



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **2389112 ONTARIO INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Peel Condominium Plan 1046, Units 25 and 26, Level 1 municipally known as **15 SUN PAC BOULEVARD, UNITS 12 AND 13**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit the construction of a 123.3 square metre mezzanine in Units 12 & 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

15 Sun Pac Boulevard (Units 12 &13), Brampton
2389112 Ontario Inc.
Amendment Letter

Design Plan Services Inc.
Job #: 20146
Date: 9-Dec-2020

Re: **Amendment** Letter to Original Identified Variances
(A-2020-0142)

The purpose of this document is to amend the variances identified within the original application form that was submitted on November 24th, 2020. The original application form requested relief from the by-law to permit 81 parking spaces where 95 parking spaces are required. Through consultation with municipal staff, the identified variances for this application shall read as follows:

"To permit the construction of a 123.3 square metre mezzanine in Units 12 and 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces."

If you have any questions regarding the information above, please contact the undersigned at 416-626-5445 (x208)

Sincerely,

DESIGN PLAN SERVICES INC.



**CHRISTOPHER MARCHESE, BURPL
PLANNER**

A- 2020-0142

PARKING JUSTIFICATION STUDY

Proposed Mezzanine Addition to Unit 12 and 13
7, 11 and 15 Sun Pac Boulevard Brampton, ON

December 2020

Prepared for
Mr. Kanwar Hundal

c/o Design Plan Services Inc.


TRANS-PLAN
Transportation Engineering



785 Dundas St W
Toronto, ON, M6J 1V2



1 (647) 931 7383
1 (877) 668 8784



trans-plan.com
admin@trans-plan.com



December 8, 2020

Mr. Kanwar Hundal

c/o Mr. TJ Cieciora
President
Design Plan Services Inc.
900 The East Mall, Suite 300
Toronto, ON M9B 6K2

Re: Proposed Mezzanine Addition to Units 12 and 13 of Building 'B', 15 Sun Pac Boulevard, Brampton ON, Parking Justification Study

Dear Mr. Hundal,

TRANS-PLAN is pleased to submit this Parking Justification Study report in support of the proposed mezzanine addition to Unit 25 and 26 (Unit 12 and 13 of Building 'B') within the industrial / commercial development of 7, 11 and 15 Sun Pac Boulevard in the City of Brampton. Trans-Plan has previously completed Parking Justification Studies for Unit 21 (Unit 8 of Building 'B') of 7, 11, and 15 Sun Pac Boulevard. A parking study was also completed for Units 14, 15 and 16 (Unit 1, 2, and 3 of Building 'B') in the same development for a proposed mezzanine addition. The parking survey results and recommendations from the previous reports have been utilized for this study.

Our Parking Justification Study findings indicate that the proposed parking supply of 81 spaces is able to accommodate the estimated parking demands of the site. The parking requirements were reviewed using the City of Brampton Zoning By-law. Our study includes proxy parking surveys conducted at similar existing industrial / commercial developments to obtain a peak parking demand rate to estimate the parking demands of the subject site.

Sincerely,

Anil Seegobin, P.Eng.
Partner, Engineer

Trans-Plan Transportation Inc.
Transportation Consultants



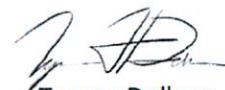

Tyrone Dollano
Traffic Analyst

Table of Contents

Transmittal Letter

Table of Contents

1. INTRODUCTION	1
2. EXISTING SITE AND AREA CONTEXT	1
3. PROPOSED INTERIOR ALTERATIONS	2
4. PUBLIC TRANSIT	3
5. PARKING REQUIREMENTS.....	3
6. PROXY SITE PARKING SURVEYS	4
6.1 Review of a Similar Development.....	4
6.2 Proxy Site Survey Methodology.....	5
6.3 Proxy Site Parking Demand Results	6
7. FUTURE PARKING DEMANDS	6
7.1 Estimated Parking Demands for the Subject Site	6
8. CONCLUSIONS	7
Appendix A – City of Brampton Zoning By-law, Excerpts	
Appendix B – Proxy Parking Survey Data	

List of Tables

Table 1 - Tenant Information	2
Table 2 – Transit Service Frequencies in the Study Area	3
Table 3 - Parking Requirements, City of Brampton Zoning By-law	4
Table 4 – Proxy Site Details, Site Statistics.....	5
Table 5 – Proxy Site, Existing Companies.....	5
Table 6 – Proxy Site Parking Utilization Survey Results, Peak Parking Demands	6
Table 7 - Estimated Future Parking Demands.....	7

List of Figures

Figure 1 – Site Location	9
Figure 2 – Site Plan.....	10
Figure 3 – Transit Map	11

1. INTRODUCTION

Trans-Plan has been retained by Mr. Kanwar Hundal to complete a Parking Justification Study in support of a proposed interior alteration to Unit 25 and 26 (Unit 12 and 13 of Building 'B') at 15 Sun Pac Boulevard in the City of Brampton. Trans-Plan has previously completed three separate parking justification Studies for three separate applications for interior alterations for the following units listed below:

- Unit 21 (Building 'B', Unit 8), 15 Sun Pac Boulevard, Brampton – Parking Justification Study dated, September, 18, 2019
- Units 15 and 16 (Building 'B', Unit 2 and 3), 15 Sun Pac Boulevard, Brampton – Parking Justification Study dated, November, 22, 2019
- Units 14 (Building 'B', Unit 1), 15 Sun Pac Boulevard, Brampton – Parking Justification Study dated, April, 1, 2020

This parking report utilizes the proxy survey results and recommendations from the Parking Justification Studies mentioned above.

This parking justification study includes the following study components:

- a review of the study area context for transportation considerations
- a review of the existing and proposed addition within the buildings at the subject site and an inventory of parking supply
- a review of on-site parking requirements, as per the City of Brampton Zoning By-laws
- conducting parking surveys at a similar proxy site to obtain a peak parking demand rate
- an estimation of future parking demands, based on peak demand rate obtained from the proxy site parking surveys
- providing parking recommendations for the proposed development, including confirmation that the existing / proposed on-site parking supply is sufficient to accommodate the addition

2. EXISTING SITE AND AREA CONTEXT

The site, shown in Figure 1, is located in the southeast corner of the intersection Sun Pac Boulevard and Williams Parkway, in the City of Brampton. The address of the site is 7, 11, and 15 Sun Pac Boulevard. The site is mainly surrounded by high-density industrial uses with few low-density commercial units in its proximity.

The subject property consists of three buildings, each consisting of multiple units with an existing parking area that is shared amongst the tenants. The existing parking supply is 77 spaces. The parking area is located throughout the centre of the three buildings and is not specifically designated to individual tenants. There is a total of two site accesses, one at Sun Pac Boulevard and the other at Williams Parkway. The existing site plan, by GBD Consultancy Inc., is provided in Figure 2.

Each building is mainly occupied by various commercial units. Buildings located at 7, 11, and 15 Sun Pac Boulevard are noted as Building 'A', Building 'C' and Building 'B', respectively. The mezzanine additions previously reviewed from our past Parking Justification Studies of Unit 14, 15, 16 and 21 have been

included to the total gross floor area (GFA) of Building 'B' with the summary of each building provided below:

- Building 'A' provides seven units with a total of 1,447.7 sq.m. of GFA (557.86 sq.m. of GFA mezzanine addition)
- Building 'B' provides 13 units with a total of 2,172.51 sq.m. of GFA (295.2 sq.m. of GFA mezzanine addition's)
- Building 'C' provides six units with a total of 965.65 sq.m. of GFA

Most of the units in each building are currently vacant. The industrial units occupying the site typically operate between 8:00am to 9:00pm during the weekdays and shorter hours of operations during the weekend. Details of the commercial tenants with the unit size, tenant name, land use type and operating hours are summarized in the Table 1.

Table 1 - Tenant Information

Unit #	Size (sq.m. of GFA)	Tenant	Land Use	Operating Hours
7 Sun Pac Boulevard – Building 'A'				
1, 2, 3, 4 & 5	1,259.83	RED FM	Industrial	24 hours / 7 days a week
6 & 7	187.89	Canada Insurance Plan	Office	Mon – Fri: 8:00am to 9:30pm Sat & Sun: 11:00am to 4:00pm
11 Sun Pac Boulevard – Building 'C'				
1 - 4	631.66	Vacant	Industrial	-
5 & 6	333.99	Flying Fashion Warehouse	Industrial	Mon – Sat: 11:00am to 6:00pm Sun: 11:00am to 5:00pm
15 Sun Pac Boulevard – Building 'B'				
1	235.91*	-	Commercial / Office	Under Construction
2 & 3	429.94*	Singh Electronics	Industrial	Under Construction
7	134.97	The Locker Inc.	Industrial	Mon – Thurs: 11:00am to 7:00pm Fri – Sun: 11:00am to 6:00pm
8	188.77*	-	Industrial	Under Construction
4 – 6 & 9 – 13	1182.92	Vacant	-	-

Note (*): Includes proposed mezzanine additions

There are ten units of the 26 units on-site that are currently occupied with seven units in Building 'A', one unit in Building 'B' and two units in Building 'C'. The remaining 16 units are currently vacant (four units still under construction).

3. PROPOSED INTERIOR ALTERATIONS

The client is proposing to add a mezzanine addition to Unit 25 and 26 at 15 Sun Pac Boulevard (shown as Unit 12 and 13 Building 'B' within the provided site plan). The existing size of the unit is 316.20 sq.m. of

GFA and is proposed to increase by approximately 123.20 sq.m. of GFA with the addition of the mezzanine. The unit is proposed to total 439.4 sq.m. of GFA. The unit is proposed to use 30 percent dedicated to retail use and the remaining as a warehouse/industrial use. As discussed in our previous parking study report, the parking supply of the site is also proposed to be increase by four additional parallel spaces located near the south edge of Building 'B'. The total parking supply is to increase from 77 spaces to 81 spaces, as mentioned from our parking study, dated September 18, 2019.

4. PUBLIC TRANSIT

The site is served by Brampton Transit, operated by the City of Brampton, which provides public transit across the city.

Route 9, Vodden is a bus route operating mainly along Vodden Street West in an east-west direction, connecting riders from Sun Pac Boulevard to Mount Pleasant GO Station. The bus route travels briefly along Central Park Drive to reach the Bramalea GO Bus Terminal. The nearest bus stop is located at the intersection of Sun Pac Boulevard and Williams Parkway, which is directly adjacent to the site.

Route 29/29A, Williams is a bus route operating mainly along Williams Parkway in an east-west direction, connecting riders from Goreway Drive to Mount Pleasant GO Station. The nearest bus stop is located at the intersection of Sun Pac Boulevard and Williams Parkway, which is located approximately adjacent to the site. It should be noted that the 29A line has two additional stops.

The transit service frequencies on weekdays in the study area are shown in Table 2. The local transit map is shown in Figure 3.

Table 2 – Transit Service Frequencies in the Study Area

Route	No.	Approximate Peak Service Frequency (min)			
		AM Peak	PM Peak	Off-Peak	Sat-Peak
Vodden	9	30	30	40	55
Williams	29	-	-	30	30
Williams	29A	15	15	-	-

Note: (*) Peak period service frequency refers to weekdays between the hours of 7:00am to 9:00am and 4:00pm to 6:00pm.

5. PARKING REQUIREMENTS

The subject site is designated as an M4-1548, which is within the industrial category. The parking requirements were consulted with City staff and are based on City of Brampton Zoning By-law 270-2004, Schedule A, Section 1548.2 (9) and Section 20.3.1. and is summarized in Table 3 and Zoning By-law excerpts are provided in Appendix A.

Table 3 - Parking Requirements, City of Brampton Zoning By-law

Building	Use	Size (sq.m. of GFA)	Minimum Parking Requirement	
			Rate	Spaces
<u>Existing Uses:</u>				
7 Sun Pac Boulevard	Industrial	1,259.83	1 space per 55 sq.m.	98
	Commercial Office	187.89	1 space per 25 sq.m.	
11 Sun Pac Boulevard	Industrial	631.66	1 space per 55 sq.m.	
	Industrial	333.99	1 space per 55 sq.m.	
15 Sun Pac Boulevard	Industrial	1,936.60	1 space per 55 sq.m.	
	Commercial Office	235.91	1 space per 25 sq.m.	
<u>Proposed Uses:</u>				
Mezzanine Addition (Unit 12 and 13)	Retail*	18.48	1 space per 19 sq.m.	0.97
	Industrial	104.72	1 space per 55 sq.m.	1.9
Total Parking Requirements				101
Total Existing Parking Supply				81

Note (*): A limit of 15 percent of total GFA as per Zoning By-law

Based on the consultation with City staff, the parking requirement is 101 spaces, whereas 81 is the proposed parking supply, resulting in a deficiency of 20 spaces.

6. PROXY SITE PARKING SURVEYS

Parking surveys were not conducted at the subject site since majority of the units are currently vacant or still under construction. Due to the high vacancy, a parking survey at the site would likely not generate sufficient data since there is very minimal operations at the site. To estimate the parking activity of the site, a proxy site was selected with similar characteristics. The surveys were completed prior to the COVID-19 pandemic and would therefore reflect the conditions during normal operations without government restrictions.

6.1 Review of a Similar Development

The proxy site selected is an existing industrial / commercial development located at 2131 Williams Parkway in the City of Brampton, which is located approximately 250m west of the subject site. The proxy site has a similar parking lot configuration with multiple units occupied by industrial / commercial uses. The industrial / commercial uses of the proxy site have similar operating hours as the subject site. The site statistics of the subject site was compared with the proxy sites in Table 4.

Table 4 – Proxy Site Details, Site Statistics

Site	Parking Supply (spaces)	No. of Storeys	No. of Units	Current Industrial / Commercial Uses (sq.m. of GFA)	Supply Rate (spaces per sqm of GFA)
Subject Site:					
7, 11, & 15 Sun Pac Boulevard, Brampton	81	2	26	4,585.86	1 space per 56.6 sq.m. of GFA
Proxy Sites:					
2131 Williams Parkway, Brampton	119	2	22	approx. 5,109* (3,483 occupied)	1 space per 42.9 sq.m. of GFA

Notes (*): One vacant unit listed as 232.3 sqm of GFA from online lease listing

The proxy site has 15 of the 22 units occupied by industrial / commercial uses, which is approximately 3,483 sq.m. of GFA that is in use within the proxy site. The existing companies occupying the proxy site is summarized in Table 5.

Table 5 – Proxy Site, Existing Companies

Unit #	Company	Land Use	Unit #	Company	Land Use
1	JSP Insurance	Industrial	12	Vacant	-
2	Wellness Martial Arts	Commercial	13	Global Comfort Air	Industrial
3	Gillz Sweet Factory	Commercial	14	Moulds	Industrial
4	Vacant	-	15	AVP Studios/SP Media Group	Industrial
5	Davroc Engineering	Industrial	16	Vacant	-
6	Vacant	-	17	Penco Drywall	Industrial
7	Local 598	Industrial	18	Ernie Contracting	Industrial
8	Vacant	-	19	Home Alone Monitoring Company	Industrial
9	NRR	Commercial	20	Vacant	-
10	Rocca Sheet Metal Ltd	Industrial	21	Best Choice Bath & Kitchen Design	Industrial
11	Vacant	-	22	Yes-Way Carriers Inc	Industrial

Notes: Information obtained from site visit on Thursday July 11, 2019

6.2 Proxy Site Survey Methodology

The proxy site parking survey was conducted on two typical weekdays and one Saturday during the typical operating hours of the site. As mentioned previously, the surveys were completed prior to the COVID-19 pandemic and the results of the surveys would be reflective of normal operating conditions without government restrictions. Details of the proxy site parking surveys conducted by Trans-Plan are as follows:

- Surveys were conducted on the following days and during the following times:
 - Thursday July 11th, 2019 from 8:00am to 9:00pm
 - Thursday July 18th, 2019 from 9:00am to 8:00pm
 - Saturday July 13th, 2019 from 8:00am to 9:00pm
- Surveys were conducted at 30-minute intervals, recording parking demand (number of spaces

occupied) at the on-site parking lot.

- Noted any spillover parking and illegal parking to and from the adjacent roadways (on-street parking) or neighbouring developments.
- Surveyors were on-site during peak times of demand

6.3 Proxy Site Parking Demand Results

The survey results, showing the peak parking demand (maximum number of vehicles occupying the lot) is summarized in Table 6. The detailed survey results are shown in tabular form in Appendix B.

Table 6 – Proxy Site Parking Utilization Survey Results, Peak Parking Demands

Date	Peak 30-minute Period	Peak Parking Demand of Site (spaces)	On-site Parking Surplus / Available Parking (spaces)	Parking Utilization (Percent)
Thursday July 11 th , 2019	1:30pm	45	74	38%
Thursday July 18 th , 2019	2:30pm	50	69	42%
Saturday July 13 th , 2019	4:00pm	38	81	65%

In summary, Thursday July 18th, 2019, was observed to have the highest peak parking demand between both weekday surveys and the Saturday survey. The peak parking demand was observed to be 50 spaces occupied at 2:30pm, which resulted in a parking utilization of 42 percent. The site was observed to have a surplus of 69 spaces still available at the proxy site during the peak parking demand. The parking demand rate was calculated using the total area of the units that are occupied, which was estimated to be 3,498 sq.m. of GFA. The resultant observed parking demand rate was found to be 1 space per 69.6 sq.m. of GFA (3,483 sq.m. of GFA of the proxy site in use / 50 spaces occupied) during the peak parking demand at the proxy site.

