

APPLICATION NUMBER:

"B" - 2025-0004

The personal Information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Consent

(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant

PANGREEN LIMITED PARTNERSHIP; 9404635 CANADA INC.; HIGHWAY 50 & 7 EQUITIES INC.; GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP; GREYCAN 7 PROPERTIES GP, INC.

(print given and family names in full)

Address

401 The West Mall, Suite 1000, Toronto, Ontario, M9C 5J5

Phone #

416-579-9428

Fax #

n/a

Email

cserio@panattoni.com

(b) Name of Authorized Agent

Weston Consulting c/o Michael Vani

Address

201 Millway Drive, Suite 19, Vaughan, Ontario, L4K 5K8

Phone #

905-738-8080 ext. 252

Fax #

n/a

Email

mvani@westonconsulting.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify:

Easement to facilitate a servicing connection through the subject lands in favour of the abutting property to the south for a sanitary connection to the Regional pumping station.

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

HIGHWAY 50 & 7 SOUTH EQUITIES INC.; PANGREEN LIMITED PARTNERSHIP; 9404635 CANADA INC.; GREYCAN 9 PROPERTIES LIMITED PARTNERSHIP; GREYCAN 9 PROPERTIES INC.

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street

Highway 50

Number

8470 and 8480

b) Concession No.

10

Lot(s)

Lots 3 and 4

c) Registered Plan No.

N/A

Lot(s)

d) Reference Plan No.

N/A

Lot(s)

e) Assessment Roll No.

211012000110900

Geographic or Former Township

5. Are there any easements or restrictive covenants affecting the subject land?

Yes

☒

No

☐

Specify:

Access Easement in favour of Region of Peel along western property line for access from Queen Street to Regional Pumping Station. An easement in gross over the subject lands in favour of Alectra Utilities. Access easement in favour of the Dominant Parcel (B-2024-0011) not approved and established.

6.

Description of severed land: (in metric units)

Servient Lands

a)

Frontage

352m (Queen) & 416m (Hwy 50)

Depth

n/a

Area

12.73 ha

b)

Existing Use

Industrial/Warehousing

Proposed Use

Industrial/Warehousing

c)

Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing)

Two (2) single storey industrial buildings

(proposed)

n/a

d)

Access will be by:

Existing

Proposed

Provincial Highway

☐

☐

Municipal Road - Maintained all year

☒

☐

Other Public Road

☐

☐

Regional Road

☒

☐

Seasonal Road

☐

☐

Private Right of Way

☐

☐

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)

Water supply will be by:

Existing

Proposed

Publicly owned and operated water system

☒

☐

Lake or other body of water

☐

☐

Privately owned and operated individual or communal well

☐

☐

Other (specify):

g)

Sewage disposal will be by:

Existing

Proposed

Publicly owned and operated sanitary sewer system

☒

☐

Privy

☐

☐

Privately owned and operated individual or communal septic system

☐

☐

Other (specify):

7.

Description of retained land: (in metric units)

Dominant Lands

a)

Frontage

579m (Hwy 50) 563m (Gore)

Depth

n/a

Area

9.43 ha

b)

Existing Use

Vacant

Proposed Use

Industrial/Warehousing (zoning approved)

c)

Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing)

n/a

(proposed)

One (1) single storey industrial building

d)

Access will be by:

Existing

Proposed

Provincial Highway

☐

☐

Municipal Road - Maintained all year

☐

☐

Other Public Road

☐

☐

Regional Road

☒

☐

Seasonal Road

☐

☐

Private Right of Way

☐

☐

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)

Water supply will be by:

Existing

Proposed

Publicly owned and operated water system

☒

☐

Lake or other body of water

☐

☐

Privately owned and operated individual or communal well

☐

☐

Other (specify):

g)

Sewage disposal will be by:

Existing

Proposed

Publicly owned and operated sanitary sewer system

☒

☐

Privy

☐

☐

Privately owned and operated individual or communal septic system

☐

☐

Other (specify):

8.

What is the current designation of the land in any applicable zoning by-law and official plan?

Servient Lands

Dominant Lands

Zoning By-Law

Official Plans

City of Brampton

Region of Peel

Service Commercial (SC-2094)

Employment

Urban System

Industrial Four (H) - M4 - (H) - 3709

Mixed-use Employment; Parkway Belt West

Urban System

9.

Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes☒

No☐

File #

B-2004-0011

Status/Decision

Approved - Certificate Issued January 2025

10.

Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes☒

No☐

Date of Transfer

2022

Land Use

Open Space - Conveyance of NHS lands to City of Brampton

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment	OZS-2022-0036 (Dominant)	Approved
Minister's Zoning Order		
Minor Variance	A-2021-0089 & A-2021-0156 (Servient)	Approved
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?

Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?

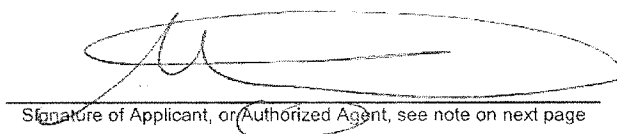
Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?

Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Vaughan
this 17th day of March, 2025.


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

DECLARATION

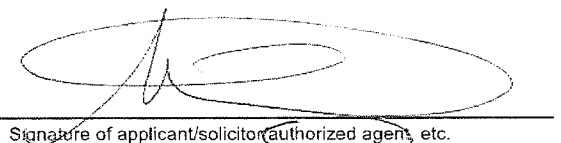
I, Weston Consulting Co Michael of the City of Vaughan
in the County/District/Regional Municipality of York solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the CITY of VAUGHAN

in the REGION of YORK

this 17 day of MARCH, 2025.

Patrizia Santoro
a Commissioner, etc.,
Province of Ontario
for Weston Consulting Group Inc.
Expires May 31, 2027


Signature of applicant/solicitor/authorized agent, etc.

Signature of a Commissioner, etc.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

March 19, 2025

Date Application Deemed
Complete by the Municipality

Mercedyn

PROPERTY DESCRIPTION: PART LOTS 3 AND 4 CONCESSION 10 NORTH DIVISION TORONTO GORE AS IN R0830443 & R0830444 SAVE & EXCEPT PARTS 1 TO 6 EXPROP. PLAN PR520367, PART 2 PLAN 43R32325, PARTS 1, 2 & 3 PLAN 43R34879, PARTS 6 TO 13 PLAN 43R40137 AND PARTS 1 TO 4 PLAN 43R40225; SUBJECT TO AN EASEMENT AS IN R0812925; SUBJECT TO AN EASEMENT IN GROSS AS IN PR4145584; CITY OF BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
DIVISION FROM 14021-2125

PIN CREATION DATE:
2023/05/01

OWNERS' NAMES	CAPACITY	SHARE
GREYCAN 7 PROPERTIES GP, INC.	GPAR	5% INT
GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	FIRM	
HIGHWAY 50 & 7 EQUITIES INC.	TCOM	85.2815% INT
9404635 CANADA INC.	GPAR	9.7185%
PANGREEN LIMITED PARTNERSHIP	FIRM	

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2023/05/01 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
**	SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *					
**	AND ESCHEATS OR FORFEITURE TO THE CROWN.					
**	THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF					
**	IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY					
**	CONVENTION.					
**	ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.					
**DATE OF CONVERSION TO LAND TITLES: 1999/03/09 **						
RO508935	1979/03/21	AGREEMENT			THE CORPORATION OF THE CITY OF BRAMPTON	C
REMARKS: SKETCH ATTACHED.						
43R14302	1987/02/11	PLAN REFERENCE				C
RO812925	1987/08/12	TRANSFER EASEMENT			THE REGIONAL MUNICIPALITY OF PEEL	C
43R32325	2008/07/03	PLAN REFERENCE				C
43R32625	2009/01/07	PLAN REFERENCE				C
PR2005826	2011/05/19	NOTICE	\$2	THE CORPORATION OF THE CITY OF BRAMPTON		C
PR3215513	2017/10/06	TRANSFER	\$30,937,599	802158 ONTARIO LIMITED	GREYCAN 7 PROPERTIES GP, INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.
NOTE: RESULTS WERE GENERATED VIA WWW.GEOWAREHOUSE.CA

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
		REMARKS: PLANNING ACT STATEMENTS.		2244686 ONTARIO INC.	GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC.	
PR3215518	2017/10/06	CHARGE PARTNERSHIP		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	HIGHWAY 50 & 7 (III) EQUITIES INC.	
PR3215519	2017/10/06	NO ASSGN RENT GEN		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	HIGHWAY 50 & 7 (III) EQUITIES INC.	
		REMARKS: PR3215518.				
PR3570566	2019/11/13	TRANSFER	\$3,360,850	HIGHWAY 50 & 7 EQUITIES INC.	9404635 CANADA INC.	C
PR3570567	2019/11/13	CHARGE PARTNERSHIP		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	
PR3570568	2019/11/13	NO ASSGN RENT GEN		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	9404635 CANADA INC.	
		REMARKS: PR3570567				
43R40137	2021/11/10	PLAN REFERENCE				C
PR4145584	2022/11/28	TRANSFER EASEMENT	\$2	GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC. 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	ALECTRA UTILITIES CORPORATION	C
PR4145585	2022/11/28	POSTPONEMENT		*** DELETED AGAINST THIS PROPERTY *** HIGHWAY 50 & 7 (III) EQUITIES INC.	ALECTRA UTILITIES CORPORATION	
		REMARKS: PR3215518 TO PR4145584				
PR4145586	2022/11/28	POSTPONEMENT		*** DELETED AGAINST THIS PROPERTY *** 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	ALECTRA UTILITIES CORPORATION	
		REMARKS: PR3570567 TO PR4145584				
PR4177496	2023/03/07	NOTICE	\$2	THE CORPORATION OF THE CITY OF BRAMPTON		C

