



NOV 25 2024

Committee of Adjustment

REVISED

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Baligh and Nora Graieb
Address 10 Hazelwood Drive, Brampton, Ontario

Phone # 416-858-8078 **Fax #** _____
Email billygraieb@rogers.com

2. **Name of Agent** Alana + Kelly Design Co. Ltd
Address 16 Mountainview Road South - Unit 305
Georgetown, Ontario

Phone # 905-873-4993 **Fax #** _____
Email alana@alanakellydesign.ca

3. **Nature and extent of relief applied for (variances requested):**
To allow for a front yard landscape open space area of 41% whereas the minimum landscape open space area is 70%.
To reduce the front setback to an addition a front yard setback of 2.04m.
To reduce the interior side yard setback to a second storey addition to 1.9m.
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres.
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 40%.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5. **Legal Description of the subject land:**
Lot Number 10
Plan Number/Concession Number 717
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. **Dimension of subject land (in metric units)**
Frontage 34.51m
Depth 43m
Area 1207.74m2

7. **Access to the subject land is by:**
 Provincial Highway Seasonal Road
 Municipal Road Maintained All Year Other Public Road
 Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	10.67m
Rear yard setback	15.54m
Side yard setback	1.9m
Side yard setback	2.02m

PROPOSED

Front yard setback	2m
Rear yard setback	15.54m
Side yard setback	1.9m
Side yard setback	2.02m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown
16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File #	A17-024	Decision	Approved	Relief	_____
File #	_____	Decision	_____	Relief	_____
File #	_____	Decision	_____	Relief	_____

[Handwritten Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF Region of Halton

THIS 25 DAY OF November 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I Alana Nielsen OF THE Town OF Halton Hills
IN THE Region OF Halton SOLEMNLY DECLARE THAT

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH

DECLARED BEFORE ME AT THE

Town OF Halton Hills

IN THE Region OF _____

Halton THIS 25 DAY OF

November 2024

[Handwritten Signature]

Signature of Applicant or Authorized Agent



A Commissioner etc

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist

Zoning Officer

Date

DATE RECEIVED _____

Date Application Deemed Complete by the Municipality _____

Revised 2022/02/17



ALANA + KELLY
DESIGN CO.

Owner Authorization

Alana + Kelly Design Co.
Alana Nielsen
905-873-4993
alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

Signature: *billy Graieb*
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : billygraieb@rogers.com

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Phone: 4168588078

Email : aligra@rogers.com

SCOPE OF WORK
 PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

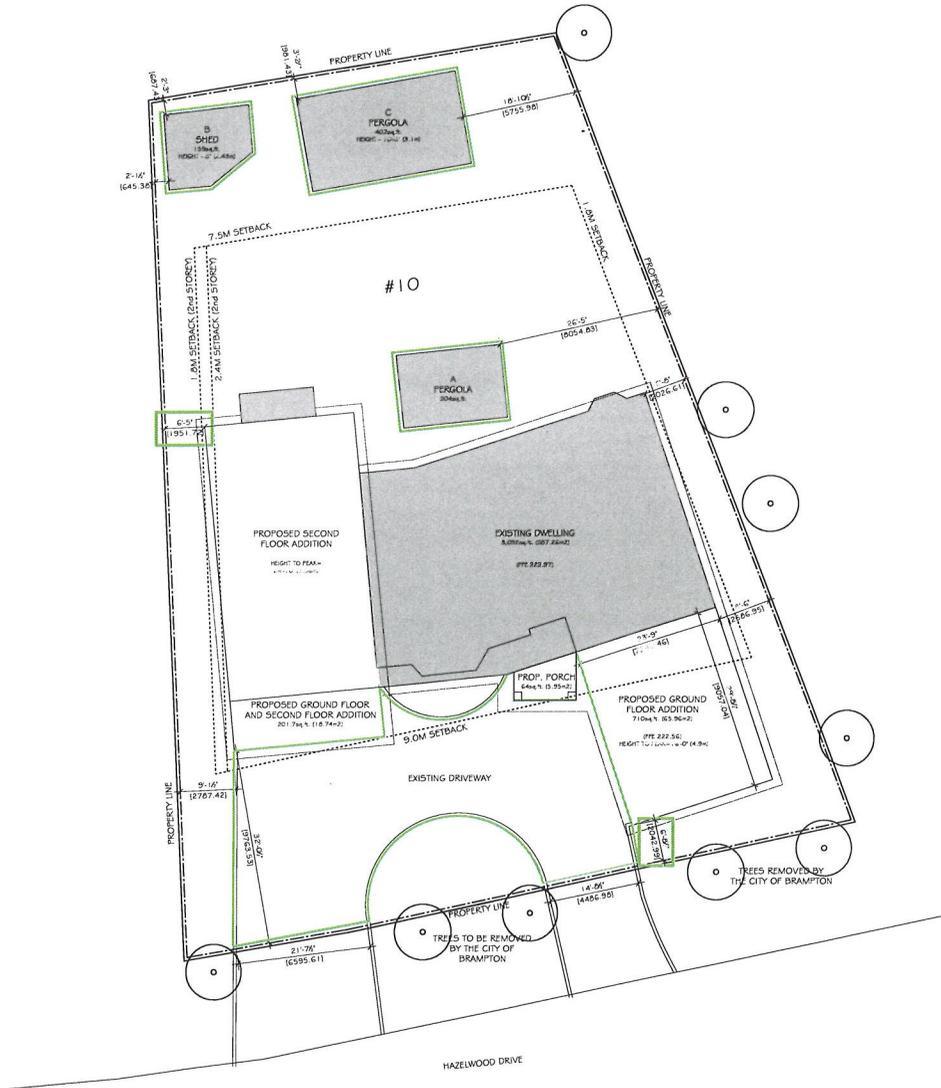
ALLOWABLE LANDSCAPE % = 70% = 2,212ft² (205.50m²)

LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2,064ft² (267.93m²)
 DRIVEWAY AREA = 1,710ft² (158.86m²)
 PROPOSED LANDSCAPE % = 41% = 1,174ft² (109.07m²)

SITE STATISTICS
 ZONING R1A(2)
 LOT SIZE 12,174ft² (1,131m²)

LOT COVERAGE - DETACHED DWELLING
 ALLOWABLE% 25% = 3,043ft² (282.70m²)
 EXISTING 25.3% = 3,092ft² (287.26m²)
 PROPOSED 8% = 976ft² (90.67m²)
 ACCESS. STRUCT. 6.3% = 765ft² (71.07m²)
 TOTAL 39.7% = 4,833ft² (449m²)

LOT COVERAGE - ACCESSORY STRUCTURES
 ALLOWABLE = 215ft² (20m²)
 EXISTING - A = 204ft² (18.95m²)
 EXISTING - B = 160ft² (14.86m²)
 EXISTING - C = 404ft² (37.53m²)
 TOTAL = 768ft² (71.34m²)



1 SITE PLAN
 0.01M 3/32" = 1'-0" NOV 24 / 2024


ALANA + KELLY
DESIGN CO.
 ARCHITECTURAL TECHNOLOGY
 INTERIOR DESIGN

16 Mountainview Rd S, Unit 305
 Georgetown, ON
 L7G 4K1
 Office: 905-873-4993
 www.alanakellydesign.ca

DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY. G.C. AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
SITE PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	NOV 24/24	ISSUED FOR VARIANCE

DRAWING #:

0.01MV

PRELIMINARY- FOR REVIEW

SCOPE OF WORK
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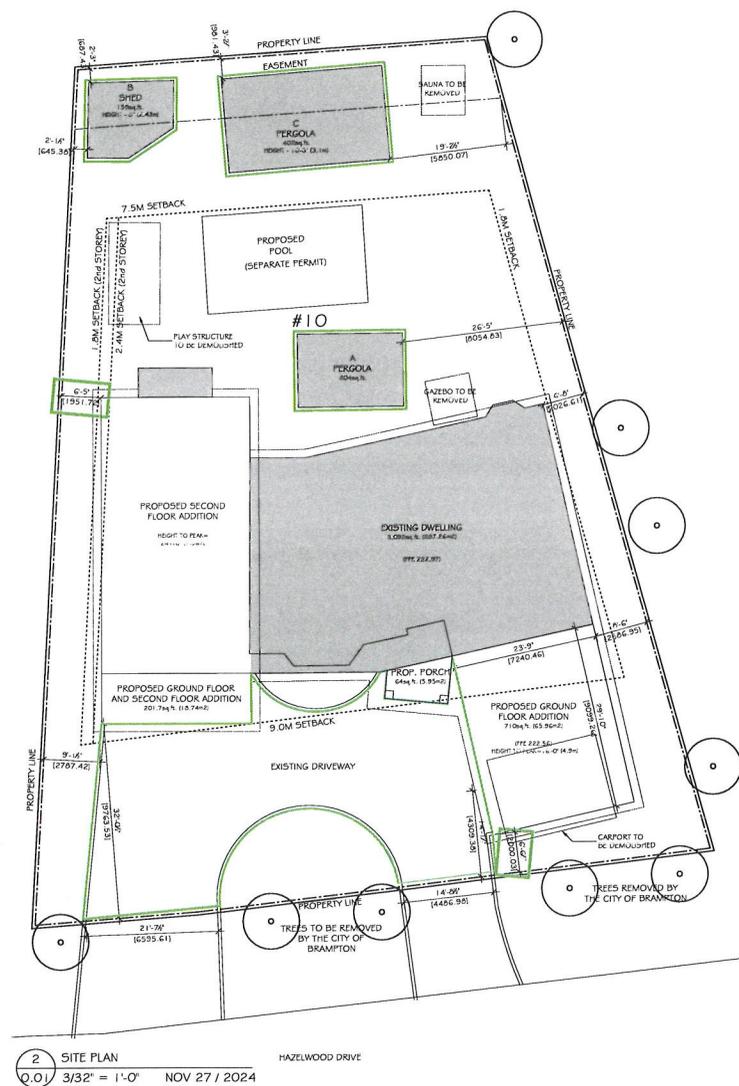
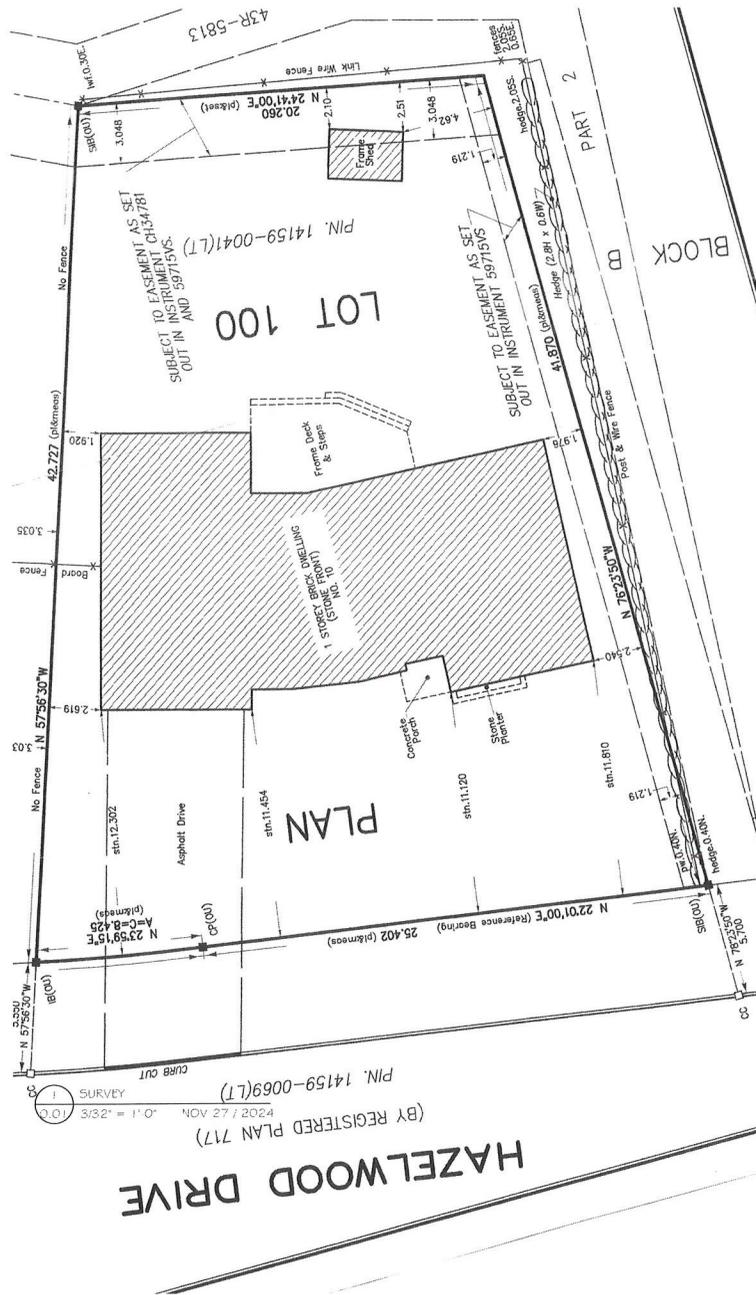
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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
SITE PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	NOV 27/24	ISSUED FOR VARIANCE

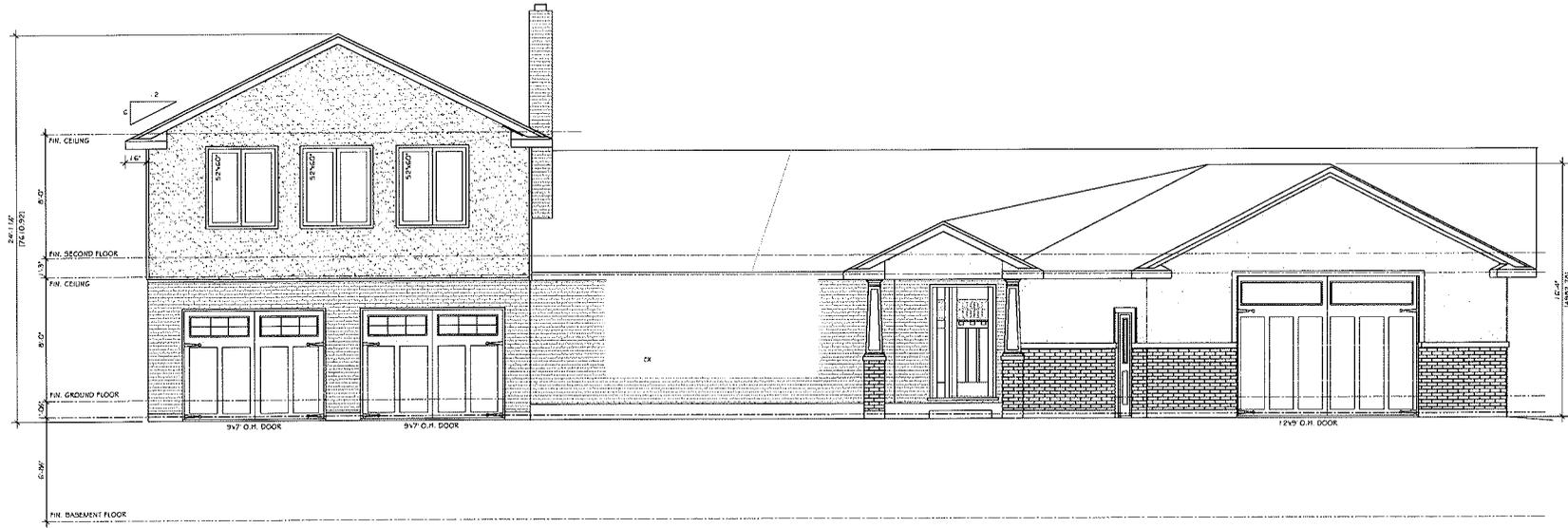
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Received / Revised

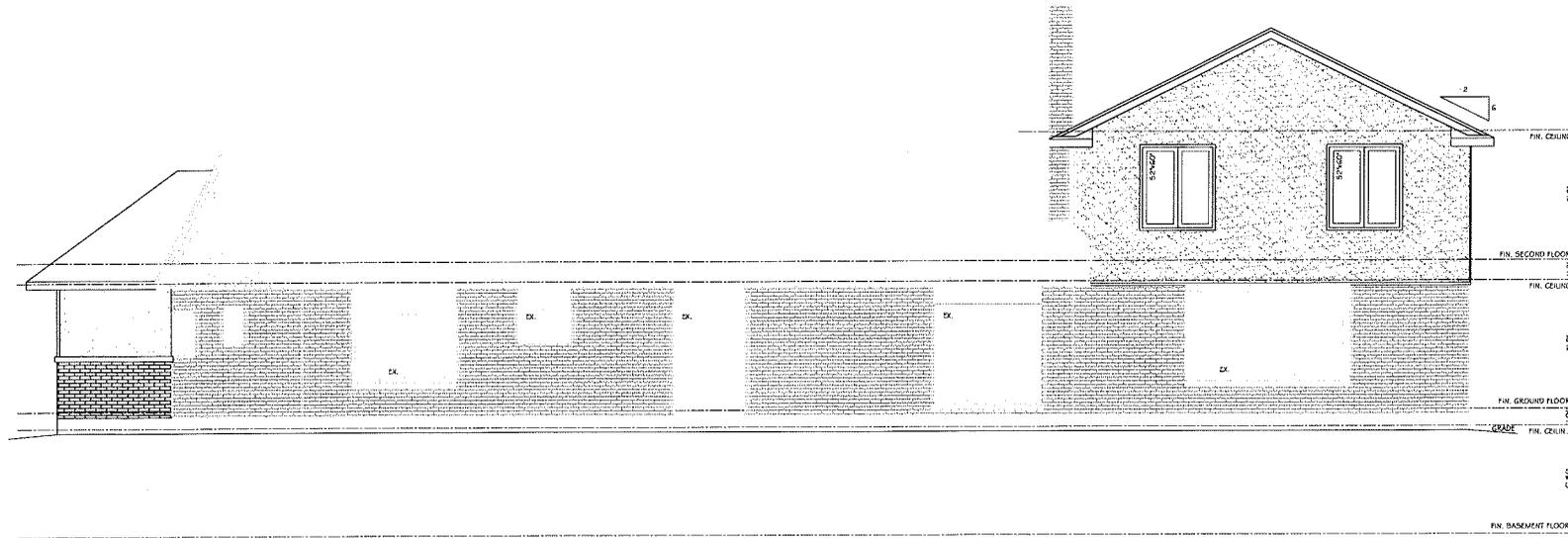
NOV 27 2024

Committee of Adjustment

PRELIMINARY- FOR REVIEW



1 WEST ELEVATION
 2.00 1/4" = 1'-0" JAN 7/2025



2 EAST ELEVATION
 2.00 1/4" = 1'-0" JAN 7/2025


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 DESIGN CO.
 ARCHITECTURAL TECHNOLOGY
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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
EAST & WEST ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

