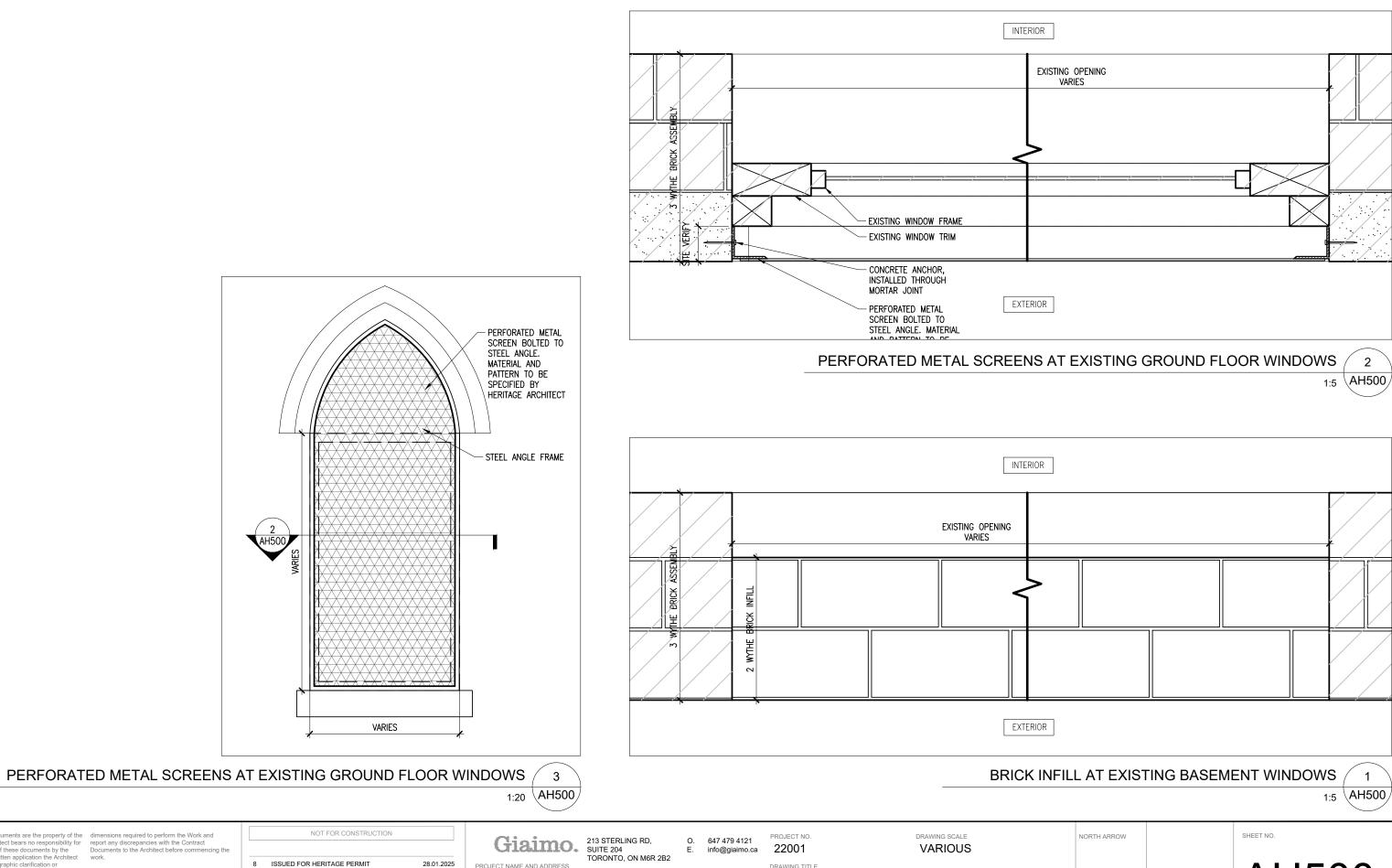
These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. Will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Positions of exposed or finished mechanical or the Architectural drawings. The locations shown on the Architectural drawings. The locations shown on the Architectural drawings. These items not clearly located will be located as directed by the Architect.

8	ISSUED FOR HERITAGE PERMIT	28.01.2025
7	ISSUED FOR HERITAGE PERMIT REVIEW	09.01.2025
6	ISSUED FOR REVISED CONSERVATION PLAN	17.01.2024
5	ISSUED FOR CONSERVATION PLAN	09.06.2023
REV	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

1.2025	Giaimo.	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 479 4121 info@giaimo.ca	PROJECT NO. 22001 DRAWING TITLE	DRAWING SCALE 1:100
1.2025 1.2024 6.2023	SNELGROVE BAPTIST CHURCH 12061 HURONTARIO STREET				PROPOSED EL	EVATION - SOUTH
E	BRAMPTON, ON	L6Z 4P8				

CONSE	RVATION NOTES
	C101 INFILL FORMER OPENING (WINDOW OR DOOR) WITH MASONRY UNITS, RECESS 1" FROM EXTERIOR FACE OF EXISTING. BRICK CHARACTERISTICS (COLOUR, SIZE, TEXTURE) TO BE CONFIRMED BY HERITAGE CONSULTANT.
	C102 REPLACE DAMAGED AND MISSING BRICKS.
	C103 REPAIR PARTIALLY COLLAPSED BUTTRESS.
	C104 NOT USED.
	C105 OPTION 1: PROVIDE PERFORATED STEEL PANEL ON EXTERIOR, FASTENED TO BRICK ON INSIDE OF WINDOW OPENING. OPTION 2: REFER TO C101. REFER TO AH500 FOR DETAILS FOR PRICING.
	C301 NOT USED.
	C302 SAND AND PAINT DOOR AND FRAME.
	C303 SECURE DOOR FROM INSIDE. TO BE DONE BY OTHERS.
	C501 REPAIR EXISTING EAVESTROUGHS AND DOWNSPOUTS. REPLACE AS REQUIRED TO ENSURE PROPER AND CONTINUOUS FLOW. DIRECT FLOW AWAY FROM BUILDING AND ITS FOUNDATIONS.
	 C502 PROVIDE NEW EXTERIOR LIGHTING AS SHOWN ON ELEVATIONS. L1 LED UP-LIGHTING FIXTURE L2 LED DOWN-LIGHTING FIXTURE L3 LED UP-LIGHTING FIXTURE FOR THE TOWER
	C503 PROVIDE STAINLESS STEEL FRAME 'GHOST' TOWER.
1 H432	
NORTH A	RROW SHEET NO.
	AH432