7. FUTURE PARKING DEMANDS

7.1 Estimated Parking Demands for the Subject Site

As previously mentioned, majority of the subject site is vacant and would likely not generate sufficient data since there is minimal activity at the subject site. The observed peak parking demand rate, 1 space per 69.6 sq.m. of GFA, obtained from the proxy site survey was utilized to estimate the parking demands of the subject site. The existing gross floor area of 4,585.86 sq.m. of GFA (including the proposed mezzanine additions to Unit 14, 15, 16, and 21 in Building 'B') as well as the proposed mezzanine of 123.20 sq.m. of GFA of the subject site was utilized to calculate the estimated parking demands of the site. The estimated parking demand for the subject site is summarized in Table 7.

Table 7 - Estimated Future Parking Demands

Use	Size (sq.m. of GFA)	Estimated Parking Demands for Subject Site	
		Proxy Site Observed Rate	Parking Demand (spaces)
Existing Industrial / Commercial	4,585.86	1 space per 69.6 sq.m. of GFA	66
Proposed Mezzanine Addition	123.20		2
Total	4,709.06		68

In summary, the estimated parking demands of the site is 66 spaces if all the units were fully occupied and the proposed mezzanine addition would generate a minimal parking demand of 2 spaces. The estimated total parking demand would result to 68 spaces, which results in a surplus of 13 spaces still available at the subject site. Therefore, the parking supply of 81 spaces is expected to be sufficient and is able to accommodate the parking demand of the subject site, if it were fully occupied, and the parking demand generated by the proposed mezzanine.

8. CONCLUSIONS

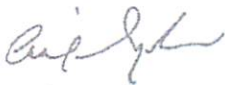
This Parking Justification Study report for the proposed mezzanine addition at Unit 25 and 26 of 15 Sun Pac Boulevard, shown as Units 12 and 13 within Building 'B', is summarized as follows:

- Three parking studies, dated September 18, 2019, November 22, 2019 and April 1, 2020 were previously prepared as separate applications for Unit 21 (Building 'B', Unit 1), Unit 15 & 16 (Building 'B', Unit 2 and 3) and Unit 14 (Building 'B', Unit 1), respectively, of 7, 11 and 15 Sun Pac Boulevard, Brampton. The proxy survey results and recommendations from the previous studies were utilized for this parking study.
- The subject site has 4,585.86 sq.m. of GFA of industrial / commercial uses. Ten of the 26 units of the existing industrial / commercial development is occupied with the remaining 16 units are vacant.
- The parking supply of 77 spaces is proposed to increase by four spaces to provide a total parking supply of 81 spaces.
- A mezzanine addition is proposed for Unit 25 and 26 of 15 Sun Pac Boulevard (shown as Unit 12 and 13 in the provided site plan). The addition is proposed to increase the total GFA of the subject site by approximately 123.20 sq.m. of GFA.
- Based on consultation with City staff and the City of Brampton Zoning By-law, the parking requirement is 101 spaces with the existing uses, mezzanine additions to Building 'A' and 'B'. Therefore, the proposed parking supply of 81 spaces is deficient of the parking requirements by 20 spaces.
- Parking surveys were not conducted at the subject site due to the lack of occupied units and the minimal activity at the subject site. Proxy site parking demand surveys were conducted at a similar industrial / commercial development, located at 2131 Williams Parkway, Brampton. The proxy site is located approximately 250m west of the subject site.
- The proxy site surveys were completed prior to the COVID-19 pandemic and the results of the surveys would be reflective of normal operating conditions without government restrictions.

- A peak parking demand rate of 1 space per 69.6 sq.m. of GFA was observed at the proxy site. The proxy peak parking demand rate was utilized to estimate the parking demand of the subject site, including the proposed mezzanine addition of the subject site Unit 12 and 13 of Building 'B'. The estimated parking demand of the subject site is 68 spaces and is able to be accommodated by the proposed parking supply of 81 spaces.

In conclusion, based on our proxy site survey results, the proposed parking supply of 81 spaces would be sufficient to accommodate the subject site as well as the proposed mezzanine addition to Unit 12 and 13 of Building 'B' when fully occupied.

Respectfully submitted,



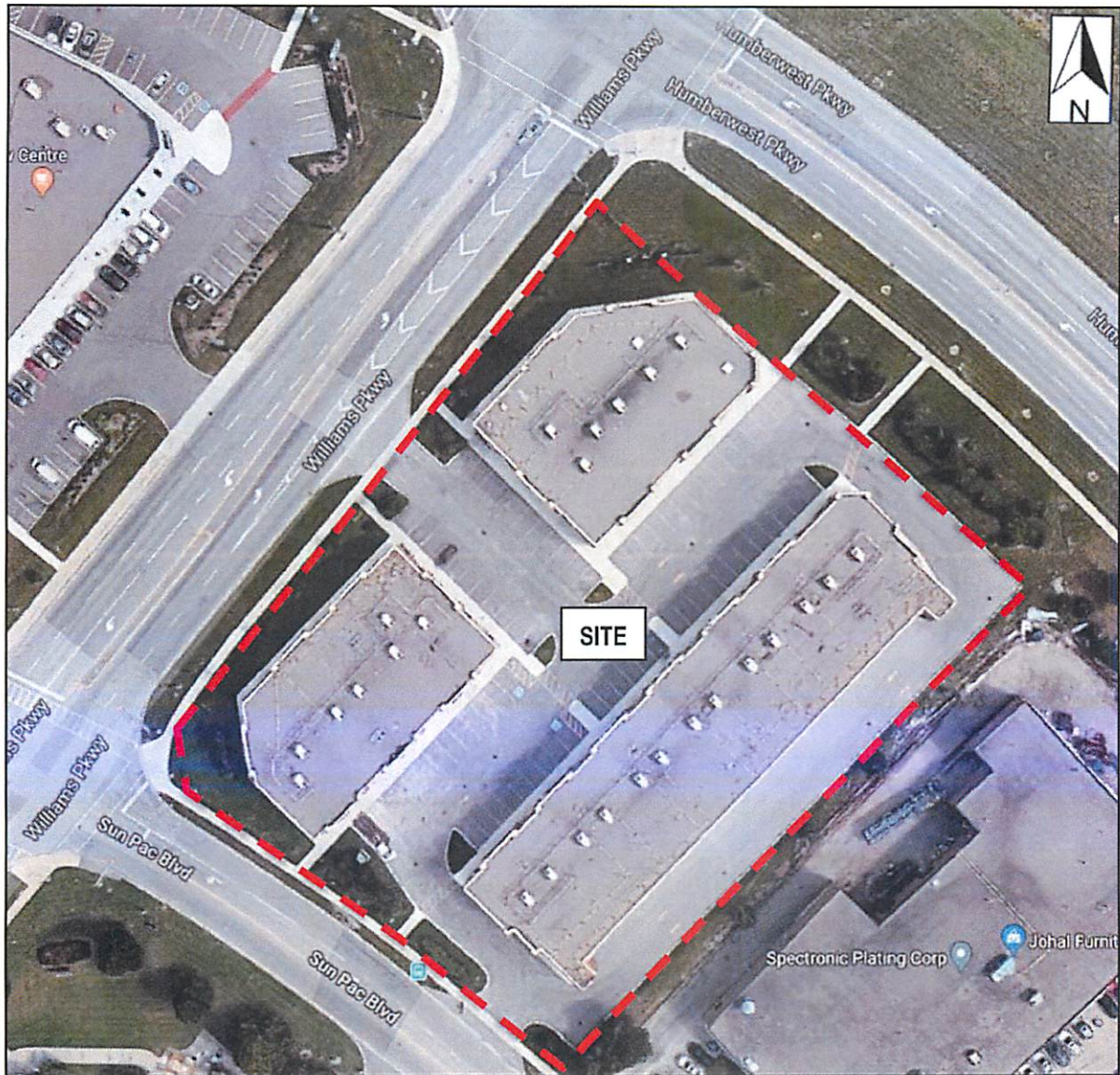
Anil Seegobin, P.Eng.
Partner, Engineer

Trans-Plan Transportation Inc.
Transportation Consultants



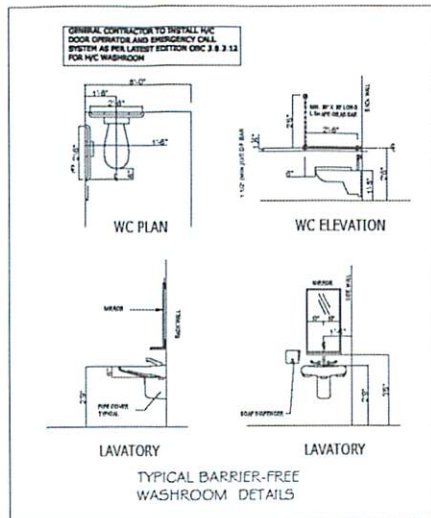
Tyrone Dollano
Traffic Analyst

Figure 1 – Site Location



Source: Google Earth

Figure 2 - Site Plan



GENERAL NOTES:

THE RECEIPT AND USE OF THESE DOCUMENTS CONSTITUTES AGREEMENT THAT EXISTING PROJECT CONDITIONS, INCLUDING THE PRESENCE OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS, ARE AND REMAIN ISSUES OUTSIDE THE SCOPE ADDRESSED BY THESE DOCUMENTS, AND THAT THE DESIGNER AND OFFICE PREPARING THESE DOCUMENTS SHALL NOT BE IN ANY WAY LI

SITE REQUIREMENTS:

CONTRACTOR MUST VERIFY AND CHECK ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH WORK. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED THROUGHOUT. ALL BLOCKING MOUNTED. IN CEILING SPACE, OR WALL CAVITIES MUST BE NON-COMBUSTIBLE.

CODE REQUIREMENTS:

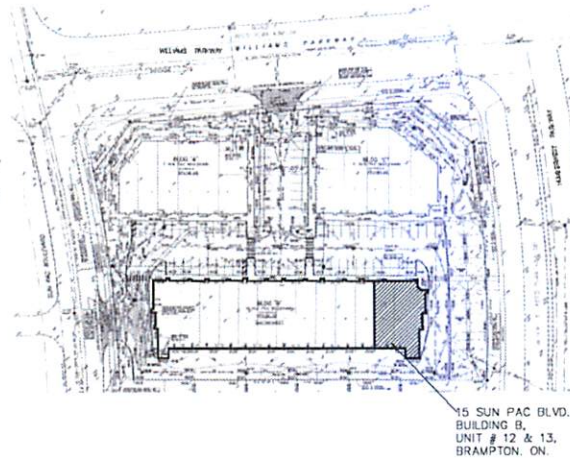
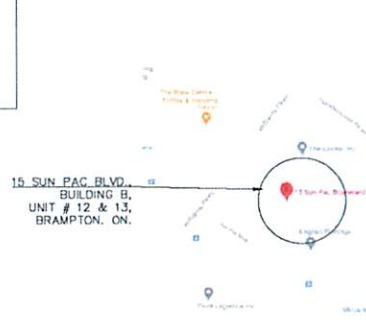
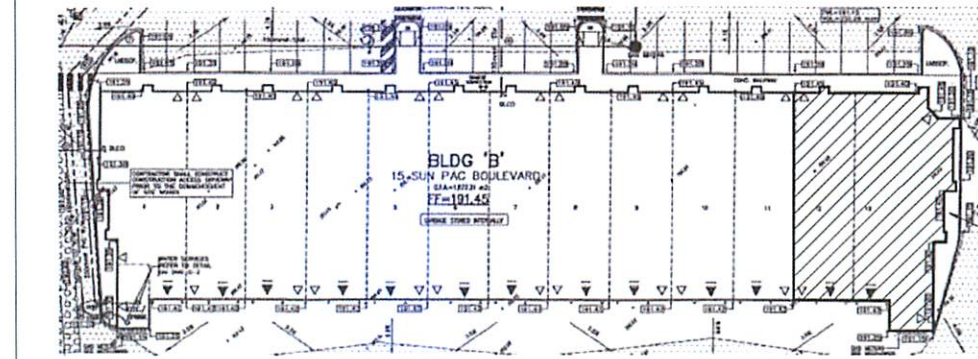
ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE TENANT'S GENERAL CONTRACTOR.

CONTRACTOR TO OBTAIN ALL REQUIRED BUILDING, SIGN AND HEALTH PERMITS BEFORE CONSTRUCTION.

APPROPRIATELY RATED U.L.C. LISTED FIRE EXTINGUISHER SHALL BE INSTALLED, IN ACCORDANCE WITH BUILDING CODE.

EXIT AND EMERGENCY LIGHTING SYSTEM TO MEET REQUIREMENTS OF LOCAL BUILDING CODE.

ALL CONSTRUCTION TO FOLLOW LOCAL BUILDING CODE. REPORT IN WRITING ANY DISCREPANCIES BETWEEN DRAWINGS AND CODES TO DESIGNER BEFORE STARTING WORK.



PROPOSED RETAIL AREA/WAREHOUSE UNIT # 12 & 13 BUILDING B, 15 SUN PAC BLVD. BRAMPTON, ONTARIO

BUILDING CODE CLASSIFICATION

ONTARIO BUILDING CODE DATA MATRIX										OBC REFERENCE									
PROJECT DESCRIPTION INTERIOR TENANT FIT-UP <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION										PART 3									
MAJOR OCCUPANCY(S) Group F2										3.1.2.1 (1)									
BUILDING AREA (sq m) (1677.31 sq m)										1.1.3.2									
GROSS FLOOR AREA OF INTERIOR ALTERATIONS (sq m) TOTAL GROSS FLOOR AREA (3142.00 sq m (3403.55 sq ft))										1.1.3.2									
NUMBER OF STOREYS ABOVE GRADE (1) BELOW GRADE (0)										3.2.1.1 & 1.1.3.2									
HEIGHT OF BUILDING (7.64m) STOREY										3.2.1.1 & 1.1.3.2									
NUMBER OF STREET ACCESS ROUTES ONE										3.2.2.10 & 3.2.2.5									
BUILDING CLASSIFICATION 3.2.2.72										3.2.2.61									
SPRINKLER SYSTEM EXISTING <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF R/O/F RATING <input type="checkbox"/> NOT REQUIRED										3.2.2.20 - 63 3.2.1.5 3.2.2.17									
10 STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										3.2.9									
11 FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										3.2.4									
12 WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO										N/A									
13 HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										3.2.6									
14 CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH										3.2.2.20 - 33									
15 MEZZANINE(S) AREA (sq m) 123.20 Sq M										3.2.1.1 (3)-(B)									
TOTAL OCCUPANCY LOAD: As designed by space post sign in conspicuous location BASED ON sq m / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING LOAD (100 Persons/m ² staff) TOTAL OCCUPANCY LOAD 1233 Persons										3.1.1.7									
17 BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)										3.8									
18 HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										3.3.1.2 (1) & 3.3.1.18 (1)									
19 REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)				LISTED DESIGN NO. OR DESCRIPTION (SG-2)				3.2.2.20 - 63 & 3.2.1.4									
		FLOORS 45 Min				N/A													
		ROOF N/A				N/A													
		MEZZANINE 45 Min				N/A													
EXISTING		FRR OF SUPPORTING MEMBERS				LISTED DESIGN NO. OR DESCRIPTION (SG-2)													
		FLOORS N/A				N/A													
		ROOF N/A				N/A													
		MEZZANINE N/A				N/A													
20 SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS EXISTING										3.2.3 9.10.14									
WALL AREA OF EBF (sq m)		L/D (m)		L/H (m)		PERMITTED MAX % OF OPENINGS		PROPOSED % OF OPENINGS		FRR (HOURS)		LISTED DESIGN OR DESCR		COMB CONST		COMB CONSTR		NON COMB CONSTR	
NORTH																			
SOUTH																			
EAST																			
WEST																			

- CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE CARRIED OUT AS PER SPECIFICATIONS AND THE LATEST EDITION OF ONTARIO BUILDING CODE.
- APPROVED LATEST DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE ALLOWED FOR SCALE.
- THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE USE. FOR ANY OTHER PURPOSE ARE NOT PERMITTED.
- THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL THE OTHER DRAWINGS WHICH CONSTITUTE THE DOCUMENTS.
- ALL DRAWINGS, SPECIFICATIONS ARE THE PROPERTY OF THE GDB CONSULTANCY INC. AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK.

08.25.2020 ISSUED FOR PERMIT
No Date Revisions

PROJECT NORTH CHECKED & APPROVED BY B BHAVSAR

ARCHITECTS

CONSULTANTS

GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT

PROPOSED RETAIL/WAREHOUSE

ADDRESS

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE

OBC MATRIX, SITE PLAN & BARRIER-FREE WR DETAILS

DRAWN BY

: B.B.

