



Committee of Adjustment

APPLICATION FOR MINOR VARIANCE

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

CITY OF BRAMPTON



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A-2020-0138

November 19, 2020

BY EMAIL & DELIVERED

City of Brampton
Committee of Adjustment
2 Wellington Street W.,
Brampton, Ontario
L6Y 4R2

Attn: Ms. Jeanie Myers, Secretary Treasurer, Committee of Adjustment

**RE: 100 Ace Drive – ‘Minor Variance Application’
Industrial Development Project – CSPAC Industrial Ace Dr. GP, Inc.
(c/o Panattoni Development Company)
In support of Site Plan Approval Application – City File # SPA-2020-0078
Block 4, Registered Plan 43M-1907 - Concession 3, Part Lot 16
City of Brampton, Region of Peel
Our File: 1888**

We are a registered professional planning consultant company and agent writing on behalf of CSPAC Industrial Ace Dr. GP, Inc. (c/o Panattoni Development Company), with instructions to file this ‘Minor Variance’ application regarding their 100 Ave Drive industrial project, located in the ‘410 Employment Centre’. The intended industrial development of the subject land, at this newly acquired municipal address, includes warehousing and/or distribution uses, with accessory office uses.

A Site Plan Approval Application was filed for the above captioned property on May 29, 2020 and we are advised by the City’s Zoning and Planning Staff that a Minor Variance to the City’s Zoning By-law No. 270-2004, as amended is required to support and facilitate approval of the proposed Site Plan, as per the following Zoning Review comment:

“Outside Storage is proposed within the interior side yard whereas the By-law limits outside storage to the rear yard. Please revise or obtain approval of a minor variance”.



THE REQUESTED MINOR VARIANCE SATISFIES THE FOUR (4) TESTS OF THE PLANNING ACT

The intended industrial use of the subject land supports the locational land use planning policies and attributes, including the development and intensification of 'Employment Areas', as mandated by the Provincial Policy Statement, 2020 and the Growth Plan, 2020.

To support the approval of the minor variance sought, it is necessary to adequately demonstrate that the following four (4) tests of the *Planning Act* are satisfied:

Test One: The general intent and purpose of the Official Plan is maintained.

In my opinion, this Minor Variance application maintains the general intent and purpose of the City's Official Plan in terms of the following policy requirements and/or development principles per the 'Countryside Villages Secondary Plan'.

- 'Prestige Industrial' policy 5.2.2 reads, 'manufacturing', warehousing and distribution uses are permitted', provided such uses "...operate within wholly enclosed buildings and are associated with an office use." Also, the "Outdoor storage of goods and materials is not permitted as a primary use...and no transport terminals shall be permitted in this Secondary Plan."
- Section 5.2.2.3 of the 'Countryside Villages Secondary Plan' further reads under development principles, such as 5.2.2.3 v) "Outdoor storage of goods or materials shall not be permitted as a primary use or visible from a public road;"
- Section 5.2.2.3 x) reads, "The visual impact of automobile and truck parking, service and delivery areas shall be minimized through appropriate siting, orientation and design of buildings consistent with the landscape and screening measure contained within the approved urban design guidelines for these lands;"

Of note, the Official Plan and the 'Countryside Villages Secondary Plan', refers to 'outdoor storage' as a non-primary use, and further this use appears referenced as 'outside storage' in terms of the implementing Zoning By-law.



The City of Brampton Official Plan policy reads, *“Outdoor storage will not be located adjacent to, or be visible from city boundaries, the public realm or sensitive land uses by incorporating the appropriate setbacks, screening, landscaping and buffering.”*

Therefore, in order to satisfy the intent of Official Plan policy, it is necessary to provide *‘appropriate setbacks, screening, landscaping and buffering’* to the public realm.

Currently *‘outdoor storage’*, or more specifically *‘outside storage’* is permitted in the Rear Yard of the subject land facing onto to Highway 410.

This Minor Variance seeks permission to relocate the permitted Rear Yard *‘outside storage’* to the Interior Side Yard on the subject land, as further supported by the design of appropriate setbacks, screening, landscaping and buffering per MSLA Landscape Architects.

In my professional planning opinion, the intent of Official Plan policy is satisfied.

Test Two: The general intent and purpose of the Zoning By-law is maintained.

The subject land is zoned ‘M1-2256’, ‘Industrial One – M1’ per Section 31.1 of the City’s Zoning By-law No. 270-2004, as amended, permitting a range of industrial uses such as manufacturing and warehousing, and accessory office.

Zoning Exception No. 2256.2 reads, *“Outside storage shall only be permitted in the rear yard and shall be screened from view of the street.”*

This zoning permission implements the Secondary Plan policy as *“Outdoor storage of goods and materials is not permitted as a primary use”*, where this use is permitted as an accessory use.

The land area to be used for truck trailer parking, deemed *‘outside storage’*, is a better location for this use, as it more efficiently complements the industrial operational functions of the building and site, as the land area for the proposed *‘outside storage’* is not required for parking, loading, driveway or landscaped open space purposes. This information is illustrated on **Figure 1A - ‘Overall Site Plan’**.

In my professional planning opinion, the general intent and purpose of the Zoning By-law is maintained.



Test Three: The variance is minor in relative scale.

Zoning Exception No. 2256.2 reads, “*Outside storage shall only be permitted in the rear yard and shall be screened from view of the street.*” This zoning permission implements the Secondary Plan policy as “*Outdoor storage of goods and materials is not permitted as a primary use*”, where this use is permitted as an accessory use.

As a proportion of the subject land, the ‘*outside storage*’ area represents 5.4% of the subject land area.

In my professional planning opinion, the requested variance is minor in scale, relative to the subject land area.

Test Four: The variance is desirable for the appropriate development or use of the property.

This zoning use permission implements the Secondary Plan policy as “*Outside storage of goods and materials is not permitted as a primary use*”, whereas in terms of the subject land, ‘*outside storage*’ is permitted as an accessory use.

