

# STATUTORY PUBLIC MEETING: 10015 CLARKWAY DRIVE

CITY OF BRAMPTON

CITY OF BRAMPTON FILE: OZS-2025-0010

APRIL 7, 2025

**WESTON**  
CONSULTING





# AGENDA

 ..... **I ADJACENT USES**

 ..... **I PROJECT TIMELINE**

 ..... **I DEVELOPMENT PROPOSAL**

 ..... **I MERITS OF THE PROPOSED  
DEVELOPMENT**

 ..... **I STAFF COMMENTS**

 ..... **I QUESTIONS**

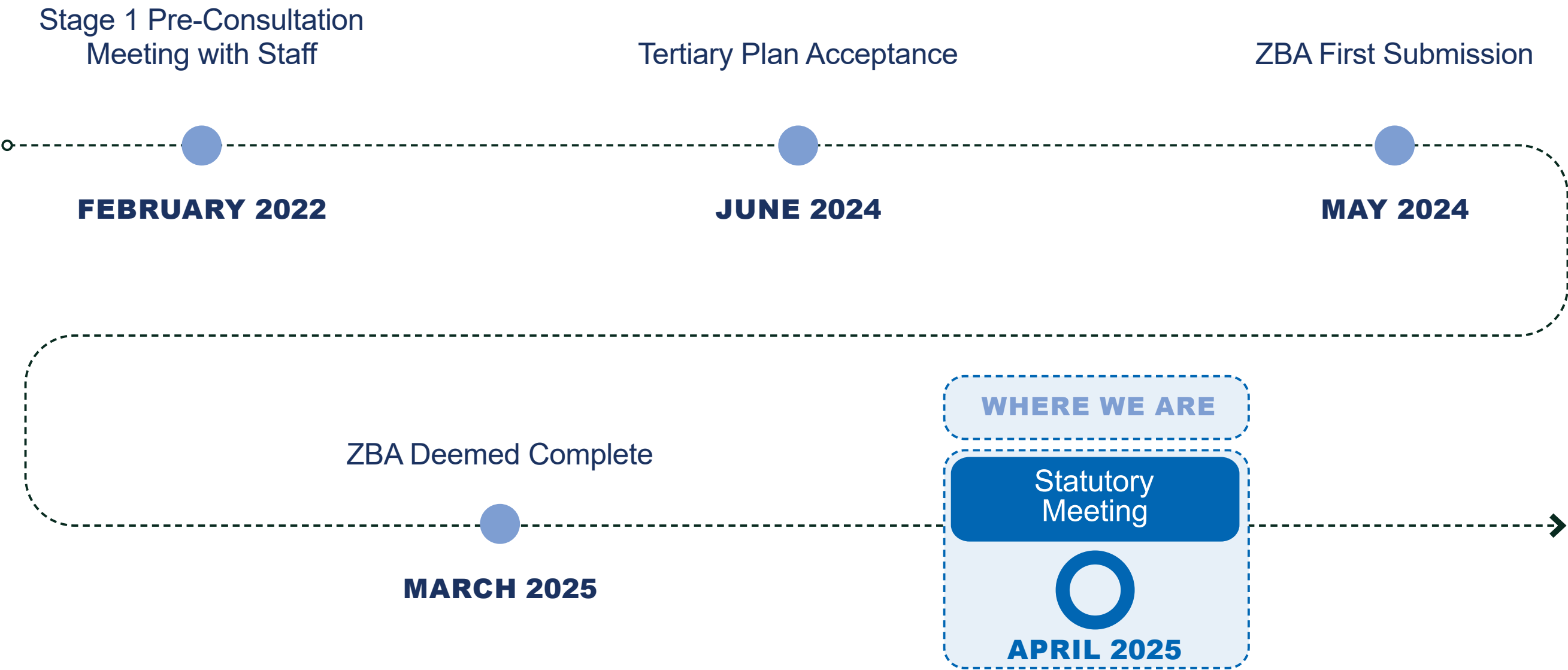
# ADJACENT USES



Adjacent Subdivision - prepared by TAES Architects Inc.

