

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0479

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Jose J Puthenparampil (W2W Ministries Canada Inc)

Address 44 Moorehead Crescent, Brampton, ON L6Z 4K5

Phone # 647-703-4849 Fax #

Email canw2w@gmail.com

2. Name of Agent Kishor Bhattarai

Address 17 Newcastle Cres, Brampton, ON L6S 3Z1

Phone # +1 905-965-1546 Fax #

Email kb@kba-architect.ca

3. Nature and extent of relief applied for (variances requested):

1. Allow place of worship in unit #4 of 20 Regan.

2. Waive additional parking requirements for place of worship of 50 seating in unit #4.

4. Why is it not possible to comply with the provisions of the by-law?

1. Special Section 2116 of by-law permits only 265 sm of gross floor area in the whole industrial mall. This allowable area already has been used by other places of worship.

2. By-law requires 12.5 parking spots for proposed place of worship, which appears to be a difficult to comply. Please refer to cover letter for actual parking demand.

5. Legal Description of the subject land:

Lot Number

Plan Number/Concession Number PEEL CONDO PLAN 390

Municipal Address 4 - 20 REGAN RD, Brampton

6. Dimension of subject land (in metric units)

Frontage 106 m

Depth 160 m

Area 16960 sqm

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Unit # 4 Area = 132 sm  
Existing Building Area = 4962 sm ( 18 & 20 Regan)

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

None

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

**PROPOSED**

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

10. Date of Acquisition of subject land: unknown

11. Existing uses of subject property: INDUSTRIAL

12. Proposed uses of subject property: place of worship

13. Existing uses of abutting properties: OFFICES

14. Date of construction of all buildings & structures on subject land: unknown

15. Length of time the existing uses of the subject property have been continued: from begining

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Bhettara  
Signature of Applicant(s) or Authorized Agent

DATED AT THE KBA Office OF Brampton

THIS 26 DAY OF November, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Kishor Bhettara, OF THE (KBA) KBOF Brampton  
IN THE Region OF peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 19 DAY OF

December 2024  
\_\_\_\_\_  
A Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
A Commissioner June 20, 2025.

Bhettara  
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED \_\_\_\_\_

Date Application Deemed  
Complete by the Municipality \_\_\_\_\_

Revised 2022/02/17

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: unit #4, 20 Regan Rd

I/We, Jose J Puthenparampil (W2W Ministries Canada Inc)

please print/type the full name of the owner(s)

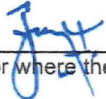
the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Kishor Bhattarai

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 26 day of November, 2024.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

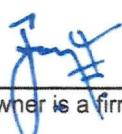
To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: unit #4, 20 Regan Rd

I/We, Jose J Puthenparampil (W2W Ministries Canada Inc)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 26 day of November, 2024.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, ON L6Y 4R2

**Re: Minor Variance Request for a Place of Worship (Unit #4) at 20 Regan Rd, Brampton, ON**

Dear Members of the Committee of Adjustment,

I am writing on behalf of W2W Ministries Canada Inc. to request a minor variance for the use of Unit #4 in the condominium plaza located at 20 Regan Rd as a place of worship.

The property is designated under the **Industrial Four A (M4A) Zone**, where places of worship are generally permitted. However, a special provision under **Section 2116** restricts the size of a place of worship to **265 square meters**. While our unit is only **132 square meters**, the zoning by-law does not currently permit us to establish a place of worship due to the cumulative size of existing places of worship in the plaza.

**Rationale for Approval:**

**1. Convenient and Safe Location:**

- The property is centrally located and highly accessible to our community, with the majority of our members living within a 2-kilometer radius.
- It is also well-served by public transportation, making it an ideal location for our congregation.

**2. Minimal Impact on Parking and Neighbors:**

- There are **107 shared parking spaces** on the combined lots of 18 and 20 Regan Rd, including **36 visitor spaces**, which adequately serve the needs of the plaza.
- Our gatherings occur **exclusively on Saturdays**, when most offices in the plaza are closed. This scheduling creates a complementary balance in parking usage.
- Additionally, there is ample street parking available on Regan Rd if required, and many members of our congregation rely on public transit or carpooling, further minimizing parking demand.

**3. Alignment with Existing Uses in the Plaza:**

- The plaza already hosts **other place of worship** on 18 Regan Rd, indicating that it is well-suited for this type of use. Our proposed place of worship will enhance the cultural and spiritual diversity of the area.
- Most other units in the plaza are used for office purposes during weekdays, ensuring there is no conflict of use with our Saturday gatherings.

#### 4. Positive Contribution to the Community:

- Establishing a place of worship at this location will provide a much-needed spiritual and community space for our members while having a **positive impact on the surrounding neighborhood**.
- Our presence will foster goodwill and collaboration among tenants in the plaza and contribute to the overall vibrancy of the area.

We respectfully request that the Committee consider our application for a minor variance regarding area limit and additional parking requirements and approve this change of use, which we believe will benefit both our community and the broader neighborhood.