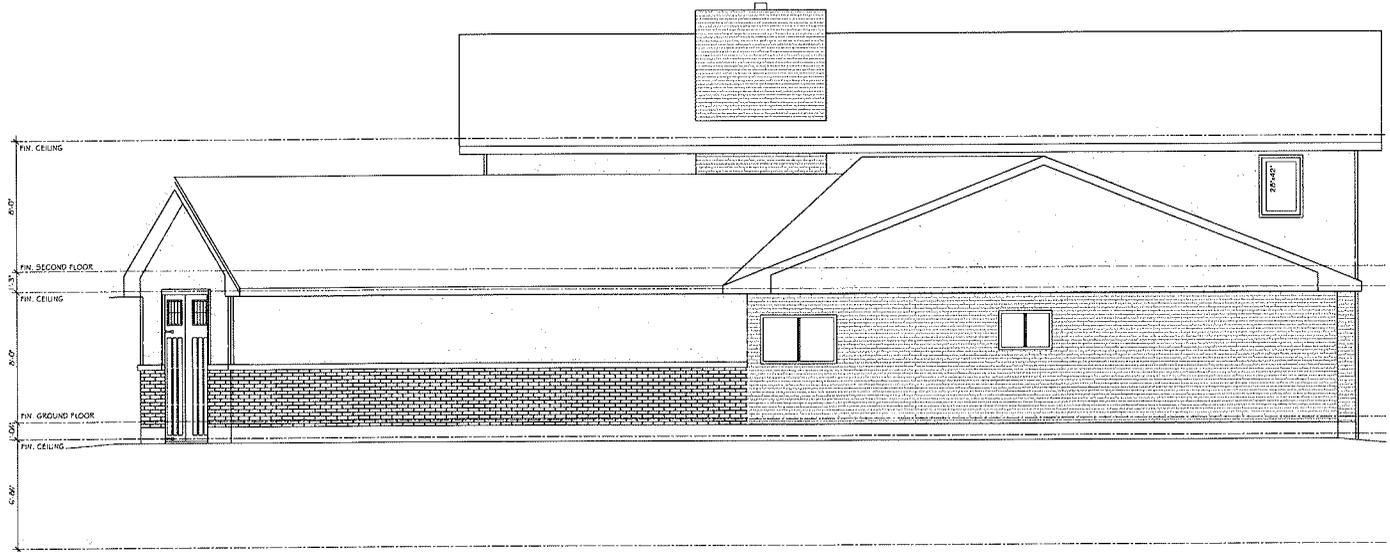
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Received / Revised

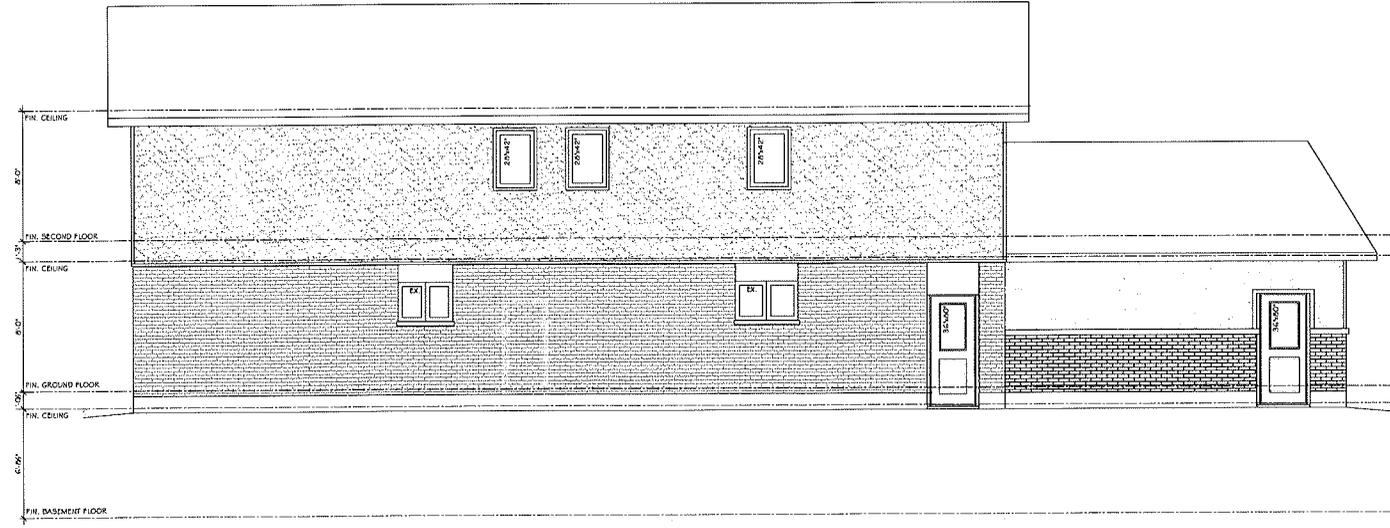
JAN 14 2025

Committee of Adjustment

PRELIMINARY- FOR REVIEW



1 SOUTH ELEVATION
2.01 1/4" = 1'-0" JAN 7/2025



2 NORTH ELEVATION
2.01 1/4" = 1'-0" JAN 7/2025

JAN 14 2025
Committee of Adjustment

PRELIMINARY- FOR REVIEW



ALANA + KELLY
DESIGN CO.

ARCHITECTURAL TECHNOLOGY
IN THE FIELD DESIGN

16 Mountainview Rd S, Unit 305
Georgetown, ON
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10 Hazelwood Dr
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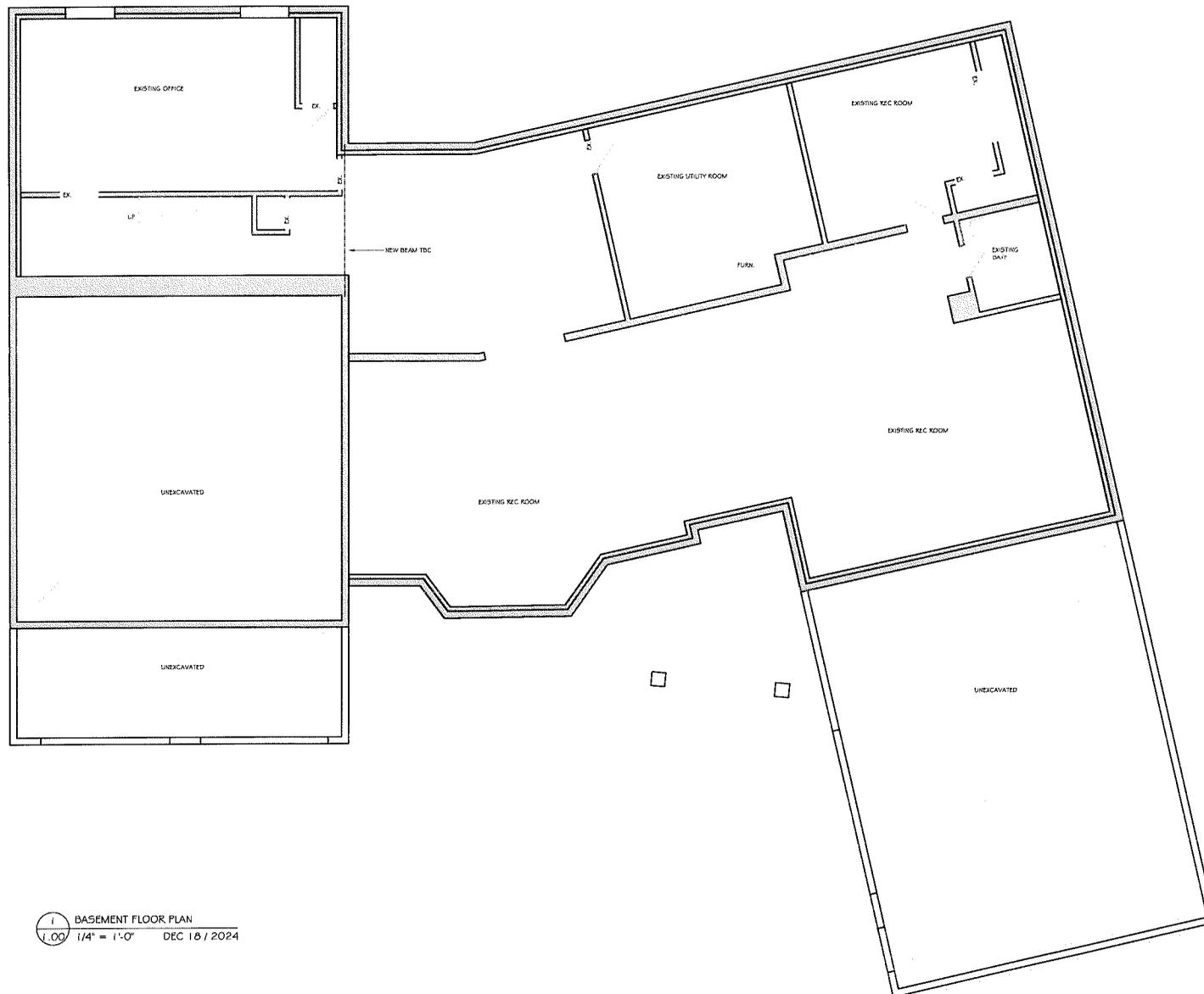
DRAWING:
NORTH & SOUTH ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:
2.01



1.00 BASEMENT FLOOR PLAN
1/4" = 1'-0" DEC 18 / 2024

Received / Revised

JAN 14 2025

Committee of Adjustment

PRELIMINARY- FOR REVIEW



ALANA + KELLY
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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

GROUND FLOOR PLAN

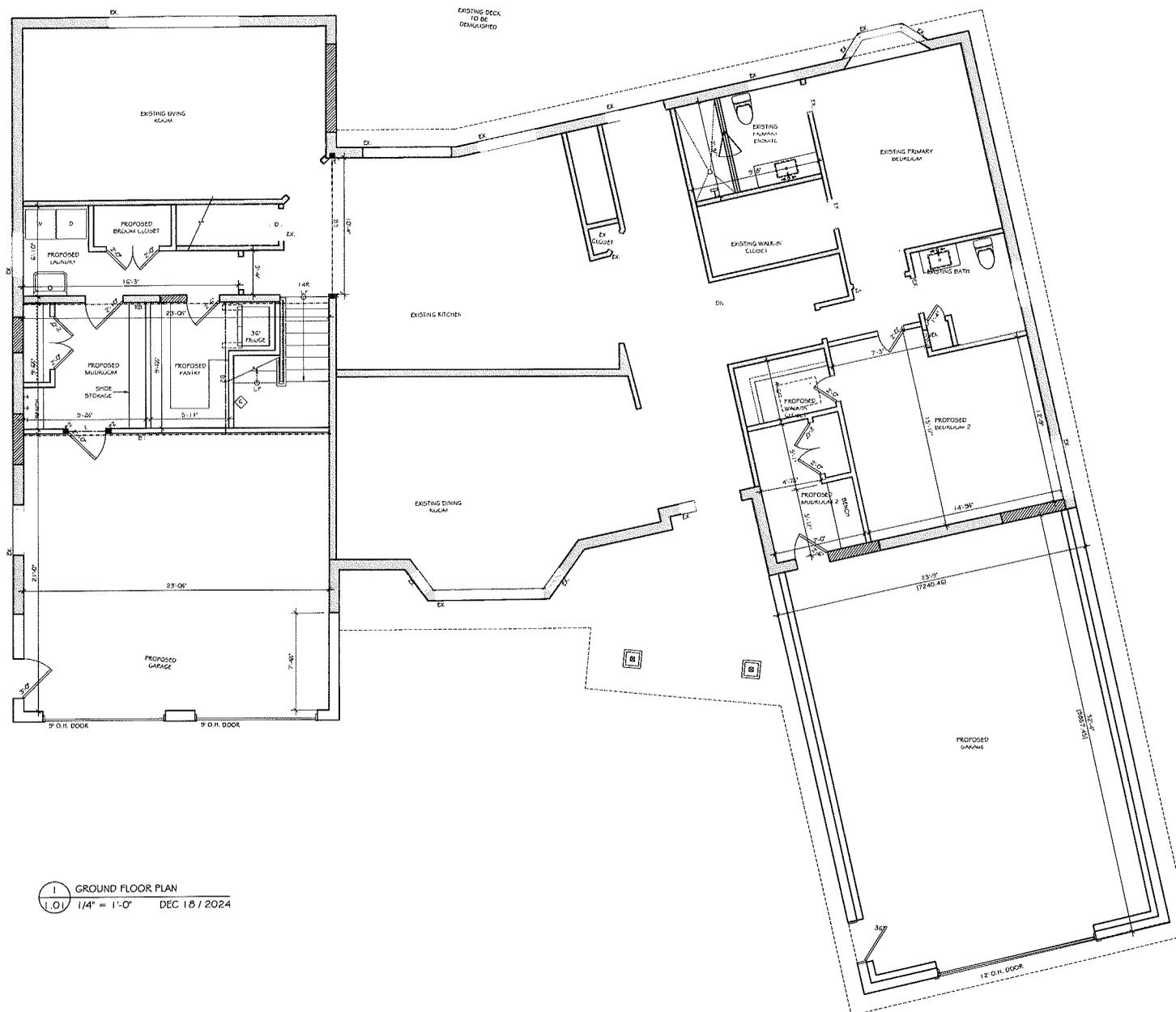
SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

1.00



1 GROUND FLOOR PLAN
 1.01 1/4" = 1'-0" DEC 18 / 2024

Received / Revised

JAN 14 2025

Committee of Adjustment

PRELIMINARY- FOR REVIEW



ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGY
 INTERIOR DESIGN

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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
GROUND FLOOR PLAN

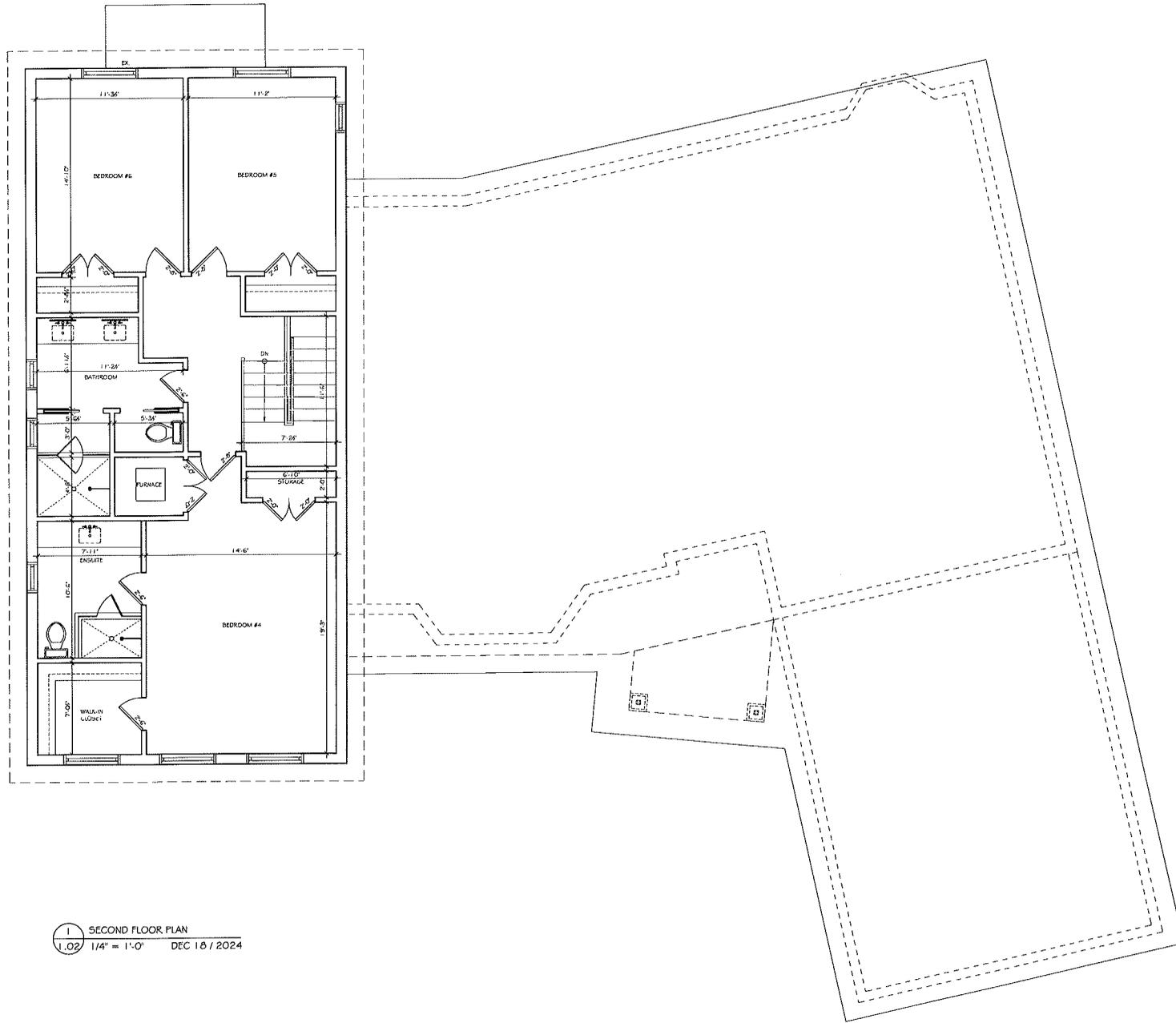
SCALE: AS NOTED

REVISIONS:

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11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

1.01



1 SECOND FLOOR PLAN
 1.02 1/4" = 1'-0" DEC 18 / 2024



**ALANA + KELLY
DESIGN CO.**

ARCHITECTURAL TECHNOLOGY
DESIGNER (P.012)

16 Mountainview Rd S, Unit 305
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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
GROUND FLOOR PLAN

SCALE: AS NOTED

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13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:
1.02

Received / Revised
 JAN 14 2025
 Committee of Adjustment

PRELIMINARY- FOR REVIEW

Zoning Non-compliance Checklist

File No.