Further, the Zoning By-law provision reads, “*Outside storage shall only be permitted in the rear yard and shall be screened from view of the street.*”

In terms of the better design and functional use of the subject land, it is preferable that no ‘*outside storage*’ be located in the Rear Yard, described as the subject land located between the proposed industrial building and open space abutting Highway 410, but rather located in the Interior Side Yard of the subject land, where the ability to provide appropriate setbacks, screening, landscaping and buffering from the public realm is better achieved.

MSLA Landscape Architects has designed landscape screening program within the landscaped strips or areas at the Front and Rear Yards, and the Interior Side Yard lot or boundary lines of the subject land, to satisfy City of Brampton design requirements, adding aesthetic value to this Employment Area.



MINOR VARIANCE APPLICATION REQUIREMENTS

In accordance with this requirement we are pleased to file the required documentation to facilitate a Minor Variance application to the City's Zoning By-law.

Please find attached the following documentation:

1. One duly completed original copy of the Minor Variance Application Form (single sided) and the application fee amount of \$2,510.00, payable to the City of Brampton;
2. A completed 'Appointment and Authorization Letter' permitting Pound & Stewart Associates Limited to act as Agent for the purpose of this 'Minor Variance' application;
3. A completed 'Permission to Enter' form as required;
4. Confirmation of zoning requirements letter through circulation of SPA-2020-0078 by the Zoning Division of the City of Brampton;
5. Twelve (12) prints of a Site Plan dimensioned 8 ½" by 14", and marked in accordance with the Committee of Adjustment's requirements;
6. A 'Planning Justification Report' in support of the Minor Variance sought to support and facilitate Site Plan Approval for SPA-2020-0078.

As a Registered Professional Planner, I am of the opinion that the Minor Variance sought is desirable for the appropriate planned function and development of the subject land, and further that the proposed Minor Variance;

- is consistent with the Provincial Policy Statement, 2020;
- is in conformity with the Growth Plan for the Greater Golden Horseshoe, 2020;
- is in conformity with the Region of Peel Official Plan;
- complies with the general intent and purpose of the City of Brampton Official Plan and the achievement and proper implementation of the City's Official Plan goals and objectives;
- complies with the general intent and purpose of Zoning By-law M1-2256', 'Industrial One – M1' per Section 31.1 per the City's Zoning By-law No. 270-2004, as amended.

In conclusion, the planned function of the subject land for warehousing and/or distribution uses, with accessory office uses, represents orderly and desirable Employment Area development, and subject to the approval of this Minor Variance Application, will comply with public planning policy and regulatory objectives in my opinion.



It is recommended that the Minor Variance sought be approved, subject to any appropriate conditions applied by the Committee of Adjustment.

Thank-you in advance for your co-operation and we look forward to the processing of this Committee of Adjustment Minor Variance application at your earliest convenience.

Yours truly,

Pound & Stewart Associates Limited



Philip Stewart MCIP, RPP

/la 1888ltr.Zoning.Nov.19.20

Attachments: As noted herein

cc. Mr. T. Payne, Zoning Examiner, City of Brampton
cc. Mr. M. Michniak, MCIP, RPP, Planner, City of Brampton
cc. Mr. R. Smele, Panattoni Development Company



Flower City



brampton.ca

FILE NUMBER: A-2020-0138

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) CSPAC Industrial Ace Dr. GP. Inc.
Address Panattoni Development Company c/o Mr. Ryan Smele, Development Manager
185 The West Mall, Suite 860
Toronto, Ontario M9C 5L5
Phone # 416-915-1986 Fax # _____
Email rsmele@panattoni.com

2. Name of Agent Philip Stewart, MCIP, RPP
Address 305 Renfrew Drive, Suite 101, Markham, Ontario L3R 9S7
Phone # 905-305-9797 Ext. 27 Fax # _____
Email pstewart@cityplan.com

3. Nature and extent of relief applied for (variances requested):
The subject property is zoned 'M1-2256', 'Industrial One - M1' per Section 31.1 of the City of Brampton Consolidated Zoning By-law No. 270-2004, as amended. Zoning exception No. 2256.2 reads: "Outside storage shall only be permitted in the rear yard and shall be screened from view of the street." Truck Trailer parking is deemed 'Outside Storage' under the Zoning By-law. We are seeking relief from the Zoning By-law No. 270-2004, as amended, where the zoning permits 'outside storage' in the rear yard, however does not permit 'outside storage' in an interior side yard. The variance sought better supports overall business functionality, providing for separation and safety of on-site vehicular and truck trailer movements, while visually buffering on-site outside storage between a proposed building, and future buildings, avoiding outside storage uses being located in the rear yard, as currently permitted

4. Why is it not possible to comply with the provisions of the by-law?
The subject land is large in land area and rectangular in shape. The efficient and practical design of this property is provided for in the proposed Site Plan layout. Business functionality and site operations requires that the 'Truck Area', deemed 'outside storage', be located along the north side of the building, opposite the building's Loading Bays/Doors. While consolidated Zoning By-law No. 270-2004, as amended, permits 'outside storage' in the rear yard of the subject land, this location is not practical, and the rear yard faces toward Highway 410.

5. Legal Description of the subject land:
Lot Number Concession 3, Part of Lot 16
Plan Number/Concession Number Block 4, Registered Plan 43M-1907
Municipal Address 100 Ace Drive

6. Dimension of subject land (in metric units)
Frontage 271.68 m
Depth 400 m
Area 8.94 ha

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
Presently the subject land is vacant. A Site Plan Approval application has been filed with the City of Brampton under File No. SPA-2020-0078 to support the construction of an industrial building, and related site works

PROPOSED BUILDINGS/STRUCTURES on the subject land:

One Industrial Building.
Gross Floor Area of 45,103 m2.
Building width of 337.21 m.
Building Length (Maximum) of 280.70 m.
Single storey Building Height of 14.31 m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback Vacant Lands
Rear yard setback _____
Side yard setback _____
Side yard setback _____

PROPOSED

Front yard setback 9.0 m (Generally, North-East facing)
Rear yard setback 10.56 m (Generally South-West facing)
Side yard setback (Exterior) 57.8 m (Generally North-West facing)
Side yard setback (Interior) 32.73 m (Generally South-East)

10. Date of Acquisition of subject land: January 31, 2020
11. Existing uses of subject property: Vacant Land
12. Proposed uses of subject property: Industrial
13. Existing uses of abutting properties: Industrial, Open Space
14. Date of construction of all buildings & structures on subject land: Vacant Land
15. Length of time the existing uses of the subject property have been continued: Vacant Land
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Philip Stewart, MCIP, RPP
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Toronto _____

THIS 19 DAY OF _____ November _____, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Philip Stewart, OF THE _____ City _____ OF _____ Toronto _____

IN THE _____ Province _____ OF _____ Ontario _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE BY A Commissioner, etc., Province of Ontario, for the Corporation of the City of Brampton. Expires April 8, 2021.