DATE

: AUGUST 25, 2020

PLOT SCALE

: 1:100

PROJECT NO :

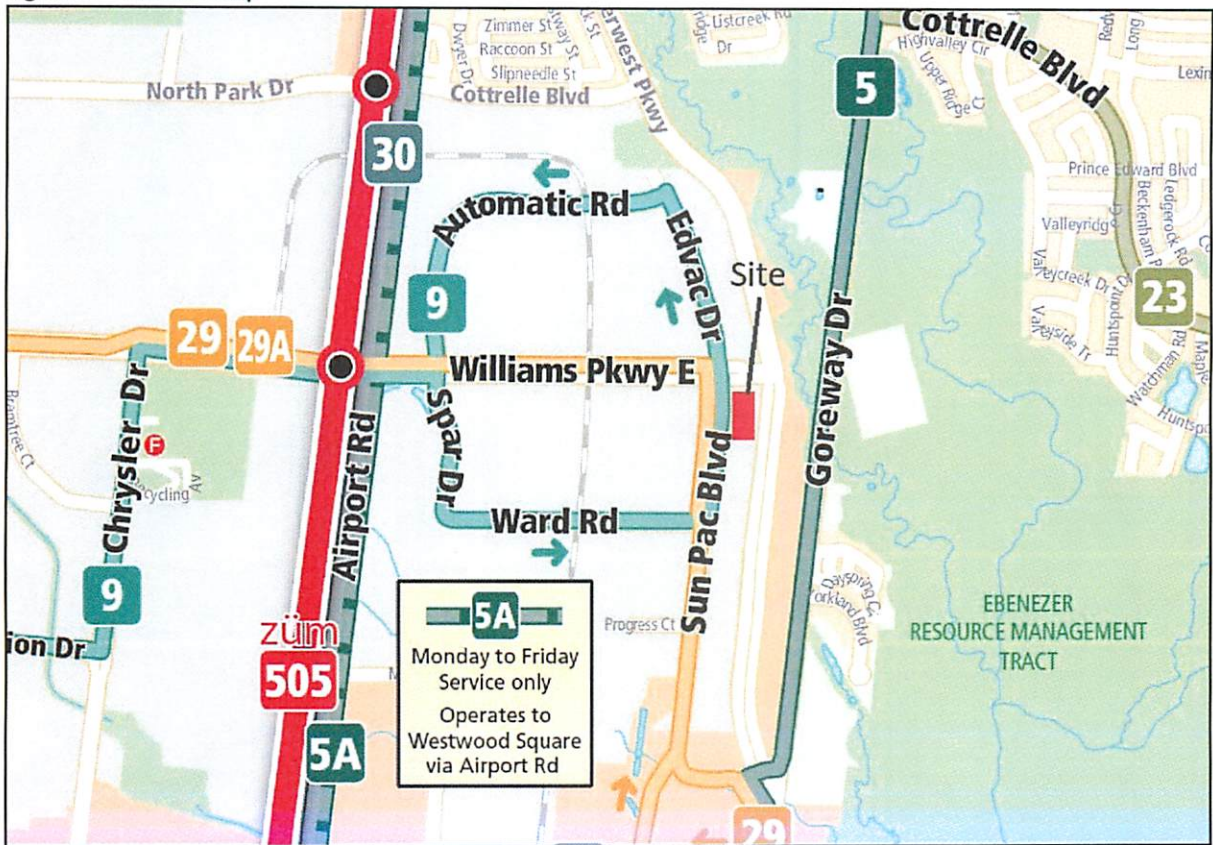
19-1241

DRAWING NO :

A-0

GDB CONSULTANCY INC.

Figure 3 – Transit Map



Source: Brampton Transit Website

APPENDICES

Appendix A – City of Brampton Zoning By-law, Excerpts

Appendix B – Proxy Parking Survey Data



APPENDIX A

City of Brampton Zoning By-law, Excerpts

- (a) for a lot width of 50 metres or less: 8 metres,
 - (b) for a lot with a width greater than 50 metres but less than 100 metres: 8 metres plus 12 percent of the lot width in excess of 50 metres,
 - (c) for a lot width of 100 metres or more: 14 metres
- (4) Maximum Coverage of buildings and structures: 50 percent of the lot area
- (5) Minimum Rear Yard Depth: 20 metres
- (6) the required front yard, and all required side yards, from the front lot line to the rear wall of the rearmost building, shall be landscaped as follows:
 - (a) the minimum landscaped open space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
 - (i) 50 percent of the required front yard, and
 - (ii) 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building;
 - (b) the minimum landscaped open space for a lot having an area of 1 hectare or less shall be provided as follows:
 - (i) for a corner lot:
 - (A) 50 percent of the required front yard;
 - (B) 50 percent of the required exterior side yard, and
 - (C) none required for an interior side yard;
 - (ii) for an interior lot:
 - (A) 50 percent of the required front yard, and
 - (B) 50 percent of one required side yard and none for the other side yard;
- (7) a Landscaped Buffer Strip of a minimum of 12 metres in width shall be provided and maintained along Airport Road, Williams Parkway and the proposed Arterial Road, as shown on Schedule C - SECTION 1548.
- (8) (a) no outdoor truck loading facilities are permitted in the front yard;
 - (b) if the building depth is less than 60 metres, no outdoor truck loading facilities are permitted within the front half of the building depth; and
 - (c) if the building depth is greater than 60 metres, no outdoor truck loading facilities are permitted within the first 30 metres of the building depth;
- (9) at least one parking space for each 55 square metres of gross floor area shall be provided on the same lot, and such parking space shall be used only for vehicles of employees, vehicles of customers, and vehicles required in connection with the main use of the lot;

	In addition to the above, the applicable gross floor areas exceeding 15% shall be subject to the applicable office, retail, or educational parking requirements.
Warehouse	<p>a. If the associated office, retail, and educational gross floor areas are 15% or less of the total gross floor area:</p> <ul style="list-style-type: none"> Up to 7,000 square metres: 1 parking space per 90 square metres gross floor area or portion thereof; 7,000 to 20,000 square metres: 78 parking spaces plus 1 parking space per 145 square metres gross floor area or portion thereof that is over 7,000 square metres; over 20,000 square metres: 168 parking spaces plus 1 parking space per 170 square metres gross floor area or portion thereof that is over 20,000 square metres <p>b. If the associated office, retail, and educational gross floor areas are more than 15% of the total gross floor area</p> <p>In addition to the above, the applicable gross floor areas exceeding 15% shall be subject to the applicable office, retail, or educational parking requirements.</p>
Industrial Mall	The same requirements as that of the Industrial – Manufacturing, except for motor vehicle repair or body shop or any non-industrial use which shall provide parking in accordance with applicable standards for that use.
Non-industrial uses	Parking requirements in accordance with that outlined in the General Provisions for Commercial and Residential Zones.

30.6 Fences

No fences shall be permitted in the front yard of any lot in an industrial zone.

30.7 Commercial Uses in Industrial Zones

Restaurant	Dining Room or Convenience Restaurant: 1 parking space for each 6.25 square metres of gross commercial floor area or portion thereof Take-Out Restaurant: 1 parking space for each 16.7 square metres of gross commercial floor area or portion thereof
School	Elementary School (up to grade 8): 1 parking space for each 100 square metres gross floor area (excluding portables) plus 1 parking space for each portable classroom Secondary School (grade 9 and above): 1.5 spaces for each 100 square metres gross floor area (excluding portables) plus 1 parking space for each portable classroom Commercial, Technical, or Recreational School: 4 spaces for each classroom or 1 parking space for each 20 square metres of gross commercial floor area or portion thereof; whichever is greater
Retail Establishment not specifically mentioned	1 parking space for each 19 square metres of gross commercial floor area or portion thereof
Shopping Centre having a gross leasable commercial floor area of less than 2000 square metres	1 parking space for each 23 square metres of gross commercial floor area or portion thereof for the entire shopping centre if uses of restaurants, taverns, and medical offices occupy less than 10% of total of gross commercial floor area; otherwise, 1 parking space for each 23 square metres of gross commercial floor area or portion thereof for areas other than restaurants, taverns, and medical offices plus the parking spaces required for restaurants, taverns, and medical offices
Shopping Centre having a gross leasable commercial floor area of 2000 square metres or more	1 parking space for each 19 square metres of gross commercial floor area or portion thereof
Supermarket	1 parking space for each 17 square metres of gross commercial floor area or portion thereof
Tavern	1 parking space for each 2.5 person licensed capacity
All Other Commercial Uses not specifically mentioned	1 parking space for each 23 square metres of gross commercial floor area or portion thereof



APPENDIX B

Proxy Parking Survey Data

Proxy Parking Utilization Survey



Proxy Location: 2131 Williams Parkway, Brampton

Parking Supply: 119

Survey Date: Thursday July 11, 2019, Thursday July 18, 2019, and Saturday July 13, 2019

Weather: Clear 30C, Clear 28C, and Cloudy 30C

Surveyor: N. Hu & H. Heer

Time	Parking Demand		
	Thursday July 11, 2019	Thursday July 18, 2019	Saturday July 13, 2019
	Total On-site Parking Demand	Total On-site Parking Demand	Total On-site Parking Demand
8:00	18	-	12
8:30	24	-	15
9:00	31	31	15
9:30	37	36	18
10:00	39	43	24
10:30	33	41	27
11:00	32	43	37
11:30	36	42	30
12:00	37	42	28
12:30	40	43	28
13:00	43	44	20
13:30	45	48	23
14:00	38	49	22
14:30	37	50	23
15:00	37	46	23
15:30	35	42	22
16:00	36	43	38
16:30	39	47	32
17:00	30	48	27
17:30	37	30	25
18:00	32	27	24
18:30	37	36	25
19:00	41	25	23
19:30	34	27	26
20:00	24	29	20
20:30	23	-	20

Peak Parking Demand



brampton.ca

FILE NUMBER: A-2020-0142

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) 2389112 Ontario Inc.

Address 2021 Williams parkway E, Unit-13 Brampton, ON, L6S 5T4

Phone # 416-550-2963

Fax # _____

Email realtork13@gmail.com

2. Name of Agent Design Plan Services Inc. C/O Chris Marchese

Address 900 The East Mall, Suite 300, Toronto, M9B 6K2

Phone # 416-626-5445 x208

Fax # _____

Email chris@designplan.ca

3. Nature and extent of relief applied for (variances requested):

To permit 81 Parking Spaces on the site whereas the By-law requires 95 Parking Spaces due to the construction of a 123.30sq m mezzanine

4. Why is it not possible to comply with the provisions of the by-law?

Not enough parking spaces on site

5. Legal Description of the subject land:

Lot Number UNIT 25&26, LEVEL 1, PEEL STANDARD CONDOMINIUM PLAN NO. 1046 AND ITS

Plan Number/Concession Number APPURTENANT INTEREST; SUBJECT TO EASEMENTS AS SET OUT IN SCHEDULE

Municipal Address AS IN PR3407955; CITY OF BRAMPTON 15 SUNPAC BOULEVARD
UNITS 12 & 13

6. Dimension of subject land (in metric units)

Frontage 126.04m

Depth 89.0m

Area 10,124.12 sq m

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Building "A"- 1 Storey 1447.7sqm, 7 Sunpac Boulevard

Building "B"- 1 Storey 1877.31sqm, 316.20sq m (Unit 12 & 13), 15 Sunpac Boulevard

Building "C"- 1 Storey 965.65sqm, 11 Sunpac Boulevard

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No New Buildings Proposed

A Mezzanine with an area of 123.20sqm is proposed in units 12 & 13 of existing Building "B" (15 Sunpac Blvd)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.37m

Rear yard setback 12.0m

Side yard setback 7.0m

Side yard setback 5.96m

PROPOSED

Front yard setback 5.37m

Rear yard setback 12.0m

Side yard setback 7.0m

Side yard setback 5.96m

10.

Date of Acquisition of subject land:

February 2020
11.

Existing uses of subject property:

Three Multi Unit Commercial/Industrial Buildings
12.

Proposed uses of subject property:

Mexxanine for storage in unit 12 & 13 of Building "B"
13.

Existing uses of abutting properties:

Municipal Right of Way & Industrial Use
14.

Date of construction of all buildings & structures on subject land:

Approx 2006.
15.

Length of time the existing uses of the subject property have been continued:

Approx 15 Yrars

16. (a)

What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)
- (b)

What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)
- (c)

What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

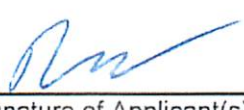
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File #	A14-038	Decision	Approved	Relief	Permitted Uses 8 Parking
File #	A08-094	Decision	Approved	Relief	Setbacks & Landscaping
File #	A2020-0080	Decision	Approved	Relief	Permitted Parking Reduction


Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 24th DAY OF Nov., 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.


I, Robert Wojcikski, OF THE City OF Mississauga
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 24th DAY OF
November, 2020.


A Commissioner etc.


Signature of Applicant or Authorized Agent

April Dela Cerna, ad.
a Commissioner, etc
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

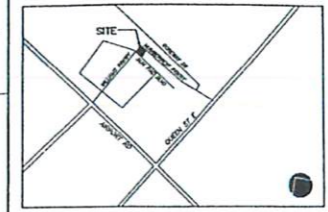
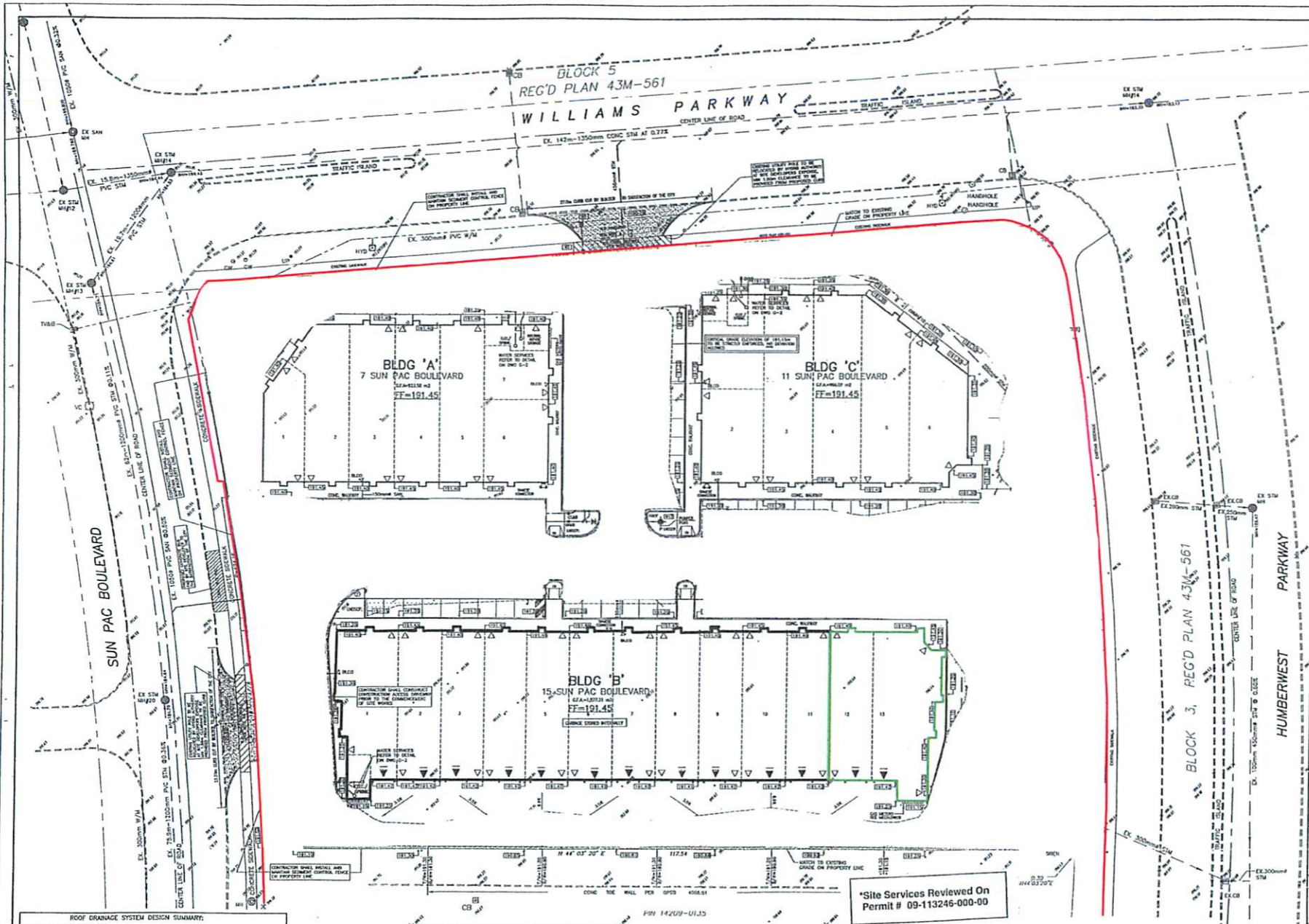
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This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHI S.
Zoning Officer

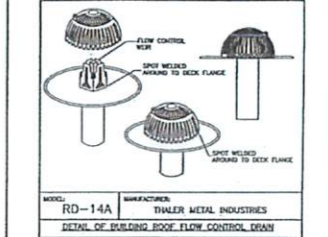
NOV. 27. 2020
Date

DATE RECEIVED November 24, 2020



LEGEND

1. EXISTING LOT LINES	2. EXISTING LOT LINES	3. EXISTING LOT LINES	4. EXISTING LOT LINES
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REFER TO DRAWING 07163 G-2 FOR SERVING INFORMATION AND MISCELLANEOUS DETAILS

NO.	DATE	DESCRIPTION
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75	09/11/2009	ISSUED FOR PERMIT
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98	09/11/2009	ISSUED FOR PERMIT
99	09/11/2009	ISSUED FOR PERMIT
100	09/11/2009	ISSUED FOR PERMIT

CITY OF BRAMPTON
CITY REFERENCE: SP-08-004

DESIGNED BY:
A. BALDASSARRA
Architect Inc.
7800 Jane Street, Suite 200
Concord, Ontario, L4K 4K6
Tel: (905) 660-0722
Fax: (905) 660-7019

PROPOSED COMMERCIAL DEVELOPMENT
7, 11 AND 15 SUN PAC BOULEVARD
PART 1, PLAN 43R-13563
BEING PART OF BLOCK 2, PLAN 43M-561

SITE GRADING & SERVING PLAN
SP-08-004

CON. CONSULTANT:
VIA PISCIONE
V. A. PISCIONE & ASSOCIATES INC.
50 RITA LANE, UNIT NO. 18
CONCORD, ONTARIO, L4K 4C5
EMAIL: vpa@vpa-inc.com
TEL: 416.736.0094 FAX: 905.660.3769

DATE: JULY 18, 2008
SCALE: 1" = 30'
DRAWN BY: A.L. / H.S.
JOB NO.: 07-183-C
DRAWING NO.: **07163 G-1**
DATE: 07/18/2008

ROOF DRAINAGE SYSTEM DESIGN SUMMARY

BLDG	NO. OF ROOFS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS	NO. OF DRAINAGE AREAS
BLDG 'A'	7	2	2	2	2	2	2	2	2
BLDG 'B'	15	2	2	2	2	2	2	2	2
BLDG 'C'	11	2	2	2	2	2	2	2	2

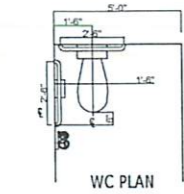
PART 2
PLAN 43R-13563

Site Services Reviewed On
Permit # 09-113246-000-00

NOTES:
1. DELAYED CONTROL FENCE SHALL BE ERECTED BY OWNER PRIOR TO START OF ANY SITE WORK.
2. MAINTAINED BY OWNER DURING SITE CONSTRUCTION AND REMOVED BY OWNER UPON COMPLETION OF SITE CONSTRUCTION.