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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR4264393	2023/10/20	DISCH OF CHARGE	\$102,800,000	*** COMPLETELY DELETED *** HIGHWAY 50 & 7 (III) EQUITIES INC.	COMPUTERSHARE TRUST COMPANY OF CANADA	C
REMARKS: PR3215518.						
PR4264394	2023/10/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP		
REMARKS: PR3570567.						
PR4264395	2023/10/20	CHARGE PARTNERSHIP		GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC. 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP		
PR4264396	2023/10/20	NO ASSGN RENT GEN	GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC. 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	COMPUTERSHARE TRUST COMPANY OF CANADA	C	
REMARKS: RE: PR4264395						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

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NOTE: RESULTS WERE GENERATED VIA WWW.GEOWAREHOUSE.CA

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PART LOT 3 CONCESSION 10 NORTH DIVISION TORONTO GORE DESIGNATED AS PARTS 1 TO 4 PLAN 43R18108 EXCEPT PARTS 1, 2 & 3 PLAN 43R24823, PART 1 PLAN 43R36367, PARTS 1 TO 5 PLAN 43R40137, PARTS 14 TO 20 PLAN 43R40137 AND PARTS 5 TO 7 PLAN 43R40225; SUBJECT TO AN EASEMENT IN GROSS AS IN PR4145584; SUBJECT TO AN EASEMENT OVER PART 4 PLAN 43R18108 AS IN RO812927; CITY OF BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:
FEE SIMPLE
ABSOLUTE

RECENTLY:
DIVISION FROM 14021-2122

PIN CREATION DATE:
2023/05/01

OWNERS' NAMES
GREYCAN 7 PROPERTIES GP, INC.
GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP
HIGHWAY 50 & 7 EQUITIES INC.
9404635 CANADA INC.
PANGREEN LIMITED PARTNERSHIP

CAPACITY SHARE
GPAR 5% INT
FIRM
TCOM 85.2815% INT
GPAR 9.7185%
FIRM

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT	INCLUDES ALL	DOCUMENT TYPES AND	DELETED INSTRUMENTS	SINCE 2023/05/01 **		
RO812927	1987/08/12	TRANSFER EASEMENT			THE REGIONAL MUNICIPALITY OF PEEL	C
FAD5945	1990/09/26	APL FIRST REGN			802158 ONTARIO LIMITED	C
43R18108	1990/09/26	PLAN REFERENCE				C
43R32375	2008/07/30	PLAN REFERENCE				C
43R32625	2009/01/07	PLAN REFERENCE				C
PR2005826	2011/05/19	NOTICE	\$2	THE CORPORATION OF THE CITY OF BRAMPTON		C
PR3215513	2017/10/06	TRANSFER	\$30,937,599	802158 ONTARIO LIMITED 2244686 ONTARIO INC.	GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC.	C
		REMARKS: PLANNING ACT STATEMENTS.				
PR3215518	2017/10/06	CHARGE PARTNERSHIP		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	HIGHWAY 50 & 7 (III) EQUITIES INC.	
PR3215519	2017/10/06	NO ASSGN RENT GEN		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	HIGHWAY 50 & 7 (III) EQUITIES INC.	
		REMARKS: PR3215518.				
PR3570566	2019/11/13	TRANSFER	\$3,360,850	HIGHWAY 50 & 7 EQUITIES INC.	9404635 CANADA INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.
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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR3570567	2019/11/13	CHARGE PARTNERSHIP		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	
PR3570568	2019/11/13	NO ASSGN RENT GEN		*** DELETED AGAINST THIS PROPERTY *** GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	9404635 CANADA INC.	
		REMARKS: PR3570567				
43R40137	2021/11/10	PLAN REFERENCE				C
PR4145584	2022/11/28	TRANSFER EASEMENT	\$2	GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC. 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	ALECTRA UTILITIES CORPORATION	C
PR4145585	2022/11/28	POSTPONEMENT		*** DELETED AGAINST THIS PROPERTY *** HIGHWAY 50 & 7 (III) EQUITIES INC.	ALECTRA UTILITIES CORPORATION	
		REMARKS: PR3215518 TO PR4145584				
PR4145586	2022/11/28	POSTPONEMENT		*** DELETED AGAINST THIS PROPERTY *** 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	ALECTRA UTILITIES CORPORATION	
		REMARKS: PR3570567 TO PR4145584				
PR4177496	2023/03/07	NOTICE	\$2	THE CORPORATION OF THE CITY OF BRAMPTON		C
PR4256140	2023/09/29	LR'S ORDER		LAND REGISTRAR, PEEL LAND REGISTRY OFFICE		C
		REMARKS: AMEND PROPERTY DESCRIPTION				
PR4264393	2023/10/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** HIGHWAY 50 & 7 (III) EQUITIES INC.		
		REMARKS: PR3215518.				
PR4264394	2023/10/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP		
		REMARKS: PR3570567.				
PR4264395	2023/10/20	CHARGE PARTNERSHIP	\$102,800,000	GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP	COMPUTERSHARE TRUST COMPANY OF CANADA	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR4264396	2023/10/20	NO ASSGN RENT GEN		HIGHWAY 50 & 7 EQUITIES INC. 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP GREYCAN 7 PROPERTIES GP, INC. GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP HIGHWAY 50 & 7 EQUITIES INC. 9404635 CANADA INC. PANGREEN LIMITED PARTNERSHIP	COMPUTERSHARE TRUST COMPANY OF CANADA	C
REMARKS: RE: PR4264395						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
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APPOINTMENT AND AUTHORIZATION OF AGENT(S)

To: The Committee of Adjustment, City of Brampton,
PANGREEN LIMITED PARTNERSHIP; 9404635 CANADA INC.; HIGHWAY 50 & 7 EQUITIES INC.; GREYCAN 7
I, PROPERTIES LIMITED PARTNERSHIP; GREYCAN 7 PROPERTIES GP, INC. c/o
(Please print or type full name of the owner)

the undersigned, hereby appoint and authorize/have appointed and authorized as my agent(s) for the purpose of:

1.

Signing and filing the application(s) on behalf of the undersigned;

1. Weston Consulting c/o Michael Vani

(Please print or type full name(s) of the agent(s) or the firm or corporation name. Add a separate sheet if necessary.)
2.

Representing the undersigned before the Committee of Adjustment,

2. Weston Consulting c/o Michael Vani

(Please print or type full name(s) of the agent(s) or the firm or corporation name. Add a separate sheet if necessary.)
3.

Acting on behalf of the owner with respect to all matters related to the application, including but not limited to fulfilling conditions and acquiring the Secretary-Treasurer's Certificate,

3. Weston Consulting c/o Michael Vani

(Please print or type full name(s) of the agent(s) or the firm or corporation name. Add a separate sheet if necessary.)

AND, I do hereby declare and confirm that I am the (an) owner of the land to which this application relates;

AND, I do hereby ratify, confirm and adopt as my own, the act(s), representation(s), reply (replies) and commitment(s) made on my behalf by the said agent(s).

Dated this 12th day of March, 2025.

Signed by:
EF849366589847C...

(Signature of the owner, or where the owner is a firm or corporation, the signing officer of the owner.)

sign here

Wade Dobbin

(Where the owner is a firm or corporation, please type or print the full name of the person signing.)

NOTES:

1.

If the owner is a corporation, this appointment and authorization shall include the statement that the person signing this appointment and authorization has authority to bind the corporation (or alternatively, the corporate seal shall be affixed hereto).
2.

If there is more than one owner, **all owners** shall complete and sign **individual** appointment and authorization forms.
3.

If the agent is a firm or corporation, specify whether all members of the firm or corporation are appointed or, if not, specify by name(s) the person(s) of the firm or corporation that are appointed.

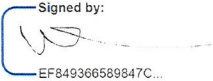
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 8470 and 8480 Highway 50

I/We, PANGREEN LIMITED PARTNERSHIP; 9404635 CANADA INC.; HIGHWAY 50 & 7 EQUITIES INC.; GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP; GREYCAN 7 PROPERTIES GP, INC. c/o please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12th day of March, 2025.