DECLARED BEFORE ME AT THE

_____ City _____ OF _____ Toronto _____

IN THE _____ Province _____ OF _____

_____ Ontario _____ THIS 23rd DAY OF _____

_____ November _____, 2020.

Seamus Myers
A Commissioner, etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

M1 - 2256

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S

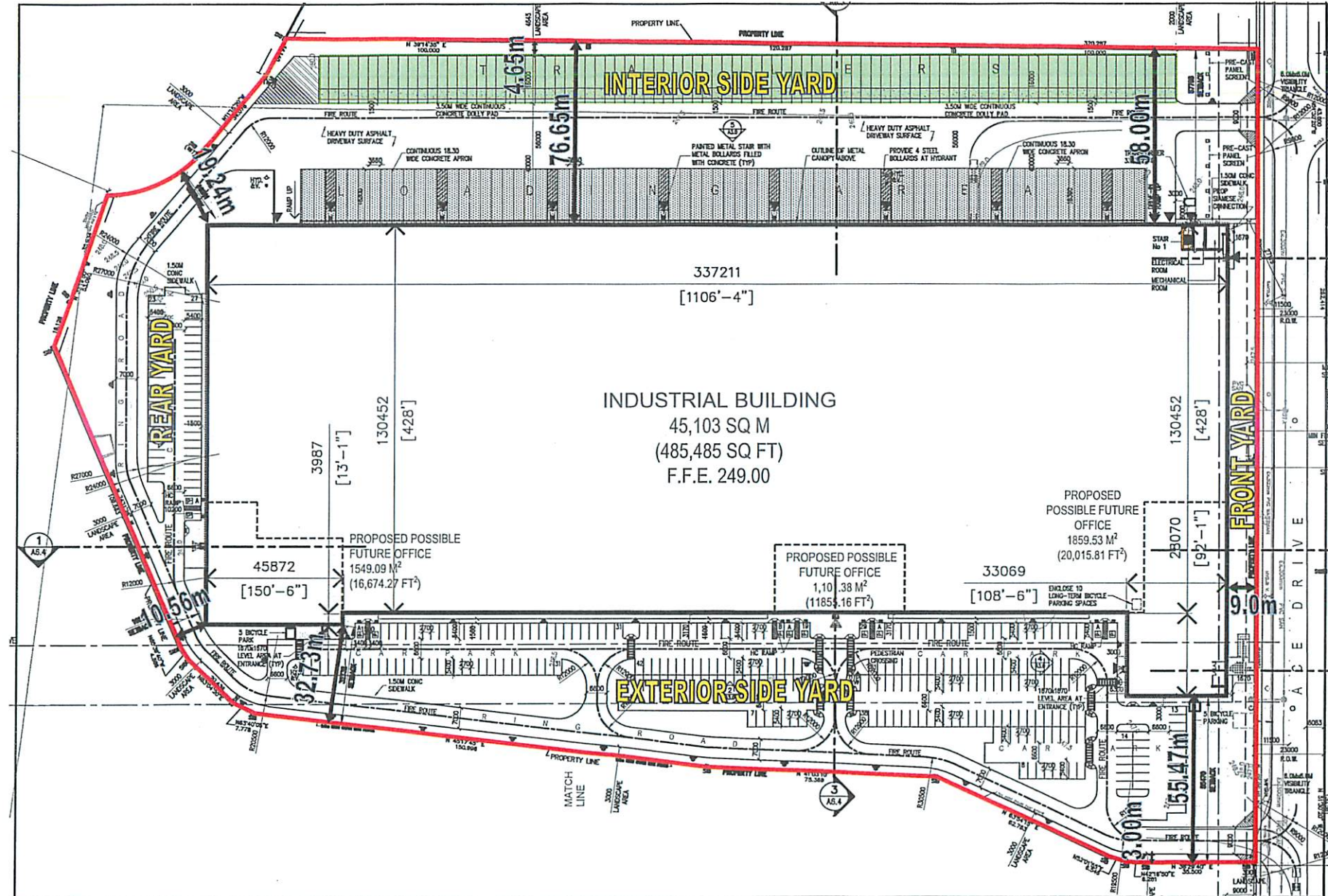
Zoning Officer

NOV. 24. 2020



Date

DATE RECEIVED November 23, 2020

ZONING CONTEXT



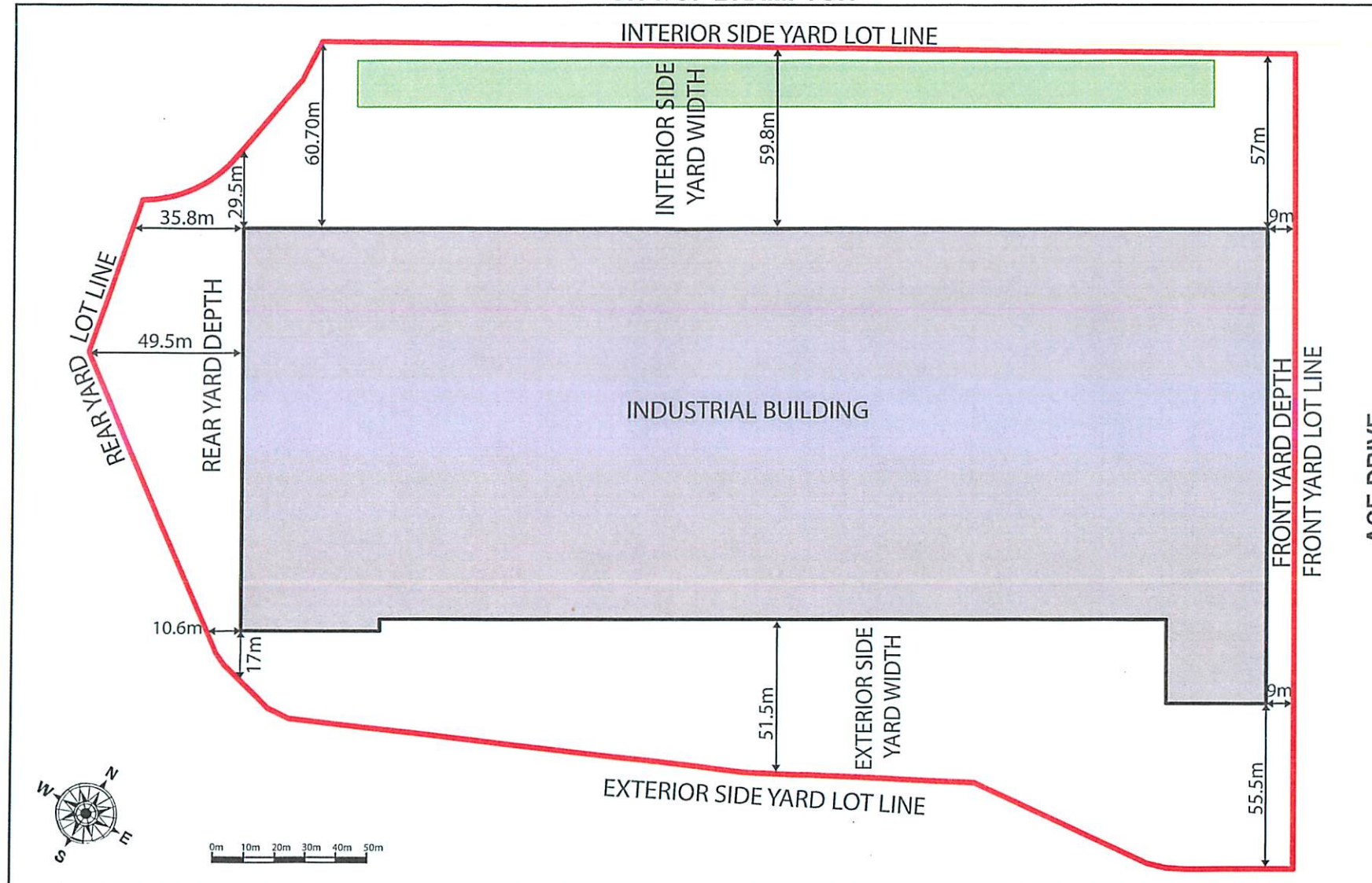
LEGEND

-  100 Ace Drive ('Subject Land')
-  'Trailer Area' 4,518 m² (48,632.94 ft²)

City of Brampton Comprehensive Zoning By-law 270 - 2004, as amended
Lands Designated M1-2256, Special Section 2256.2 (3) b) Minimum Yards:

- i. Front Yard Depth: 3.0 metres
- ii. Interior Side Yard Width: 2.0 metres
- iii. Exterior Side Yard Width: 3.0 metres
- iv. Rear Yard Depth: 3.0 metres

FIGURE 11 - ZONING FOR YARDS - 100 ACE DRIVE
 'M1-2256' 'INDUSTRIAL ONE-M1' (94-2012)
 ZONING BY-LAW NO. 270-2004, AS AMENDED
 CITY OF BRAMPTON



NOTE: SEE APPENDIX 3 OF PLANNING JUSTIFICATION REPORT



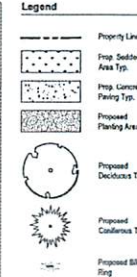
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1888_Figure11_SitePlan_PropBound_FloorPlan_Nov.13.20


**100 ACE DRIVE
CITY OF BRAMPTON**

KEY	Q217	SCIENTIFIC NAME	COMMON NAME	VITAL	SPREAD	ROOT	OFFSHOOT	STATUS	REMARKS
DECOLORED SPIRIDS									