CONTRACTOR SHALL CONSIDER CONSTRUCTION ACCESS TO THE ADJACENT LOT OF THE CITY OF BRAMPTON.
THE CONSTRUCTION ACCESS SHALL SATISFY THE FOLLOWING REQUIREMENTS:
1. ACCESS SHALL BE MAINTAINED AT ALL TIMES.
2. ACCESS SHALL BE MAINTAINED AT ALL TIMES.
3. ACCESS SHALL BE MAINTAINED AT ALL TIMES.
4. ACCESS SHALL BE MAINTAINED AT ALL TIMES.
5. ACCESS SHALL BE MAINTAINED AT ALL TIMES.

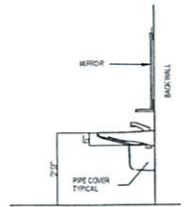
GENERAL CONTRACTOR TO INSTALL H/C DOOR OPERATOR AND EMERGENCY CALL SYSTEM AS PER LATEST EDITION OBC 3.8.3.12 FOR H/C WASHROOM



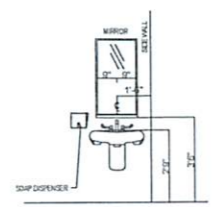
WC PLAN



WC ELEVATION

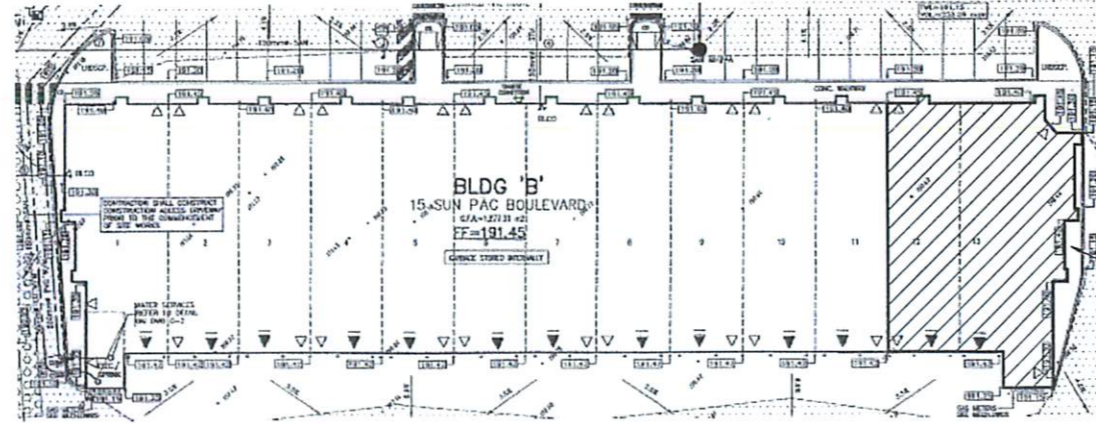


LAVATORY



LAVATORY

TYPICAL BARRIER-FREE WASHROOM DETAILS



15 SUN PAC BLVD.,
BUILDING B,
UNIT # 12 & 13,
BRAMPTON, ON.

GENERAL NOTES:

THE RECEIPT AND USE OF THESE DOCUMENTS CONSTITUTES AGREEMENT THAT EXISTING PROJECT CONDITIONS, INCLUDING THE PRESENCE OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS, ARE AND REMAIN ISSUES OUTSIDE THE SCOPE ADDRESSED BY ABLE FOR THE PRESENCE, DISCOVERY, REMOVAL, OR HANDLING OF SUCH MATERIALS. THESE DOCUMENTS, AND THAT THE DESIGNER AND OFFICE PREPARING THESE DOCUMENTS SHALL NOT BE IN ANY WAY LI

SITE REQUIREMENTS:

CONTRACTOR MUST VERIFY AND CHECK ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH WORK. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED THROUGHOUT. ALL BLOCKING MOUNTED. IN CEILING SPACE, OR WALL CAVITIES MUST BE NON-COMBUSTIBLE.

CODE REQUIREMENTS:

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE TENANT'S GENERAL CONTRACTOR.

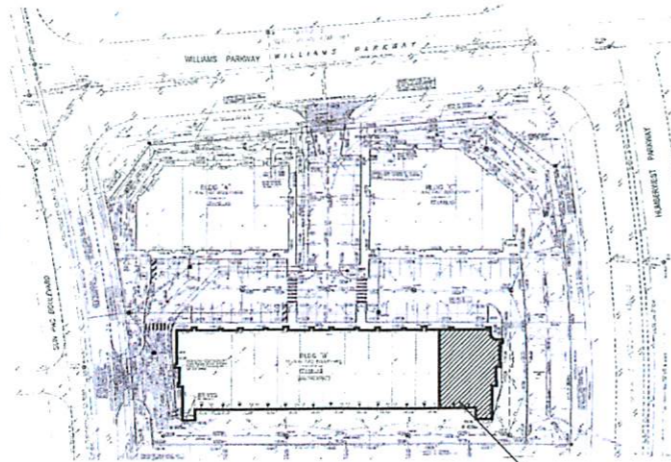
CONTRACTOR TO OBTAIN ALL REQUIRED BUILDING, SIGN AND HEALTH PERMITS BEFORE CONSTRUCTION.

APPROPRIATELY RATED U.L.C. LISTED FIRE EXTINGUISHER SHALL BE INSTALLED, IN ACCORDANCE WITH BUILDING CODE.

EXIT AND EMERGENCY LIGHTING SYSTEM TO MEET REQUIREMENTS OF LOCAL BUILDING CODE.

ALL CONSTRUCTION TO FOLLOW LOCAL BUILDING CODE. REPORT IN WRITING ANY DISCREPANCIES BETWEEN DRAWINGS AND CODES TO DESIGNER BEFORE STARTING WORK.

15 SUN PAC BLVD.
BUILDING B,
UNIT # 12 & 13,
BRAMPTON, ON.



15 SUN PAC BLVD.,
BUILDING B,
UNIT # 12 & 13,
BRAMPTON, ON.

PROPOSED RETAIL AREA/WAREHOUSE UNIT # 12 & 13 BUILDING B, 15 SUN PAC BLVD. BRAMPTON, ONTARIO

BUILDING CODE CLASSIFICATION

ONTARIO BUILDING CODE DATA MATRIX						OBC REFERENCE			
PROJECT DESCRIPTION		<input type="checkbox"/> NEW				PART 3			
INTERIOR TENANT FIT-UP		<input type="checkbox"/> ADDITION							
<input type="checkbox"/> CHANGE OF USE		<input checked="" type="checkbox"/> ALTERATION							
MAJOR OCCUPANCY(S)		Group F2				3.1.2.1.(1)			
BUILDING AREA (sq.m.)(1877.31) sq.m.						1.1.3.2			
GROSS FLOOR AREA OF INTERIOR ALTERATIONS (sq.m.)						1.1.3.2			
TOTAL GROSS FLOOR AREA (316.20) sq.m. (3403.55 sq.ft.)									
NUMBER OF STOREYS ABOVE GRADE (1) BELOW GRADE (0)						3.2.1.1 & 1.1.3.2			
HEIGHT OF BUILDING (7.64m)		STOREY				3.2.1.1 & 1.1.3.2			
NUMBER OF STREETS/ACCESS ROUTES		ONE				3.2.2.10 & 3.2.5.5			
BUILDING CLASSIFICATION		3.2.2.72				3.2.2.61			
SPRINKLER SYSTEM EXISTING		<input checked="" type="checkbox"/> ENTIRE BUILDING				3.2.2.20-83			
		<input type="checkbox"/> BASEMENT ONLY				3.2.1.5			
		<input type="checkbox"/> IN LIEU OF ROOF RATING				3.2.2.17			
		<input type="checkbox"/> NOT REQUIRED							
10	STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.9			
11	FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.4			
12	WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				N/A			
13	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.6			
14	CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH					3.2.2.20-83			
15	MEZZANINE(S) AREA (sq.m.)	123.29 Sq.Mt.				3.2.1.1.(3)-(8)			
TOTAL OCCUPANCY LOAD As designed by space post sign in conspicuous location						3.1.17			
BASED ON sq.m./PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING									
TOTAL OCCUPANCY LOAD 12(08 Persons+4 staff)									
17	BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)				3.8			
18	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.3.1.2.(1) & 3.3.1.19(1)			
19	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)		3.2.2.20-83 & 3.2.1.4			
		FLOORS 45 Min.		N/A					
		ROOF N/A		N/A					
	EXISTING	MEZZANINE 45 Min.		N/A					
		FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SG-2)					
		FLOORS N/A		N/A					
		ROOF N/A		N/A					
		MEZZANINE N/A		N/A					
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS EXISTING					3.2.3 9.10.14			
WALL	AREA OF EBF (sq.m.)	L.D. (m)	L.T. OR MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCR	COMB. CONSTR.	COMB. CONSTR. NONC. CLADDING	NON COMB.
NORTH	-	-	-	-	-	-	-	-	-
SOUTH	-	-	-	-	-	-	-	-	-
EAST	-	-	-	-	-	-	-	-	-
WEST	-	-	-	-	-	-	-	-	-

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6. ALL DRAWINGS, SPECIFICATIONS ARE THE PROPERTY OF THE GDB CONSULTANCY INC AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK.

0	08.25.2020	ISSUED FOR PERMIT
No	Date	Revisions

PROJECT NORTH
CHECKED & APPROVED BY:
B BHAVSAR



ARCHITECTS:

CONSULTANTS:

GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:

**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:

UNIT # 12 & 13
BUILDING B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:

**OBC MATRIX, SITE PLAN &
BARRIER-FREE WR DETAILS**

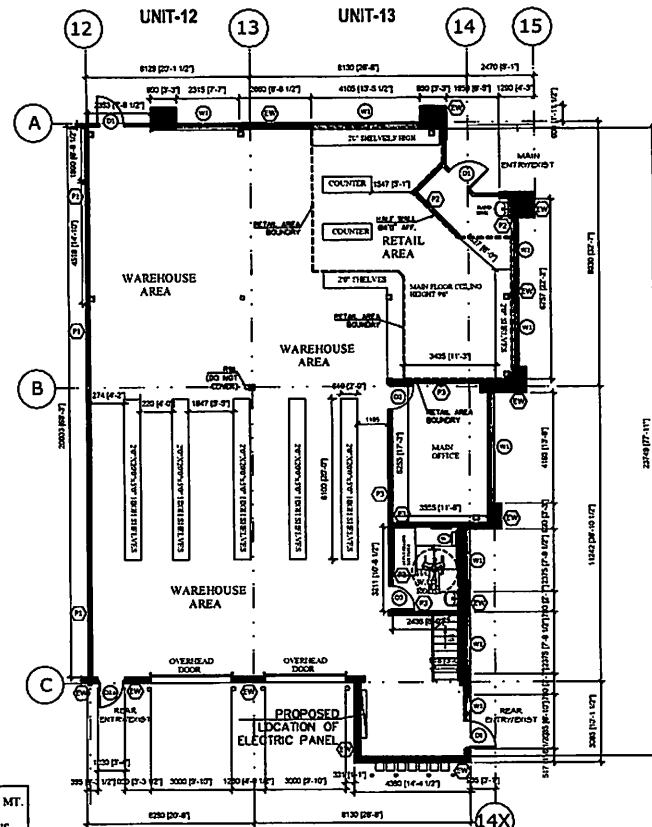
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

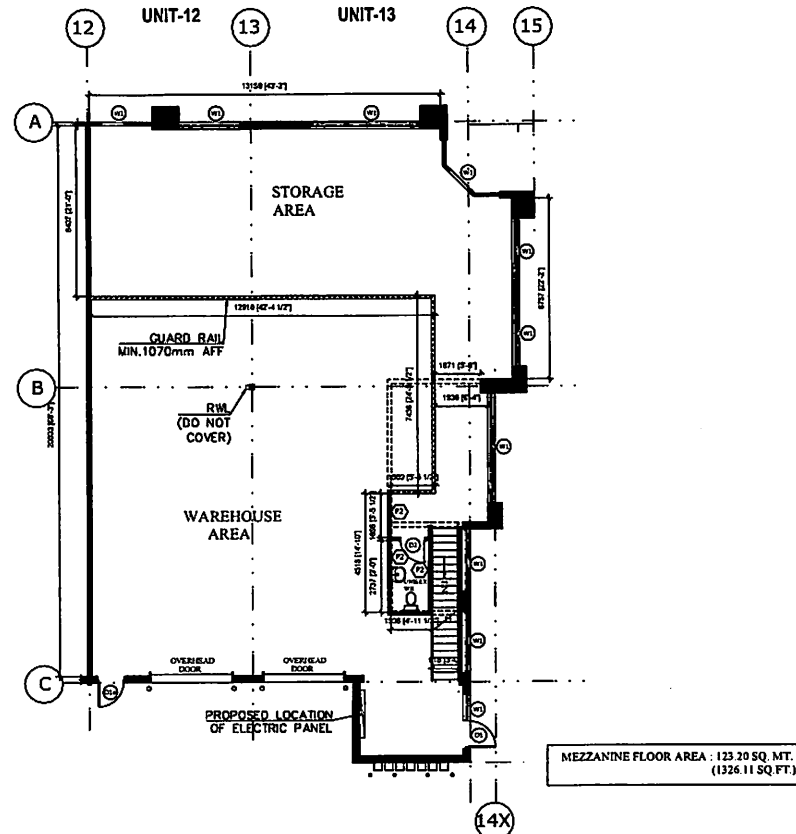
PROJECT NO. : 19-1241
DRAWING NO. : A-0

GDB CONSULTANCY INC.



FLOOR PLAN OF PROPOSED RETAIL AREA/
WAREHOUSE

SCALE: 1:100



FLOOR PLAN OF MEZZANINE OF
PROPOSED RETAIL AREA/WAREHOUSE

SCALE: 1:100

WALL ASSEMBLIES	DOOR ASSEMBLIES	WINDOW SCHEDULE
<p>P1</p> <p>WALL TYPE P1 (EXISTING): 1HR. FIRE RATED DEMISING WALL TO REMAIN AS IS (CONFIRMED BY LANDLORD)</p> <p>P2</p> <p>WALL TYPE P2 (PROPOSED): 13mm GYPSUM BOARD BOTH SIDE OF 92mm STUDS @ 400mm O.C., BRACED WITH EXISTING STRUCTURAL STEEL ON TOP</p> <p>P3</p> <p>WALL TYPE P3 (PROPOSED): 1hr. 15.9mm TYPE 'X' GYPSUM BOARD BOTH SIDE OF 38MM STEEL STUDS @ 406mm O.C., TO BE BRACED WITH STRUCTURE, FIRE TAPED</p> <p>EW</p> <p>WALL TYPE EW (EXISTING): EXTERIOR WALL TO REMAIN</p>	<p>D1</p> <p>DOOR TYPE D1 (EXISTING): 915mm x 2134mm X45mm EXISTING ALUMINUM GLAZED MAIN DOOR TO REMAIN WITH EXISTING HARDWARE AND DOOR CLOSURE</p> <p>D1a</p> <p>DOOR TYPE D1a (EXISTING): 915mm x 2134mm X45mm EXISTING ALUMINUM DOOR TO REMAIN WITH EXISTING HARDWARE AND DOOR CLOSURE</p> <p>D2</p> <p>DOOR TYPE D2 (PROPOSED): 965mm x 2135mm X 45mm SOLID WOOD DOOR & HOLLOW METAL FRAMING (PAINTED FINISH) WITH STANDARD HARDWARE</p> <p>D3</p> <p>DOOR TYPE D3 (PROPOSED): 965mm x 2135mm X 45mm SOLID WOOD DOOR & HOLLOW METAL FRAMING (PAINTED FINISH) WITH STANDARD HARDWARE (CONTRACTOR TO INSTALL H/C DOOR OPERATOR FOR H/C WASHROOM)</p>	<p>W1</p> <p>WINDOW TYPE W1 (EXISTING): EXISTING ALUMINUM WINDOW</p>

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No	Date	Revisions
0	08.25.2020	ISSUED FOR PERMIT

PROJECT NORTH	CHECKED & APPROVED BY: B BHAVSAR
---------------	-------------------------------------

ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC 28 McDONOUGH GARDENS HAMILTON, ON. L8B 1W8. Cell: (416) 388 9743

PROJECT:
PROPOSED RETAIL/WAREHOUSE

ADDRESS:
UNIT # 12 & 13 BUILDING 'B' 15 SUN PAC BLVD. BRAMPTON, ON.