Signed by: 
EF849366589847C...

sign here

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

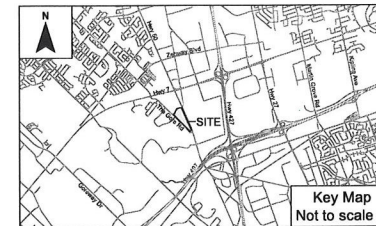
wade Dobbin

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

8. Committee of Adjustment		
Residential Minor Variance Applications		
Above/Below Grade Variance (Door/Window)	\$11,949	Per Application
Driveway Variance	\$11,949	Per Application
Parking Variance	\$11,949	Per Application
Variances to Section 10.16 (Garden Suites) of the Zoning By-Law	\$11,949	Per Application
All Other Variances	\$2,990	Per Variance
Maximum Fee	\$11,949	Per Application
Institutional, Commercial or Industrial (ICI) Minor Variance Applications		
Minor Variance Application	11,949	Per Application
"After the Fact" Variance (Residential or ICI) Variance application resulting from a registered complaint, construction inspection, building order or enforcement action.	\$11,949	Per Application
Consent Applications		
Consent Application – Lot Creation	\$10,157	Per Application
Consent Application – All Other (in accordance with Planning Act S.57, 50(18), or 53(23))	\$5,078	Per Application
Committee of Adjustment Application Re-Circulated Pursuant to A Request by The Applicant to Defer an Application	\$5,000	Per Notice
Consent Certificate	\$2,127	Per Certificate
Replacement Notice Sign	\$75	Per Sign
Committee of Adjustment Application Refunds: <ul style="list-style-type: none"> \$400 refund if withdrawn prior to internal circulation (By-law 231-2007). \$300 refund if withdrawn prior to circulation of public notice of a hearing (By-law 231-2007). No refund if withdrawn once the circulation of the public notice of a hearing has occurred (By-law 231-2007). 		



LEGEND

-  Dominant Lands (94,300 m²)
-  Servient Lands (127,310 m²)
-  Sanitary Easement Area (3,165 m²)

Notes:

- Overlay of Dominant Lands Site Plan, sheet A1.0, issued on February 27th, 2025, by WMA Inc.
- Overlay of Servient Lands Site Plan, sheet A1.0, issued on June 1st, 2021, by WMA Inc.
- Property Boundary as per site plan overlays.
- Easement Area overlay and area calculations based on the Composite Servicing Plan, Ware Malcomb, dated 17th July, 2017.

DRAWN / REVISED

17 MAR 2025	First Draft

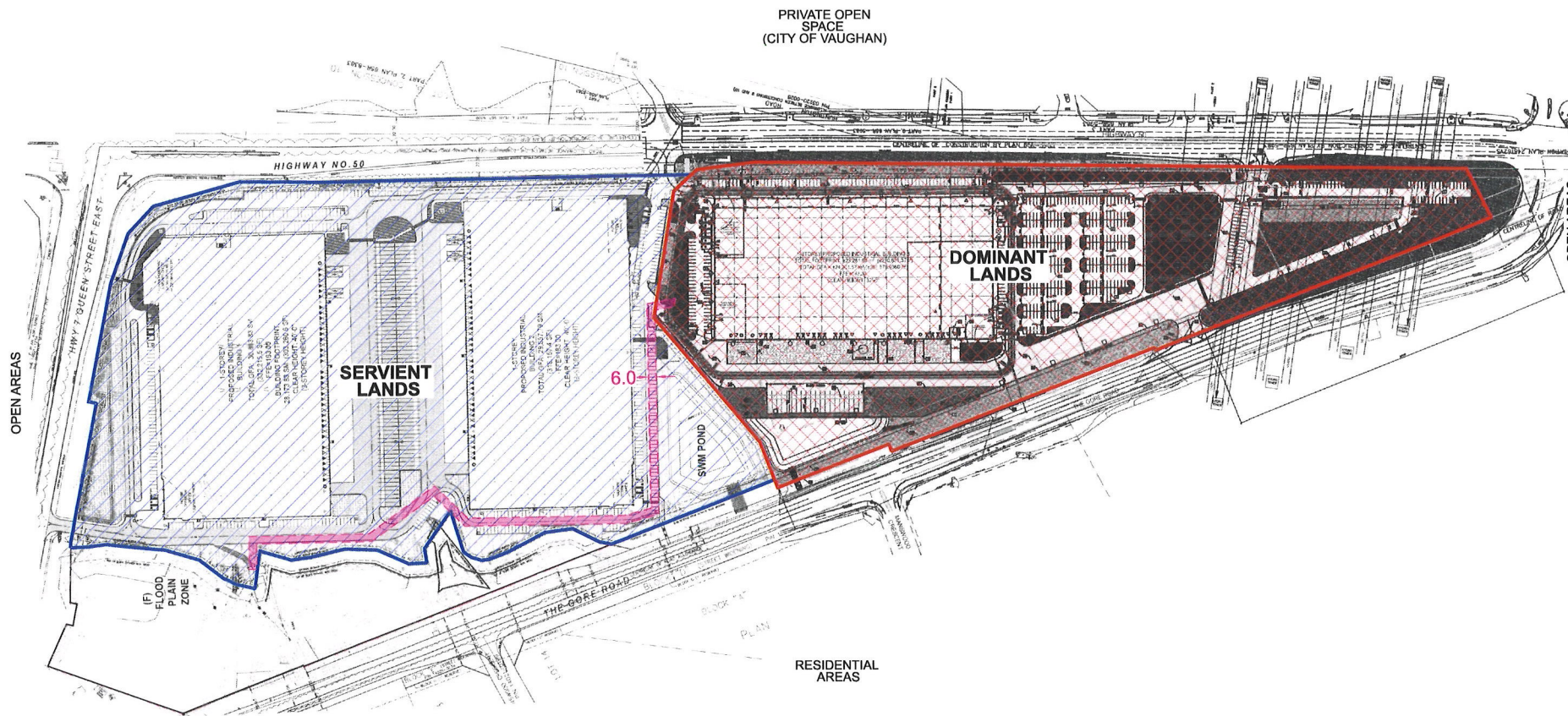
EASEMENT SKETCH
8386 & 8412 HIGHWAY 50
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL





WESTON
CONSULTING 

File Number: 4881-2
Date: 2025-03-17
Drawn By: ZW
Planner: MV
CAD: 4881-2_Easement Sketch_2025-03-17.dgn

Drawn
ES

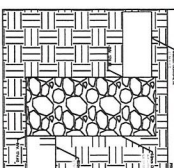


LEGEND	
PROPERTY LINE	
PROPOSED 0.25m CONTOUR	
EXISTING 0.25m CONTOUR	
PROPOSED SANITARY LINE	
EXISTING SANITARY LINE	
PROPOSED WATER LINE	
EXISTING WATER LINE	
PROPOSED RILL LINE	
EXISTING RILL LINE	
PROPOSED STORM LINE	
EXISTING STORM LINE	

EXISTING STORM CATCH BASIN
 PROPOSED STORM CATCH BASIN
 HIGH POINT
 LOW POINT
 MATCH EXISTING
 TOP OF CURB
 BOTTOM OF CURB
 TOP OF WALL
 BOTTOM OF WALL
 BOOTH LINE

TYPICAL STONE FILLED TRENCH DETAIL
 REFER TO THIS DRAWING FOR PLAN VIEW

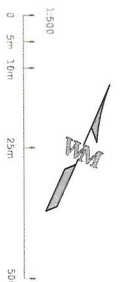


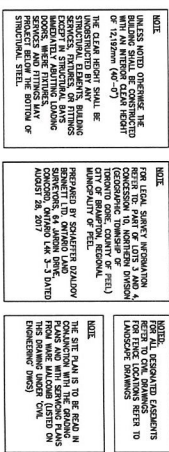
A cross-sectional diagram of a trench. The trench is filled with irregularly shaped stones. The stones are labeled 'TYPICAL STONE' with a leader line. The trench is labeled 'TRENCH' with a leader line. The trench is shown in a plan view, with a 'TYPICAL STONE FILLED TRENCH DETAIL' label. The drawing is a technical illustration showing the cross-section of a trench filled with stones. The stones are depicted as irregular shapes within a rectangular trench. The trench is shown in a plan view, with a 'TYPICAL STONE FILLED TRENCH DETAIL' label. The drawing is a technical illustration showing the cross-section of a trench filled with stones. The stones are depicted as irregular shapes within a rectangular trench. The trench is shown in a plan view, with a 'TYPICAL STONE FILLED TRENCH DETAIL' label.