DEK	102	<i>Corvus sinuatus</i>	Red-bellied Sapsucker	10	cc	C	H	Yes	Fall Tree
DEK	84	<i>Parus carolinensis</i> 'Mol'	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
POP	114	<i>Phrynosoma macleodii</i>	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
DEK	84	<i>Salix humilis</i> 'Tall Bush'	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
DEK	138	<i>Salix humilis</i> 'Tall Bush'	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
DEK	138	<i>Salix humilis</i> 'Tall Bush'	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
DEK	138	<i>Salix humilis</i> 'Tall Bush'	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
GREENISH SPIRIDS									
DEK	200	<i>Campanula medium</i> 'not Fossil'	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree (SPR. Stone)
POP	24	<i>Peromyscus leucopus</i>	Red-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree
PELAGICAL									
DEK	138	<i>Corvus sinuatus</i> 'Mol'	White-bellied Woodpecker	10	cc	C	H	Yes	White Pelagic
POP	178	<i>Salix x glauca</i> 'Tall Bush'	White-bellied Woodpecker	10	cc	C	H	Yes	Fall Tree



02 Issued for Submission	04/07/20
01 Issued for Review	03/12/20
No. Revision	Date
North	Stamp:
	
Project:	
Proposed Industrial Building 2 Ave Drive, Brampton, Ontario	
Scale:	1:100 Date: March 2021
Drawn By:	S.P. Checked By: L.M.
Drawing Title:	
Landscape Plan	
Project No.	Sheet No.
20120	L1-01