Should you require any additional information or have questions, please do not hesitate to contact me directly.

Thank you,

  
.....  
Jose I Puthenparampil

W2W Ministries Canada Inc  
44 Moorehead Crescent,  
Brampton, ON L6Z 4K5  
Email: canw2w@gmail.com  
Ph: 647-703-4849



To

The City of Brampton,

2 Wellington Street, Brampton

Dear Sir/Madam,

Sub: No Objection-Minor variance for Unit 4,20 Regan Road.

W2W Ministries Canada Inc are the new owners of Unit#4,20 Regan Road, Brampton. The Condo corporation and the board of directors are aware that the owner of Unit#4 is applying for change of use from Industrial to Place of Worship and we have no objection to that and would support it for building permits and Minor Variance process.

Thanks,

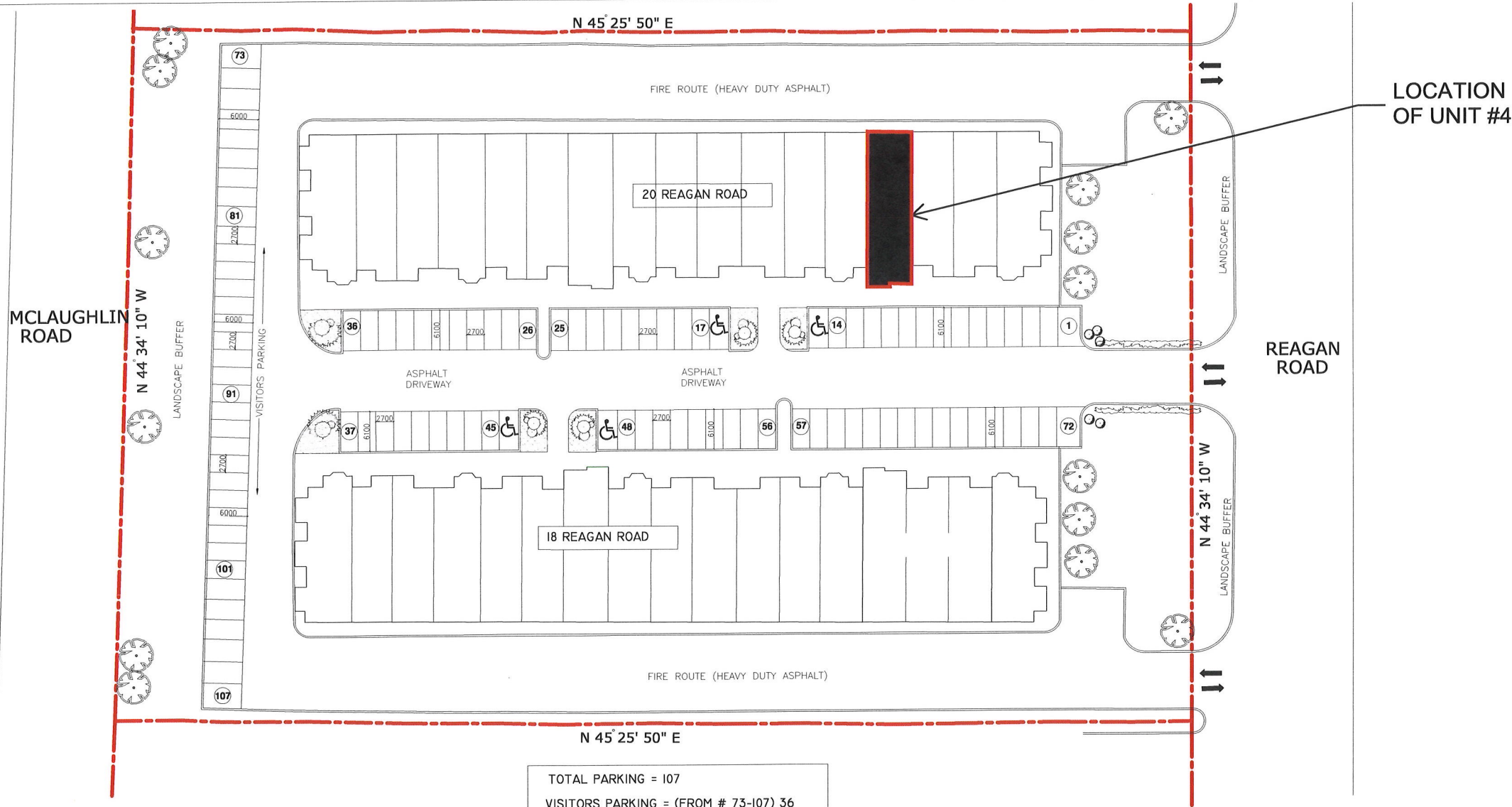
For Peel Condo Corp No. 390

  
Authorised Signatory      DILIP PAN

Date: 07-DEC-2024

Place: BRAMPTON





**SITE PLAN**  
SCALE= N.T.S.

TOTAL PARKING = 107  
VISITORS PARKING = (FROM # 73-107) 36  
TENANT RESERVED PARKING FOR UNIT #4 = 2

**KISHOR BHATTARAI & ASSOCIATES  
(KBA) INC.**

17 Newcastle Cres, Brampton Ontario L6S 3Z1  
Tel: 905-965-1546  
e-mail: kb@kba-architect.ca