CROSSING #	INVERT OF PIPE ABOVE	OBVERT OF PIPE BELOW	CLEARANCE
4	WAT = 178.78m	STM = 178.28m	0.50m

SITE SERVICING NOTES:

- [illegible]

[illegible]



27	POULD, TWO LAMPS TO BE KEPT FREE OF ANY SIGN, WORK
28	CONCRETE-FINISHED STEEL BOLLARD, SEE CIV. DINGS.
29	PROPOSED LOCATION FOR TRANSFORMER PAD
30	RESTRICTION MARKING WITH PAINTED LINES AS PER CITY OF
31	PROPOSED LIGHT POLE, REFER TO ELECTRICAL DRAWINGS
32	PROPOSED MECHANICAL ROOM
33	LOCATION OF EXISTING MECHANICAL TRANSIT PAD
34	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
35	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
36	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
37	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
38	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
39	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
40	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
41	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
42	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
43	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
44	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
45	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
46	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
47	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
48	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
49	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
50	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
51	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
52	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
53	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH
54	EXISTING ALUMINUM AREA - REFER TO LANDSCAPE DINGS
55	EXISTING PROPERTY LINE NOT SHOWING LULUATE ROAD WIDTH

ACCESSIBLE PARKING SPACE TYPE A

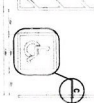


Diagram A shows a rectangular parking space with a diagonal hatched area at the rear. A callout circle 'A' points to a circular wheelchair symbol. The diagram includes dimensions: 18'0" for the total length, 13'0" for the clear length, and 8'0" for the clear width. A note at the bottom right states: "SEE NOTE 1".

ACCESSIBLE PARKING SPACE TYPE B

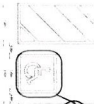


Diagram B shows a rectangular parking space with a diagonal hatched area at the rear. A callout circle 'B' points to a circular wheelchair symbol. The diagram includes dimensions: 18'0" for the total length, 13'0" for the clear length, and 8'0" for the clear width. A note at the bottom right states: "SEE NOTE 1".

C. OTHER PAVEMENT MARKINGS


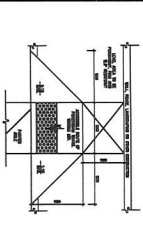
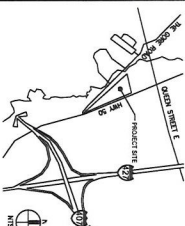


Diagram C shows a circular area with a diagonal hatched area at the rear. A callout circle 'C' points to a circular wheelchair symbol. The diagram includes dimensions: 18'0" for the total length, 13'0" for the clear length, and 8'0" for the clear width. A note at the bottom right states: "SEE NOTE 1".

[illegible]

OVERALL SITE PLAN		
	DATE	REMARKS
1	2024-12-11	ISSUED FOR SPA
2	2025-01-24	ISSUED FOR COORDINATION
3	2025-01-30	ISSUED FOR COORDINATION
3	2025-02-27	RE-ISSUED FOR SPA

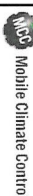
PA / PM:	O. EMUWA
DRAWN BY:	J.G.
JOB NO.:	TOR21-0145-03

SHEET

A1.0

8360 HWY 50

8360 HWY 50, BRAMPTON,
ONTARIO L4H 3N5



WARE MALCOMB
Leading Design for Commercial Real Estate

ARCHITECTURE	CIVIL ENGINEERING
PLANNING	BRANDING
INTERIORS	BUILDING MEASUREMENT

6220 Highway 7, Suite 300
Vaughan, Ontario L4H 0R1, Canada
P 905.850.4696

OBC MATRIX - BUILDING 2



ARCHITECT NAME: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: PANATTONI BRAMPTON BUILDING 2
 LOCATION: QUEEN STREET EAST & HWY 50, BRAMPTON, ON

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9				CNC REFERENCE: REFERENCES ARE FOR DEC DIVISION B UNLESS NOTED. (A) NOTES DIVISION A. (C) NOTES DIVISION C			
					PART 11	PART 3	PART 9	
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> PART 11.1 <input type="checkbox"/> PART 3 <input type="checkbox"/> PART 9							
	<input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION				11.1 (A)	1.12 (A)	1.12 (A) & 10.1.3	
2	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED				3.12.1 (1)		9.10.2	
3	BUILDING AREA (sq. m.) NEW BLD. 29,557.79 SQM TOTAL: 29,557.79 SQM				1.4.1.3 (A)		1.4.1.2 (A)	
4	GROSS AREA (sq. m.) NEW BLD. 29,557.79 SQM TOTAL: 29,557.79 SQM				1.4.1.2 (A)		1.4.1.2 (A)	
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0				1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4		
6	NUMBER OF STREETS / ACCESS ROUTES 1				3.2.1.10 & 3.2.5.5		9.10.20	
7	BUILDING CLASSIFICATION(S) 3.2.2.87 GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED				3.2.1.20 - 83		9.10.2	
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT (IN LIEU OF ROOF RATING) <input type="checkbox"/> NOT REQUIRED INDEX INDEX				3.2.1.25 - 83 3.2.1.4 3.2.5.17		9.10.8.2	
9	STAMP/PIPE REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO				3.2.6		N/A	
10	FIRE ALARM/SIGNAL REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO				3.2.4		9.10.18	
11	WATER SERVICE/SUPPLY IS ADEQUATE <input type="checkbox"/> YES <input type="checkbox"/> NO				3.2.6.7		N/A	
12	HIGH BUILDING <input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH				3.2.6		N/A	
13	CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION				3.2.2.10 - 83		9.10.8	
14	MEZZANINE(S) AREA m ² N/A				3.1.2.3 (c)-(6)		9.10.4.1	
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> NO <input type="checkbox"/> PERSON OCCUPANCY: FR				3.1.17		9.8.1.3	
16	BARRIER-FREE DESIGN LOAD PERSONS: CMV							
17	HAZARDOUS SUBSTANCES FLAMES: ENG				3.8		9.5.2	
					3.3.1.2 & 3.3.1.9		9.10.1.3 (A)	
18	REQUIRED FIRE RESISTANCE RATING (FRR)				3.2.2.10 - 83 & 3.2.1.4		9.10.8 & 9.10.9	
	HORIZONTAL ASSEMBLIES FIRE (HOURS) <input type="checkbox"/> FLOORS: 8 HOURS <input type="checkbox"/> ROOF: 8 HOURS <input type="checkbox"/> MEZZANINE: 1 HOUR				N/A N/A N/A			
	FIRE OF SUPPORTING MEMBERS <input type="checkbox"/> FLOORS: 8 HOURS <input type="checkbox"/> ROOF: 8 HOURS <input type="checkbox"/> MEZZANINE: 1 HOUR				N/A N/A N/A			
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS				3.2.3		9.10.14	
	WALL AREA OF EBF (m ²)	L.O. (m)	L/H RATIO	PERMITTED PROPOSED (MIN. OF 8 OF OPENINGS	LIVELY DESIGN No. OR DESCRIPTION	COOL CONTR.	COOL CONTR. NOIC, CLOSING	NON-COOL CONTR.
	NORTH	28.93	100	100	-	-	-	-
	SOUTH	25.01	100	100	-	-	-	-
	EAST	25.37	100	100	-	-	-	-
	WEST	25.84	100	100	-	-	-	-
20	PLUMBING FIXTURE REQUIREMENTS SHALL ONLY N/A							

DEVELOPER



BRYAN MILLS
PH: 416-915-1976

ARCHITECT

WARE MALCOMB

FRANK DI ROMA OAA MRAIC
ALT: RIZALYN CORCIEGA BISMONTE
PH: 905.760.1221

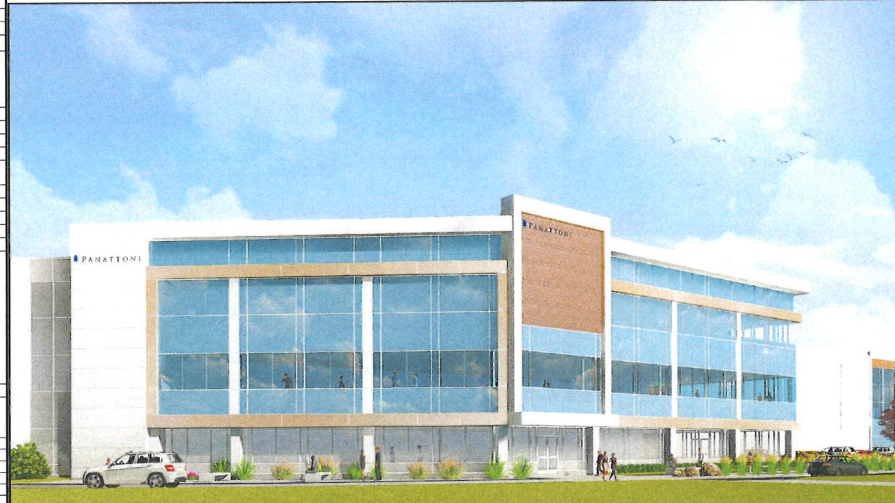
CIVIL ENGINEER

WARE MALCOMB

DAVID NEWSON
PH: 905.760.1221

BUILDING 1 & BUILDING 2

QUEEN STREET EAST & HIGHWAY NO. 50
BRAMPTON, ONTARIO



ARCHITECT'S CONSULTANTS

SHEET INDEX

ARCHITECTURAL

Nick Miele
PH: (905) 761-5588
FAX: (905) 761-5589

A0.1	TITLE SHEET
A1.0	OVERALL SITE PLAN
A1.1	BUILDING 1 ENLARGED SITE PLAN
A1.2	BUILDING 2 ENLARGED SITE PLAN
A2.1	BUILDING 1 FLOOR PLAN
A2.2	BUILDING 2 FLOOR PLAN
A3.1	BUILDING 1 ROOF PLAN
A3.2	BUILDING 2 ROOF PLAN
A4.1	BUILDING 1 ELEVATIONS
A4.2	BUILDING 1 ELEVATIONS
A4.3	BUILDING 2 ELEVATIONS
A4.4	BUILDING 2 ELEVATIONS