 100 Ace Drive ('Subject Land')

 'Trailer Area' 4,518 m² (48,632.94 ft²)



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FIGURE 13 - LANDSCAPE ENLARGEMENTS 'B', 'C' & 'D' IN SUPPORT OF OUTSIDE STORAGE
100 ACE DRIVE
CITY OF BRAMPTON

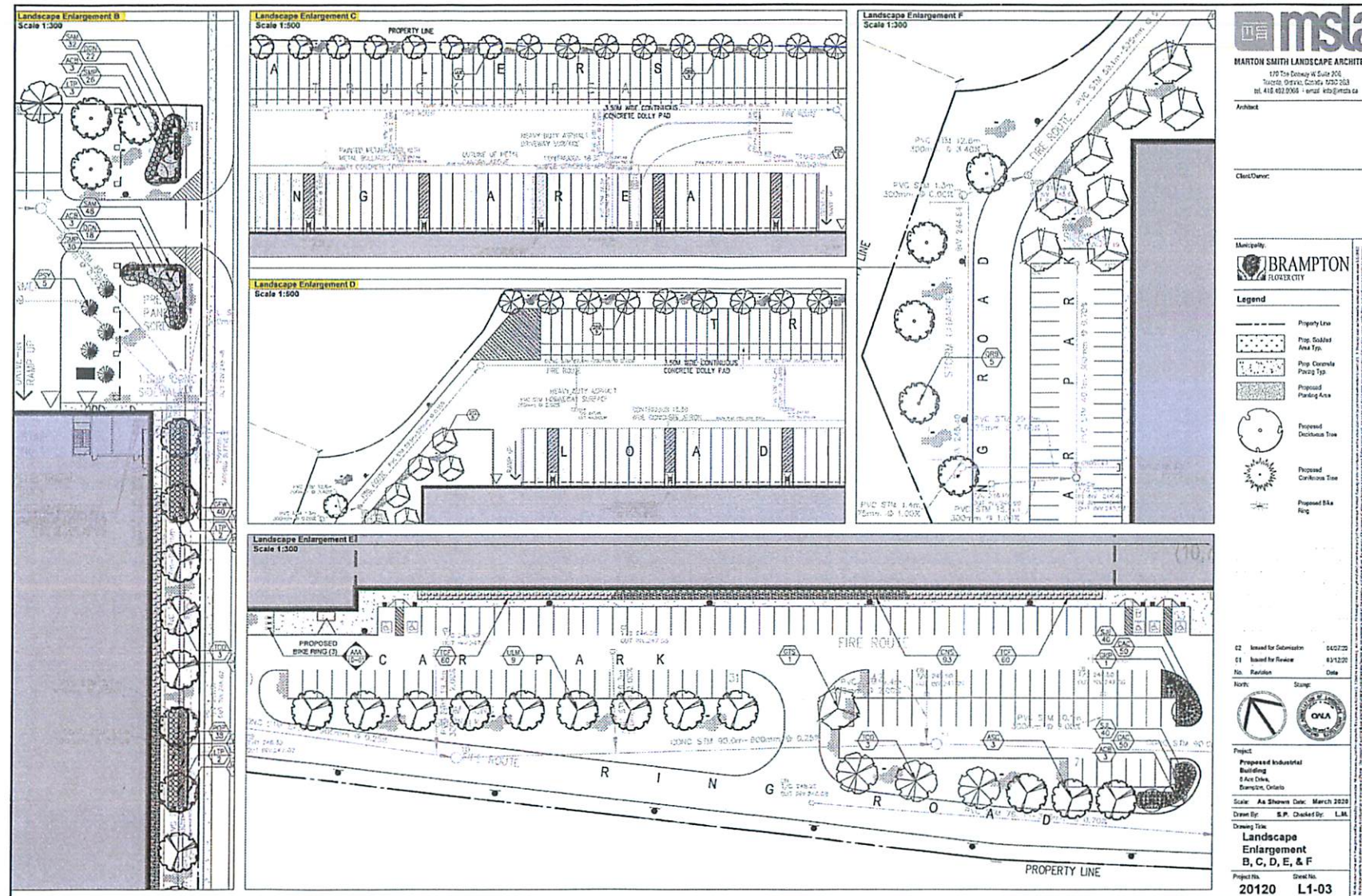


IMAGE 1 - COMMUNITY CONTEXT
LOCATION OF 100 ACE DRIVE
CITY OF BRAMPTON



LEGEND



100 Ace Drive ('Subject Land')



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IMAGE 2
CLOSE-UP - COMMUNITY CONTEXT
100 ACE DRIVE
CITY OF BRAMPTON



LEGEND

 100 Ace Drive ('Subject Lands')



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1888_Image2_CloseAerial_Nov.13.20