Received / Revised

JAN 14 2025

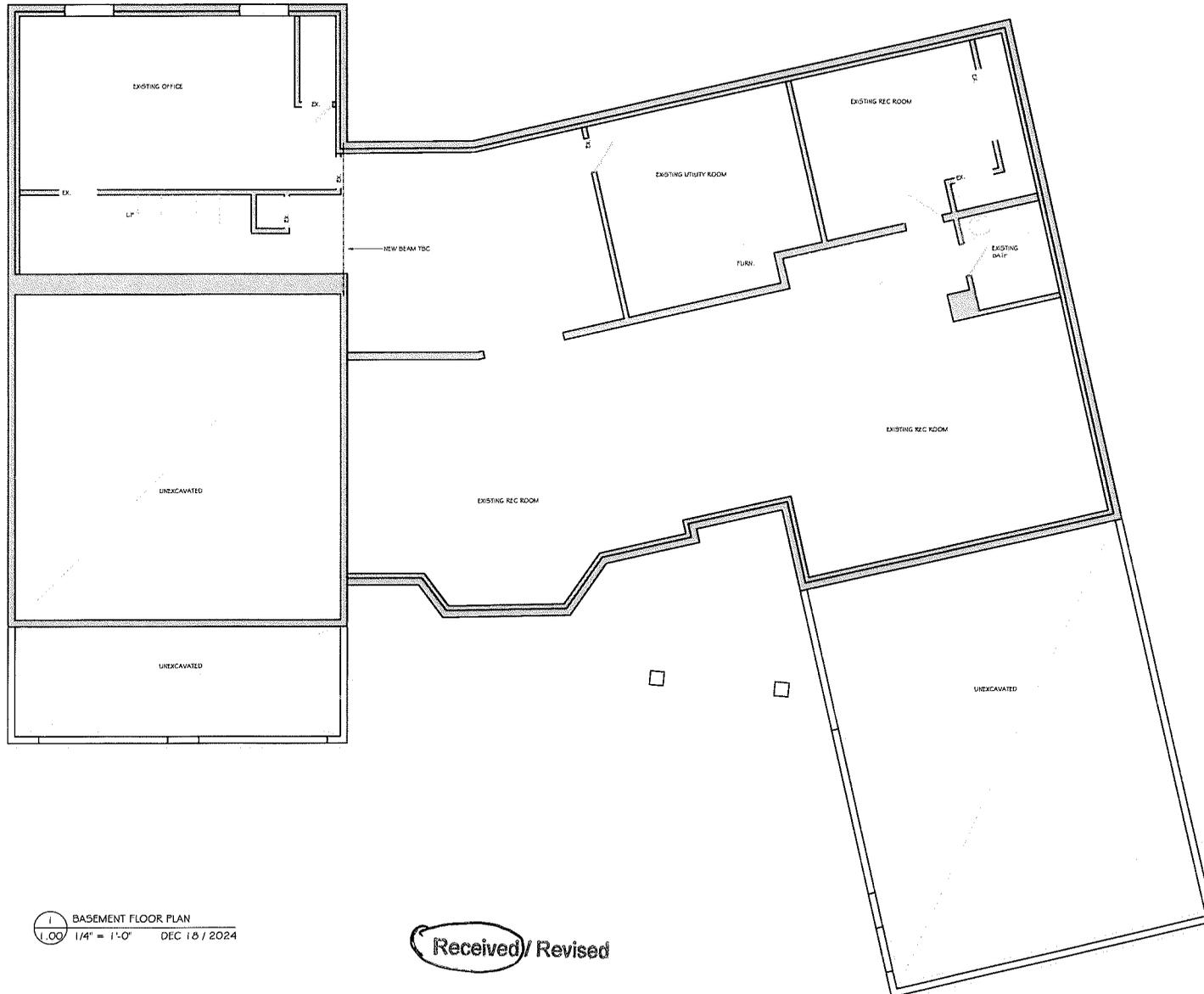
Committee of Adjustment

Applicant: Alana + Kelly Design Co Ltd
 Address: 10 Hazelwood Dr
 Zoning: Mature Neighbourhood, R1A (2)
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
SETBACKS	To permit a front yard setback of 1.2m metres to a proposed ground floor addition (Attached Garage)	Whereas the by-law requires a minimum front yard setback of 9.0 metres.	12.13.2(d)
	To permit an interior side yard setback of 2.587m to a proposed ground floor addition (Attached Garage).	Whereas the by-law requires a minimum interior side yard setback of 2.8 metres.	10.27.b)iii)
	To permit an interior side yard setback of 1.952 metres to a proposed Ground Floor & Second Floor Addition.	Whereas the by-law requires a minimum interior side yard setback of 2.8 metres	10.27.b)iii)
	To permit a setback of 0.439m for a garage door opening to a front yard line	Whereas the by-law requires a minimum setback of 6.0m from a front or flankage line to a carport or garage door opening.	10.5(b)
LOT COVERAGE	To permit a maximum lot coverage of 40%	Whereas the by-law permits a maximum lot coverage of 25%.	12.3.2.(i)
ACCESSORY STRUCTURES	To permit 2 accessory structures (Existing Pergola 'C' & Existing Shed 'B') to be constructed on an easement	Whereas the by-law does not permit accessory structures to be constructed upon any easement.	10.3.(b)
	To permit 3 accessory structures.	Whereas the zoning by-law permits a maximum of not more than one swimming pool enclosure, and two accessory buildings, other than a swimming pool on a lot.	10.3.(d)
	To permit an accessory structure (Existing Pergola 'A') having a gross floor area of 18.95 square metres (204 square feet).	Whereas the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.	10.3.(e)(ii)
	To permit an accessory structure (Existing Pergola 'A') having a height of 3.2 metres.	Whereas the by-law permits an accessory structure having a maximum height of 3.0 metres.	10.3(h)
	To permit an accessory structure (Existing Pergola 'C') to be used for human habitation.	Whereas the by-law does not permit an accessory structure to be used for human habitation.	10.3.(c)
	To permit an accessory structure (Existing Pergola 'C') having a gross floor area of 37.35 square metres (402 square feet).	Whereas the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.	10.3.(e)(ii)
	To permit an accessory structure (Existing Pergola 'C') having a height of 3.1 metres.	whereas the by-law permits an accessory structure having a maximum height of 3.0 metres.	10.3(h)
	To permit a combined gross floor area of 65.13 square metres for three (3) accessory structures.	Whereas the by-law permits a maximum combined gross floor area of 20 square metres for two (2) accessory structures.	10.3.(e)(ii)
DRIVEWAYS	To permit a semicircular Residential Driveway with a maximum surface area of 64.28% of the front yard area,	Whereas the by-law permits a maximum surface area of 50% of the front yard area for a Residential Driveway.	10.9.1.B.6)

John C. Cabral
 Reviewed by Zoning

2025-01-14
 Date



1.00 BASEMENT FLOOR PLAN
1/4" = 1'-0" DEC 10 / 2024

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JAN 08 2025

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ALANA + KELLY
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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

GROUND FLOOR PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
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DRAWING:

GROUND FLOOR PLAN

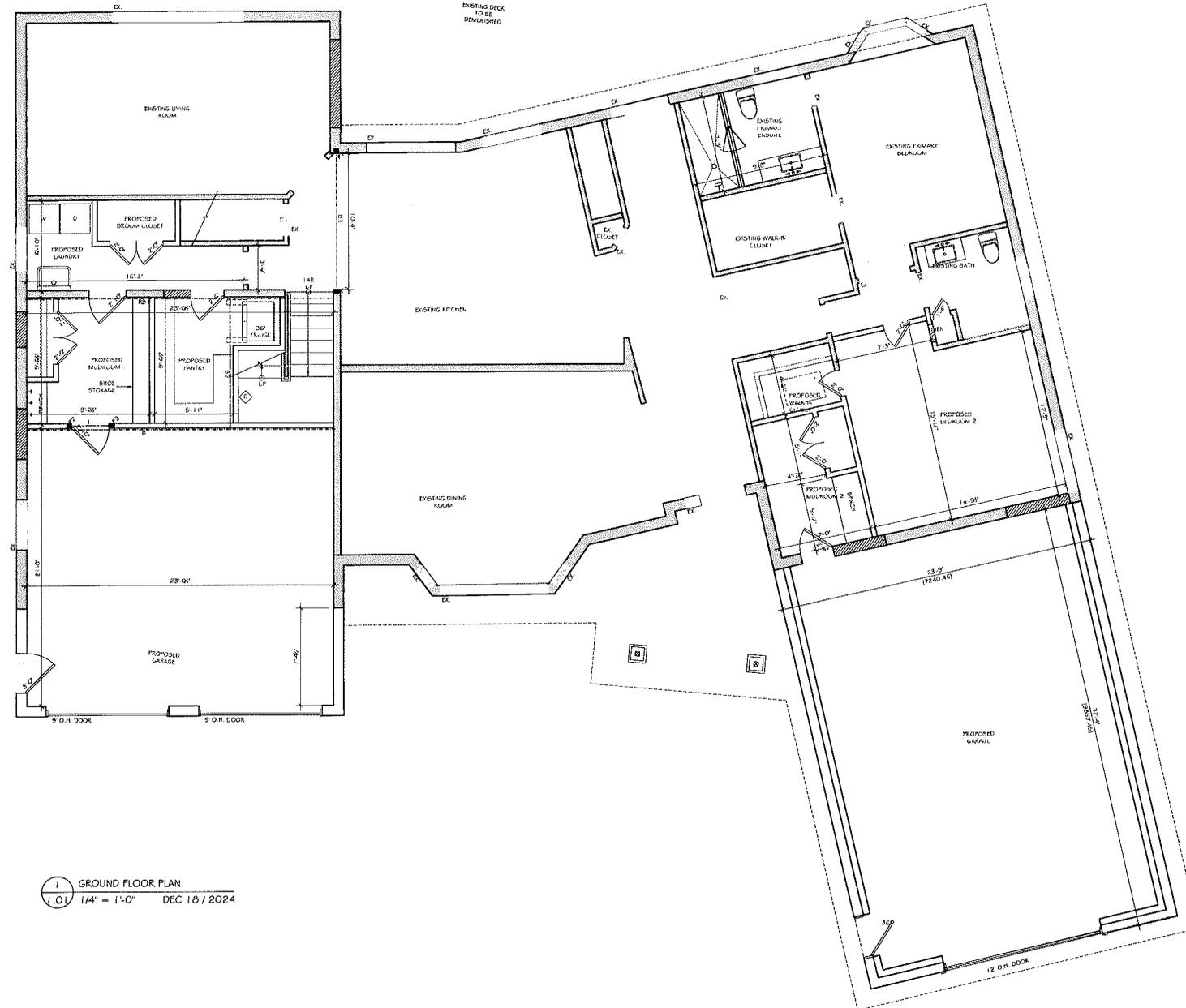
SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

1.01



PRELIMINARY- FOR REVIEW

Received / Revised

JAN 08 2025

Committee of Adjustment

1 GROUND FLOOR PLAN
1/4" = 1'-0" DEC 18 / 2024

ALANA + KELLY
ARCHITECTURAL TECHNOLOGY
DESIGN CO.

16 Mountview Rd S, Unit 305
Georgetown, ON
L7G 4K1
Office: 905-873-4993
www.alanakellydesign.ca

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PROJECT: **GRAEB RESIDENCE**
10 Hazelwood Dr
Brampton, Ontario

DRAWING: **GROUND FLOOR PLAN**

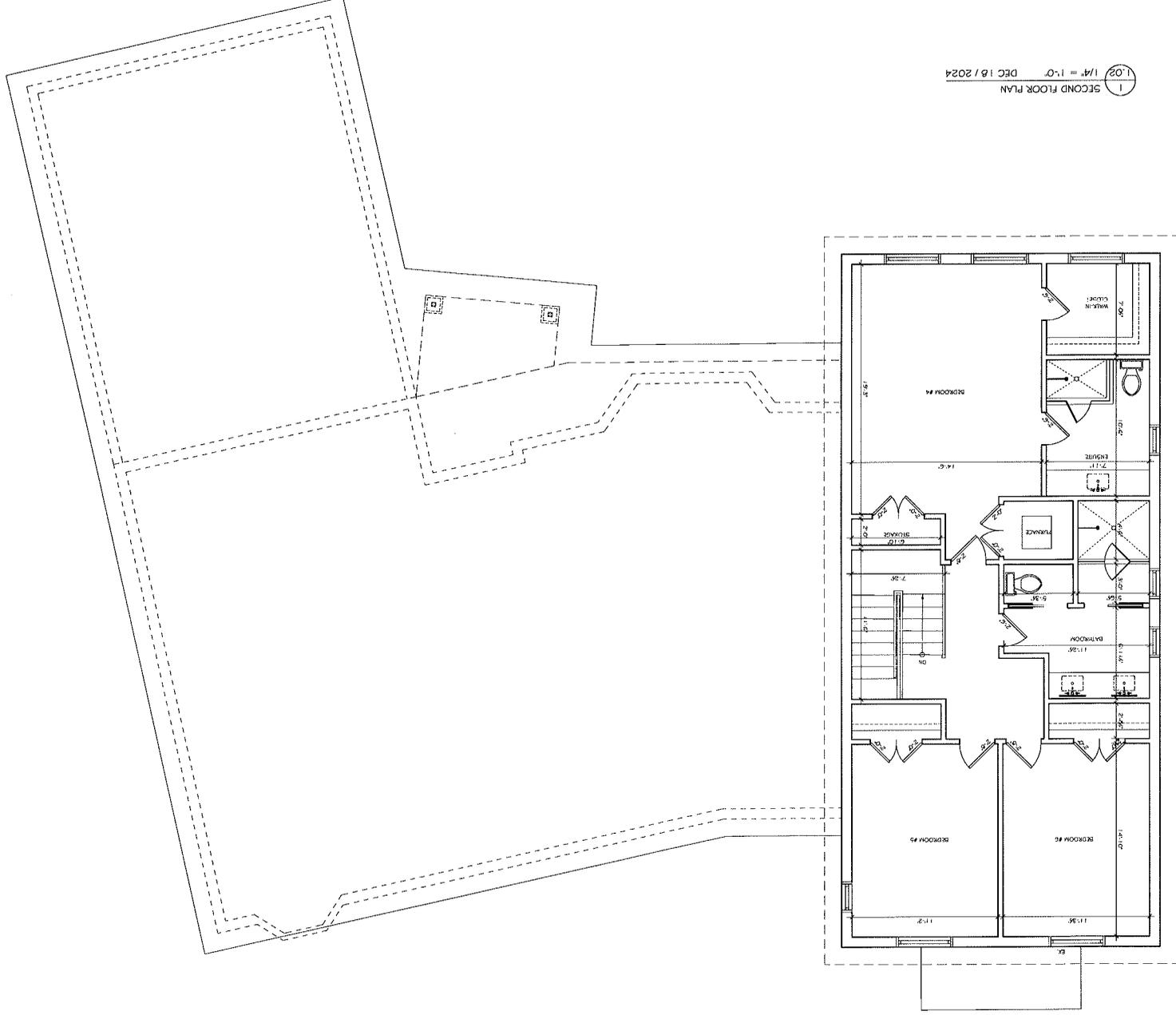
SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #: **1.02**