TITLE SHEET		
	DATE	REMARKS
1	2019-01-23	ISSUED FOR SPA
2	2020-02-11	REISSUED FOR SPA
3	2020-09-28	REISSUED FOR SPA
4	2020-12-01	REISSUED FOR SPA
5	2021-07-07	REISSUED FOR SPA
6	2021-08-31	ISSUED FOR PERMIT
7	2021-08-31	REISSUED FOR SPA

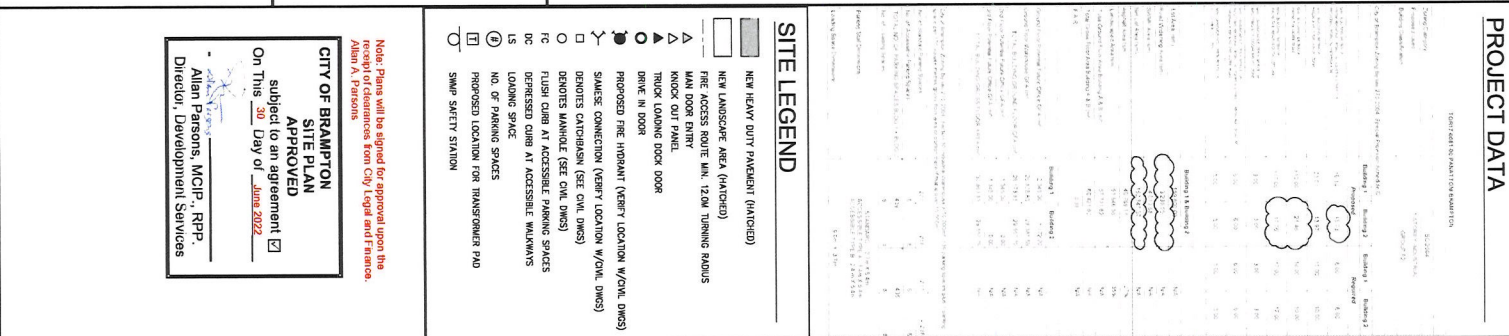
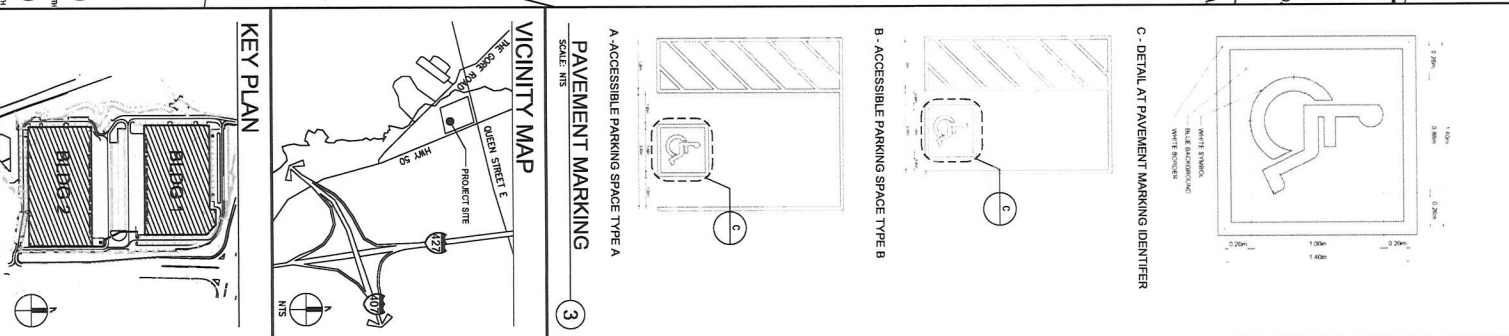
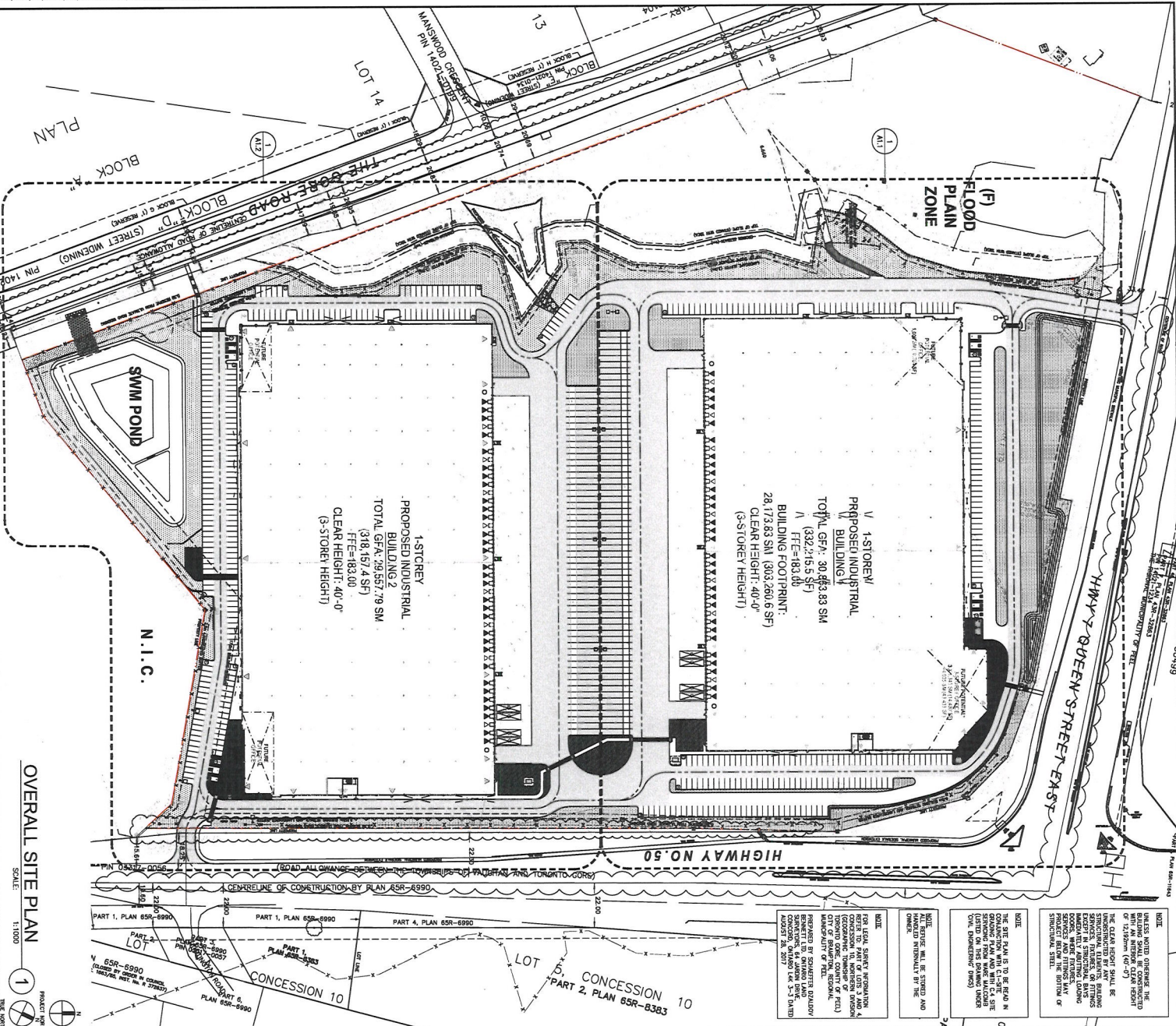
TITLE SHEET

PA / PM:	AR/EM
DRAWN BY:	MF
JOB NO.:	TOR17-0081-00

SHEET

A0.1

2021-08-31 RE-ISSUED FOR SPA



CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

City of Brampton Building Division Zoning Reviewed 2022/07/24

City of Brampton Planning Department

Project: 2022/07/24

Project Name: 2022/07/24

Project Location: 2022/07/24

Project Contact: 2022/07/24

WARE MALCOMB

100 King Street West, Suite 1000
Toronto, Ontario M5X 1C5
Tel: 416-593-8888
Fax: 416-593-8889
www.waremalcomb.com

ONTOARIO ASSOCIATION OF ARCHITECTS

Architect's License No. 6726

PANATTONI BRAMPTON

4599 & 4629 QUEEN STREET EAST
BRAMPTON, ONTARIO

FILE NO. SP19-045.000

OVERALL SITE PLAN

DATE	REMARKS
2019-01-23	ISSUED FOR SPA
2020-02-11	REISSUED FOR SPA
2020-09-28	REISSUED FOR SPA
2020-12-11	REISSUED FOR SPA
2021-04-07	REISSUED FOR SPA
2021-05-08	ISSUED FOR PERMIT
2021-05-08	REISSUED FOR SPA
2021-05-13	REISSUED FOR SPA
2021-06-01	REISSUED FOR SPA
2021-08-31	REISSUED FOR SPA