IMAGE 3 - ARCHITECTURAL RENDERING OF BUILDING FRONT ELEVATION
100 ACE DRIVE
CITY OF BRAMPTON



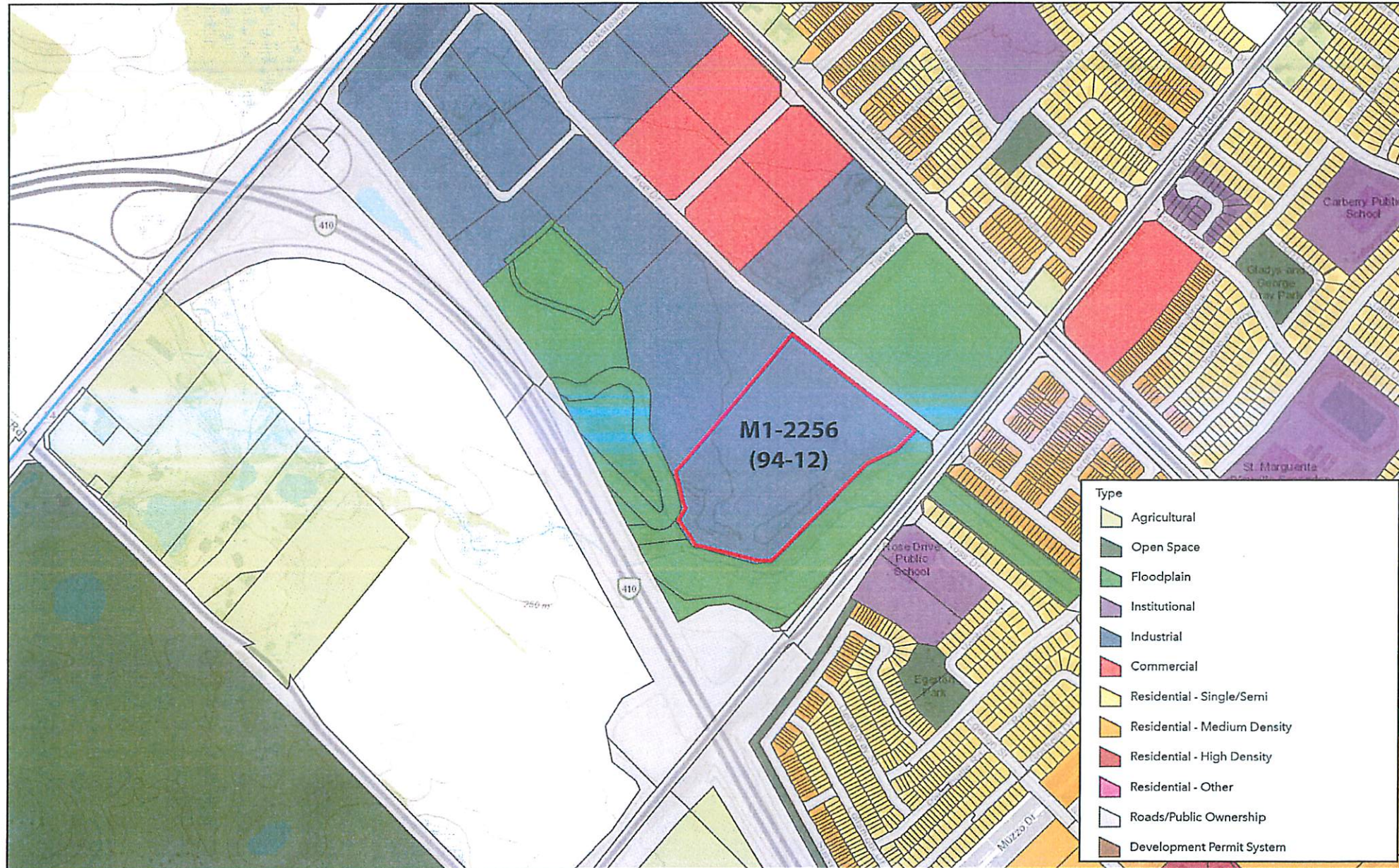
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 JRI
ARCHITECTS

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1888_Image3_Elevation_Nov.13.20

FIGURE 2
CITY OF BRAMPTON COMPREHENSIVE ZONING BY-LAW 270 - 2004, AS AMENDED



LEGEND

 100 Ace Drive ("Subject Land")

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1888_Figure2_Zoning_Nov.13.20



BRAMPTON

Public Notice Planning, Building and Economic Development

August 27, 2020

Philip Stewart
Pound & Stewart Associates Limited
305 Renfrew Drive Suite 101
Markham ON L3R 9S7

Dear Mr. Stewart

RE:

NOTICE OF COMPLETE APPLICATION

Site Plan Application
(Industrial building and site development.)
Pound & Stewart Associates Limited - CSPAC Industrial Ace Dr. GP Inc.
City File: SPA-2020-0078
Ward: 9
Assigned Planner: Mark Michniak

This is to acknowledge receipt of your application on June 19, 2020, which was deemed complete on July 17, 2020.

A complete application does not constitute support of the application nor is it that the material contained in the supporting documentation acceptable. It is an indication that all required material requested and necessary for a complete review has been submitted.

Please note that it may be determined through the processing of this application that additional documentation is required. Staff will notify you if and when supplementary information is required.

This project will be managed by Cynthia Owusu-Gyimah, Acting Manager at 905-874-2064 and the day-to-day processing will be carried out by Mark Michniak, Planner III, Development, at 905-874-3882. If you have any questions or concerns during the processing of this application, please do not hesitate to contact Cynthia Owusu-Gyimah or Mark Michniak.



Public Notice
Planning, Building and Economic
Development

Yours truly,

A handwritten signature in blue ink that reads "Allan Parsons".

Allan Parsons, MCIP, RPP
Director, Development Services
Planning, Building and Economic Development Services Department
905-874-2052
Allan.Parsons@brampton.ca

- c. Peter Fay, City of Brampton
Janet Lee, City of Brampton
Development Finance (admin.development@brampton.ca)

Consolidated Comment Report

Date: July 15, 2020

File: SPA-2020-0078

Applicant/Owner: Pound & Stewart Planning Consultants / Cspac Industrial Ace Dr Gp Inc

Location: 0 ACE DR, BRAMPTON, ON

Proposal: To develop one large rectangular-shaped industrial building, totaling about 45,103 m² (485,500 sq. ft.) in gross floor area, inclusive of 10% accessory office space. There will be an allocation of 40,592.7 m² of warehouse, with the remainder 4,510 m² for office, to be located in three separate areas of the building. The height of the building from grade, will be 14.31 m. Building coverage is proposed at about 50.5% of the property area.

This report contains comments from the technical groups who have reviewed the proposal. Additional comments may be forthcoming pending the review of any revised drawings/reports/etc. The applicant/owner must address all of the comments by creating a "Comment Response Table" identifying how all comments have been addressed. In order to resubmit, please upload all revised drawings/reports/etc., and as a final step, upload the "Comment Response Table". If you have any questions or concerns, please contact the planner assigned to your file: Mark Michniak, 905-874-3882 or mark.michniak@brampton.ca.