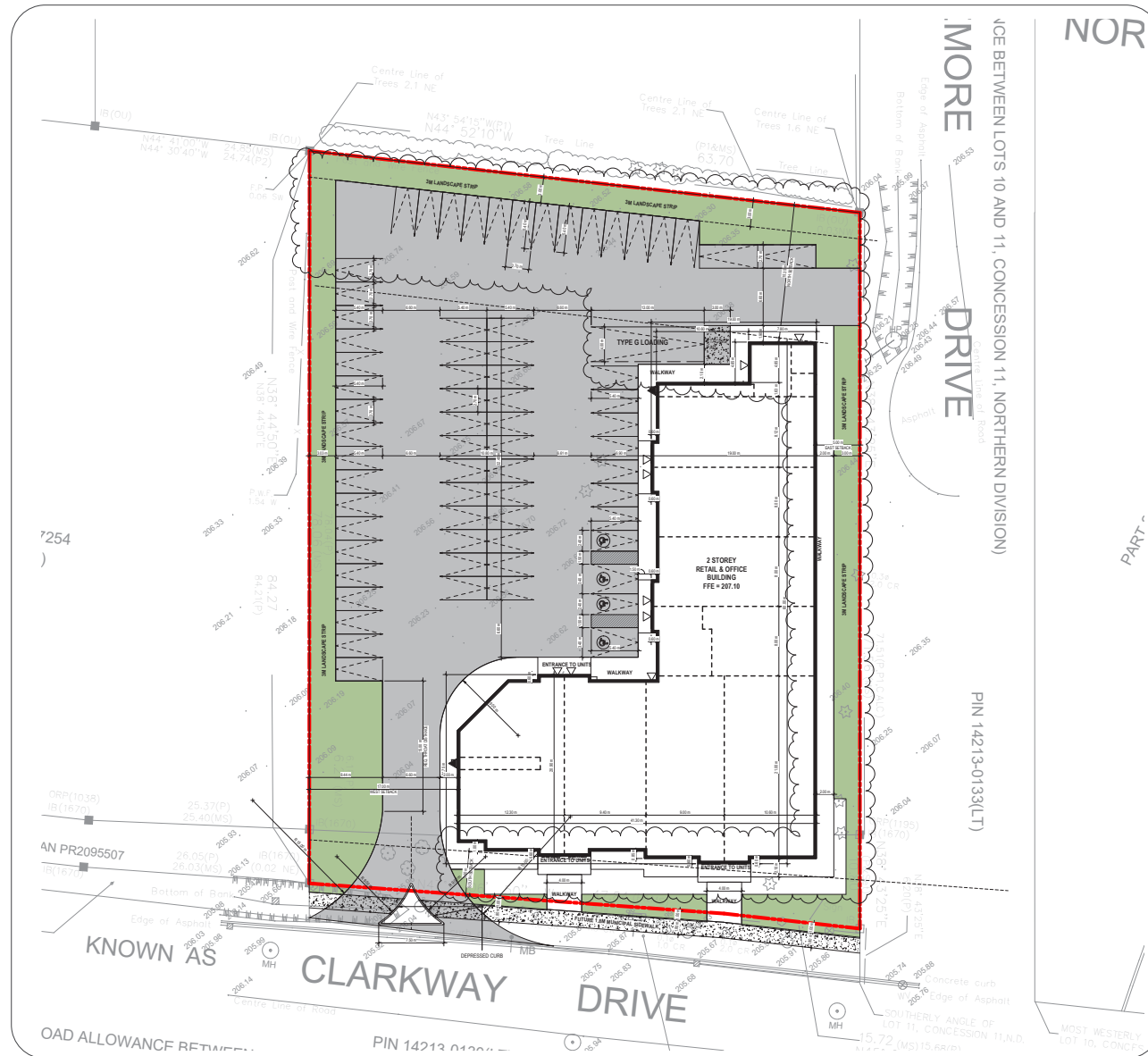
- Northeast of Clarkway Drive and Castlemore Road
- Currently, 2 site accesses from Old Castlemore and Clarkway Drive.
- Frontage: 63.81 metres along Clarkway Drive
- Area: 0.52 ha
- Located adjacent to a Block 47 residential subdivision (Active file under review by staff)

# PROJECT TIMELINE





# DEVELOPMENT PROPOSAL



Site Plan - prepared by TAES Architects Inc.