PA / PM: AR/EL

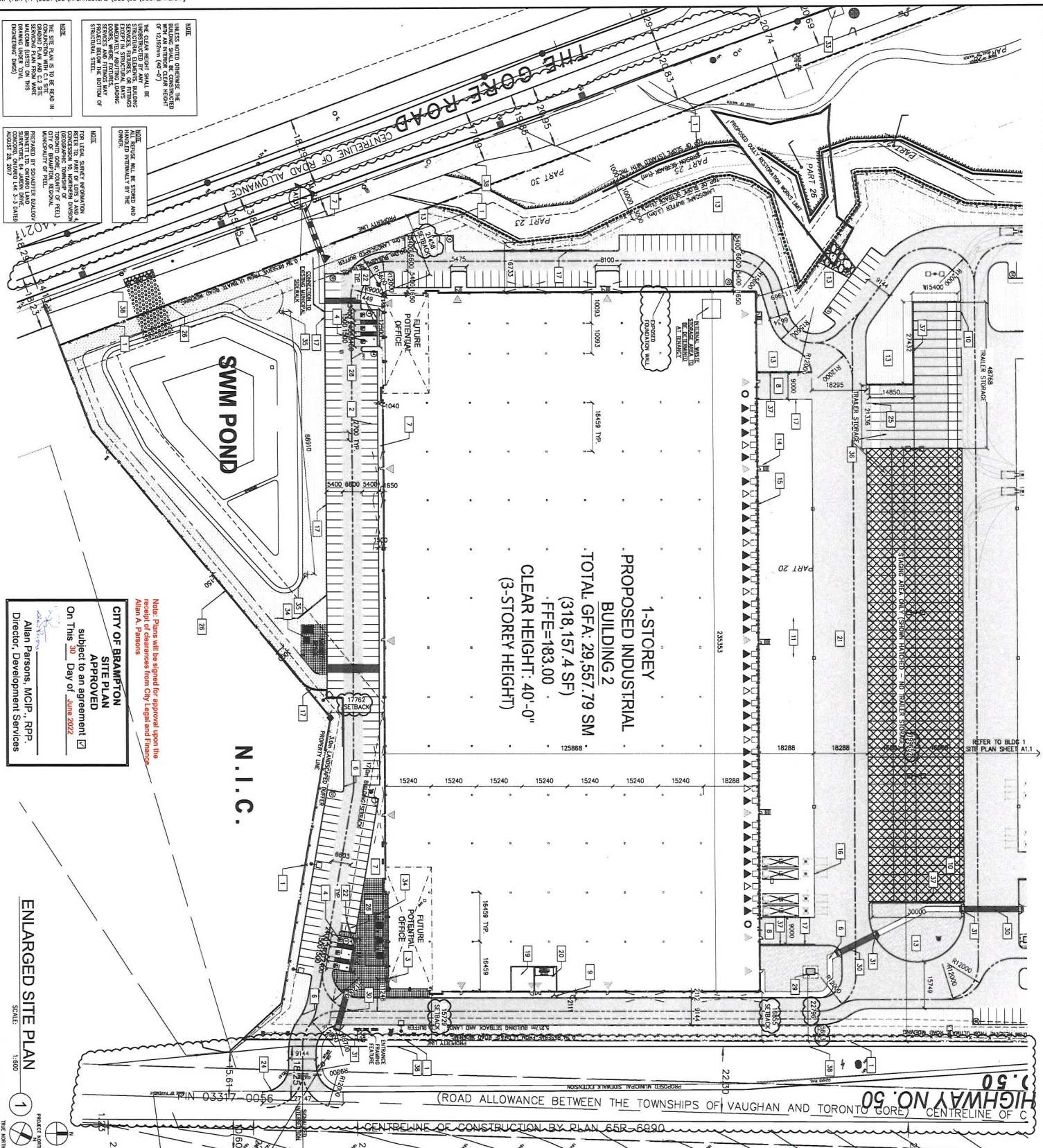
DRAWN BY: NM

JOB NO.: T0817-0081-00

SHEET

A1.0

W:\TOR\17\0081\00\Architectural\Cad\DD\0081_A12.dwg



Note: Plans will be signed for approval upon the receipt of clearances from City Legal and Finance. Allen A. Pasene

CITY OF BRAMPTON
SITE PLAN
APPROVED
subject to an agreement
On This 30 Day of June 2022

Allen Parsons, MCIIP, RPP,
Director, Development Services

ENLARGED SITE PLAN
SCALE: 1:600

SITE PLAN NOTES

SEE SHEET A0.1 FOR ADDITIONAL SITE PLAN NOTES

1. PROPERTY LINE INCLUDING ULTIMATE ROAD WIDENING
2. STANDARD PARKING STALL PAINTED STRIPING PER CITY OF BRAMPTON STANDARD
3. PRINCIPLE ENTRY PROVIDE POWER OPERATED AUTOMATIC DOOR
4. OTHER SHARED ACCESSIBLE PARKING STALLS TYPE A AND TYPE B WITH ACCESSIBLE PARKING SIGN AND PAINTED STRIPING PER CITY OF BRAMPTON MUNICIPAL STANDARDS
5. 1500 x 7500 CURB TYPICAL SEE CIVIL DWGS
6. 1800 mm WIDE CONCRETE SIDEWALK TYPICAL U.N.O.
7. DRIVE-IN RAMP SEE CIVIL DWGS FOR SLOPE %
8. FIRE DEPARTMENT CONNECTION / SMOKE
9. SNOW STORAGE AREA
10. CONCRETE APRON SEE CIVIL DWGS
11. EXISTING POST AND WIRE FENCE TO BE REMOVED
12. LANDSCAPED AREA SEE LANDSCAPE DWGS
13. EXTERIOR STEEL STAIRS W/ROE STEEL GROUNDWALL TYP.
14. TRUCK LOADING DOCK TYP OF BRAMPTON STANDARDS
15. PROPOSED RETAINING WALL SEE CIVIL DWGS
16. LINE OF CANOPY ABOVE
17. PROPOSED ELECTRICAL ROOM
18. PROPOSED SPRINKLER ROOM
19. HATCHED AREA DENOTES HEAVY DUTY ASPHALT
20. DEDICATED CURB SEE DETAIL 2 ON SHEET A1.0
21. LIGHT DUTY ASPHALT SEE CIVIL DWGS
22. CURB RAMP AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO CITY OF BRAMPTON STANDARDS SEE CIVIL DWGS
23. PROPOSED FENCE SEE LANDSCAPE DWGS
24. EXISTING MUNICIPAL SIDEWALK
25. DESIGNATED PARKING SPACE FOR LOW-EMITTING FUEL EFFICIENT VEHICLE
26. PROPOSED LOCATION FOR TRANSFORMER PAD
27. EXISTING MUNICIPAL STANDARDS
28. PROPOSED DEPRESSED CURB
29. EXISTING RETAINING WALL
30. LOCATION OF EXISTING MUNICIPAL TRANSIT PAD
31. EMPLOYEE AMENITY AREA - REFER TO LANDSCAPE DWGS
32. SAFETY STATION - REFER TO CIVIL DWGS & DETAIL 2/A1.0
33. STAGING AREA NOT TO BE USED FOR TRAILER STORAGE - TRAILER STORAGE ONLY PROPOSED IN SPACES OUTSIDE OF STAGING AREA
34. 2.5m HIGH ACOUSTIC BARRIER SEE LANDSCAPE DWGS
35. EXISTING PROPERTY LINE NOT SHOWING ULTIMATE ROAD WIDENING

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPE AREA (HATCHED)
- FIRE ACCESS ROUTE MIN. 12.0M TURNING RADIUS
- MAIN DOOR ENTRY
- TRUCK LOADING DOCK DOOR
- DRIVE IN DOOR
- PROPOSED FIRE TRAILER (VERIFY LOCATION W/CIVIL DWGS)
- SMOKE CONNECTION (VERIFY LOCATION W/CIVIL DWGS)
- DENOTES CATCHBASIN (SEE CIVIL DWGS)
- DENOTES MANHOLE (SEE CIVIL DWGS)
- FLASH CURB AT ACCESSIBLE PARKING SPACES
- DEPRESSED CURB AT ACCESSIBLE WALKWAYS
- NO. OF PARKING SPACES
- PROPOSED LOCATION FOR TRANSFORMER PAD
- SWMP SAFETY STATION

VICINITY MAP

KEY PLAN

DATE

REMARKS

2019-07-23	ISSUED FOR SPA
2020-02-11	REISSUED FOR SPA
2020-09-28	REISSUED FOR SPA
2020-12-11	REISSUED FOR SPA
2021-05-05	ISSUED FOR PERMIT
2021-05-05	REISSUED FOR SPA
2021-06-01	REISSUED FOR SPA
2021-06-31	REISSUED FOR SPA