DRAWING TITLE:
MAIN FLOOR PLAN & MEZZANINE FLOOR

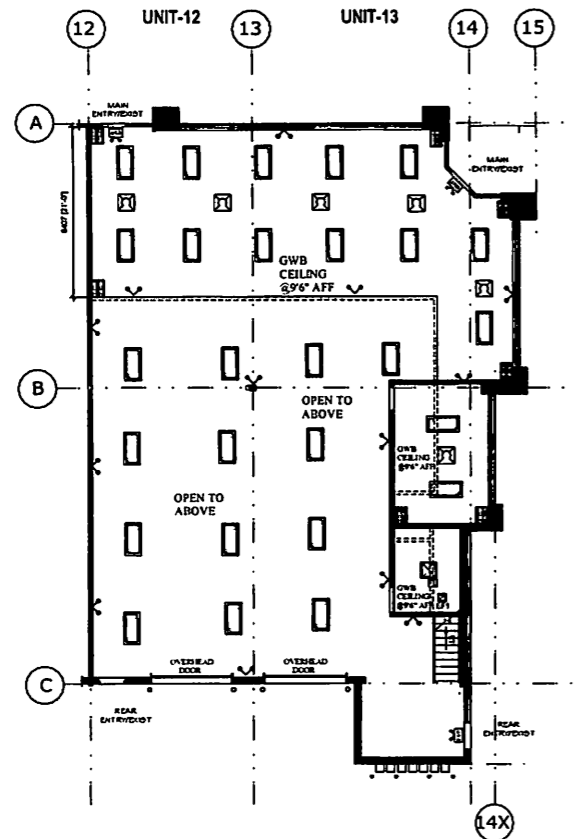
DRAWN BY:
B.B.

DATE:
AUGUST 25, 2020

PLOT SCALE:
1:100

PROJECT NO.:
19-1241
DRAWING NO.:
A-1

GDB CONSULTANCY INC.



CEILING PLAN OF PROPOSED RETAIL AREA WAREHOUSE

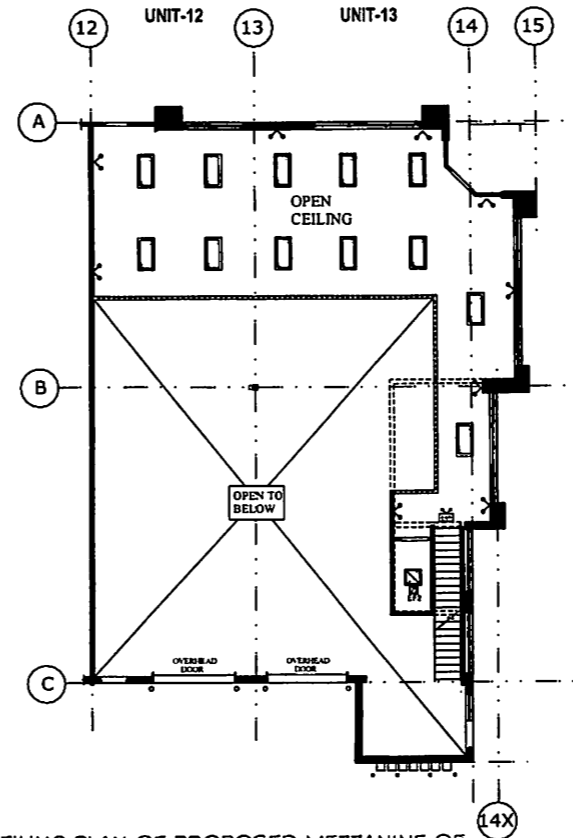
SCALE: 1:100

LEGENDS :

	120mm x 60mm RECESSED LIGHT FIXTURES
	EXIT LIGHT WITH BATTERY PACK AND TWO LAMP HEAD 12V DC, 9W
	EMERGENCY LIGHTING WITH TWO LAMP HEAD 12V DC, 9W
	60mm x 60mm RECESSED LED LIGHT FIXTURES
	60mm x 60mm 1500m S.A. DIFFUSER
	60mm x 225mm ALUM LAY IN GRID GRATE
	EXHAUST FAN

ALL LIGHT FIXTURES, BATTERIES, TRANSFORMERS SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE (CEC) AND NOT LESS THAN 1.8M AFF.

3.4.5.1 EXIT SIGNS (2) (b):
APPLIES TO PROVISION OF EXIT SIGNS
THESE ARE REQUIRED TO CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN IS 3844-1 GRAPHICAL SYMBOLS-SAFETY SIGNS AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010 FOR SAFETY SIGNS USED IN WORKPLACES AND PUBLIC AREAS FOR E001 AND / OR E002 EMERGENCY EXIT.



CEILING PLAN OF PROPOSED MEZZANINE OF RETAIL AREA WAREHOUSE

SCALE: 1:100

LEGENDS :

	120mm x 60mm RECESSED LIGHT FIXTURES
	EXIT LIGHT WITH BATTERY PACK AND TWO LAMP HEAD 12V DC, 9W
	EMERGENCY LIGHTING WITH TWO LAMP HEAD 12V DC, 9W
	60mm x 60mm RECESSED LED LIGHT FIXTURES
	60mm x 60mm 1500m S.A. DIFFUSER
	60mm x 225mm ALUM LAY IN GRID GRATE
	EXHAUST FAN

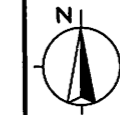
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3.4.5.1 EXIT SIGNS (2) (b):
APPLIES TO PROVISION OF EXIT SIGNS
THESE ARE REQUIRED TO CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN IS 3844-1 GRAPHICAL SYMBOLS-SAFETY SIGNS AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010 FOR SAFETY SIGNS USED IN WORKPLACES AND PUBLIC AREAS FOR E001 AND / OR E002 EMERGENCY EXIT.

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No.	Date	Revisions
0	08.25.2020	ISSUED FOR PERMIT

PROJECT NORTH
CHECKED & APPROVED BY:
B BHAVSAR



ARCHITECTS:

CONSULTANTS:

GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:

**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:

MAIN CEILING PLAN

DRAWN BY : B.B.

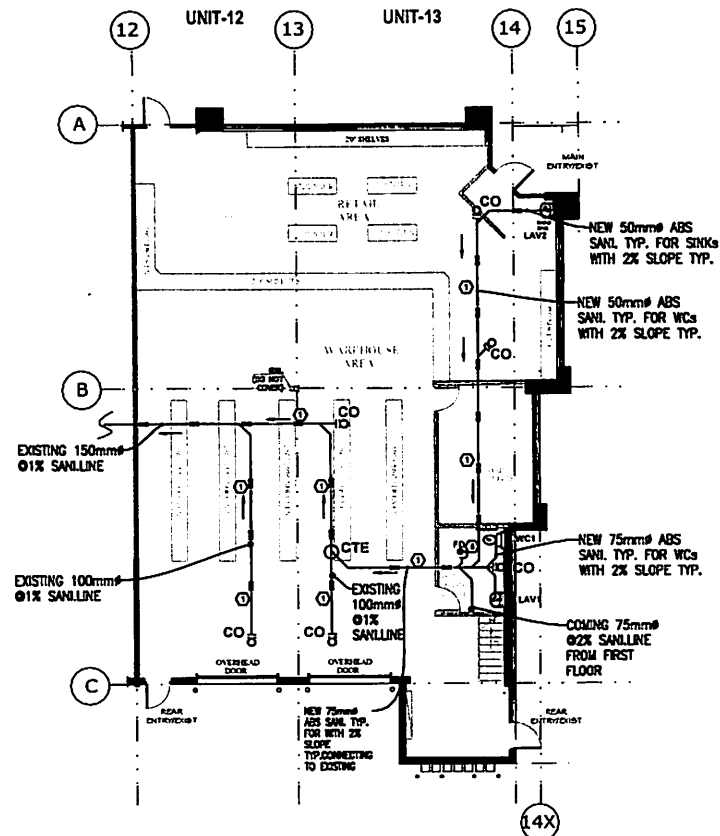
DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. :
19-1241

DRAWING NO. :
A-2

GDB CONSULTANCY INC.



PLUMBING (SANITARY) PLAN OF PROPOSED RETAIL AREA WAREHOUSE

SCALE: 1:100

PLUMBING LEGENDS:

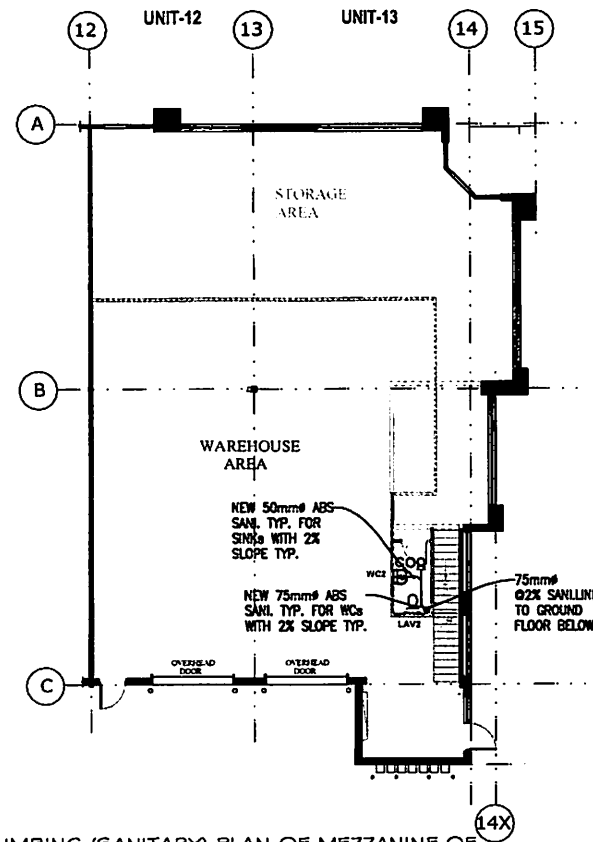
- ① SANITARY LINE RUNNING MIN. 12" BELOW FLOOR AT 1% & 2% SLOPE (TYP.) AS PER OBC
- ② HOT & COLD WATER SUPPLY TO PLUMBING FIXTURE (TYP.)
- ③ RUN WATER MAIN LINES IN CEILING SPACE (TYP.)
- ④ COLD WATER TO PLUMBING FIXTURES (TYP.)
- ⑤ 3" Ø FLOOR DRAIN C/W TRAP AND VENT.
- ⑥ RISE VENT LINE UP CO-ORDINATE EXACT VENT LOCATION ON SITE.

CONTRACTOR SHALL PROVIDE CLEAN OUT PLUGS TO THE FIXTURES AS PER OBC PART 7

CONTRACTOR SHALL REVIEW THE BASE BUILDING PLUMBING AND PIPING DRAWINGS FOR LOCATION SPECS OF EXISTING ITEMS AND SAN. MAIN RISER.

GENERAL CONTRACTOR TO VERIFY EXISTING SANITARY PIPE SIZE AND SLOPE DIRECTION PRIOR TO CONNECT TO MAIN SANITARY LINE. WORK TO COORDINATE WITH PROPERTY MANAGER

G.C. TO CONFIRM EXACT LOCATION OF ALL U/G SERVICES/UTILITIES IN COORDINATION WITH PROPERTY MANAGER PRIOR TO COMMENCE WORK. REFER TO LANDLORDS DESIGN CRITERIA DOCUMENT FOR FLOOR SLAB CUTTING AND DOCUMENTATION PROCEDURES. NO PLUMBING LINES SHALL BE RUN IN TO FIRE RATED DEMISING WALLS.



PLUMBING (SANITARY) PLAN OF MEZZANINE OF PROPOSED RETAIL AREA WAREHOUSE

SCALE: 1:100

REFER DRAWING M-4 FOR PLUMBING GENERAL NOTES & PLUMBING FIXTURES SPEC.

MINIMUM FIXTURE CONNECTION SCHEDULE

MARK	HW	CW	WASTE	VENT	REMARKS
WC	1/2"	1/2"	3"	1 1/2"	BARRIER FREE WASHROOM
LAV	1/2"	1/2"	1 1/2"	1 1/2"	BARRIER FREE WASHROOM, UNSEX NR. FRONT AREA
FD, CO, HD	-	-	3"	2"	FLOOR DRAINS, CLEAN OUTS, HUB DRAIN
CTE	-	-	-	-	CONNECT TO EXISTING

DRAIN NOTES: FLOOR DRAIN SHALL BE TRAP, VENT AND FLUSH WITH FLOOR LEVEL

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0 08.23.2020 ISSUED FOR PERMIT
No Date Revisions

PROJECT NORTH
CHECKED & APPROVED BY:
B BHAVSAR

ARCHITECTS:

CONSULTANTS:

GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:

**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:

**PLUMBING (SANITARY)
PLAN**

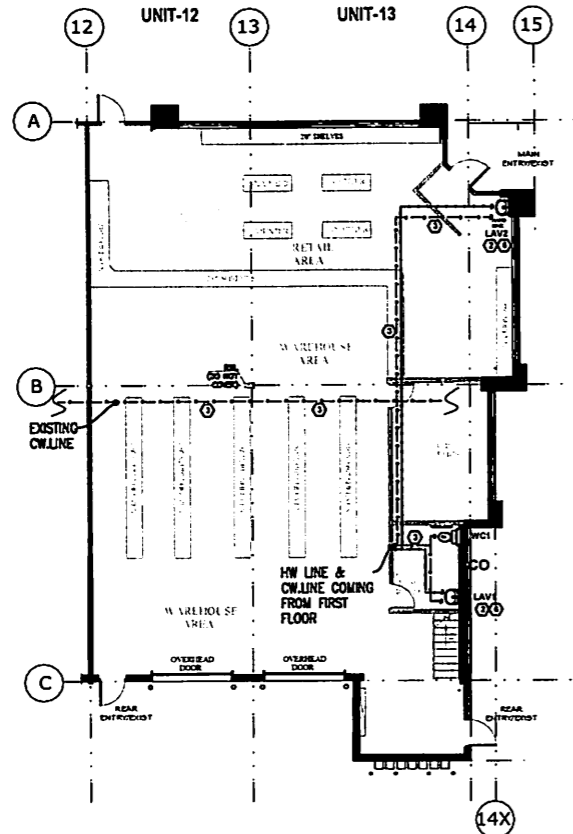
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : M-1

GDB CONSULTANCY INC.



PLUMBING (WATER) PLAN OF PROPOSED RETAIL AREA/ WAREHOUSE

SCALE: 1:100

PLUMBING LEGENDS:

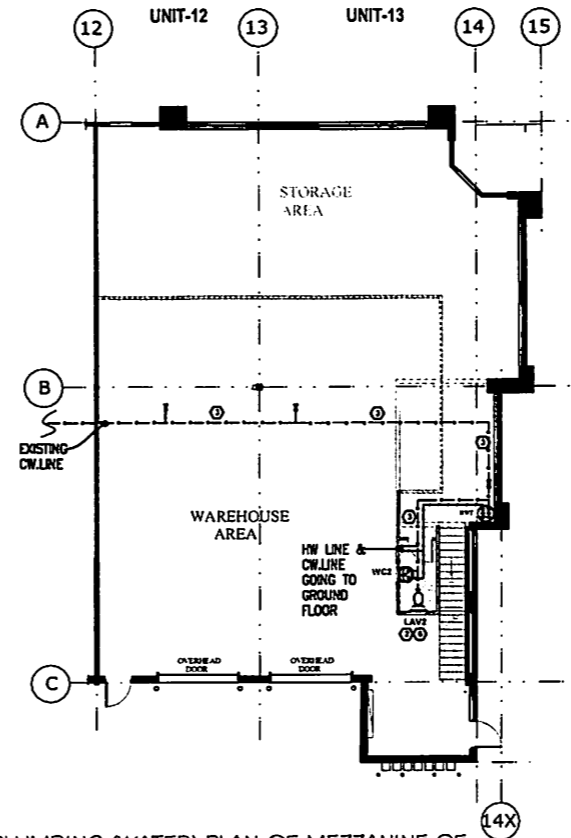
- 1 SANITARY LINE RUNNING MIN. 12" BELOW FLOOR AT 1% & 2% SLOPE (TYP.) AS PER OBC
- 2 HOT & COLD WATER SUPPLY TO PLUMBING FIXTURE (TYP.)
- 3 RUN WATER MAIN LINES IN CEILING SPACE (TYP.)
- 4 COLD WATER TO PLUMBING FIXTURES (TYP.)
- 5 3" Ø FLOOR DRAIN C/W TRAP AND VENT.
- 6 RISE VENT LINE UP, CO-ORDINATE EXACT VENT LOCATION ON SITE.