Accessibility Review

Sylvia Ingham - sylvia.ingham@brampton.ca

Not Cleared**Conditions****Final Comments**

Based on 307 total parking spaces the number of accessible parking spaces appears to be correct. The parking statistics should be updated to reflect the number of accessible parking spaces shown on the site plan.

Dimension accessible parking spaces and access aisles, accessible parking spaces are to be configured as Type A and Type B.

Provide details for accessible parking signs (Type A and B) and for pavement markings.

Show the location of accessible parking signs.

Provide safe pedestrians connections to the building from parking lots, pedestrians should not travel through parking spaces to access the building. The access aisle of accessible parking must not be used as a public walkway to the building.

Tactile warning surface indicators are required where pedestrians are crossing a road. Consider providing a pedestrian connection into the site from Ace Dr. The connection should be located near bus stops.

Please refer to the below Accessible Parking Manual for specifications:
<https://www.brampton.ca/EN/City-Hall/Accessibility/Documents/COB%20Accessible%20Parking%20Manual.pdf>

Building Review**Not Cleared**Gop Kalaeswaran - gop.kalaeswaran@brampton.ca*Conditions**Final Comments*

Upon review of the circulated site plan documents on July/07/2020, and in order to ensure the site plan will be co-ordinated with the fire protection requirements of the Building Code, the following items are noted:

Please provide the following information:

- Clarify whether the building is used by multi tenants. If so, Indicate the demising wall
- Building Code classification
- Location of principal entrance, Fire hydrant and the distance to the fire access route
- The distance to fire hydrant from Siamese connection
- Location of fire access route showing centre line turning radius in all locations.

Provide three copies of final site-servicing plan and grading plans to the Building Division (Attention: Gop. Kalaeswaran). Services related to fire protection would be verified and forwarded to the Region of Peel.

Indicate on site plan the locations of barrier free accesses to the building including ramps, curb ramps, entrances, exterior walks and corresponding dimensions are needed. Please note that a level area of at least 1670 x1670mm is required at the entrance doorway.

Provide a copy of the most recent Survey certified by an Ontario Land Surveyor.

Provide a copy of a recent water flow test (three years maximum) and verification that an adequate water supply is available for fire fighting purposes and sprinkler protection, if required, based on the OBC classification and use of the building.

Capital Works Review**Cleared**Ahmed Naji - ahmed.naji@brampton.ca*Conditions*

Ensure to provide ROW of 23.0 m (11.5 m from the Center line)

Ensure the use of reinforced concrete for the Sidewalk portion of the Entrances as per STD 237

Provide flush level to the sidewalk at entrances; curb radius is shown continuous now at sidewalk location

Provide the detail of curb radii as per STD 237 for industrial entrances

Final Comments

Ensure to provide ROW of 23.0 m (11.5 m from the Center line)

Ensure the use of reinforced concrete for the Sidewalk portion of the Entrances as per STD 237

Provide flush level to the sidewalk at entrances; curb radius is shown continuous now at sidewalk location

Provide the detail of curb radii as per STD 237 for industrial entrances

Development Engineering Review**Not Cleared**

Steve Schumacher - steve.schumacher@brampton.ca

*Conditions**Final Comments*

Development Engineering Services Section has received the grading and servicing plans, and SWM Report, Redlined comments will be provided directly to the consulting engineer.

Development Review**Not Cleared**

Mark Michniak - mark.michniak@brampton.ca

*Conditions**Final Comments*

Further review comments are expected from Economic Development and the Ministry of Transportation.

The proposed layout of office uses does not appear consistent with the uses permitted in the zone. See Zoning Review for further detail. The applicant to amend the site plan to be consistent with the zoning by-law.

The office area within the Site Statistics table on the site plan is not consistent with the statistics shown on the plan. Ensure that statistics on the plan and within the table match.

Provide safe pedestrian connections between the parking lot and building access points. Note that there is not pedestrian connection between the parking lots at the side and rear of the building.

Resubmission of the application is required to address the comments contained within this report. All resubmissions are to be accompanied by a detailed cover letter that responds to all comments identified within this report. Responses such as 'Noted' or 'Done' do not constitute sufficient detail. Please provide this written response to each of the individuals that have provided comments on this application.

Prior to resubmission of the application, please provide a copy of the Cover Letter to the Assigned Development Planner via email for review.

Prior to resubmission of the application, contact the Assigned Development Planner to schedule a Submission Appointment.

All drawings and correspondence submitted to the City shall be identified with the assigned City Site Plan File Number as referenced herein.

The municipal address and the assigned City File number, as noted above, shall be clearly identified in the title block of all drawings, on the cover of all reports and referenced in all correspondence associated with this application. Details of the physical address that is proposed to be affixed to the applicable building is to be depicted on the architectural elevation drawings.

Heritage Review**Cleared**Anamaria Martins - anamaria.martins@brampton.ca*Conditions*

The Owner acknowledges and agrees that should any archaeological resources be discovered they may constitute a new archaeological site, and therefore be subject to Section 48 (1) of the Ontario Heritage Act. Upon the discovery of the archaeological resource(s) any alteration of the Lands must immediately be ceased, a licensed archaeologist shall be engaged to carry out the archaeological field work in compliance with Section 48 (1) of the Ontario Heritage Act, and the Policy Division (Heritage Section) of the City's Planning and Development Services Department shall be notified. The Owner acknowledges and agrees that the Funeral, Burial and Cremation Services Act, 2002 requires any persons discovering human remains to notify the police or coroner and the Registrar of Cemeteries at the Ministry of Government and Consumer Services. No further work will be permitted on the Lands until such permission, in the form of a written notice from the City is provided to the Owner. The Owner agrees that it releases and forever discharges the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law, from any and all claims, demands, actions, cause of actions and other proceedings and any liability for damages, costs and expenses for or relating to any loss which the Owner may suffer arising out of, incidental to, or in connection with (a) an archaeological assessment(s) and/or field work that is inaccurate, incomplete, misleading or fraudulent; or (b) the issuance of any written notice from the Policy Division (Heritage Section) of the City's Planning and Development Services Department permitting the Owner to continue to work on the Lands; or (c) the period of time during which the Owner is not allowed to work on the Lands. The Owner further agrees to indemnify and forever save harmless the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law from and against any claim, suit, demand, causes of action, and proceedings by whomsoever made or brought, in respect of any costs, expenses, loss, damage or injury including death as well as legal fees arising out of, incidental to or in connection with items (a), (b), or (c) listed immediately above.