NOTE: DRAWINGS NOT TO BE SCALED

**W2W Ministries Canada  
Place Of Worship**

20 Regan Drive, Brampton, Unit 4, ON

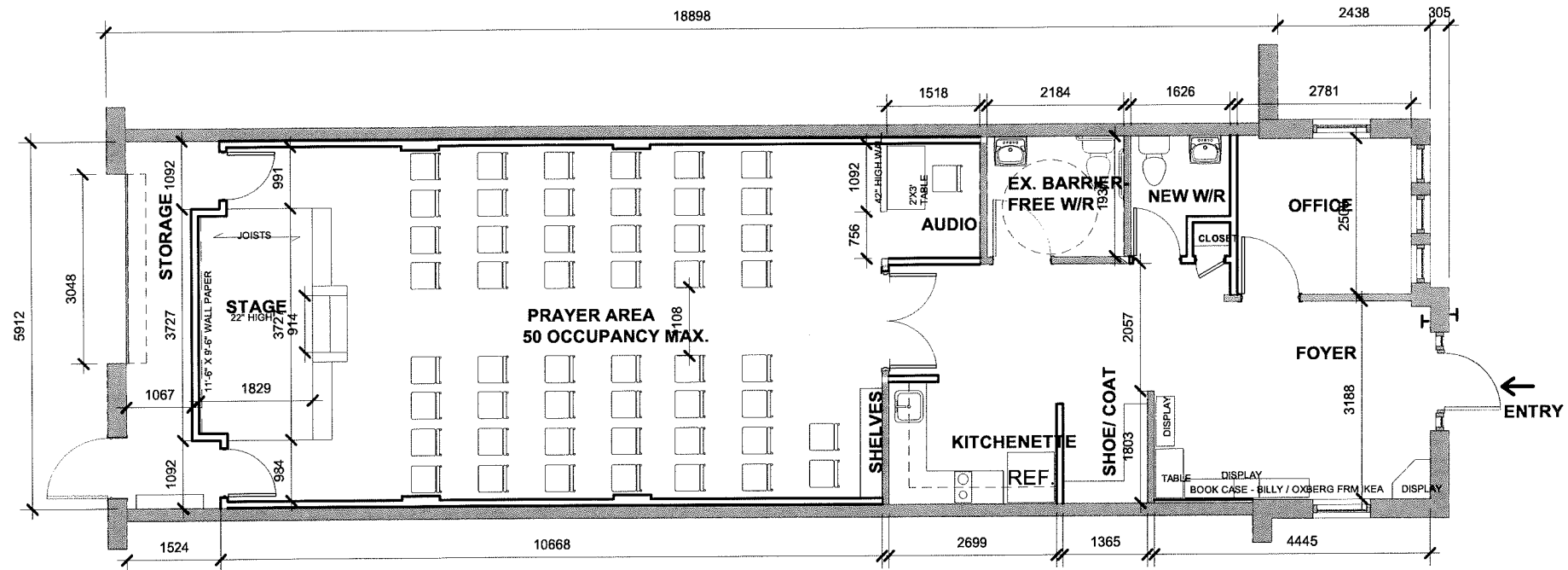
**EXISTING SITE PLAN**

2024-11-25

BB, KB

24-037

A-01



1 FLOOR PLAN  
1 : 100

UNIT AREA = 132 SM

Seal

**KISHOR BHATTARAI & ASSOCIATES  
(KBA) INC.**

17 Newcastle Cres, Brampton Ontario L6S 3Z1  
Tel: 905-965-1546  
e-mail: kb@kba-architect.ca

NOTE: DRAWINGS NOT TO BE SCALED

Project Title

W2W Ministries Canada  
Place Of Worship

20 Regan Drive, Brampton, Unit 4, ON

Drawing Title

PROPOSED  
FLOOR PLAN

Scale

1 : 100

Date

2024-11-25

Checked By

KB

Drawn By

BB, KB

Drawing #

A-02

Project #

24-037

# Zoning Non-compliance Checklist

File No.  
A-2024- 0479

Applicant: Jose Puthenparampil  
Address: 20 Regan Road (Unit 4)  
Zoning: M4A Section 2116  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR			
PATH OF TRAVEL			
SIDE DOOR			
COVERAGE			
PARKING	To permit 143 parking spaces.	Whereas the by-law requires a minimum 160 parking spaces.	20.3
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
SCHEDULE 'C'			
FENCE HEIGHT	.		

Rose Bruno  
Reviewed by Zoning

December 18, 2024  
Date