CONTRACTOR SHALL REVIEW THE BASE BUILDING PLUMBING AND PIPING DRAWINGS FOR LOCATION SPECS OF EXISTING ITEMS AND SAN. MAIN RISER.

CONTRACTOR SHALL PROVIDE CLEAN OUT PLUGS TO THE FIXTURES AS PER OBC PART 7

GENERAL CONTRACTOR TO VERIFY EXISTING SANITARY PIPE SIZE AND SLOPE DIRECTION PRIOR TO CONNECT TO MAIN SANITARY LINE. WORK TO COORDINATE WITH PROPERTY MANAGER

G.C. TO CONFIRM EXACT LOCATION OF ALL U/G SERVICES/UTILITIES IN COORDINATION WITH PROPERTY MANAGER PRIOR TO COMMENCE WORK. REFER TO LANDLORDS DESIGN CRITERIA DOCUMENT FOR FLOOR SLAB CUTTING AND DOCUMENTATION PROCEDURES. NO PLUMBING LINES SHALL BE RUN IN TO FIRE RATED DEMISING WALLS.



PLUMBING (WATER) PLAN OF MEZZANINE OF PROPOSED RETAIL AREA/WAREHOUSE

SCALE: 1:100

REFER DRAWING M-4 FOR PLUMBING GENERAL NOTES & PLUMBING FIXTURES SPEC.

CONNECT HOT AND COLD WATER PIPING SHALL BE MIN. 1/2" Ø TYPE 'L' BRASS COPPER TUBING WITH SWEATED FITTINGS UNLESS NOTED OTHERWISE

MINIMUM FIXTURE CONNECTION SCHEDULE

MARK	HW	CW	WASTE	VENT	REMARKS
WC	1/2"	1/2"	3"	1 1/2"	BARRIER FREE WASHROOM
LAV	1/2"	1/2"	1 1/2"	1 1/2"	BARRIER FREE WASHROOM, UNISEX W/R FRONT AREA
FD, CO, HD	-	-	3"	2"	FLOOR DRAINS, CLEAN OUTS, HUB DRAIN
CTE	-	-	-	-	CONNECT TO EXISTING

DRAIN NOTES: FLOOR DRAIN SHALL BE TRAP, VENT AND FLUSH WITH FLOOR LEVEL

HOT WATER DETAILS:
NEW HOT WATER RISE SHALL BE 1/2" Ø TYPE 'L' BRASS COPPER TUBING WITH SWEATED FITTINGS UNLESS NOTED OTHERWISE. NO PLUMBING LINES SHALL BE RUN IN TO FIRE RATED DEMISING WALLS.

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No	Date	Revisions
0	08.25.2020	ISSUED FOR PERMIT

PROJECT NORTH
CHECKED & APPROVED BY:
B BHAYASAR



ARCHITECTS:

CONSULTANTS:

GDB CONSULTANCY INC
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DRAWING TITLE:

PLUMBING (WATER) PLAN

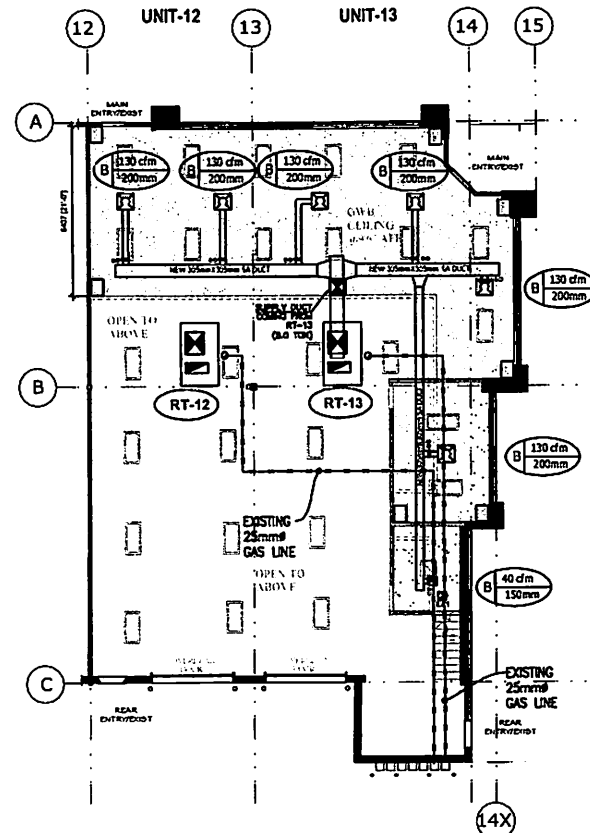
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : M-2

GDB CONSULTANCY INC.

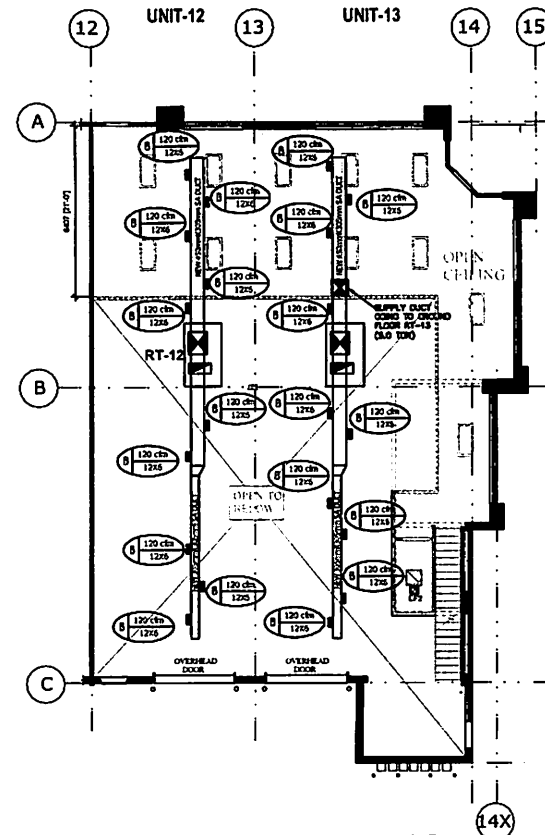


HVAC PLAN OF PROPOSED RETAIL AREA WAREHOUSE

SCALE: 1:100

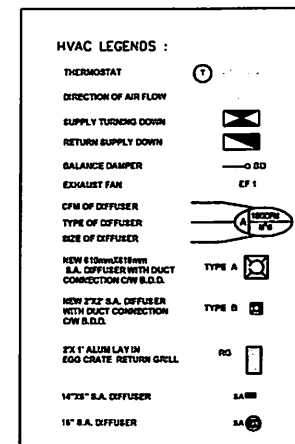
FRESH AIR SUPPLY: 1700 CFM
OCCUPANT LOADS: 12 PERSONS

HVAC & EXHAUST FAN UNIT SCHEDULE:										
UNIT NO.	AREA SERVED	MAKE MODEL & TONNAGE	EVAPORATOR FAN COIL SECTION					ELECT	WEIGHT (LBS)	REMARKS
			FAN CAPACITY / MOTOR	MAX HEATING (BTU)	MAX COOLING (TONS)	EX. SP (IN)	MOTOR TYPE	HP		
EXISTING RT-12	EXISTING - LEHNOX # TQAB24 1.5T	1200	0.5		100	04			5750/13	620
EXISTING RT-13	EXISTING - LEHNOX # TQAB24 1.5T	2000	0.5		100	04			5750/13	750
PROPOSED RT-12	UNISEX HVAC WR & UNISEX HVAC	150	0.30	1550	1/10				2080/13	12 LBS



HVAC PLAN OF PROPOSED MEZZANINE OF RETAIL AREA WAREHOUSE

SCALE: 1:100



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PROPOSED RETAIL/WAREHOUSE

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15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
MAIN HVAC PLAN

DRAWN BY: B.B.

DATE: AUGUST 25, 2020

PLOT SCALE: 1:100

PROJECT NO.: 19-1241
DRAWING NO.: M-3

GDB CONSULTANCY INC.

HEATING, VENTILATING, AND AIR CONDITIONING

GENERAL

1. ALL HEATING, VENTILATING, AND AIR CONDITIONING EQUIPMENT SHALL BE CSA LISTED, BEAR THE CSA SEAL, AND BE INSTALLED IN ACCORDANCE WITH CSA STANDARDS.

2. IN ADDITIONS TO THE PROVISIONS OF SENTENCE (1), ALL FANS SHALL BE LICENSED TO BEAR THE AMCA SEAL.

3. ALL DUCTWORK SHALL BE CONSTRUCTED, INSTALLED, & SUPPORTED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.

4. IN ADDITION TO THE PROVISIONS OF SENTENCE (3), ALL RIGID DUCTWORK SHALL BE FABRICATED FROM GALVANIZED STEEL SHEETS IN ACCORDANCE WITH NFPA-90A, ULC-S110, AND ASTM-A525; AND OF THE US SHEET GAUGES AS TABLED BELOW.

SHEET GAUGE	RECTANGULAR DUCT	ROUND DUCT
26	UP TO 12"	UP TO 13"
24	13" - 30"	14" - 22"
22	31" - 54"	23" - 36"
20	55" - 84"	37" - 50"
18	85" & ABOVE	51" - 60"

5. FLAT AREAS OF DUCT OVER 18" SHALL BE STIFFENED BY CROSS BREAKING THE CORNERS, AND ALL DUCTS SHALL BE SELF-SUPPORTING.

6. IN ADDITION TO THE PROVISIONS OF SENTENCE (3), ALL FLEXIBLE DUCTWORK SHALL BE SUBJECT TO NFPA-90A AND ULC-S110 STANDARDS FOR FLAME SPREAD AND SMOKE DEVELOPMENT, BE ULC LISTED, AND BEAR THE ULC SEAL. ALL CONNECTIONS SHALL USE JOINT TREATMENT TYPE AS DETAILED IN MANUFACTURER'S INSTALLATION. MAXIMUM LENGTH OF FLEXIBLE DUCTWORK SHALL BE 5'-8", USED ONLY IN HORIZONTAL RUNS, AND SHALL NOT PENETRATE FIRE SEPARATIONS.

7. DUCTWORK SHALL BE MADE SUBSTANTIALLY AIR TIGHT THROUGHOUT AND SHALL HAVE NO OPENINGS OTHER THAN THOSE REQUIRED FOR PROPER OPERATION AND MAINTENANCE. THE ALLOWABLE LEAKAGE FACTOR SHALL NOT EXCEED 2% THROUGH THE LONGEST DUCT RUN. ALL DUCT JOINTS SHALL BE SEALED WITH JOINT TAPE MEETING THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109.

8. ALL AIR HANDLING SYSTEMS SHALL BE TESTED AND BALANCED BY A QUALIFIED TESTING COMPANY TO WITHIN 5% OF THE DESIGN AIR VOLUMES. THREE (3) COPIES OF THE FINAL TESTING AND BALANCING REPORT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW BY THE ENGINEER.

9. ELBOWS SHALL BE CONSTRUCTED USING A RADIUS OF 1.5 TIMES OF DUCT DIAMETER/WIDTH. HOLLOW TURNING VANES IN VANE RAILS SHALL BE USED WHEN THIS IS NOT POSSIBLE.

10. BALANCING DAMPERS SHALL BE INSTALLED AT ALL TAKE-OFFS FROM BRANCH DUCTS, AND ALL BRANCH DUCT CONNECTIONS TO MAIN DUCTS. BALANCING DAMPERS SHALL BE MANUALLY OPERATED OPPOSED BLADE TYPE, SPLITTER TYPE, OR BUTTERFLY TYPE, COMPLETE WITH LOCKING QUADRANT OPERATOR.

11. FIRE DAMPERS SHALL BE INSTALLED IN THE PLANE OF PENETRATION OF FIRE SEPARATIONS AND IN ACCORDANCE WITH NFPA-90A AND ULC-S505, AND SHALL BEAR THE ULC SEAL. DAMPERS SHALL BE TYPE A OR B, 1.5 HOUR FIRE RATED AND COMPLETE WITH 160 DEG. F REPLACEABLE LINK. A TIGHTLY FITTED ACCESS DOOR SHALL BE INSTALLED FOR EACH FIRE DAMPER TO PROVIDE ACCESS FOR INSPECTION, AND RESETTNG OF DAMPER, AND REPLACING OF FUSIBLE LINK. FIRE DAMPERS SHALL BE SUPPORTED INDEPENDENTLY FROM DUCTWORK.

12. VIBRATION ISOLATION FLEXIBLE DUCT CONNECTORS SHALL BE USED WHERE DUCTWORK CONNECTS DIRECTLY TO AIR HANDLING EQUIPMENT. CONNECTORS SHALL BE NONCOMBUSTIBLE, OR OF COMBUSTIBLE FABRIC CONSTRUCTION PROVIDED THEY DO NOT EXCEED 10" IN LENGTH AND COMPLY WITH THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109. COLLARS SHALL BE GALVANIZED IRON AND FASTENED SECURELY TO ENSURE A LEAK PROOF CONNECTION.

13. ALL DUCTWORK SHALL BE INSTALLED TO ALLOW FREEDOM FROM VIBRATION DURING OPERATING CONDITIONS. DUCT HANGERS SHALL BE SUPPORTED FROM STRUCTURAL STEEL AND STRUCTURAL CONCRETE SLAB, BUT NOT FROM ROOF DECK. BENT GALVANIZED IRON HANGERS SHALL BE USED FOR DUCTS UP TO 36" IN WIDTH. FOR WIDER DUCTS, 1/2" DIAMETER RODS AND 1/2" STRUCTURAL ANGLE IRONS SHALL BE USED. DUCT HANGERS SHALL BE SPACED MAXIMUM 8'-0" APART. WHERE DUCTS PASS THROUGH WALLS AND FLOORS, THE SPACE AROUND THE DUCT SHALL BE PACKED AND SEALED WITH FIRE RESISTANT SEALING COMPOUND.

14. SPIRAL DUCTWORK SHALL BE SPIRAL HELIX AS MANUFACTURED BY WESBELL HIGH-TC MANUFACTURING INC.

PLUMBING GENERAL NOTES :

1. ALL PLUMBING WORK TO CONFORM TO OBC AND OWSA ACT NO : 815/84, CONSTRUCTION SAFETY ACT AND REGULATION OF THE CITY AND LOCAL AUTHORITIES.
2. CO-ORDINATE INSTALLATION WITH ELECTRICAL CONDUITS, DUCT & STRUCTURAL MEMBERS. OFFSET PIPES AS REQUIRED.
3. CONTRACTOR TO FIELD VERIFY WORK SITE CONDITIONS.
4. PROVIDE ACCESS DOOR FOR EACH WATER VALVE INSTALLED IN CONCEALED SPACE.
5. INSULATE NE DOMESTIC WATER PIPES.
6. CO-ORDINATE ROUTING OF SANITARY AND STORM PIPES WITH DUCT WORK, STRUCTURAL AND ELECTRICAL REVISED AND RELOCATE AS REQUIRED.
7. DO NOT INSTALL HW & CW PIPES IN EXPOSED EXTERIOR WALLS.
8. PROVIDE PIPE HANGERS WERE REQUIRED AT MINIMUM SPACING AS RECOMMENDED BY PIPE MANUFACTURE.
9. SANITARY DRAINAGE AND VENT PIPING ABOVE GRADE SHALL BE TIGHT "DWN" XFR PIPING AS PER OBC AND LOCAL CITY CODE.
10. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE "L" HARD COPPER TUBING WITH SOLDERED FITTINGS.
11. ALL MATERIAL TO COMPLY WITH CSA AND OBC. ALL VENTS AND PRIMERS AS PER OBC, CITY AND PROPERTY MANAGEMENT.
12. ANY MATERIALS ABOVE CEILING SHOULD BE AS PER OBC AND CITY STANDARDS.

PLUMBING FIXTURES NOTES :

PROVIDE CLEANOUTS AND TRAP PRIMING FOR SANITARY AS REQUIRED BY O.B.C. AND LOCAL AUTHORITY STANDARDS.

HUB OR FLOOR DRAIN TO BE PROVIDED FOR HWT OVERFLOW.