PRELIMINARY- FOR REVIEW

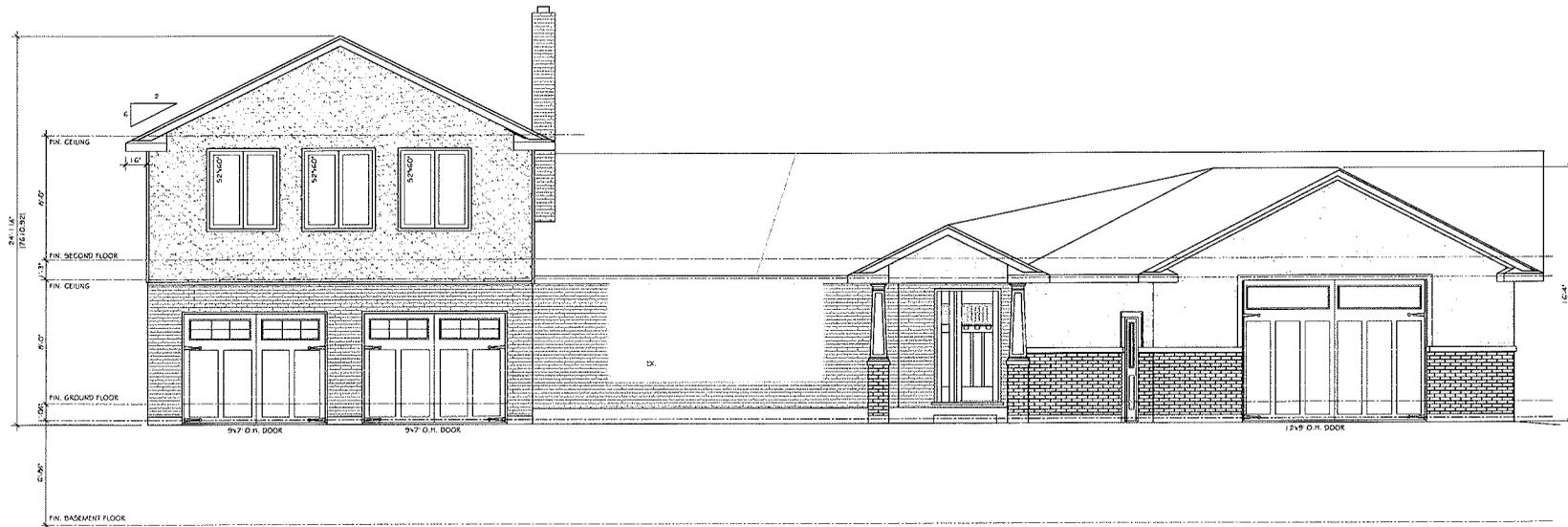


1 SECOND FLOOR PLAN
1/4" = 1'-0" DEC 18 / 2024

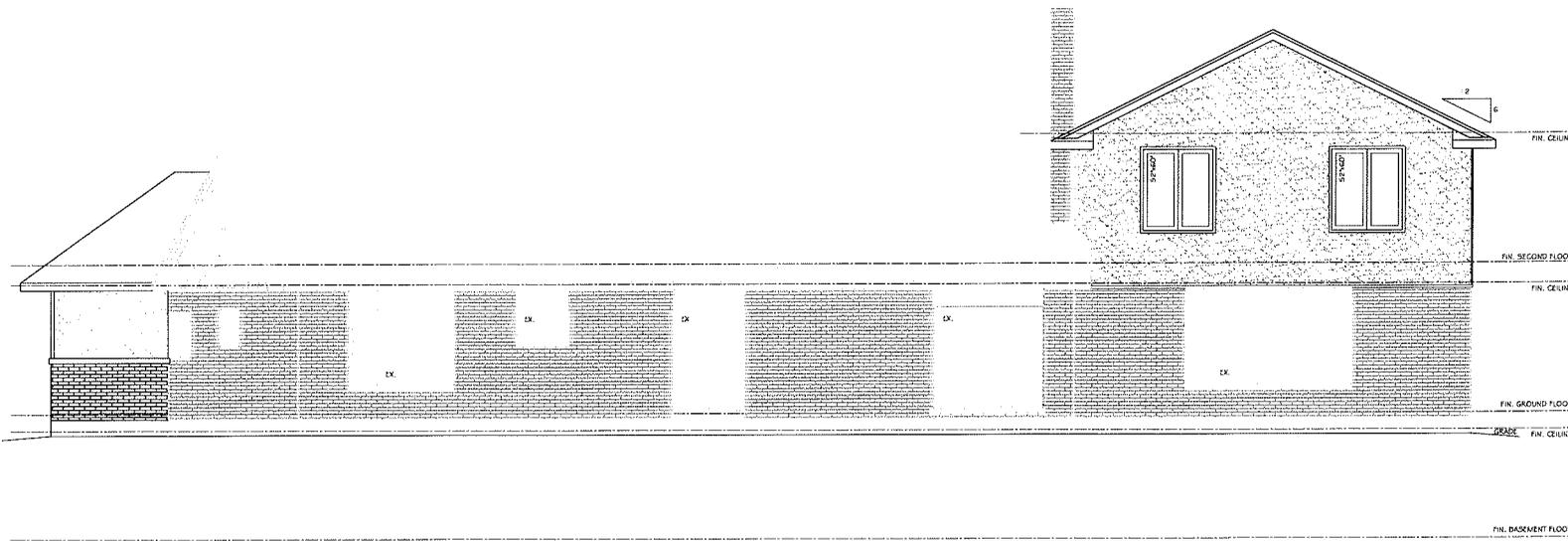
Committee of Adjustment

JAN 08 2025

Received / Revised



1 WEST ELEVATION
1/4" = 1'-0" JAN 7/2025



2 EAST ELEVATION
1/4" = 1'-0" JAN 7/2025



ALANA + KELLY
DESIGN CO.

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

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PROJECT:
GRAIEB RESIDENCE
10 Hazelwood Dr
Brampton, Ontario

DRAWING:
EAST & WEST ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:
2.00

Received Revised
JAN 08 2025
Committee of Adjustment

PRELIMINARY- FOR REVIEW

Received / Revised

JUL 17 2024

Committee of Adjustment

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Baligh and Nora Graieb
Address 10 Hazelwood Drive, Brampton, Ontario L6S 1B3
Phone # 416-858-8078 **Fax #** _____
Email billy2020@rogers.com

2. **Name of Agent** Alana + Kelly Design Co. Ltd
Address 16 Mountainview Road South, Unit 305
Georgetown, Ontario
Phone # 905-873-4993 **Fax #** _____
Email alana@alanakellydesign.ca

3. **Nature and extent of relief applied for (variances requested):**
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 1.6m.
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.34 square metres.
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 39%.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp

5. **Legal Description of the subject land:**
Lot Number 10
Plan Number/Concession Number 717
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. **Dimension of subject land (in metric units)**
Frontage 34.51m
Depth 43m
Area 1207.74m2

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.67m
Rear yard setback 15.54m
Side yard setback 2.63m
Side yard setback 2.49m

PROPOSED

Front yard setback 1.61m
Rear yard setback 17.40m
Side yard setback 2.63m
Side yard setback 1.99m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # <u>A17-024</u>	Decision <u>Approved</u>	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF Region of Halton
THIS 14 DAY OF July, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen, OF THE Town OF Halton Hills
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
Town OF Halton Hills
IN THE Region OF
Halton THIS 14 DAY OF
July

Curtis Nielsen
A Commissioner etc.
COMMISSIONER ETC.
CURTIS NIELSEN
WHILE BEING A
LICENSED PARALEGAL
PROVINCIAL # P10204
PROVINCE OF ONTARIO

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	<u>R1A(2), Mature Neighbourhood</u>
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
<u>Shiza Athar</u> Zoning Officer	<u>2024/09/13</u> Date

DATE RECEIVED Received / Revised
Date Application Deemed Complete by the Municipality _____

Revised 2022/02/17

JUL 17 2024

Committee of Adjustment

GRAIEB RESIDENCE

ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
2.00	SECOND FLOOR
4.01	EAST & WEST ELEVATION
4.02	NORTH & SOUTH ELEVATION

GENERAL NOTES	
ALL DRAWINGS ARE THE PROPERTY OF ALANA+KELLY DESIGN CO. LTD. THE DESIGNER RETAINS COPYRIGHT IN THESE DOCUMENTS WHICH MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.	
1. ALL DRAWINGS & CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: <ol style="list-style-type: none"> THE ONTARIO BUILDING CODE (LATEST EDITIONS) APPLICABLE LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) THE ONTARIO HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS ALL AUTHORITIES HAVING JURISDICTION OVER THE SITE 	
2. ALL DIMENSIONS & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER.	
3. DRAWINGS ARE TO BE READ AND NOT SCALED.	
4. ANY VARIANCE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.	
5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.	

ADDITIONS TO EXISTING BUILDINGS 3.1.1.11	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE ⁽¹⁾	10.56 (R60)
MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
CEILING W/O ATTIC SPACE ⁽¹⁾	5.46 (R31)
MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
EXPOSED FLOOR ⁽¹⁾	5.46 (R31)
MIN.RSI-VALUE (R-VALUE)	3.34+0.88ci (R19+5ci)
WALLS ABOVE GRADE ⁽¹⁾	3.52 ci (R20 ci)
MIN.RSI-VALUE (R-VALUE)	1.76 (R10)
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) ⁽¹⁾	1.76 (R10)
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) ⁽¹⁾	1.6
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m2*K) ⁽²⁾	

NOTES:
 1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m2*K)/W
 2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m2*K
 3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.


ALANA + KELLY
 DESIGN CO.
ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN
 ALANA + KELLY DESIGN CO.
 ALANA NIELSEN
 (905)-873-4993
 ADMIN@ALANAKELLYDESIGN.CA

PROJECT STATISTICS	
EXISTING	3,205ft ² (297.75m ²)
PROPOSED	2,249ft ² (208.93m ²)
TOTAL	5,454ft ² (506.69m ²)
ACCESSORY STRUCTURES	
EXISTING - A	204ft ² (18.95m ²)
EXISTING - B	160ft ² (14.86m ²)
EXISTING - C	404ft ² (37.53m ²)
TOTAL	768ft ² (71.34m ²)




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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

COVER PAGE

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

0.00

Received / Revised

SEP 13 2024

Committee of Adjustment

PRELIMINARY- FOR REVIEW



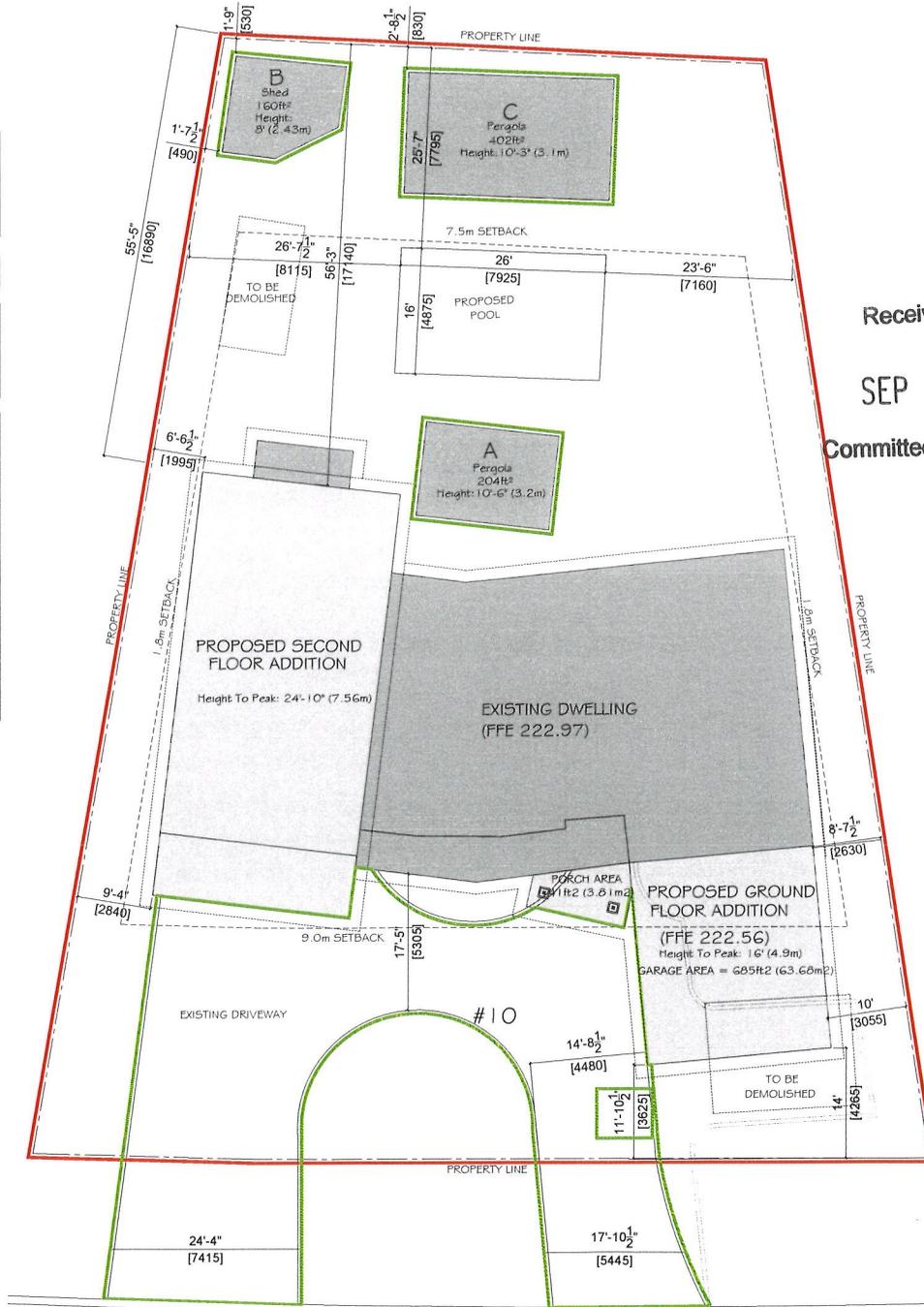
SCOPE OF WORK
 PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 1,812ft² (168,36m²)

LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2,912ft² (270,53m²)
 DRIVEWAY AREA = 1,548ft² (143,80m²)
 PROPOSED = 51,5% = 1,501ft² (139,45m²)
 LANDSCAPE %

SITE STATISTICS
 ZONING R1A(2)
 LOT SIZE 13,000ft² (1,207.74m²)
 LOT COVERAGE - DETACHED DWELLING
 ALLOWABLE% 25% = 3,250ft² (301,94m²)
 EXISTING 25% = 3,271ft² (303,89m²)
 PROPOSED 5.9% = 769ft² (71,44m²)
 ACCESS. STRUCT. 6% = 768ft² (71,34m²)
 TOTAL 36.6% = 4,769ft² (443,05m²)

LOT COVERAGE - ACCESSORY STRUCTURES
 ALLOWABLE = 548,42ft² (50,94m²)
 EXISTING -A = 204ft² (18,95m²)
 EXISTING -B = 160ft² (14,86m²)
 EXISTING -C = 404ft² (37,53m²)
 TOTAL = 768ft² (71,34m²)



Received / Revised
SEP 13 2024
 Committee of Adjustment

1 SITE PLAN
 0.01 1/8" = 1'-0" AUGUST 29/2024

HAZELWOOD DRIVE

PRELIMINARY- FOR REVIEW



**ALANA + KELLY
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ARCHITECTURAL TECHNOLOGY
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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
**SITE PLAN
 MINOR VARIANCE**

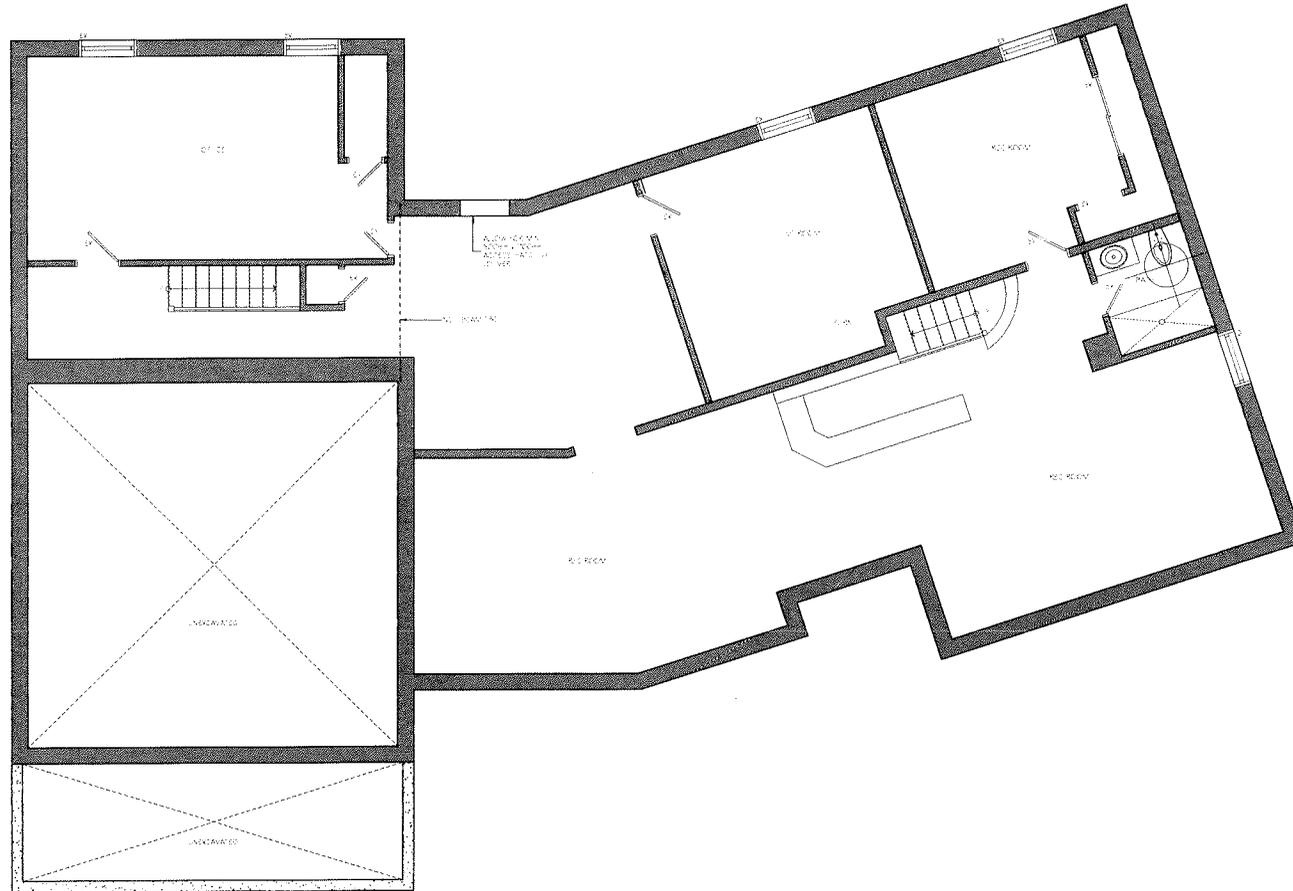
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7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING#:

0.01



1 FOUNDATION PLAN
 1.00 1/4" = 1'-0" AUGUST 29/2024

Received / Revised

SEP 13 2024

Committee of Adjustment

PRELIMINARY- FOR REVIEW



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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
 Brampton, Ontario

DRAWING:

FOUNDATION PLAN

SCALE: AS NOTED

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DRAWING #:

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PROJECT:

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DRAWING:

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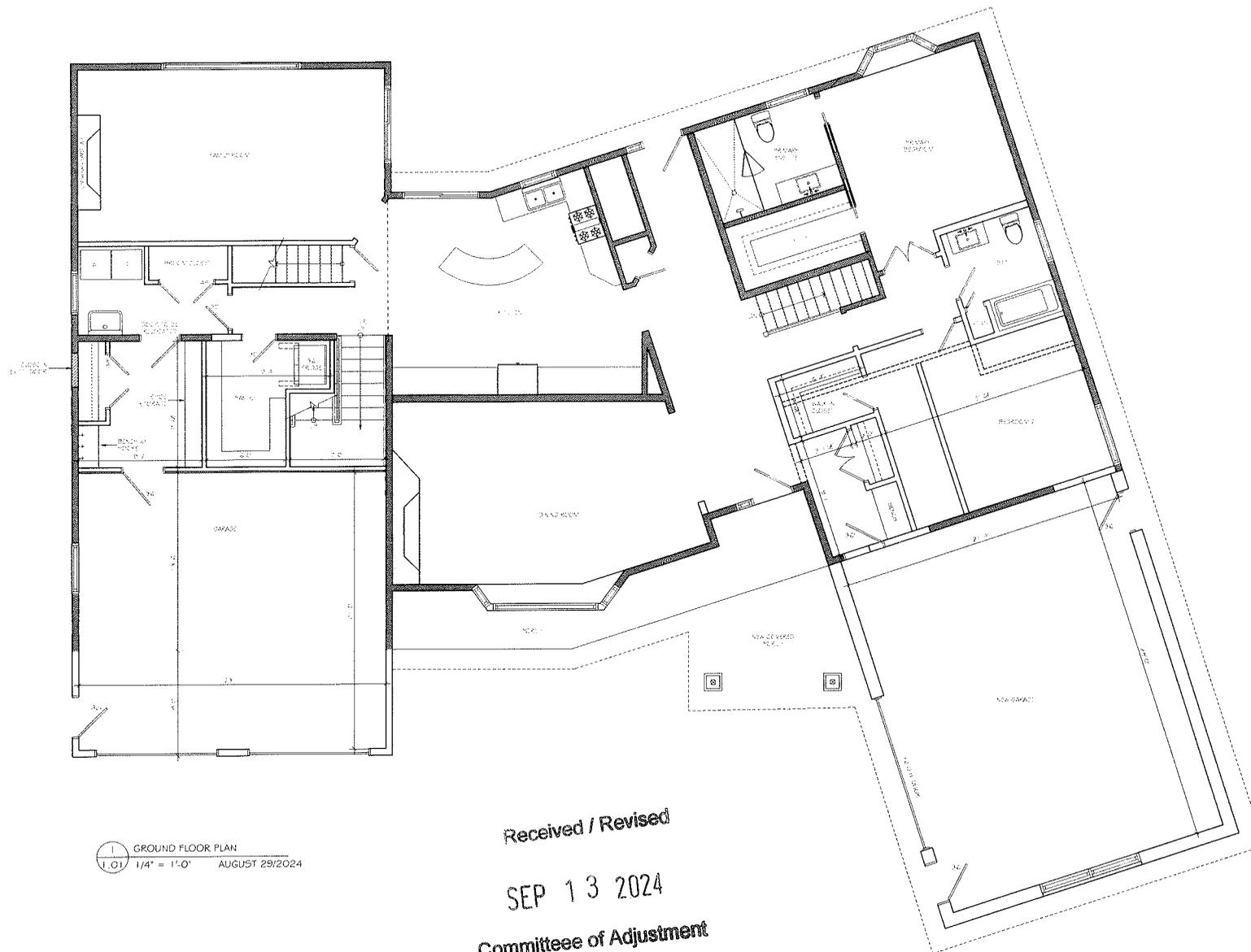
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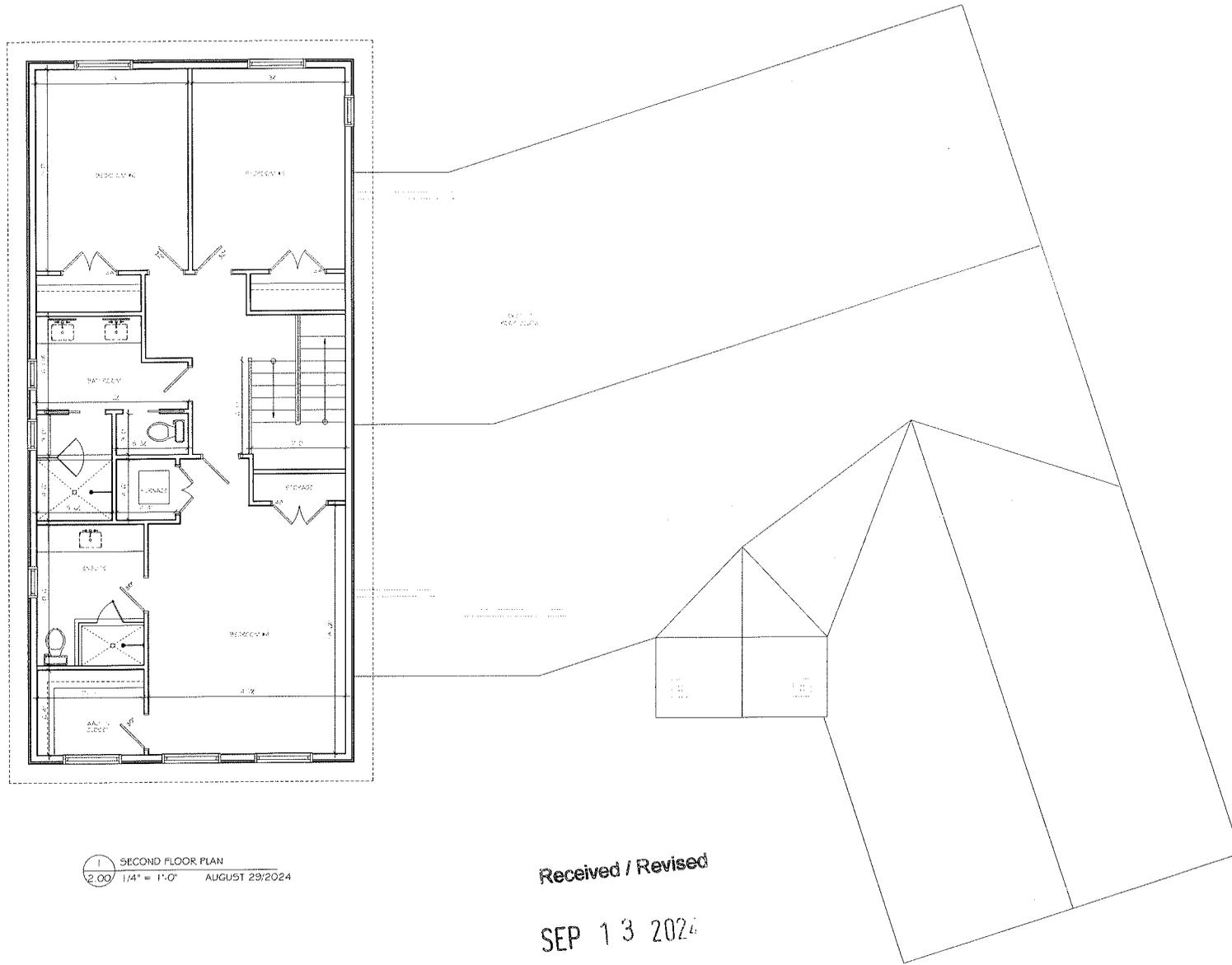
1.01



GROUND FLOOR PLAN
1.01 1/4" = 1'-0" AUGUST 29/2024

Received / Revised
SEP 13 2024
Committee of Adjustment

PRELIMINARY- FOR REVIEW



1 SECOND FLOOR PLAN
 2.00 1/4" = 1'-0" AUGUST 29/2024

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
 Brampton, Ontario

DRAWING:

SECOND FLOOR PLAN

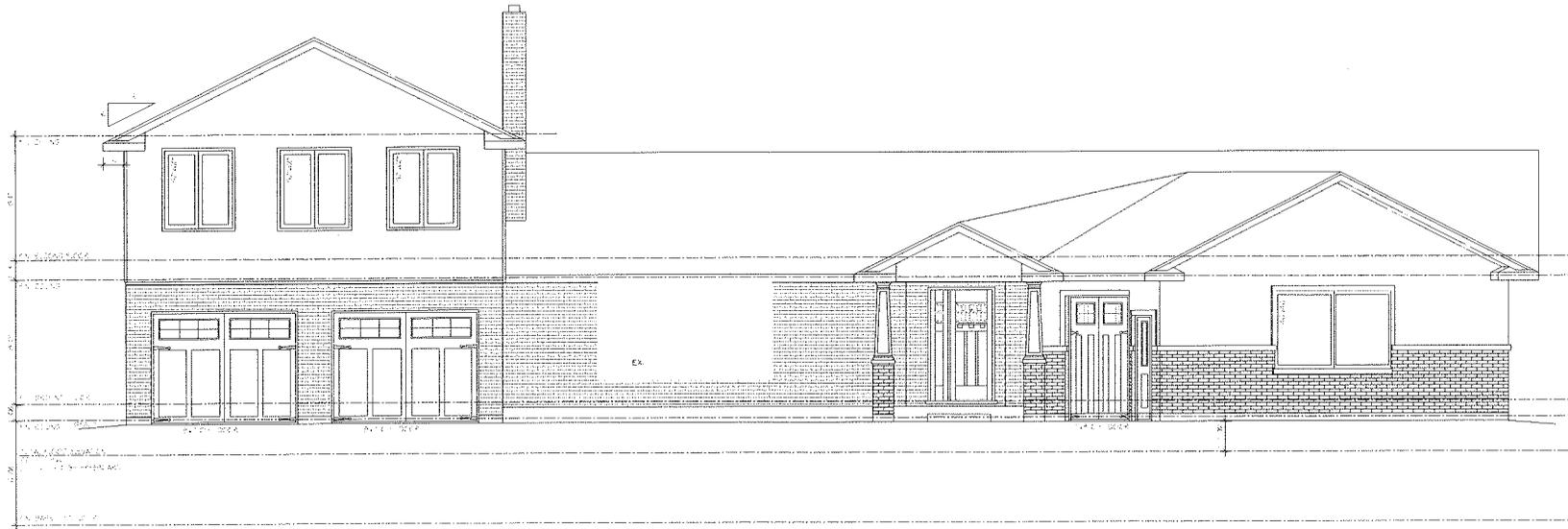
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REVISIONS:

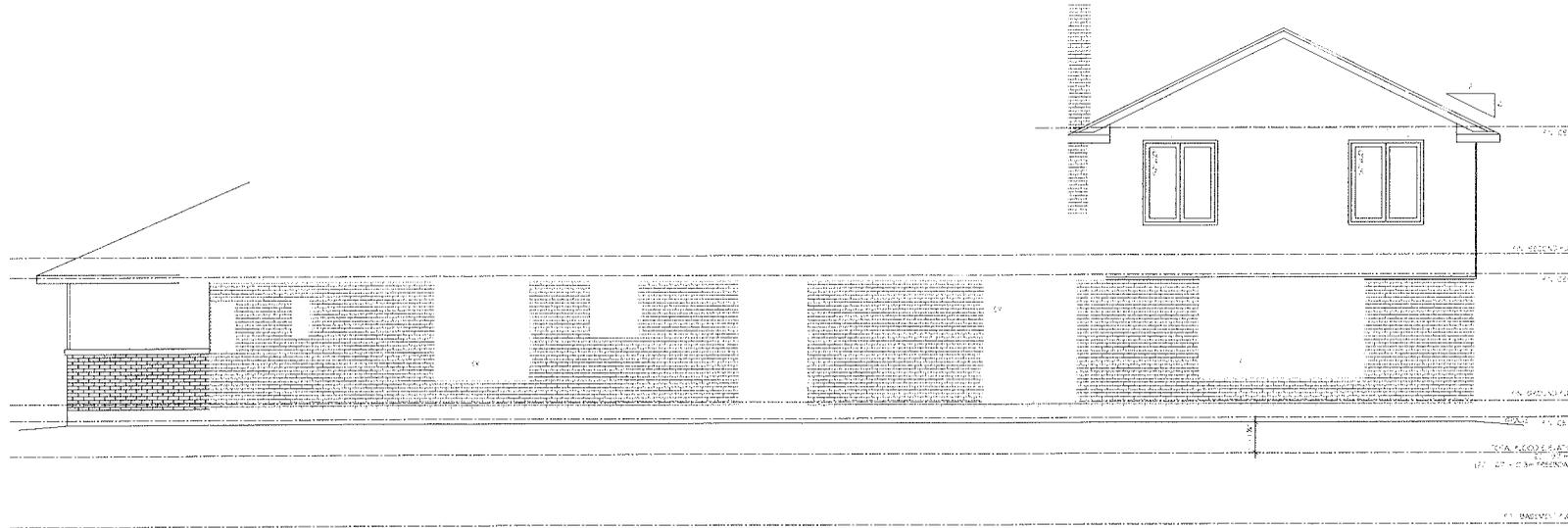
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DRAWING #:

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1 WEST ELEVATION
4.01 1/4" = 1'-0" AUGUST 29/2024



2 EAST ELEVATION
4.01 1/4" = 1'-0" AUGUST 29/2024

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

EAST & WEST ELEVATIONS

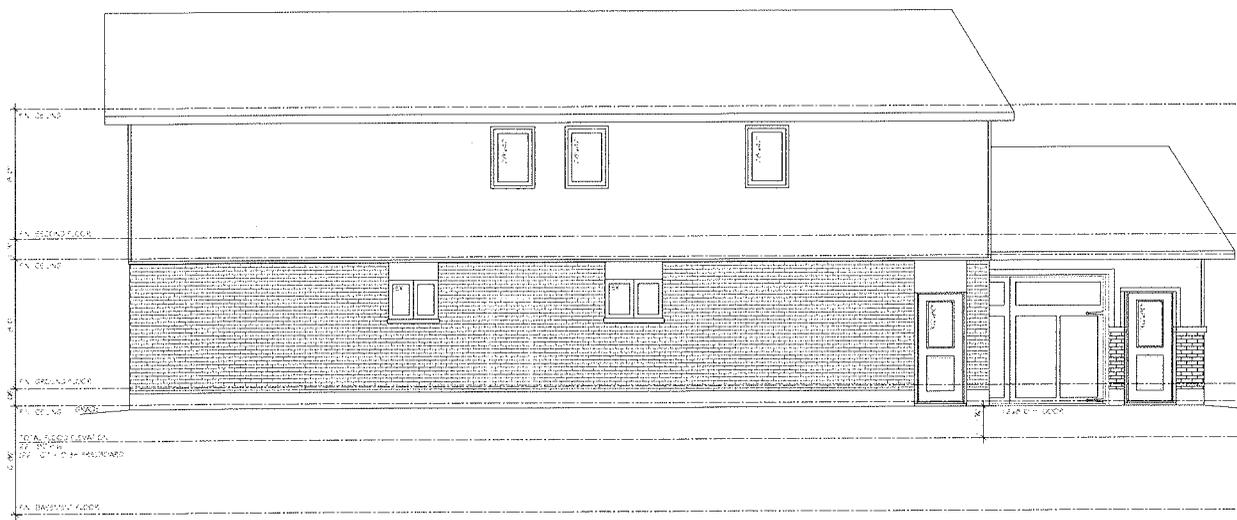
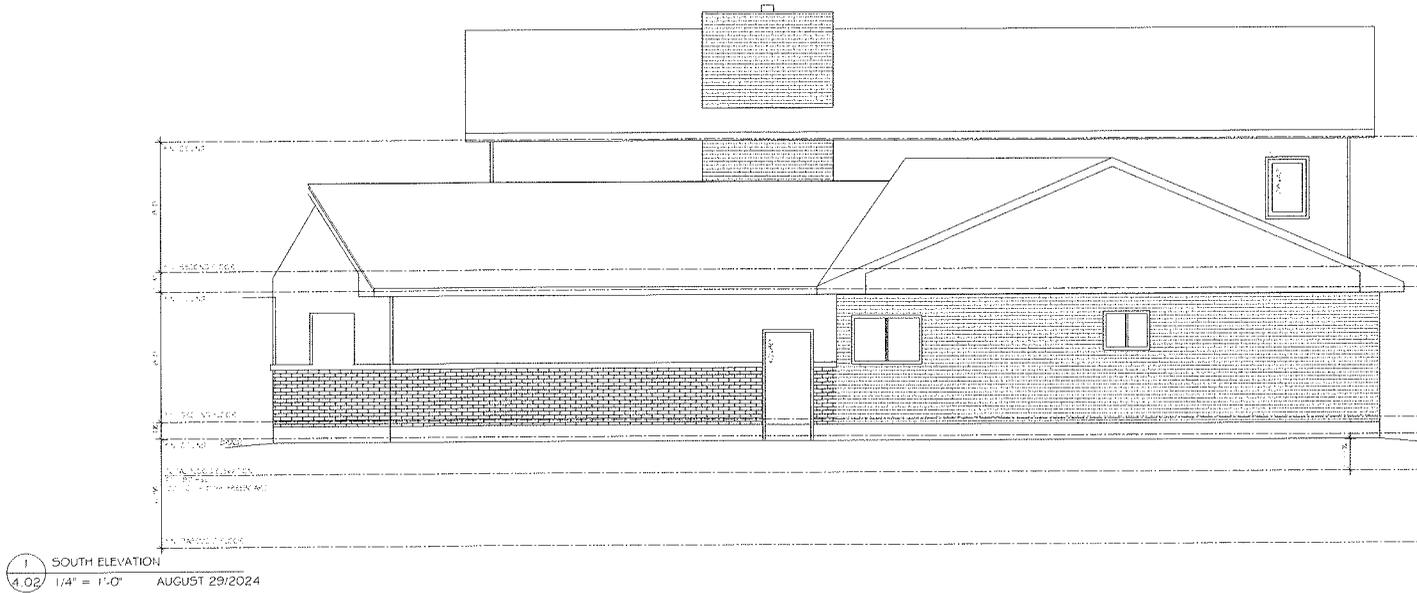
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4	NOV 16/23	DESIGN DRAFT 4
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6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

4.01



Received / Revised
SEP 13 2024
Committee of Adjustment

PRELIMINARY- FOR REVIEW



**ALANA + KELLY
DESIGN CO.**

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305
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Office: 905-873-4993
www.alanakellydesign.ca

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

NORTH & SOUTH ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
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7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

4.02

GRAIEB RESIDENCE

ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
2.00	SECOND FLOOR
4.01	EAST & WEST ELEVATION
4.02	NORTH & SOUTH ELEVATION

GENERAL NOTES	
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2. ALL DIMENSIONS & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER.	
3. DRAWINGS ARE TO BE READ AND NOT SCALED.	
4. ANY VARIANCE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.	
5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.	