These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

8 ISSUED FOR HERITAGE PERMIT 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01.2025 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01.2024 5 ISSUED FOR CONSERVATION PLAN 09.06.2023 REV DESCRIPTION DATE

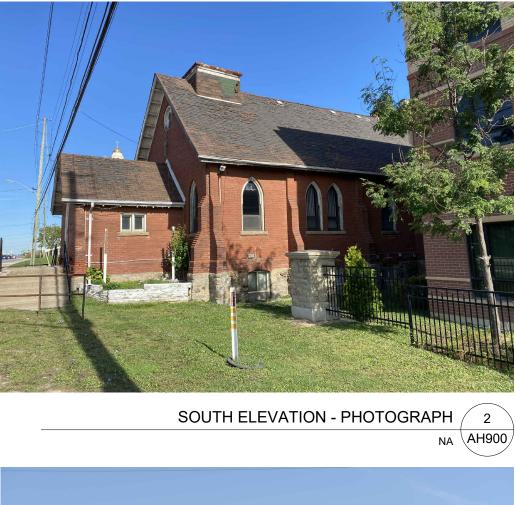
<u></u>	TORONTO, ON M6R 2B2	L.	inio@giainio.ou	22001	
ROJECT NAME AND ADDRESS				DRAWING TITLE	
SNELGROVE BA	PTIST CHURCH			DETAILS	
12061 HURONTA	RIO STREET				
BRAMPTON, ON	L6Z 4P8				

INTE	RIOR		
	EXISTING OPENING VARIES		
<	>		
	- <u>(</u>		
		\rightarrow	

NORTH ARROW	SHEET NO.
	AH500













NORTH ELEVATION - PHOTOGRAPH 3 NA AH900

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing the

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

NOT FOR CONSTRUCTION 8 ISSUED FOR HERITAGE PERMIT 28.01.2025 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01.2025 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01.2024 5 ISSUED FOR CONSERVATION PLAN 09.06.2023 REV DESCRIPTION DATE

Giaimo.	213 STERLING RD, SUITE 204 TORONTO, ON M6R 2B2	0. E.	647 47 info@g
SNELGROVE BAF	TIST CHURCH		
12061 HURONTAF	RIO STREET		
BRAMPTON, ON	L6Z 4P8		

PROJECT NO. 479 4121 22001 🕽 giaimo.ca DRAWING TITLE PHOTOS

DRAWING SCALE VARIOUS

NOTE: ALL PHOTOS TAKEN SEP 27TH 2024



SHEET NO.



NORTH ARROW



WEST ELEVATION - PHOTOGRAPH 1 NA \AH901



WEST ELEVATION - PHOTOGRAPH 1

\AH901 NA

PROJECT NO. DRAWING SCALE Giaimo. 213 STERLING RD, SUITE 204 O. 647 479 4121 E. info@giaimo.ca VARIOUS 22001 TORONTO, ON M6R 2B2 PROJECT NAME AND ADDRESS DRAWING TITLE PHOTOS SNELGROVE BAPTIST CHURCH NOTE: ALL PHOTOS TAKEN SEP 27TH 2024 12061 HURONTARIO STREET BRAMPTON, ON L6Z 4P8

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect before commencing the work. The Contract Documents to the Architect before commencing the work. The Contract Documents to the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. The Contractions and the Architectural drawings. These items not clearly located will be located as directed by the Architect.

8 ISSUED FOR HERITAGE PERMIT 28.01.2025 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01.2025 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01.2024 5 ISSUED FOR CONSERVATION PLAN 09.06.2023 REV DESCRIPTION DATE

NOT FOR CONSTRUCTION



WEST ELEVATION - PHOTOGRAPH 1 NA AH901

NORTH ARROW

SHEET NO.

AH901



SOUTH ELEVATION - PHOTOGRAPH 1

PROJECT NO.

22001

\AH902/ NA

DRAWING SCALE

VARIOUS

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and

NOT FOR CONSTRUCTION 8 ISSUED FOR HERITAGE PERMIT 28.01.2025 7 ISSUED FOR HERITAGE PERMIT REVIEW 09.01.2025 6 ISSUED FOR REVISED CONSERVATION PLAN 17.01.2024 5 ISSUED FOR CONSERVATION PLAN 09.06.2023 REV DESCRIPTION DATE

Giaimo. 213 STERLING RD, SUITE 204 O. 647 479 4121 E. info@giaimo.ca TORONTO, ON M6R 2B2 PROJECT NAME AND ADDRESS SNELGROVE BAPTIST CHURCH 12061 HURONTARIO STREET BRAMPTON, ON L6Z 4P8

DRAWING TITLE PHOTOS NOTE: ALL PHOTOS TAKEN SEP 27TH 2024



SOUTH ELEVATION - PHOTOGRAPH 1 NA AH902

NORTH ARROW

SHEET NO.

AH902