PROVIDE ALL REQUIRED FITTINGS, TRAPS, VALVES, FAUCETS

ALL EXISTING WASROOM FIXTURES TO BE REPLACED WITH NEW ONE(CSA STANDARD)

CONTRACTOR TO REPLACE EXISTING PLUMBING FIXTURE WITH NEW IN EXISTING WASHROOM

PLUMBING FIXTURES SPECIFICATIONS :

- FLOOR DRAIN : SMITH SERIES 2050 FLOOR DRAINS/ZURN EQUIVALENT
- WATER FILTER: 3M
- CLEANOUTS: ZURN

TOILET - FLOOR MOUNTED - VITREOUS CHINA - GRAVITY TANK TYPE - BARRIER-FREE DESIGN / RIGHT HEIGHT

AMERICAN STANDARD #087 616 "CACKET ELONGATED RIGHT HEIGHT" 16" X 14" (406MM X 355MM) HIGH PRESSURE-ASSIST LOW CONSUMPTION TWO PIECE TANK TOILET, FLOOR MOUNTED, VITREOUS CHINA WITH EVER-CLEAN™ ANTIMICROBIAL SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAUSING BACTERIA, MOLD AND MILDEW, ELONGATED FRONT SYMPHON JETTED FLUSH ACTION BOWL, 2-1/4" (50MM) FULLY GLAZED INTERNAL TRAPWAY, 10" X 12" (254MM X 305MM) LARGE WATER SURFACE, AND "SPEED CONNECT" P.A. TANK COMPLETE 6L (1.6 GAL.) PER FLUSH, WITH CAST SANITARY GUARD ON BOWL FOR CHINA TO CHINA ASSEMBLY, BOLT CAPS, CENTODOD ROOSTS TOILET SEAT, ELONGATED HEAVY DUTY BOLD PLASTIC OPEN FRONT LESS COVER, WITH REINFORCED STAINLESS STEEL CHECK HINGE, POSTS, WASHERS AND NUTS FOR ELONGATED BOWL (PRIVATE USE); MOCURE #HT18BLJNG TOILET SUPPLY, C.P., POLISHED BRASS, RIGID HORIZONTAL INTEGRAL COPPER SWEAT TUBE NIPPLE 1/2" (12MM) I.D. X 3" (76MM) LONG, ALL BRASS 1/4" TURN BALL VALVE ANGLE STOP WITH COORDINATION V.P. LOOSE KEY HANDLE, ESCUTCHEON AND FLEXIBLE COPPER RISER, PROVIDE FLOOR FLANGE, FLANGE BOLTS AND GASKET PROVIDE BOLTED TANK COVER AND /OR RIGHT HAND TRIP LEVER IF REQUIRED - TO MEET LOCAL CODES

BASIN - COUNTERTOP MOUNTED - VITREOUS CHINA - SINGLE HANDLE FAUCET - BARRIER-FREE DESIGN & GENERAL USE :

AMERICAN STANDARD #855 800 MURRO BASIN SEALED OVERFLOW, CENTRE HOLE 5" 21" 1/4" X 22" X 7 1/2" (540MM X 558MM X 191MM) DEEP, VITREOUS CHINA, INTEGRAL BACK SPLASH, SELF DRAINING DECK AREA, SLOPED FRONT LIP, FOR CONCEALED AIRM CARRIER AND PEDESTAL SUPPORT PLATE. AMERICAN STANDARD # 059 033 034 CHINA, PEDESTAL, TO COVER EXPOSED PIPING AS PER LOCAL CODES. AMERICAN STANDARD #2000A 18V 1800 033 CERAMIC FAUCET, C.P. SINGLE HOLE C.G., ALL METAL CONSTRUCTION SOLID CAST BRASS LEAD-FREE BODY, WASHER LESS CERAMIC CRIP -FREE DISC VALVE CARTRIDGE, MAXIMUM TEMPERATURE LIMIT STOP, WITH VANDAL RESISTANT, ANTI MICROBIAL 5.7 LPM (1.5 GPM) LAMINAR FLOW AIR RATING) FLOW OUTLET, SINGLE CONTROL METAL LEVER HANDLES AND FLEXIBLE HOSE SUPPLIES. LABELER 9 TANK-1000 MECHANICAL MIXING VALVE WITH THERMOSTATIC LIMIT STOP, WITH TEMPERATURE ADJUSTABLE DIAL AND WITH INTEGRAL BACK CHECKS. SET VALVE TEMPERATURE AT 115°F (48°C), SHUT OFF TEMPERATURE AT 130°F (54°C). 1/2" METER INSTALLED IN HAC SUPPLIES TO PROVIDE TENDERED WATER TO HOT SIDE OF FAUCET. MOCURE #H185 LO BASIN DRAIN, C.P., CAST BRASS 1" FC TOP, OFFSET OPEN GRID WITH 170A (1 5/8" X 1 1/4" (42MM X 30MM) TAILPIECE. MOCURE #H185 LINES-LR SUPPLIES, C.P., POLISHED BRASS, RIGID SHORT HORIZONTAL NIPPLES, 3/4" (19MM) I.D. X 2" (51MM) LONG L.P.B. HEAVY ALL BRASS ANGLE STOPS WITH COORDINATION V.P. LOOSE KEY HANDLES, ESCUTCHEONS AND LESS FLEXIBLE COPPER RISERS. MOCURE #R273C 1-1/2" TP TRAP, C.P., POLISHED, CAST BRASS ADJUSTABLE BODY, 1-1/4" (32MM) WITH CLEAN OUT PLUG, SEAMLESS BRASS WALL BEND AND ESCUTCHEON, JAY R. SMITH #0700 2-1/2" BASIN CARRIER WITH STAINLESS STEEL PIPE LEOR, BLOCK BASE FEET SUPPORT, CONCEALED ARMS AND ORDESTRAL PLATE IF OR NARROW WALL INSTALLATION PROVIDE "Z" TYPE SLEEVE FOR ARMS)

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DRAWING TITLE :

MECHANICAL NOTES

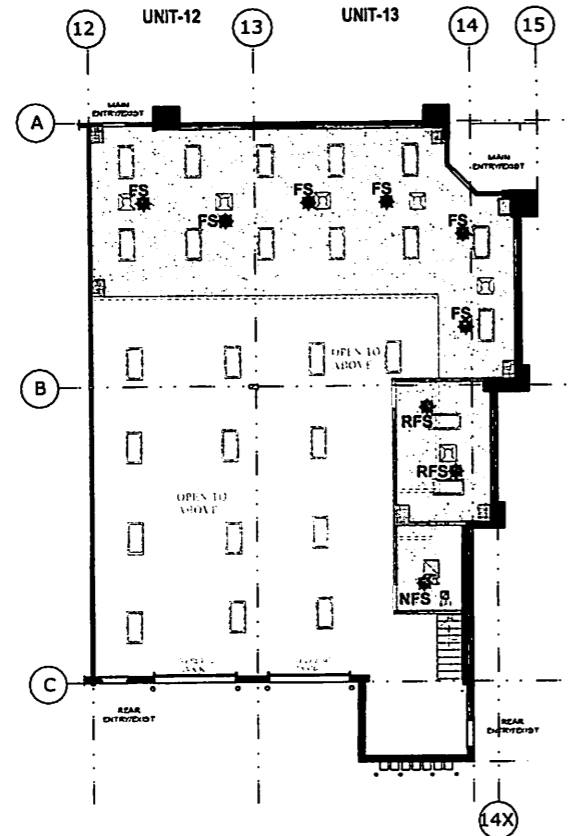
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PLOT SCALE : 1:100

PROJECT NO. : 19-1241
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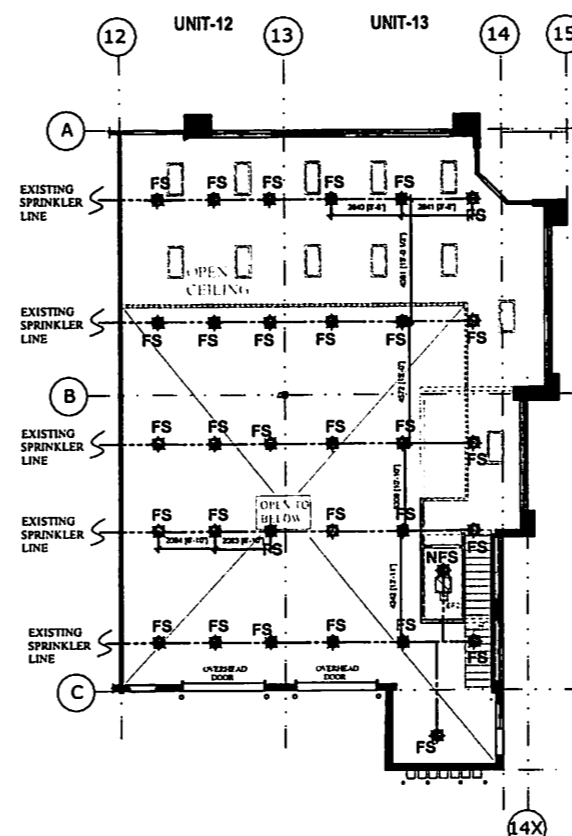
GDB CONSULTANCY INC.



SPRINKLER PLAN OF PROPOSED RETAIL AREA/ WAREHOUSE

SCALE: 1 : 100

- NFS * FIRE SPRINKLER HEAD (PROPOSED-LOWERED TO MATCH DROP CEILING HEIGHT)
- RFS * FIRE SPRINKLER HEAD (RELOCATED)
- FS * FIRE SPRINKLER HEAD (EXISTING) TO BE ADJUST AS PER CEILING HEIGHT



SPRINKLER PLAN OF PROPOSED MEZZANINE OF RETAIL AREA/WAREHOUSE

SCALE: 1 : 100

CONTRACTOR TO SUBMIT SPRINKLER SHOP DRAWINGS TO CONSULTANTS FOR APPROVAL IN ACCORDANCE WITH NFPA 13 AND OBC. ALL MATERIAL TESTING AND WORKMANSHIP CERTIFICATE TO SUBMIT TO AUTHORITY

NO FLEX PIPE ARE ALLOWED, ONLY RIGID PIPES TO BE USED. CONNECTION TO NEW SPRINKLERS TO EXISTING SPRINKLERS TO COMPLY WITH NFPA 13

THERMAL SENSITIVITY AND PRESSURE TO MATCH WITH EXISTING SPRINKLER SYSTEM, SPRINKLER HEADS TO MATCH WITH NEW CEILING HEIGHT AND IN ACCORDANCE WITH NFPA 13.

LOWER THE SPRINKLER TO CEILING AS DROP CEILING

ALL FIRE SAFETY SYSTEM TO BE LIVE DURING AND AFTER CONSTRUCTION. CONTRACTOR TO COORDINATE WITH PROPERTY MANAGER

FIRE EXTINGUISHER TO BE AS PER OBC, 3nos-10 A

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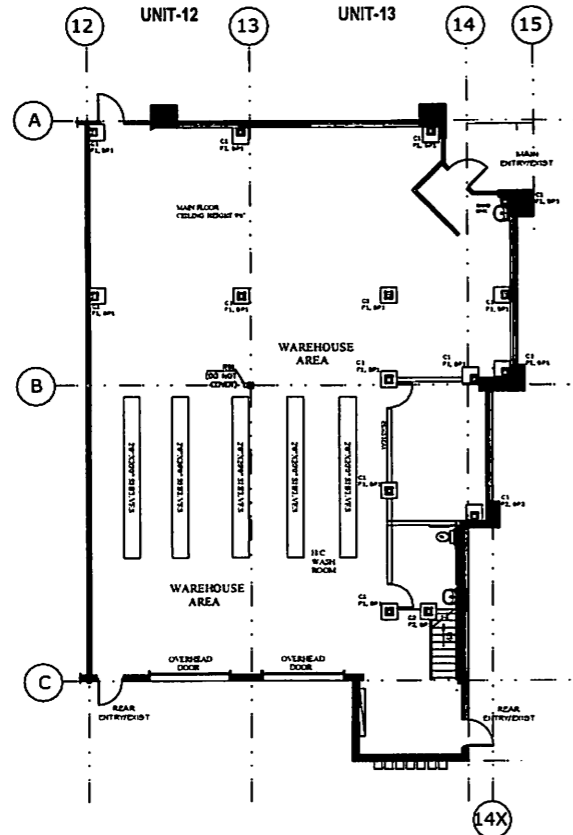
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PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : M-5

GDB CONSULTANCY INC.



FLOOR PLAN OF PROPOSED RETAIL AREA WAREHOUSE

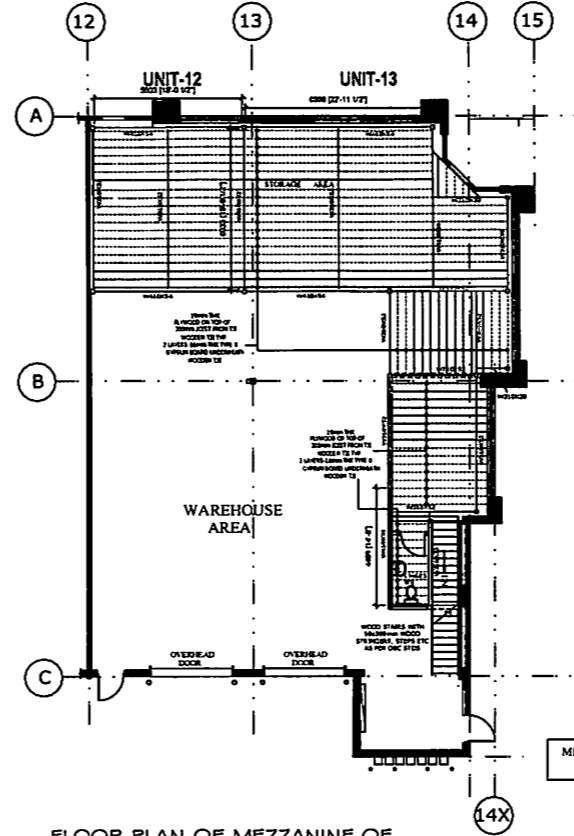
SCALE: 1:100

COLUMN SCHEDULE:

NO.	SECTION	BASE PLATE
C1	400	150x150x10 (SPL)
C2	400	150x150x10 (SPL)

FOOTING & PIER SCHEDULE:

NO.	TYPE	SIZE	DEPTH	NO. OF	CAP SIZE	VERT. DIST.
F1	CONCRETE	1200x1200x100	100	1	1200x1200	100
F2	CONCRETE	1200x1200x100	100	1	1200x1200	100



FLOOR PLAN OF MEZZANINE OF PROPOSED RETAIL AREA WAREHOUSE

SCALE: 1:100

MEZZANINE FLOOR AREA: 123.20 SQ. MT.
(1326.11 SQ. FT.)

ALL STEEL COLUMN TO BE FRAMED WITH 2X6-16MM TYPE X FIRE RATED DRYWALL AND FIRE TAPPED
NO NON COMBUSTIBLE CABLES OR ELECTRICAL BETWEEN TOP OF MEZZANINE FLOOR

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0	08.25.2020	ISSUED FOR PERMIT
No	Date	Revisions

PROJECT NORTH

CHECKED & APPROVED BY:
B BHAVSAR

ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:
PROPOSED RETAIL/WAREHOUSE

ADDRESS:
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
STRUCTURAL PLAN

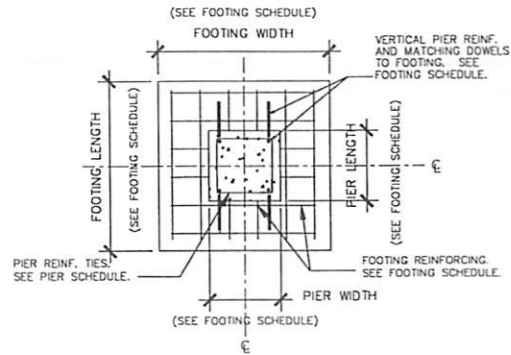
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : S-1

GDB CONSULTANCY INC.

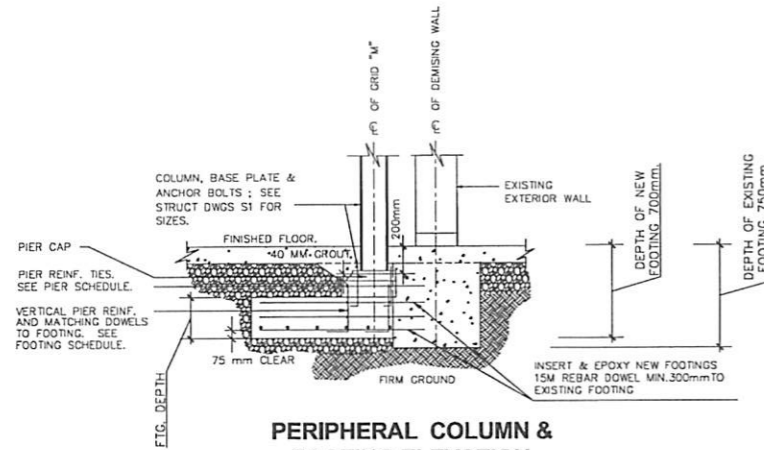
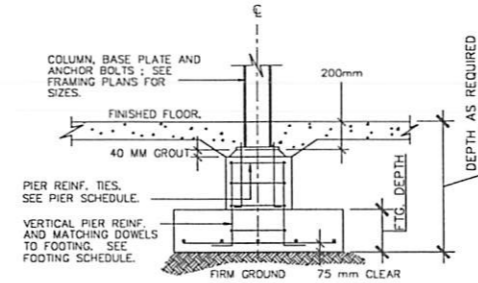


**INTERIOR COLUMN &
FOOTING PLAN**

SCALE : NTS

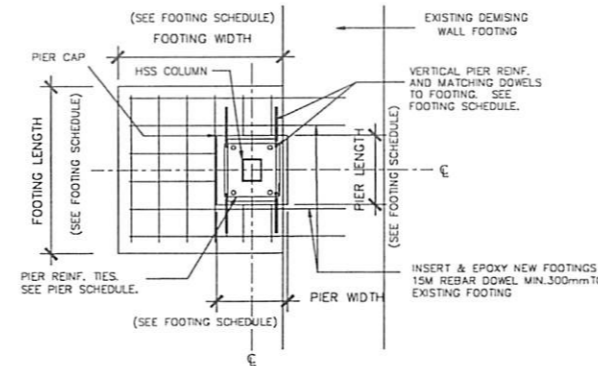
**INTERIOR COLUMN &
FOOTING ELEVATION**

SCALE : NTS



**PERIPHERAL COLUMN &
FOOTING ELEVATION**

SCALE : NTS



**PERIPHERAL COLUMN &
FOOTING PLAN**

SCALE : NTS

1. CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
2. ALL WORK SHALL BE CARRIED OUT AS PER SPECIFICATIONS AND THE LATEST EDITION OF THE NATIONAL OR PROVINCIAL BUILDING CODE IN CONJUNCTION OF THE LOCAL CITY'S BUILDING DEPARTMENT
3. APPROVED LATEST DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE ALLOWED FOR SCALE.
4. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE USE FOR ANY OTHER PURPOSE ARE NOT PERMITTED.
5. THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL THE OTHER DRAWINGS WHICH CONSTITUTE THE DOCUMENTS
6. ALL DRAWINGS, SPECIFICATIONS ARE THE PROPERTY OF THE GDB CONSULTANCY INC AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK.