- **Retail (Ground floor):** 819 sq.m
- **Office (Ground and second floor):** 2,022 sq.m
- **Parking (surface level):** 68 spaces (2.2 parking spaces/100 sq.m for office and 2.9 parking spaces/ 100 for retail)
- SWM. Parking Rate
- Current Zoning: Residential Rural Estate Two (RE2).
- A Zoning By-law Amendment is required

# DEVELOPMENT PROPOSAL



2 WEST ELEVATION (SIDE)  
SCALE: 1:100



1 SOUTH ELEVATION (CLARKWAY DRIVE)  
SCALE: 1:100

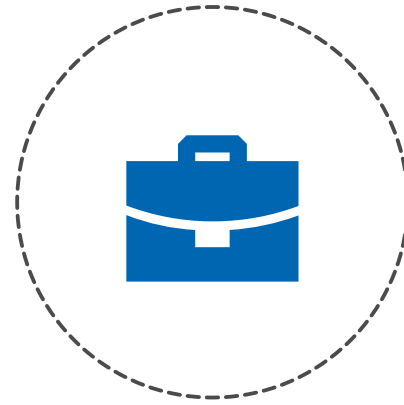
Elevations - prepared by TAES Architects Inc.

# MERITS OF THE PROPOSED DEVELOPMENT



## **LAND USE**

Promotes a more efficient use of land that is encouraged by the Province in Settlement Areas



## **JOBS**

Contributes to job generations in the City of Brampton



## **SECONDARY PLAN**

Aligns better with the purpose of Secondary Plan Area for this area



## **SHOPS**

Provides commercial services to the future residents of the adjacent residential subdivision





# STAFF COMMENTS

- Site access arrangements and connectivity -relative to the adjacent residential subdivision in Secondary Plan 47, including opportunities for access via the Old Castlemore Road cul-de-sac.
- *Response: Proposed site access to Old Castlemore which accommodates the future access to Residential subdivision*
- Land use compatibility - appropriateness of the built form and landscaping adjacent to the future residential community.
- *Response: landscaped buffer near the residential subdivision; Moderate building height ; 13.4 m building setback from the rear*
- Pedestrian connections integrated with future residential land use.
- *Response: Clarkway Side-walk; potential pedestrian connectivity from Old Castlemore*



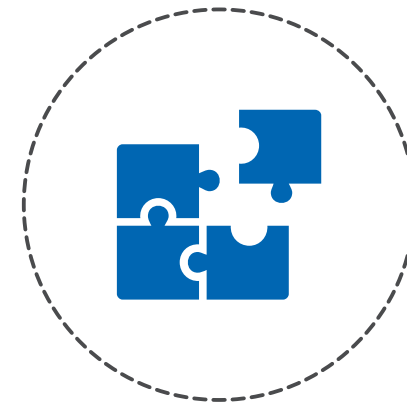
## NEXT STEPS



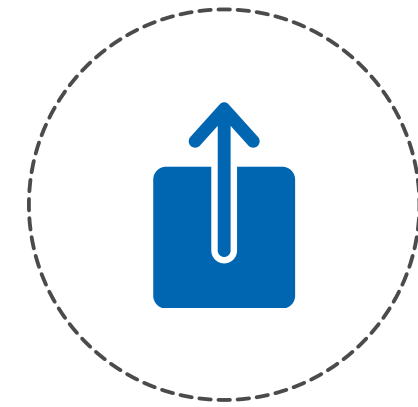
Receive comments and  
Feedback from the Public  
and Council Members



Review and discuss  
the comments with  
Clarington and project  
team



Implement comments/  
feedback where  
appropriate



Resubmit the  
applications for final  
circulation

**Thank You**  
Comments & Questions?

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