PA / RL: RGS

DRWING BY: WM

JOB NO.: TOR17-0081-00

SHEET

A1.2

BUILDING 2

PANATTONI BRAMPTON

4629 QUEEN STREET EAST
BRAMPTON, ONTARIO

FILE NO. SP19-045.000

ONTARIO ASSOCIATION OF ARCHITECTS

MEMBER

ALLEN PARSONS

9750

WARE MALCOLM

Leading Design for Commercial Real Estate

180 King Street West, Suite 400
Toronto, Ontario M5X 1C5
P: 416.593.1111
F: 416.593.1112
www.waremalcolm.com

City of Brampton Building Division

2022/01/24

SATYAM HOTHI

CITY OF BRAMPTON

Building Division

2022/01/24

SATYAM HOTHI

City of Brampton, Planning and Development
2 Wellington Street W
Brampton, ON, L6Y 4R2

March 17, 2025
File: 4881-2

Attn: Clara Vani, Secretary-Treasurer of the Committee of Adjustment

RE: Application for Consent (Easement)
8470 and 8480 Highway 50
City of Brampton

Weston Consulting is the planning consultant and registered agent for *PANGREEN LIMITED PARTNERSHIP*; *9404635 CANADA INC.*; *HIGHWAY 50 & 7 EQUITIES INC.*; *GREYCAN 7 PROPERTIES LIMITED PARTNERSHIP*; *GREYCAN 7 PROPERTIES GP, INC.* (the “Panattoni Development Company”) and through its related legal entities the owners of the lands subject to this Application for Consent for the purposes of establishing a permanent sanitary easement over the property municipally known as 8470 and 8480 Highway 50 (the “Servient Parcel”) in favour of 8386 and 8412 Highway 50 (the “Dominant Parcel”) for a period greater than 21 years. We are pleased to submit the enclosed materials in support of the Consent Application to facilitate the easement limits for establishing a sanitary servicing connection for the Dominant Parcel.

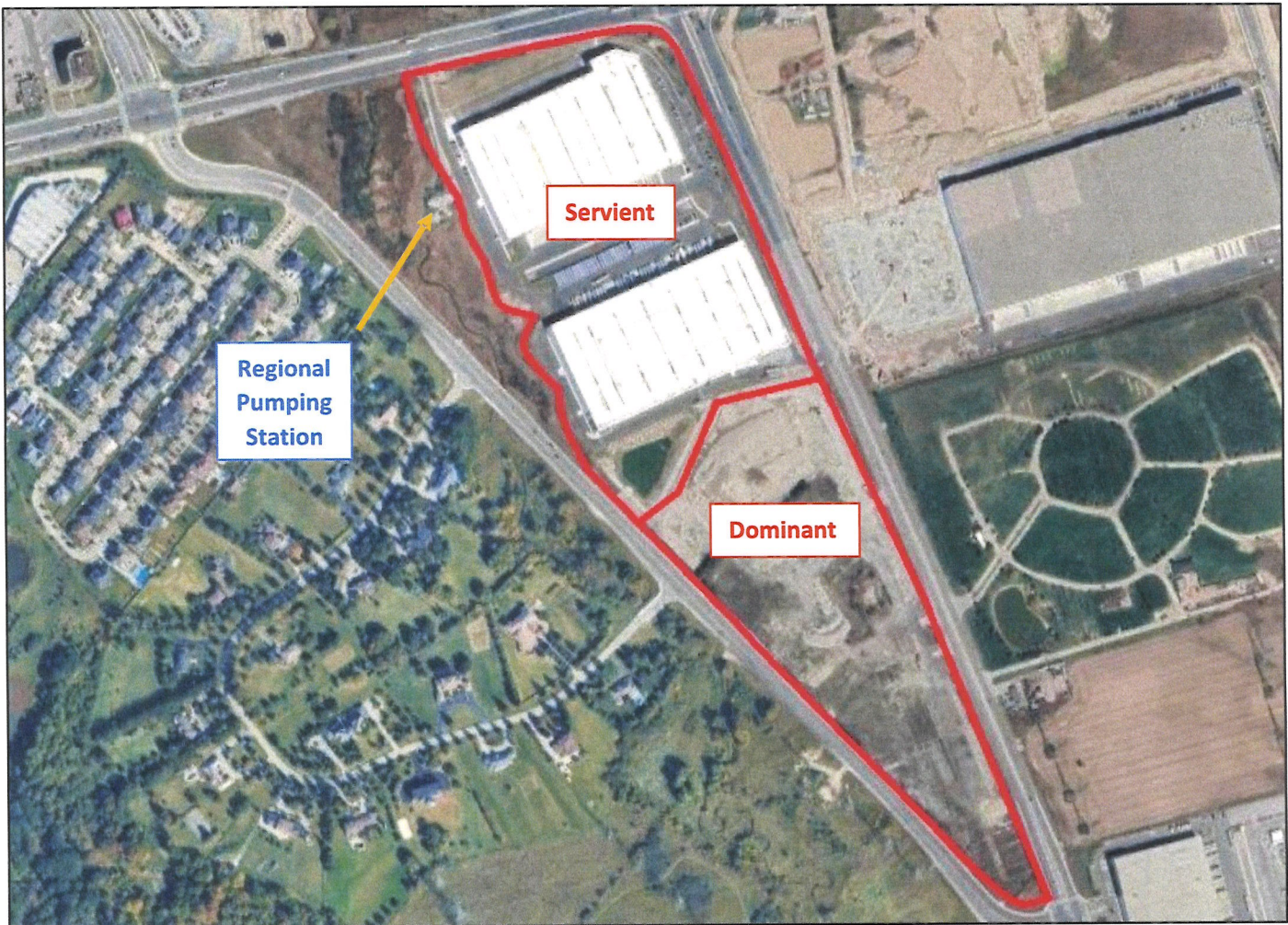


Figure 1: Aerial Photo

Description of the Lands

The lands collectively have a combined site area of approximately 221,610 square metres (22.16 hectares) and is located at the southwest quadrant of the Queen Street East and Highway 50 intersection along the City of Brampton's eastern border. The lands are triangularly shaped with Queen Street East to the north, Highway 50 to the east, and The Gore Road to the west.

The subject lands were part of a previous Consent Application (B-2024-0011) to permit a shared access easement between the Servient and Dominant Lands for access to a future signalized intersection at Highway 50 and Huntington Road. The application was approved by the Committee of Adjustment on June 18, 2024, with the Consent Certificate issued on January 17, 2025.

Servient Parcel

The Servient Parcel is municipally known as 8470 and 8480 Highway 50 (formally 4629 Queen Street East), and has an approximate lot area of 127,310 square metres (12.7 hectares), with frontages of 352 metres on Queen Street, 416 metres on Highway 50, and 459 metres on The Gore Road. The parcel has vehicular access to Queen Street East at the northwest corner of the site, and at the southeast corner of the site along Highway 50. The southeast access is directly aligned with Huntington Road on the east side of Highway 50 in the City of Vaughan and is anticipated to be signalized in the future by the Region of Peel once traffic levels warrant the signalization.

The lands have been developed to include two warehouse distribution facilities with associated office and outside storage of trucking trailers. The development was Site Plan Approved in June 2022 (SP19-045.000) and is largely completed. The development also included a number of conveyances to the Region of Peel for the widening of the Highway 50 and Queen Street East frontages, as well as the conveyance of natural heritage and floodplain lands to the City of Brampton. Previous minor variances were obtained to permit an increased building height, outside storage of trailers and to reduce the minimum landscape buffer (A-2021-0089) and to permit a driveway access to encroach into the floodplain lands and reduce the landscape requirements within the floodplain lands (A-2021-0156) of which have both been approved and are now final and binding.

Dominant Parcel

The Dominant Parcel is located at the northwest corner of the intersection of Highway 50 and The Gore Road in the City of Brampton and is municipally known as 8386 and 8412 Highway 50. The site is triangular in shape, tapering in width towards the intersection of Highway 50 and The Gore Road. It has an approximate area of 94,300 square metres (9.43 hectares), with frontages of approximately 579 metres along Highway 50 and approximately 563 metres along The Gore Road. The site is currently vacant and is the former site of the Humber Nurseries Garden Centre. The site is traversed from east to west by a Hydro One easement for overhead transmission lines and is currently part of the Parkway Belt West Plan Area. The site proposes two right-in/right-out accesses, one located on The Gore Road and the other on Highway 50.

The lands are currently subject to an Application for Site Plan Approval to facilitate the development of an industrial/warehousing building. The most recent resubmission ('R5') was filed on March 5, 2025. A Zoning By-law Amendment (ZBA) application was approved by Brampton Council through the passing of By-law 159-2023 on September 29, 2023 and is now in full force and effect. As such, the subject property is now zoned Industrial Four (H) - M4-(H)-3709.

As part of the site plan approvals process, a sanitary easement is required over the adjoining parcel (Servient Parcel) to the north in order to connect to the Regional Pumping Station near the intersection of The Gore Road and Queen Street East.

Purpose of Easement

The purpose of this application is to establish a permanent easement (+21 years) for a sanitary servicing line over the Servient Parcel in order to allow the Dominant Parcel appropriate access to the existing Regional Pumping Station as requested in comments from the Region of Peel as part of the Site Plan Approval application, and part of the original servicing strategy for the development block.