No	Date	Revisions
0	08.25.2020	ISSUED FOR BUILDING PERMIT

DRAWING REVISIONS	
TRUE NORTH	CHECKED & APPROVED BY : B BHAVSAR
PROJECT MANAGER:	

CONSULTANTS :
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON L8B 1W8
Cell: (416) 388 9743

PROJECT :
**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS :
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE :
STRUCTURAL SECTIONS

DRAWN BY : S.A.

DATE : SEPT 03, 2020

PLOT SCALE : 1:100

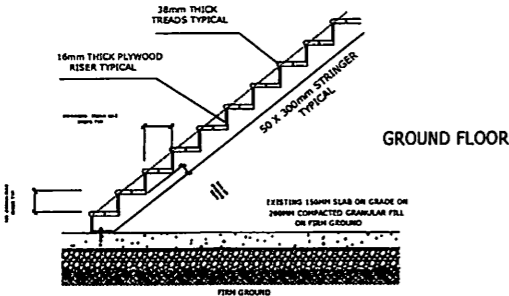
PROJECT NO. : DRAWING NO. :
S-2

GDB CONSULTANCY INC.

STRUCTURAL STEEL

- 1.1. All structural steel shall be to CSA Specification G40.21-M350W.
- 1.2. All structural steel shall be fabricated and erected to the requirements of CSA STANDARD.
- 2.0 Provide minimum bearing of 200 mm for all steel beams bearing on masonry, and 150 mm for all joists bearing on masonry, unless otherwise detailed or approved.
- 3.0 Provide minimum bearing of 100 mm for all steel beams bearing on structural steel.
- 4.0 No structural steel shall be cut or altered in the field without the written approval of the Structural Engineer. Any work undertaken without this approval may be rejected or required extra reinforcing at the sole discretion of the Engineer.
- 5.0 Provide 8 mm thick stiffeners to each side of beam webs where two beam connects and provide 12mm thick - 300mm long plate on top and bottom flange to match flange width.
- 6.0 All connections shall be made with 20 mm Ø A325 bolts. Shop connections may be welded
- 7.0 All structural steel shall receive one shop coat and field touch-up of approved primer paint.
- 8.0 Provide 2 prints plus one set of all shop drawings for review by the Architect and Engineer prior to commencing fabrication of structural steel. Any work carried out prior to receipt of the reviewed drawings by the contractor prior to receipt of the reviewed drawings by the contractor shall be done solely at shall be done solely at the contractors own risk.
- 9.0 Provide dimensions in SI units on all erection drawings and detail drawings unless otherwise agreed upon by the Architect and Engineer.
- 10.0 All structural steel welding shall be inspected by CWB approved Level II inspector and fabrication shall be performed in CSA and OBC standard fabrication shop
- 11.0 Refer Architectural drawings for stair, railing and landing

STAIR AND HAND RAIL AS PER OBC STANDARDS



TYPICAL SECTION OF WOODEN STAIRS

SCALE 1: 50

STAIR:

PICKETS SPACING SHALL NOT BE MORE THAN 100MM
RISER- 150MM, MIN. TREAD- 240 MM, NOSING-25MM
RAIL AT STAIR- 800MM MAX., RAIL AT LANDING- 915MM MAX
LANDING MIN. -950MM

STEEL REINFORCEMENT

1. All reinforcing to be deformed bars conforming to C.S.A. S16.1-94 Grade 400 unless otherwise noted on the plans. Stirrups and ties to be deformed bars to C.S.A. S16.1-94 grade 300.
2. All reinforcing shall be accurately placed and supported by continuous metal or otherwise approved chairs. If required, additional bars or stirrups shall be provided by the contractor, at no cost, to secure main bars against displacement.
3. Reinforcing in footings, slabs on grade and other concrete members exposed to weather shall be supported in the designated position by solid pre-cast concrete chairs.
4. Minimum concrete cover for reinforcing:
a. Footings and other elements poured against earth 75 mm
b. Concrete poured in forms, but exposed to weather or earth:
Bars Larger than 15M 40 mm
Bars 15M and smaller 50 mm
c. Concrete not exposed to earth or weather:
Slabs and walls 25 mm
Beams & Girders 40 mm
Columns main steel 50 mm
5. Splices at points of maximum tensile stress shall be avoided wherever possible. Such splices where used, shall be approved by the Engineer. Minimum lap shall be 36 bar Ø.
6. Continuous and temperature reinforcing bars shall be lapped 24 bar Ø's or 450 mm minimum at splice or at corners. Terminate continuous bars at non-continuous ends with standard hook.
7. Minimum clear distance between parallel bars shall be greater than the largest of the following:
a. 1.5 times bar diameter;
b. 1.33 times maximum size of aggregate;
c. 25 mm minimum.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 5) LVL BEAMS SHALL BE 2.0E WS MICRO-LAM LVL (Fb=2800psi,MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184,240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.
- 6) PROVIDE BEAM HANGERS / JOIST HANGERS OF "SIMPSON STRONG" HANGERS OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE
- 7) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mL POLYETHYLENE FILM, No.50 (45lbs.) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.
- 8) TERMITE & DECAY PROTECTION
IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450mm (17 3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.
STRUCTURAL WOOD ELEMENTS, SUPPORTED BY WOOD ELEMENTS IN CONTACT WITH THE GROUND OR OVER EXPOSED BARE SOIL SHALL BE PRESSURE TREATED WITH CHEMICAL THAT IS TOXIC TO TERMITES
- SB- SOLID WOOD BEARING
SB2 - 2 MEMBER BUILT-UP STUD
SB3 - 3 MEMBER BUILT-UP STUD
SB4 - 4 MEMBER BUILT-UP STUD
SB4A- SOLID BEARING FROM ABOVE
CARRY POST AND BLOCKING
THROUGH FLOOR ASSEMBLY

SOLID BEARING POSTS TO BE MADE UP OF THE SAME SIZE OF STUD IN WALL IT IS LOCATED. (OR MIN 2"x4" FOR ROOF POSTS. EACH PLY TO BE TIED TOGETHER AS PER 9.17.4.2.(2) AND 9.23.10.7. DIV. B. O.B.C.

ALL STEEL COLUMN TO BE FRAMED WITH 2ND.-16MM TYPE X FIRE RATED DRYWALL AND FIRE TAPPED
NO NON COMBUSTIBLE CABLES OR ELECTRICAL BETWEEN TOP OF MEZZANINE FLOOR AND UNDERSIDE OF FIRE RATED DRYWALL CEILING

EXPOSED STRUCTURAL STEEL SHOULD BE 1 HR. FIRE RATED SPRAY ON IT
BEAM BEARING AT LEAST 150MM TO BE REQUIRED
DEAD LOAD - 1.5 kPa & LIVE LOAD - 4.8 kPa.

STAIR CASE AND CONNECTION DETAIL SHOP DRAWINGS STAMPED AND SEALED BY A LICENSE ENGINEER NEEDS TO SUBMIT FOR APPROVAL PRIOR TO ERECTION

1. CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
2. ALL WORK SHALL BE CARRIED OUT AS PER SPECIFICATIONS AND THE LATEST EDITION OF ONTARIO BUILDING CODE.
3. APPROVED LATEST DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE ALLOWED FOR SCALE.
4. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE USE FOR ANY OTHER PURPOSE ARE NOT PERMITTED.
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0	08.23.2020	ISSUED FOR PERMIT
No	Date	Revisions

PROJECT NORTH
CHECKED & APPROVED BY :
B BHAVSAR

ARCHITECTS :

CONSULTANTS :

GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT :

PROPOSED
RETAIL/WAREHOUSE

ADDRESS :

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE :

STRUCTURAL NOTES

DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : S-3

GDB CONSULTANCY INC.



Notice of Decision

Committee of Adjustment

FILE NUMBER A08-094

HEARING DATE JUNE 10, 2008

APPLICATION MADE BY 494518 ONTARIO LTD.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION TO ALLOW THE FOLLOWING VARIANCES FOR A NEW INDUSTRIAL BUILDING DEVELOPMENT:

1. To allow a front yard setback of 5.37m;
2. To allow a rear yard setback of 12.0m;
3. To allow an interior side yard setback of 7.0m;
4. To allow an exterior side yard setback of 5.69m;
5. To allow a hydro transformer having a front yard setback of 5.37m;
6. To allow a minimum 5.96m wide landscape strip in the exterior side yard (abutting Williams Parkway);
7. To allow a minimum 4.5m wide landscape strip in the front yard;
8. To allow a minimum 0.15m wide landscape strip in the interior side yard;

(7, 11 AND 15 SUN PAC BOULEVARD – PART BLOCK 2, PLAN 43M-561, PART 1, PLAN 43R-13563)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

MOVED BY: K. BOKOR

SECONDED BY: J. MASSEY-SINGH

SIGNATURE OF CHAIR OF MEETING: _____

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION

MEMBER

MEMBER

MEMBER

MEMBER

MEMBER

Flower City



brampton.ca

THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO. A08-094

DATED JUNE 10, 2008

Conditions:

1. That the lands are designed to the satisfaction of the Commissioner of Planning, Design and Development, which shall include appropriate façade treatments and landscaping and in particular a minimum 50 percent of the building façades facing Williams Parkway to consist of glazing.

A handwritten signature in black ink, appearing to read 'Eileen Collie'. The signature is fluid and cursive, with a large, sweeping initial 'E'.

Eileen Collie
Secretary-Treasurer
Committee of Adjustment



BRAMPTON
Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A14-038

HEARING DATE MARCH 4, 2014

APPLICATION MADE BY 494518 ONTARIO LTD.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCES:

1. To expand the permitted uses to include the following uses:
 - a. An Office;
 - b. A Commercial, Technical or Recreational School;
 - c. A Personal Service Shop;
 - d. A Take-Out Restaurant;
 - e. The manufacturing, cleaning, packaging, processing, repairing, or assembly of goods, foods, or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop and a motor vehicle body shop as a principal or accessory use; and
 - f. A Printing Establishment;
2. To provide 79 parking spaces.

(7, 11 & 15 SUN PAC BOULEVARD – PART BLOCK 2, PLAN 43M-561)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

MOVED BY: P.S. CHAHAL

SECONDED BY: F. TURNER

SIGNATURE OF CHAIR OF MEETING: _____

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION

MEMBER

MEMBER

MEMBER

MEMBER

MEMBER

DATED THIS 4TH DAY OF MARCH, 2014

Flower City



brampton.ca


THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A14-038**

DATED: **MARCH 4, 2014**

Conditions:

1. That the office use shall be permitted with the exception of medical, dental and drugless practitioner offices, which shall not be permitted;
2. That the requested uses shall be allowed only to the degree that all of the collective uses on the site yield a parking requirement of no more than 79 parking spaces at any given time;
3. That the property shall be maintained as an industrial mall, having at least five (5) separate industrial users at any given time;
4. That a body rub parlour or a massage parlour shall not be permitted.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



BRAMPTON Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A-2020-0080

HEARING DATE OCTOBER 20, 2020

APPLICATION MADE BY BHARJ INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit the construction of a 112 square metre mezzanine in Units 6 and 7 while providing 81 parking spaces.

(7 SUN PAC BOULEVARD (UNITS 6 & 7) – PEEL CONDOMINIUM PLAN 1046, LEVEL 1, UNITS 6 & 7)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON OCTOBER 20, 2020

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 20TH DAY OF OCTOBER, 2020

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE NOVEMBER 9, 2020

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

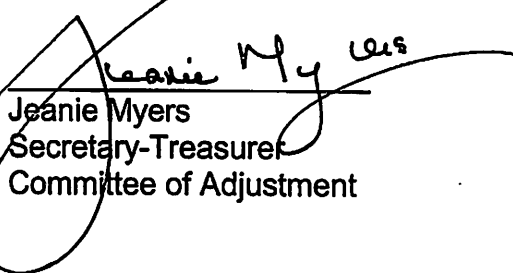
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

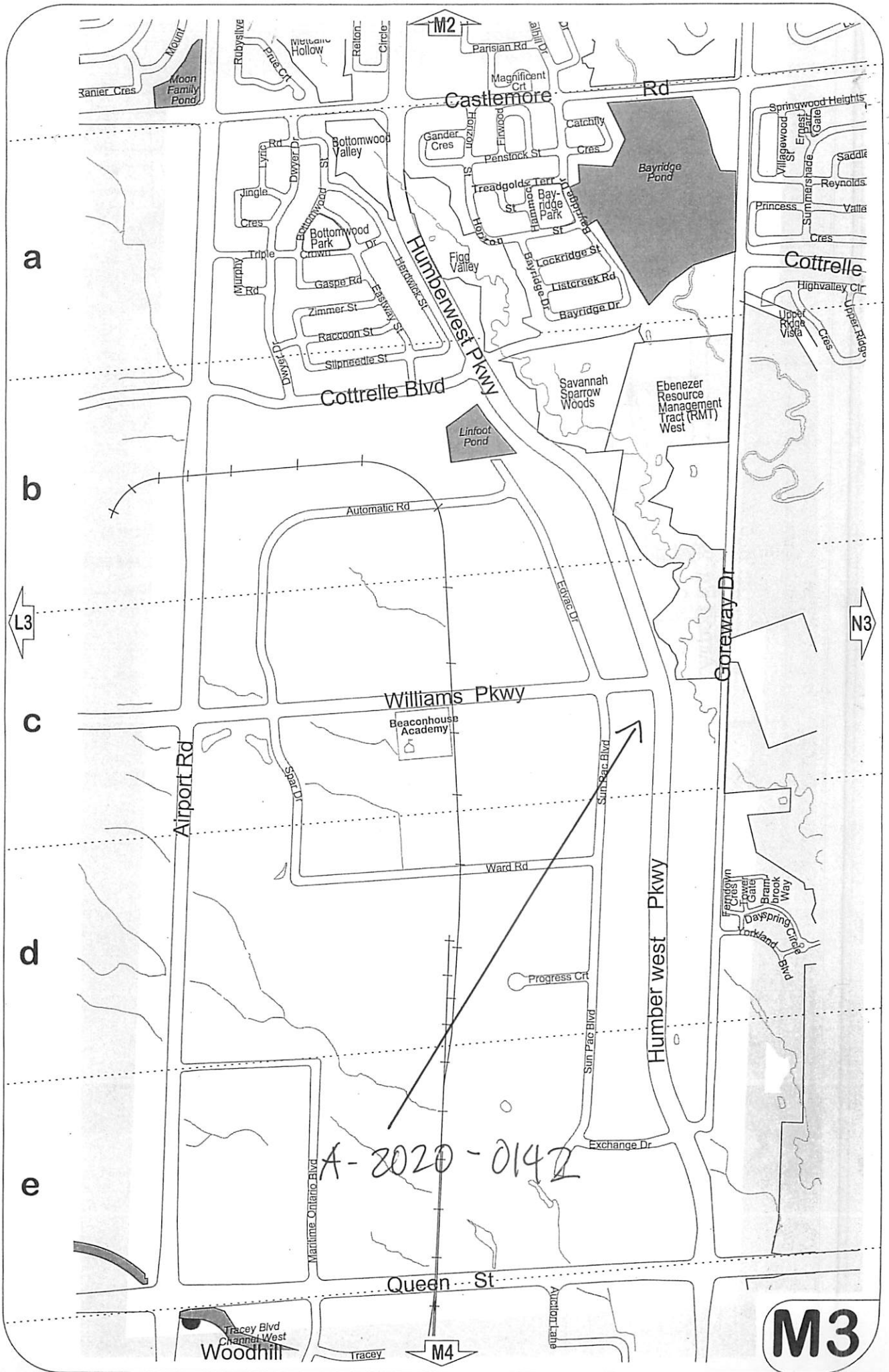
APPLICATION NO: A-2020-0080

DATED: OCTOBER 20, 2020

Conditions:

1. That the extent of the variance be limited to that shown on the sketch attached to the Public Notice;
2. That the requirement for parking for any combination of uses permitted in the "M4-1548" zone, or permitted by way of Minor Variance be calculated at the applicable parking rate in accordance with the Zoning By-law and shall not exceed 98 parking spaces;
3. The additional floor area on the mezzanine shall be used strictly for the purpose of storage of materials; and
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



a

b

c

d

e

M2

N3

M4

M3

A-2020-0142