ADDITIONS TO EXISTING BUILDINGS 3.1.1.11	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE ⁽¹⁾	10.56 (R60)
MIN.RSI-VALUE (R-VALUE)	
CEILING W/O ATTIC SPACE ⁽¹⁾	5.46 (R31)
MIN.RSI-VALUE (R-VALUE)	
EXPOSED FLOOR ⁽¹⁾	5.46 (R31)
MIN.RSI-VALUE (R-VALUE)	
WALLS ABOVE GRADE ⁽¹⁾	3.34+0.88ci (R19+5ci)
MIN.RSI-VALUE (R-VALUE)	
BASEMENT WALLS ⁽¹⁾	3.52 ci (R20 ci)
MIN.RSI-VALUE (R-VALUE)	
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE ⁽¹⁾	1.76 (R10)
MIN.RSI-VALUE (R-VALUE) ⁽¹⁾	
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE ⁽¹⁾	1.76 (R10)
MIN.RSI-VALUE (R-VALUE) ⁽¹⁾	
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m ² *K) ⁽²⁾	1.6



ALANA + KELLY DESIGN CO.
ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

ALANA + KELLY DESIGN CO.
ALANA NIELSEN
(905) 873-4993
ADMIN@ALANAKELLYDESIGN.CO

PROJECT STATISTICS	
EXISTING	3,205ft ² (297.75m ²)
PROPOSED	2,249ft ² (208.93m ²)
TOTAL	5,454ft² (506.68m²)
ACCESSORY STRUCTURES	
EXISTING - A	204ft ² (18.95m ²)
EXISTING - B	160ft ² (14.86m ²)
EXISTING - C	404ft ² (37.53m ²)
TOTAL	768ft² (71.34m²)



NOTES:

1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m²*K)/W
2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m²*K
3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.



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INTERIOR DESIGN

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PROJECT:
GRAIEB RESIDENCE
10 Hazelwood Dr
Brampton, Ontario

DRAWING:
COVER PAGE

SCALE: AS NOTED

REVISIONS:

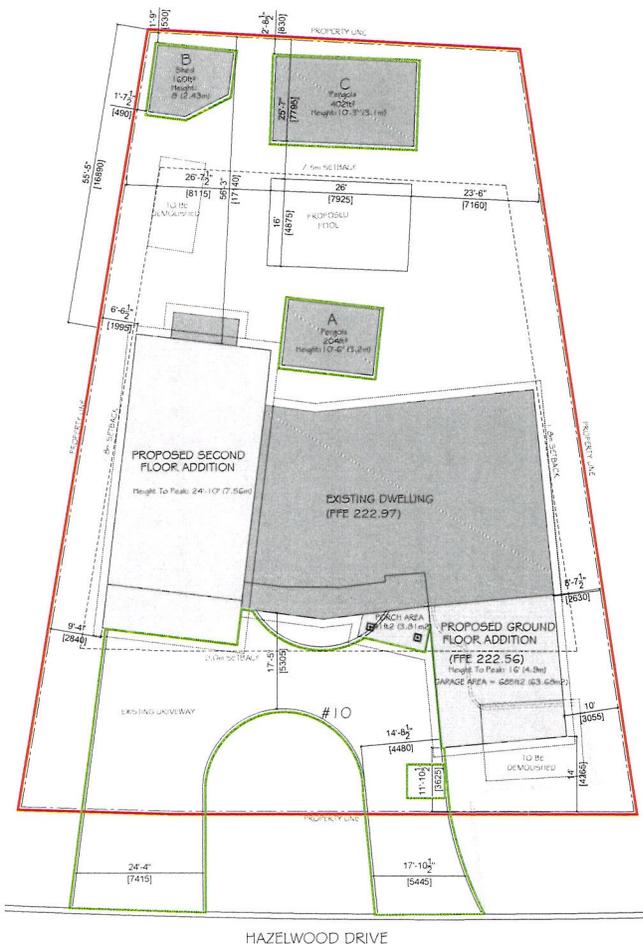
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8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:
0.00

PRELIMINARY- FOR REVIEW

Received / Revised
SEP 13 2024
Committee of Adjustment

SCOPE OF WORK	
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GARAGE PAD ADDITION ON THE WEST SIDE	
ALLOWABLE LANDSCAPE % = 70% = 1,291.21m ² (1,05,36m ²)	
LANDSCAPE OPEN SPACE	
FRONT YARD AREA	= 2,812.01m ² (2,23,53m ²)
REAR YARD AREA	= 1,346.01m ² (1,05,92m ²)
PROPOSED LANDSCAPE %	= 51.53% = 1,291.21m ² (1,05,36m ²)
SITE STATISTICS	
ZONING	R1A(2)
LOT SIZE	13,333.0m ² (1,037,74m ²)
LOT COVERAGE - DETACHED DWELLINGS	
ALLOWABLE	25% = 3,250.0m ² (301,34m ²)
EXISTING	25% = 3,271.0m ² (303,05m ²)
PROPOSED	25% = 3,431.0m ² (314,44m ²)
ACCESSORY STRUCT	4% = 533.3m ² (49,56m ²)
TOTAL	5% = 626.7m ² (58,43m ²)
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	5.4% = 720.0m ² (68,34m ²)
EXISTING A	= 204.0m ² (19,05m ²)
EXISTING B	= 100.0m ² (9,52m ²)
EXISTING C	= 404.0m ² (37,75m ²)
TOTAL	= 708.0m ² (66,34m ²)



1 SITE PLAN
 AUGUST 29/24



ALANA + KELLY DESIGN CO.

ARCHITECTURAL TECHNOLOGY
ESTABLISHED 2016

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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
SITE PLAN

SCALE: AS NOTED

REVISIONS:

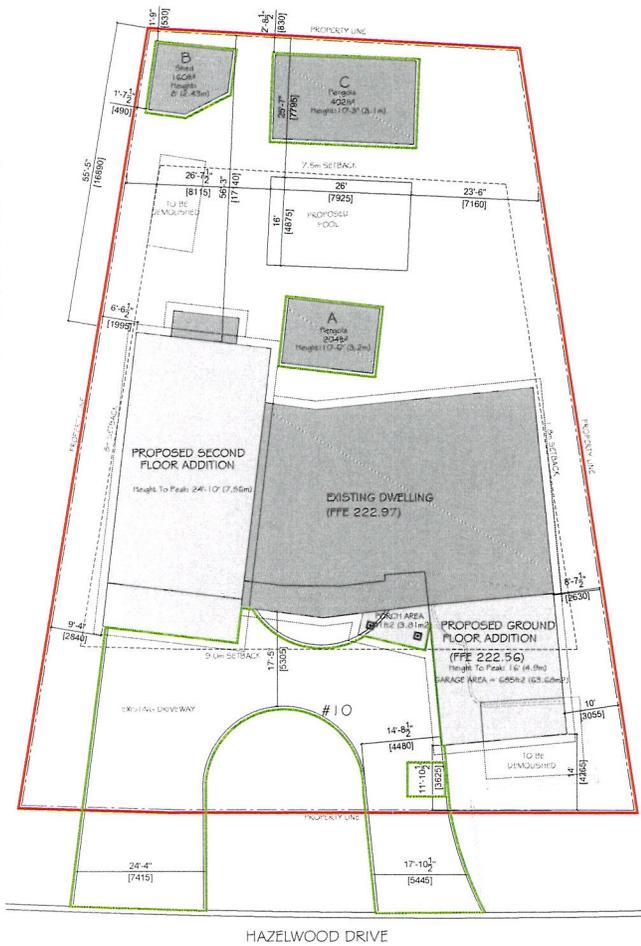
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8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:
0.01MV

PRELIMINARY- FOR REVIEW



SCOPE OF WORK	
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED SECOND FLOOR ADDITION ON THE WEST SIDE	
ALLOWABLE LANDSCAPE % = 70% = 1,261.21ft² (126,367m²)	
LANDSCAPE OPEN SPACE	
FRONT YARD AREA	= 2,811.21ft ² (273,93m ²)
DRIVEWAY AREA	= 1,544.81ft ² (143,63m ²)
PROPOSED	= 111.18ft ² (10,31m ²)
LANDSCAPE %	
SITE STATISTICS	
ZONING	R1A(1)
LOT SIZE	12,000ft ² (1,107.74m ²)
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE %	25% = 3,000ft ² (278.70m ²)
EXISTING	25% = 3,077.10ft ² (285.85m ²)
PROPOSED	0.0% = 0.00ft ² (0.00m ²)
ACCESS STRUCT	0% = 0.00ft ² (0.00m ²)
TOTAL	30.0% = 4,752ft ² (443.05m ²)
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 4,000ft ² (371.60m ²)
EXISTING A	= 4,000ft ² (371.60m ²)
EXISTING B	= 1,430ft ² (132.85m ²)
EXISTING C	= 4,040ft ² (374.59m ²)
TOTAL	= 7,470ft ² (694.04m ²)



1 SITE PLAN
1/8" = 1' 0"
AUGUST 2024/24



ALANA + KELLY DESIGN CO.

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

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PROJECT:
GRAIBER RESIDENCE
10 Hazelwood Dr
Brampton, Ontario

DRAWING:
**SITE PLAN
MINOR VARIANCE**

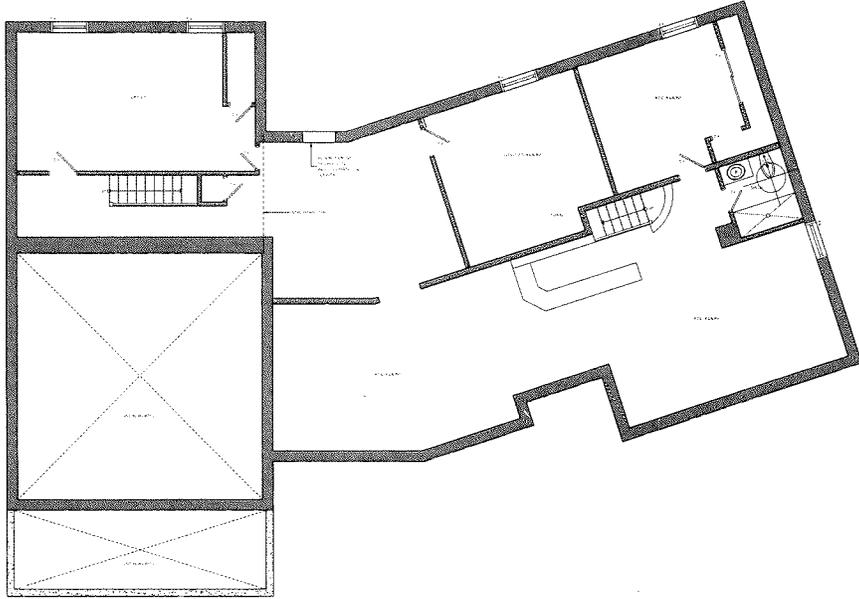
SCALE: AS NOTED

REVISIONS:

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8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #: **0.01**

PRELIMINARY- FOR REVIEW



FOUNDATION PLAN
 10/1/24
 ALANA + KELLY



ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGISTS
 KENTVILLE, ONTARIO

16 Mountainview Blvd Unit 207
 Kentville, NS
 B9A 1S6
 Tel: 902-693-5950
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PROJECT:
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 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
FOUNDATION PLAN

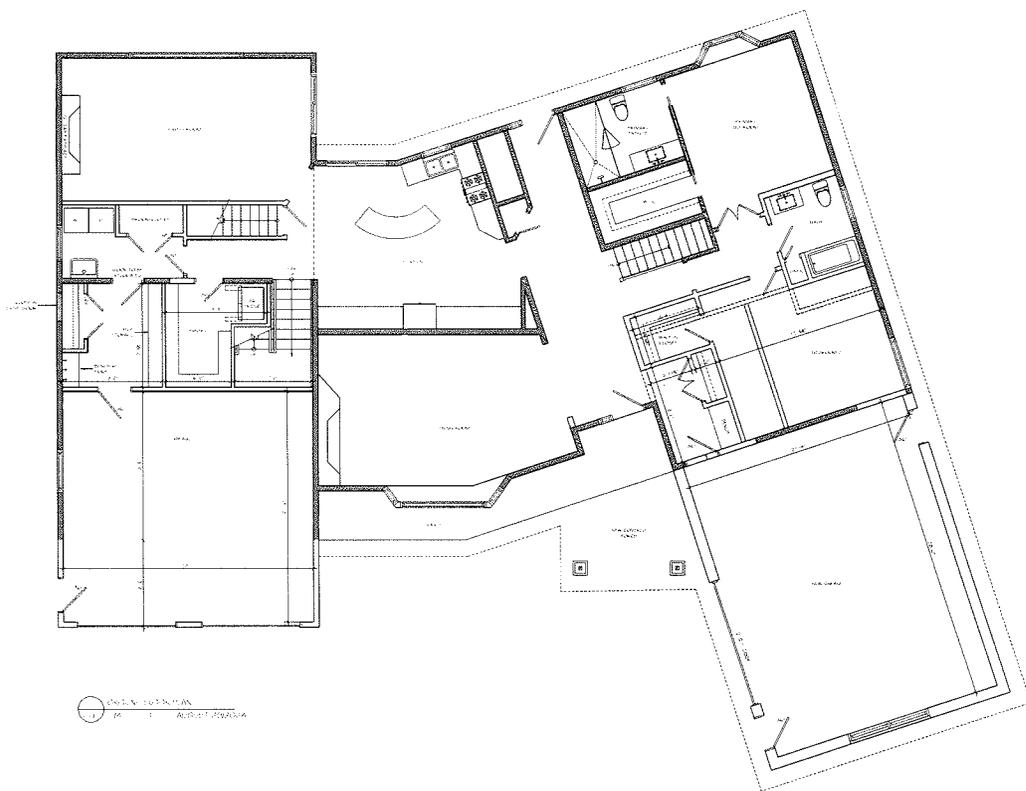
SCALE: AS NOTED

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1.00

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 NORTH
 1" = 16'-0"

PRELIMINARY- FOR REVIEW



**ALANA + KELLY
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ALANAKELLY.COM

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9773 560 8332 ext
www.alanakelly.com

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PROJECT:
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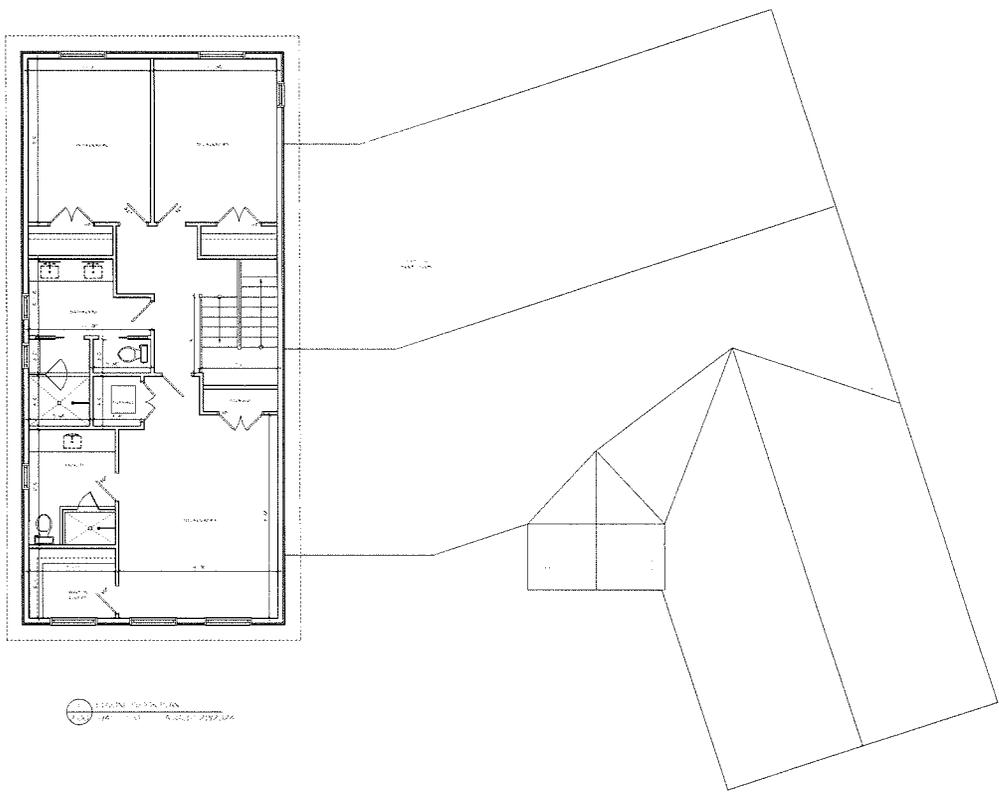
DRAWING:
GROUND FLOOR PLAN