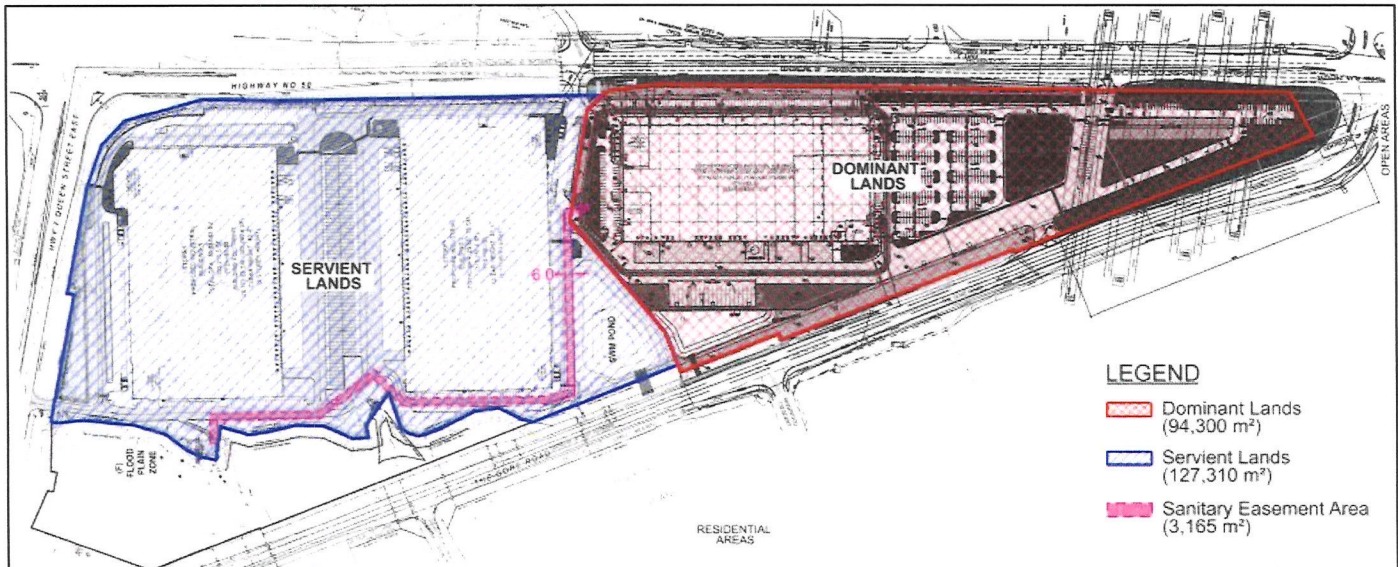


Figure 2: Severance Sketch

The proposed easement represents an area of approximately 3,165 square metres, is 6 metres in width and generally straddles the southern boundary of the Servient Lands. The easement area is generally located within the drive aisles of the Servient Parcel in order to avoid disruption to existing site operations and parking access.

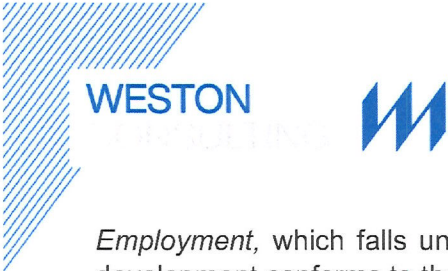
Planning Policy Framework

Region of Peel Official Plan: (April 2022)

The Region of Peel Official Plan was approved by the Province on November 4, 2022 and is a long-term plan that guides growth and development in the Region. Schedule E-1 “Regional Structure” designates the subject lands as Urban System. The Urban System is composed of a variety of communities and plans to achieve sustainable development and complete healthy communities. Policy 6.5.1 provides direction that the Region provide sanitary sewer services in an adequate, efficient and cost-effective manner that is consistent with public needs, while Policy The proposed development conforms to the Region of Peel Official Plan.

City of Brampton Official Plan:

The Brampton Official Plan (“Brampton Plan”) was adopted by City Council in November 2023 and approved by the Region of Peel in May 2024. Schedule 2: Designations designates the subject lands as Mixed-Use



Employment, which falls under the Employment Area category in the City's Urban Structure. The proposed development conforms to the Brampton Official Plan.

Planning Analysis and Justification of the Proposed Consent Application

Section 51 of the Planning Act authorizes an approval authority to make decisions regarding the subdivision of land. The Planning Act sets the standard to which provincial interests, provincial and local policies and goals are implemented. Accordingly, in order to recommend a severance for approval, the application must have regard for the criteria listed in subsection 51(24) of the Planning Act. Table 1 provides an assessment of how the consent application meets the prescribed criteria.

Table 1: Assessment of Section 51 of the Planning Act (Land Division)

Criteria	Proposed Applications
a) the effect of development of the proposed subdivision on matters of provincial interest referred to in section 2;	The proposed severance conforms to Section 2 of the Planning Act and considers matters of provincial interest, in particular the orderly development of safe and healthy communities. The provision of a direct sanitary connection through existing private lands is the preferred technical and cost-effective servicing strategy that will minimize environmental impact while being the most sustainable development form.
b) whether the proposed subdivision is premature or in the public interest;	The consent will allow for the orderly and appropriate development of the employment block as considered and reviewed through the various Planning Act applications previously approved and under review, which have been determined to be in the public interest through previous approvals.
c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;	The application and proposal conforms to the policies of the Region of Peel Official Plan and City of Brampton Official Plan as outlined in this letter, while fulfilling the development patten established for the block.
d) the suitability of the land for the purposes for which it is to be subdivided;	The development of the Servient Parcel always considered the eventual servicing of the Dominant Parcel given the previous ownership structure of the subject lands. The easement will provide direct and efficient access between the Dominant Parcel and the Regional Pumping Station.
d.1) if any affordable housing units are being proposed, the suitability of the proposed units for affordable housing;	Not applicable.
e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;	Not applicable. The easement is for the purposes of a servicing line beneath the lands.
f) the dimensions and shapes of the proposed lots;	Not applicable.

g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land;	<i>Not applicable.</i>
h) conservation of natural resources and flood control;	<i>Not applicable.</i>
i) the adequacy of utilities and municipal services;	Through the Site Plan Approval application for the Dominant Lands, direction was provided by the Region of Peel to implement a sanitary easement to connect the parcel to the Regional Pumping Station. The pipe is appropriately designed and sized appropriately to service the Dominant Parcel as part of the site plan application review process, which will secure for its construction.
j) the adequacy of school sites;	<i>Not applicable.</i>
k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;	<i>Not applicable</i> for the proposed easement. It is noted that the Dominant Parcel will be required to convey lands to the Region of Peel for road widening purposes as part of its Site Plan Approval application.
l) the extent to which the plan’s design optimizes the available supply, means of supplying, efficient use and conservation of energy; and	The proposed easement utilizes the most efficient path beneath the Servient Lands without conflicting with the existing building on the Servient Lands, while also being the most direct route for the sanitary pipe avoiding impacts to public infrastructure and environmentally sensitive lands to the west of the piping station.
m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act or subsection 114 (2) of the <i>City of Toronto Act, 2006</i> . 1994, c. 23, s. 30; 2001, c. 32, s. 31 (2); 2006, c. 23, s. 22 (3, 4); 2016, c. 25, Sched. 4, s. 8 (2).	The Dominant Parcel is currently undergoing a Site Plan Approval process, while the Servient Parcel is site plan approved and completed. The sanitary servicing arrangement was reviewed and considered from a technical perspective as part of both separate site plan review processes.

It is our opinion that the proposed easement meets the criteria of Section 51 (24) of the Planning Act., is appropriate and should ultimately be approved. The easement allows for the appropriate and efficient sanitary servicing of the Dominant Parcel, as envisioned by the Region of Peel as part of the Site Plan Application process and through previous review processes for the appropriate development of the block. The proposed application has merit, represents good planning, and should ultimately be approved by the Committee of Adjustment.

Submission Materials

In support of this application, please find enclosed the following materials:

1. Application Form



2. Easement Sketch
3. Detailed Servicing Plans
4. Site Plan (Dominant Parcel)
5. Approved Site Plan (Servient Parcel)

We trust that the above is in order and that all the submission materials required to advance the consent application have been provided. We request that the materials be circulated for review and comment at the earliest available opportunity so that the item can be considered by the Committee of Adjustment at its April 29, 2025 hearing date. Upon initial review and processing of this application, we request notice so that the applicable application fee of \$5,078 may be paid by the applicant.

We thank you in advance for working with us to process this Consent Application. Should you have questions or require anything further, please do not hesitate to contact the undersigned (ext. 252) or Nicholas Klymciw (ext. 382).

Yours truly,

Weston Consulting

Per:

Michael A. Vani, BURPI, MCIP, RPP
Senior Associate

- c. Chris Serio, Panattoni Development Company
Angelo Ambrico, City of Brampton
Samantha Dela Pena, City of Brampton