Final Comments

There are no issues to comment on at this time. Heritage staff confirms that the Archaeological Assessments required for the subject lands have been satisfied. Any changes to the site plan may require further review.

Legal Review**Cleared**Ana Sousa - ana.sousa@brampton.ca*Conditions*

Title search emailed to Planner June 30 2020

*Final Comments***Noise Review****Not Cleared**Daniel Tang - daniel.tang@brampton.ca*Conditions*

Noise Assessment require prior to Site Plan approval.

Final Comments

Noise Assessment require prior to Site Plan approval.

Open Space Development Review**Not Cleared**Eric Teixeira - eric.teixeira@brampton.ca*Conditions*

Final Comments

1. Landscape plan is required to include internal pedestrian connections from the parking lot to the main doors, the use of high quality delineated path are to be installed; painted line are not accepted.
2. the site will require a 1.2m chain link fence along the property limits, please show a City of Brampton detail in the landscape plan
3. Confirm 0 Ace Drive is the address, please update accordingly.
4. Add the following to the Landscape Plan
 - a. City of Brampton Landscape Approval Stamp, in the title block.
 - b. City of Brampton Standard Landscape Notes
 - c. All appropriate detail.
 - d. City Address and Site plan number
5. Identify an outdoor Garbage Enclosure.
6. Show brick material for the facing of the accessible ramp, provide a detail and elevation drawing.
7. The front boulevard is recommended to be irrigated to establish plant material.
8. Update the cost estimate accordingly.

Plumbing Review
Cleared

Peter Thomson - peter.thomson@brampton.ca

Conditions

None

Final Comments

I have reviewed the site service drawing for the above noted site plan and it appears that the drawings comply with the Ontario Building Code.

Policy Review
Cleared

Shahinaz Eshesh - shahinaz.eshesh@brampton.ca

Conditions

Not applicable.

Final Comments

There are no issues to comment on at this time. Any changes to the site plan may require further review.

Sign Review
Cleared

Ross Campbell - ross.campbell@brampton.ca

Conditions

Final Comments

- All proposed signs shall conform to the City of Brampton Sign By-law 399-2002, as amended, noting:
- Signs shall conform to the Ontario Building Code O. Reg. 332/12, as amended.
 - Signs shall be fully secured to a structural member beyond the cladding of the building, please provide confirmation of the wall structure including support for signage. Plywood backing is recommended.
 - Permits are required prior to the installation of signs.

Traffic Services Review**Not Cleared**

Smeeta Adiga - smeeta.adiga@brampton.ca

*Conditions***COND_WTS**

1. At the entrance to the site, the road curb and sidewalk will be continuous through the driveway. Depression will be provided for at each entrance. Access construction as per City of Brampton Standard#237

2. The Owner shall ensure that all above ground utilities are offset a minimum distance of 1.5 metres from all proposed driveways and indicate as such on a revised site plan. Any relocated utilities shall meet clear zone requirements as per current TAC guidelines. The Owner shall pay costs associated with the removal and relocation of any above ground utilities and the Owner further shall release and forever discharge the City from and against all claims the Owner may have arising out of the removal and/or relocation of any above ground utility.

3. On-site sign installations and pavement marking are to be maintained by the owner and/or modified or refreshed at the City's request

Final Comments

Please see attached memo dated July 8, 2020 from Smeeta Adiga.

Transit Review**Cleared**

Michelle Lui - michelle.lui@brampton.ca

Conditions

None

Final Comments

The City reserves the right to introduce transit services and facilities such as bus stops, shelters, pads, benches and other associated amenities on any City right-of-way as determined by Brampton Transit to provide effective transit service coverage.

Transit is supportive of the proposed pedestrian walkway connection to Ace Drive that will ensure pedestrian access and reduce pedestrian walk distance to transit service.

Urban Design Review**Not Cleared**

Dalia Bahy - dalia.bahy@brampton.ca

Conditions

Prior to the release of any securities, the Owner shall make arrangements, satisfactory to the Manager of Urban Design, to ensure that all gas supply lines servicing rooftop mechanical units shall be integrated into the exterior wall design or/and shall not be visible from public views.

Prior to the release of any securities, the Owner agrees that all rooftop mechanical units shall be screened from public views, to the satisfaction of the Manager of Urban Design.

*Final Comments***ACTN_UD_Gas Pipes/Utility Meters**

1- Indicate in plan and on all relevant elevations, the location of all gas and utility meters. All utility meters should be located away from pedestrian routes and all utility pipes are to be screened from public view.

2- Add the following notes to the site plan and elevation drawings:

"Utility meters shall not be located on building facades that face public streets and shall be located discreetly, away from pedestrian travel routes and screened from public view".

3- Add the following note to the site plan and elevation drawings: "Gas pipes servicing roof top mechanical equipment shall not be visible to any public view and shall be installed within the wall construction".

Zoning Review

Todd Payne - todd.payne@brampton.ca

Conditions

N/A

Not Cleared

Final Comments

- Outside storage is proposed within the interior side yard whereas the by-law limits outside storage to the rear yard. Please revise or obtain approval of a minor variance.
- A minimum aisle width of 6.6m is required adjacent to parking spaces whereas a number of aisles have a width of 6.0m. Please revise.
- Please revise the parking statistics. 316 parking spaces are required and 337 parking spaces have been provided.
- Note: All office areas noted as "proposed possible future office" are required in order to facilitate a warehouse. As per 2256.2(1), a warehouse use shall only be permitted in conjunction with an associated office use. The associated office use shall have a minimum gross floor area of 10% of the total gross floor area of the warehouse. A warehouse area of 40,592.7m² requires a minimum office area of 4,059.27m².