SCALE: AS NOTED

REVISIONS:

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DRAWING #:
1.01



PRELIMINARY- FOR REVIEW



**ALANA + KELLY
DESIGN CO.**

441 107TH AVE. #100
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10 MOUNTAINVIEW RD. #107
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L4R 1P1
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PROJECT:
GRAIEB RESIDENCE
10 Hazelwood Dr
Brampton, Ontario

DRAWING:
SECOND FLOOR PLAN

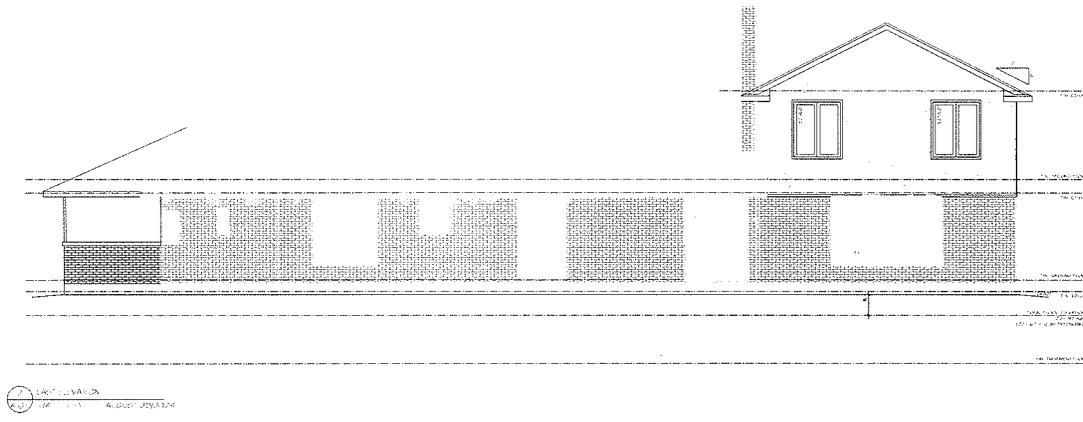
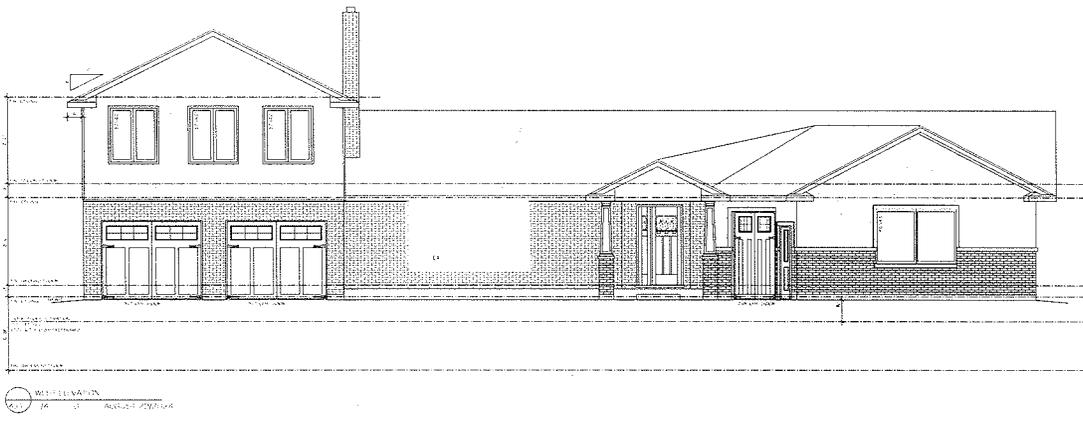
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DRAWING #:

2.00





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DESIGN CO.

ART: MULTIMEDIA, PHOTOGRAPHY
MULTIMEDIA DESIGN

10 Woodbine Avenue, Unit 101
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PROJECT:
GRAIEB RESIDENCE
10 Hazelwood Dr
Brampton, Ontario

DRAWING:
EAST & WEST ELEVATIONS

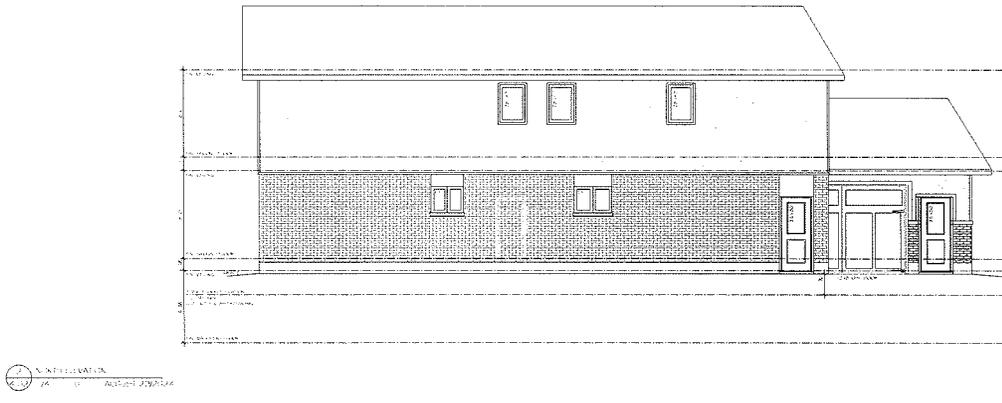
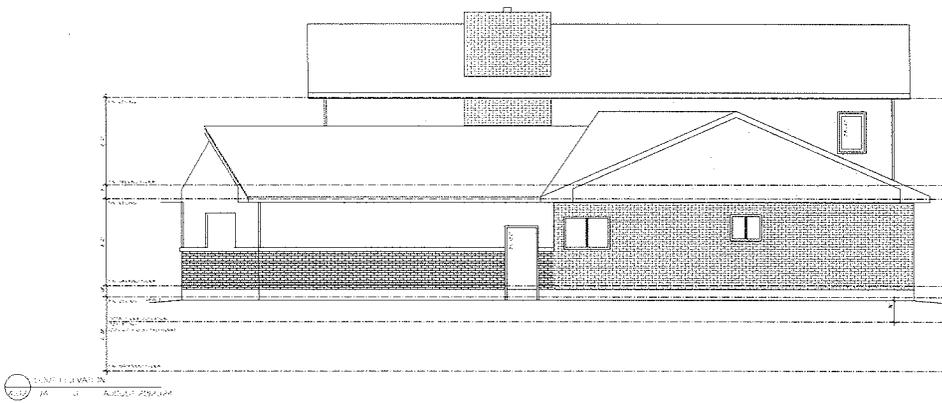
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DRAWING #: **4.01**

PRELIMINARY- FOR REVIEW




ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGIST
 REGISTERED IN ONTARIO

25 VANDERKAMER AVENUE
 MISSISSAUGA, ONTARIO
 L4V 1R1
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 WWW.ALANAANDKELLY.CO

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PROJECT: **GRAIEB RESIDENCE**
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING: **NORTH & SOUTH ELEVATIONS**

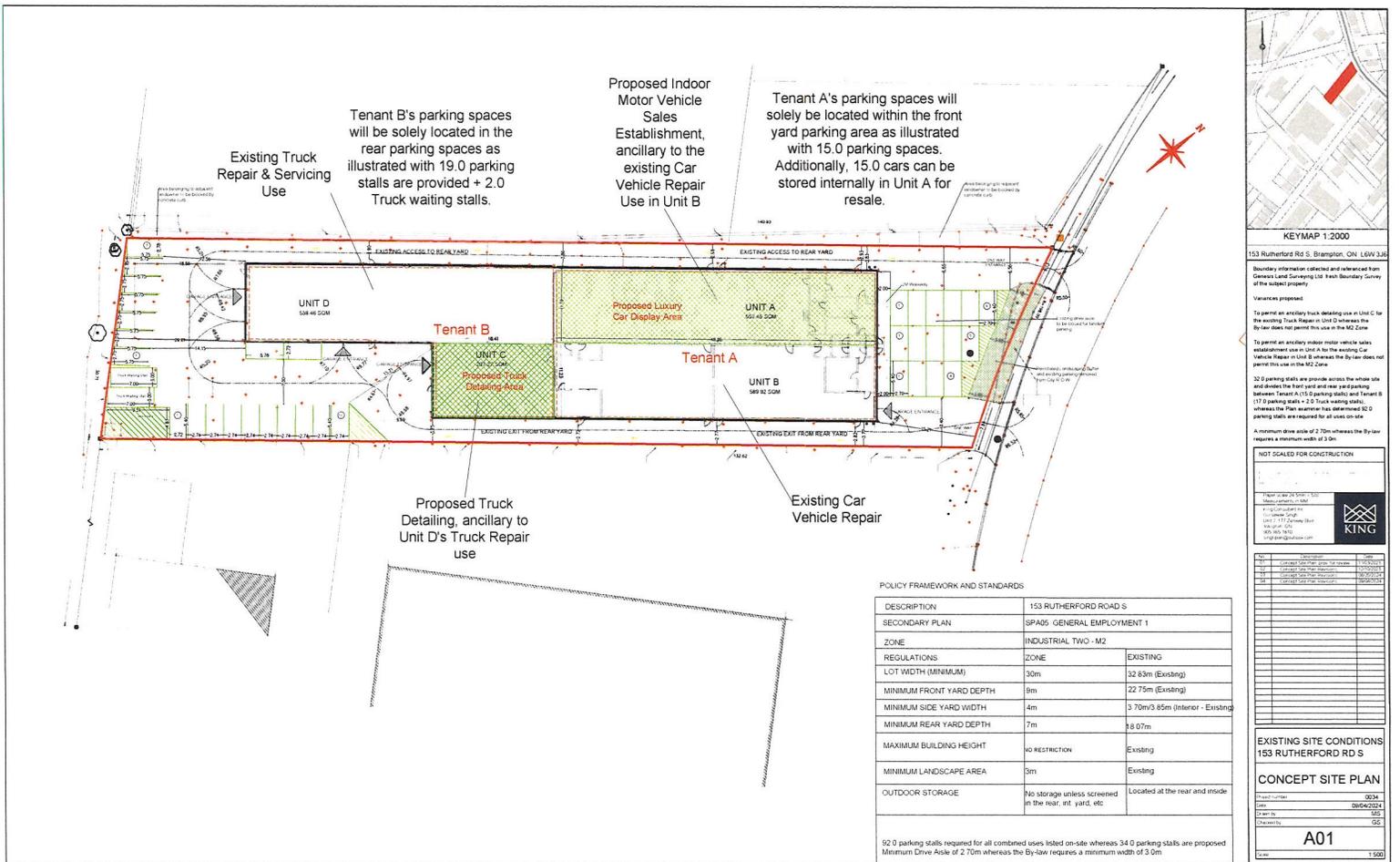
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DRAWING #: **4.02**

PRELIMINARY- FOR REVIEW



KEYMAP 1:2000

153 Rutherford Rd S, Brampton, ON L6W 3J8

Boundary information collected and referenced from
Genesys Land Surveying Ltd. from Boundary Survey of
the subject property.

Variations proposed:

To permit an ancillary truck detailing use in Unit C for the existing Truck Repair in Unit D whereas the By-law does not permit this use in the M2 Zone.

To permit an ancillary motor vehicle sales establishment use in Unit A for the existing Car Vehicle Repair in Unit B whereas the By-law does not permit this use in the M2 Zone.

32.0 parking stalls are provided across the whole site and across the front and rear parking between Tenant A (15.0 parking stalls) and Tenant B (17.0 parking stalls + 2.0 Truck waiting stalls) whereas the Plan examiner has determined 32.0 parking stalls are required for all uses on-site.

A minimum drive aisle of 2.70m whereas the By-law requires a minimum width of 3.0m.

NOT SCALED FOR CONSTRUCTION

Scale: 1:1000

Prepared by: KING CONSULTANTS INC.

Project: 153 Rutherford Road S

Date: 08/26/2024

Drawn by: CC

Checked by: CC

Scale: 1:500

EXISTING SITE CONDITIONS
153 RUTHERFORD RD S

CONCEPT SITE PLAN

Project Number: 0034

Date: 08/26/2024

Drawn by: CC

Checked by: CC

Scale: 1:500

POLICY FRAMEWORK AND STANDARDS

DESCRIPTION	153 RUTHERFORD ROAD S	
SECONDARY PLAN	SPAS - GENERAL EMPLOYMENT 1	
ZONE	INDUSTRIAL TWO - M2	
REGULATIONS	ZONE	EXISTING
LOT WIDTH (MINIMUM)	30m	32.83m (Existing)
MINIMUM FRONT YARD DEPTH	8m	22.75m (Existing)
MINIMUM SIDE YARD WIDTH	4m	3.70m/3.85m (Interior - Existing)
MINIMUM REAR YARD DEPTH	7m	7.8.07m
MAXIMUM BUILDING HEIGHT	NO RESTRICTION	Existing
MINIMUM LANDSCAPE AREA	2m	Existing
OUTDOOR STORAGE	No storage unless screened in the rear, int. yard, etc	Located at the rear and inside

32.0 parking stalls required for all combined uses listed on-site whereas 34.0 parking stalls are proposed Minimum Drive Aisle of 2.70m whereas the By-law requires a minimum width of 3.0m.

Received / Revised

SEP 16 2024

Committee of Adjustment

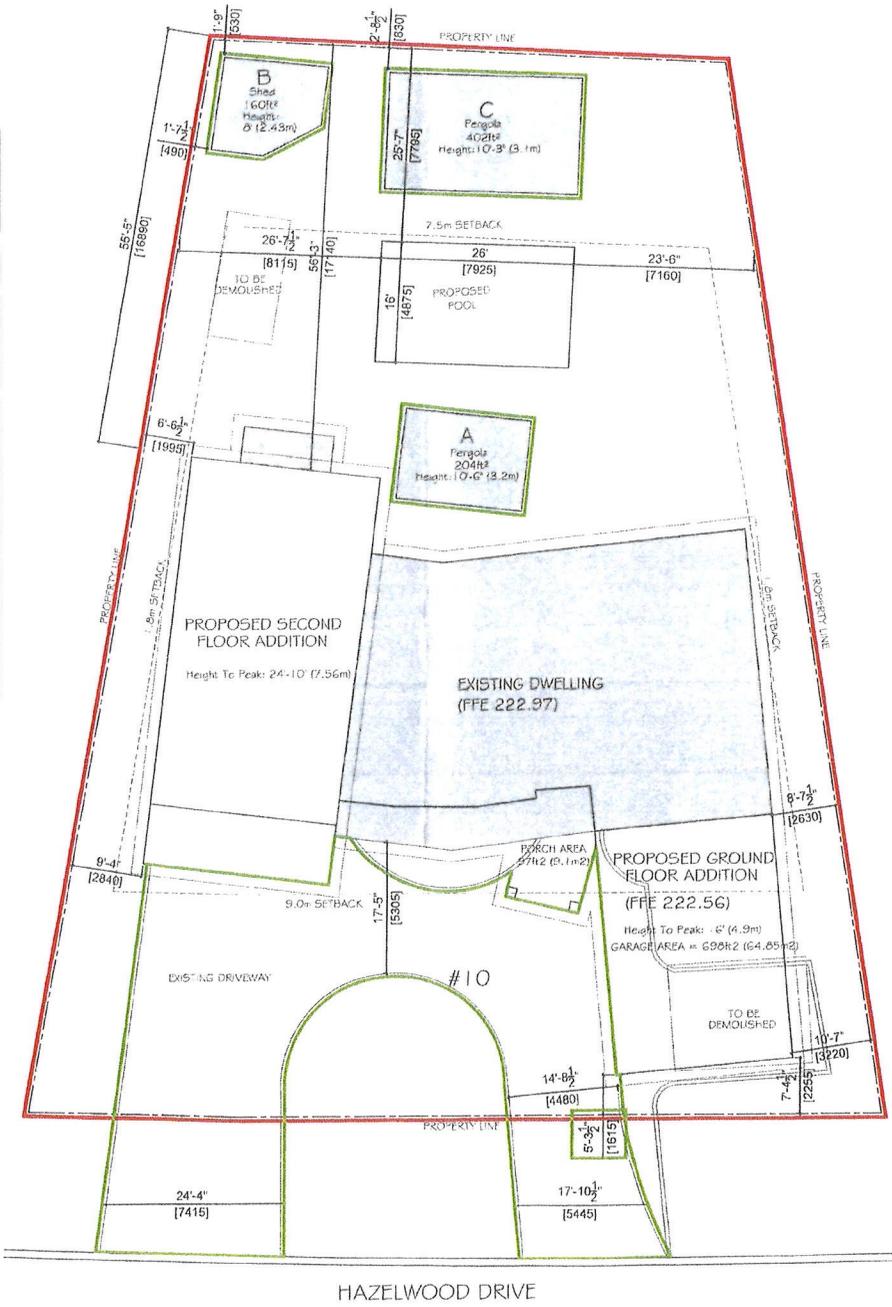
SCOPE OF WORK
 PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 1,012ft² (160.36m²)

LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2,647ft² (245.91m²)
 DRIVEWAY AREA = 1,548ft² (143.80m²)
 PROPOSED LANDSCAPE % = 40% = 1,041ft² (96.73m²)

SITE STATISTICS

ZONING	R1A(2)
LOT SIZE	15,000ft ² (1,207.74m ²)
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE %	25% = 3,250ft ² (301.94m ²)
EXISTING	25% = 3,271ft ² (303.89m ²)
PROPOSED	8% = 991ft ² (92.07m ²)
ACCESS. STRUCT.	6% = 768ft ² (71.34m ²)
TOTAL	39% = 5,030ft² (467.30m²)
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 548,42ft ² (50.94m ²)
EXISTING - A	= 204ft ² (18.95m ²)
EXISTING - B	= 160ft ² (14.86m ²)
EXISTING - C	= 404ft ² (37.53m ²)
TOTAL	= 768ft² (71.34m²)



1 SITE PLAN
 0.01 NTS JULY 15 / 2024

ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGY
 INTERIOR DESIGN

16 Mountainview Rd 5, Unit 305
 Georgetown, ON
 L7G 4K1
 Office: 905-873-4993
 www.alanakellydesign.ca

COND. SCALE DRAWINGS POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY. G.C. AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:
 GRAIEB RESIDENCE
 10 Hazelwood Drive,
 Brampton, Ontario

DRAWING:
 SITE PLAN
 MINOR VARIANCE

SCALE: NTS

REVISIONS:

NO.	DATE	COMMENTS
01	AUG 2 / 23	DESIGN DRAFT 1
02	SEPT 6 / 23	DESIGN DRAFT 2
03	NOV 3 / 23	DESIGN DRAFT 3
04	NOV 16 / 23	DESIGN DRAFT 4
05	NOV 21 / 23	DESIGN DRAFT 5
06	NOV 28 / 23	DESIGN DRAFT 6
07	FEB 07 / 24	MINOR VARIANCE
08	FEB 09 / 24	MINOR VARIANCE 2
09	JULY 15 / 24	MINOR VARIANCE 3

DRAWING #:
 0.01

Committee of Adjustment

JUL 17 2024

Received / Revised



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Baligh and Nora Graieb
Address 10 Hazelwood Drive, Brampton, Ontario L6S 1B3
Phone # 416-858-8078 **Fax #** _____
Email aligra@rogers.com

2. **Name of Agent** Alana + Kelly Design Co. Ltd
Address 16 Mountainview Road South - Unit 202
Georgetown, Ontario
Phone # 905-873-4993 **Fax #** _____
Email alana@alanakellydesign.ca

3. **Nature and extent of relief applied for (variances requested):**
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 0.855m.
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres.
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 42%.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5. **Legal Description of the subject land:**
Lot Number 10
Plan Number/Concession Number 717
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. **Dimension of subject land (in metric units)**
Frontage 34.51m
Depth 43m
Area 1207.74m2

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.67m

Rear yard setback 15.54m

Side yard setback 2.63m

Side yard setback 2.49

PROPOSED

Front yard setback 0.855m

Rear yard setback 15.54m

Side yard setback 2.63m

Side yard setback 2.63m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?

Municipal

Well

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal

Septic

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers

Ditches

Swales

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # A17-024	Decision Approved	Relief Carport/Accessory Structures
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF the Region of Halton
THIS 9th DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen OF THE Town OF Halton Hills
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Halton Hills
IN THE Region OF _____
Halton THIS 9th DAY OF
February, 2024

Signature

Signature of Applicant or Authorized Agent



A Commissioner

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: Mature Neighborhood, R1A(2)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2024/02/27
Date

DATE RECEIVED MAR. 4, 2024

Date Application Deemed Complete by the Municipality VL

ALANA + KELLY
DESIGN CO.

Owner Authorization

Alana + Kelly Design Co.
Alana Nielsen
905-873-4993
alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

Signature: *billy Graieb*
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

Signature: *billy Graieb*
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
cca@brampton.ca

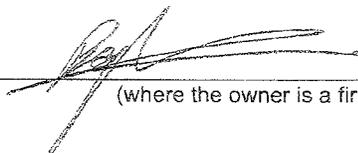
LOCATION OF THE SUBJECT LAND: 10 HAZELWOOD DRIVE, BRAMPTON

I/We, NORA & BALIGH GRAEB
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 4th day of March, 2024

 NORA GRAEB
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

 BALIGH GRAEB
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

8. Existing Buildings

Existing Detached Dwelling:

Ground Floor Area - 242.71 sqm

Gross Floor Area - 292.57 (Ground) + 252.46 (Basement)

Number of Storeys 1 Width : 24.076 m

Length: 13.586m

Accessory Building A Ground Floor Area: 18.95 sqm

Number of Storeys: 1 Width: 5.13m

Length: 3.66m

Accessory Building B

Ground Floor Area: 14.86 sqm

Number of Storeys: 1

Width: 4.27m

Length: 3.76m

Accessory Building C

Ground Floor Area: 37.35 sqm

Number of Storeys: 1

Width: 7.95m

Length: 4.69m

Proposed Building

Proposed Detached Dwelling

Ground Floor Area - 347.96 sqm

Gross Floor Area: 139.41 sqm (Second) + 399.91sqm (Ground) + 270.02sqm (Basement)

Total: 890.34 sqm

Number of Storeys: 2

Width : 24.076 m

Length: 26.42m

GRAIEB RESIDENCE

ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
2.00	SECOND FLOOR
4.01	EAST & WEST ELEVATION
4.02	NORTH & SOUTH ELEVATION

GENERAL NOTES	
ALL DRAWINGS ARE THE PROPERTY OF ALANA+KELLY DESIGN CO. LTD. THE DESIGNER RETAINS COPYRIGHT IN THESE DOCUMENTS WHICH MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.	
1. ALL DRAWINGS & CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: <ol style="list-style-type: none"> THE ONTARIO BUILDING CODE (LATEST EDITIONS) APPLICABLE LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) THE ONTARIO HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS ALL AUTHORITIES HAVING JURISDICTION OVER THE SITE 	
2. ALL DIMENSIONS & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER.	
3. DRAWINGS ARE TO BE READ AND NOT SCALED.	
4. ANY VARIANCE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.	
5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.	

ADDITIONS TO EXISTING BUILDINGS 3.1.1.11	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE ⁽¹⁾ MIN.RSI-VALUE (R-VALUE)	10.56 (R60)
CEILING W/O ATTIC SPACE ⁽¹⁾ MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
EXPOSED FLOOR ⁽¹⁾ MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
WALLS ABOVE GRADE ⁽¹⁾ MIN.RSI-VALUE (R-VALUE)	3.34+0.88ci (R19+5ci)
BASEMENT WALLS ⁽¹⁾ MIN.RSI-VALUE (R-VALUE)	3.52 ci (R20 ci)
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 7/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) ⁽¹⁾	1.76 (R10)
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 7/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) ⁽¹⁾	1.76 (R10)
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m2*K) ⁽²⁾	1.6

NOTES:
 1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m2*K)/W
 2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m2*K
 3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.



ALANA + KELLY
DESIGN CO.

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

ALANA + KELLY DESIGN CO.
ALANA NIELSEN
(905)-873-4993
ADMIN@ALANAKELLYDESIGN.CA

PROJECT STATISTICS	
EXISTING	3,205ft ² (297.75m ²)
PROPOSED	2,249ft ² (208.93m ²)
TOTAL	5,454ft² (506.69m²)
ACCESSORY STRUCTURES	
EXISTING -A	204ft ² (18.95m ²)
EXISTING -B	160ft ² (14.86m ²)
EXISTING -C	404ft ² (37.53m ²)
TOTAL	768ft² (71.34m²)



ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305
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PROJECT:
GRAIEB RESIDENCE
10 Hazelwood Dr
Brampton, Ontario

DRAWING:
COVER PAGE

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

0.00

PRELIMINARY- FOR REVIEW

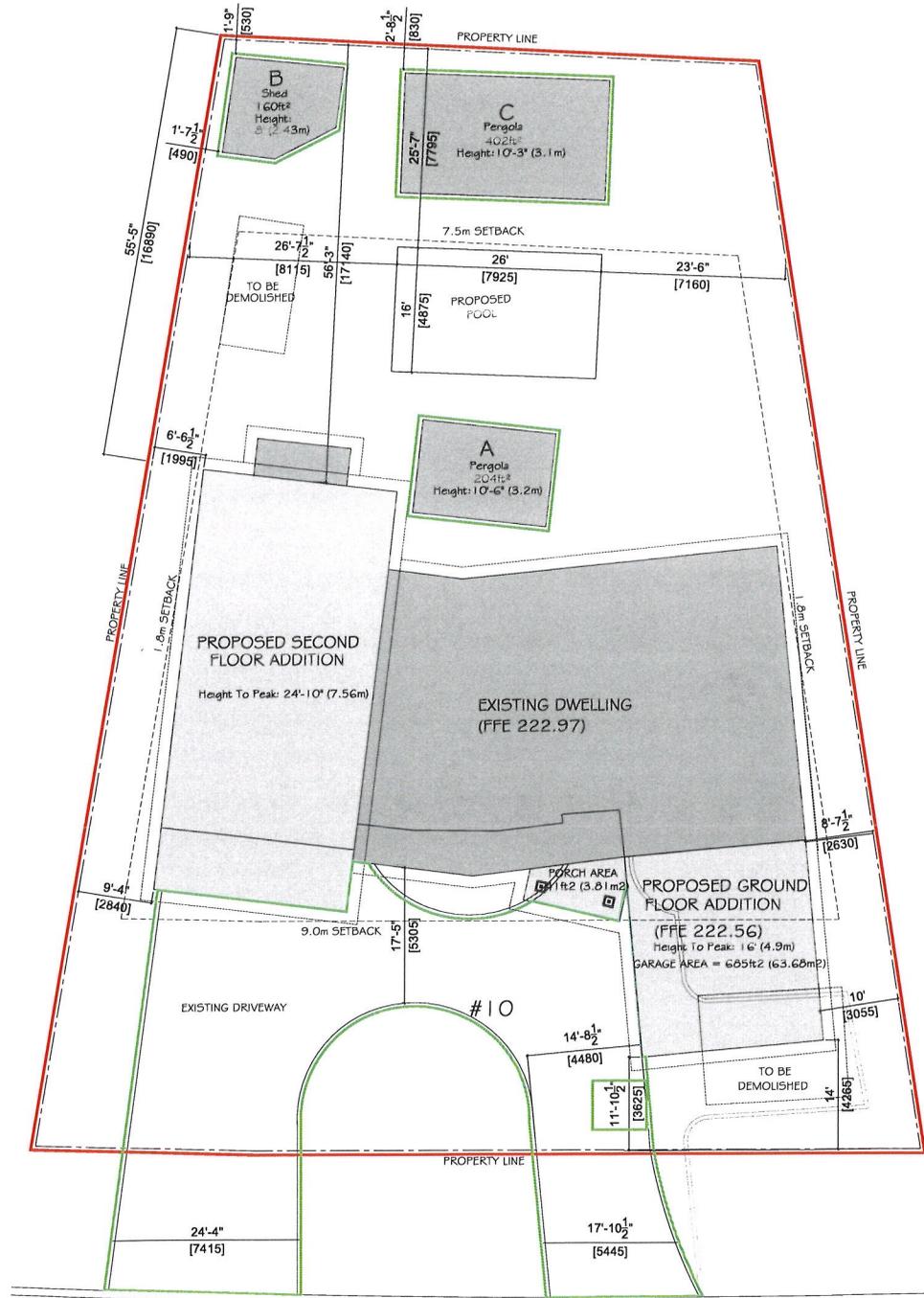


SCOPE OF WORK
 PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 1,812ft² (168.36m²)

LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2,912ft² (270.53m²)
 DRIVEWAY AREA = 1,548ft² (143.80m²)
 PROPOSED LANDSCAPE % = 51.5% = 1,501ft² (139.45m²)

SITE STATISTICS	
ZONING	R1A(2)
LOT SIZE	13,000ft ² (1,207.74m ²)
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE%	25% = 3,250ft ² (301.94m ²)
EXISTING	25% = 3,271ft ² (303.89m ²)
PROPOSED	5.9% = 769ft ² (71.44m ²)
ACCESS. STRUCT.	6% = 768ft ² (71.34m ²)
TOTAL	36.6% = 4,769ft ² (443.05m ²)
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 548.42ft ² (50.94m ²)
EXISTING - A	= 204ft ² (18.95m ²)
EXISTING - B	= 160ft ² (14.86m ²)
EXISTING - C	= 404ft ² (37.53m ²)
TOTAL	= 768ft ² (71.34m ²)



0.01MV 1/8" = 1'-0" AUGUST 29/2024

HAZELWOOD DRIVE

PRELIMINARY- FOR REVIEW



ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGY
 INTERIOR DESIGN

16 Mountainview Rd S, Unit 305
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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
 Brampton, Ontario

DRAWING:

SITE PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
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DRAWING #:

0.01MV



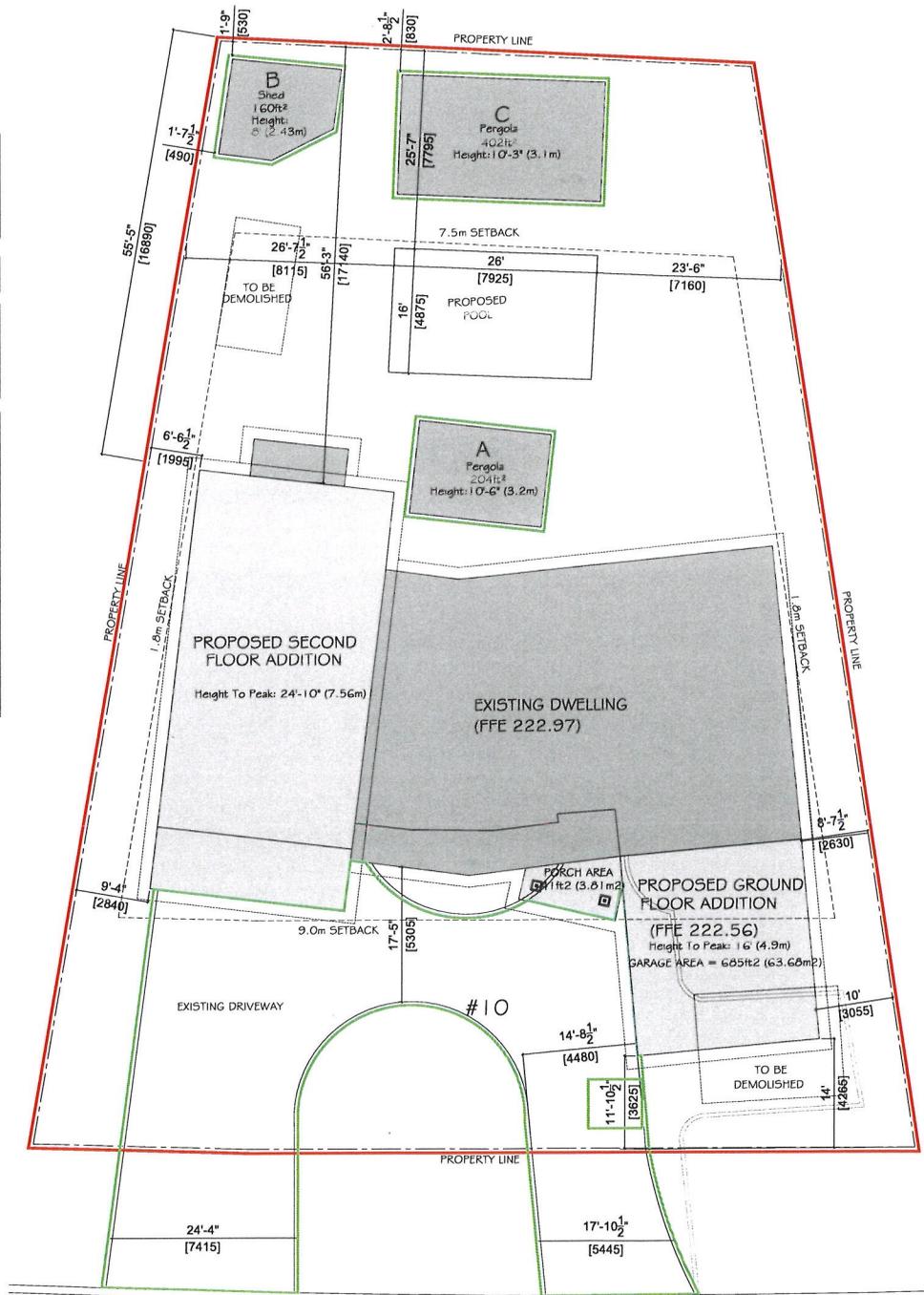
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LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2,912ft² (270.53m²)
 DRIVEWAY AREA = 1,548ft² (143.80m²)
 PROPOSED = 51.5% = 1,501ft² (139.45m²)
 LANDSCAPE %

SITE STATISTICS
 ZONING R1A(2)
 LOT SIZE 13,000ft² (1,207.74m²)
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 ALLOWABLE% 25% = 3,250ft² (301.94m²)
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 PROPOSED 5.9% = 769ft² (71.44m²)
 ACCESS. STRUCT. 6% = 768ft² (71.34m²)
 TOTAL 36.6% = 4,769ft² (443.05m²)

LOT COVERAGE - ACCESSORY STRUCTURES
 ALLOWABLE = 548.42ft² (50.94m²)
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0.01 SITE PLAN
 1/8" = 1'-0" AUGUST 29/2024

HAZELWOOD DRIVE

PRELIMINARY- FOR REVIEW



ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGY
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PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
**SITE PLAN
 MINOR VARIANCE**

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
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DRAWING #:

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ARCHITECTURAL TECHNOLOGY
IN INTERIOR DESIGN

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

FOUNDATION PLAN

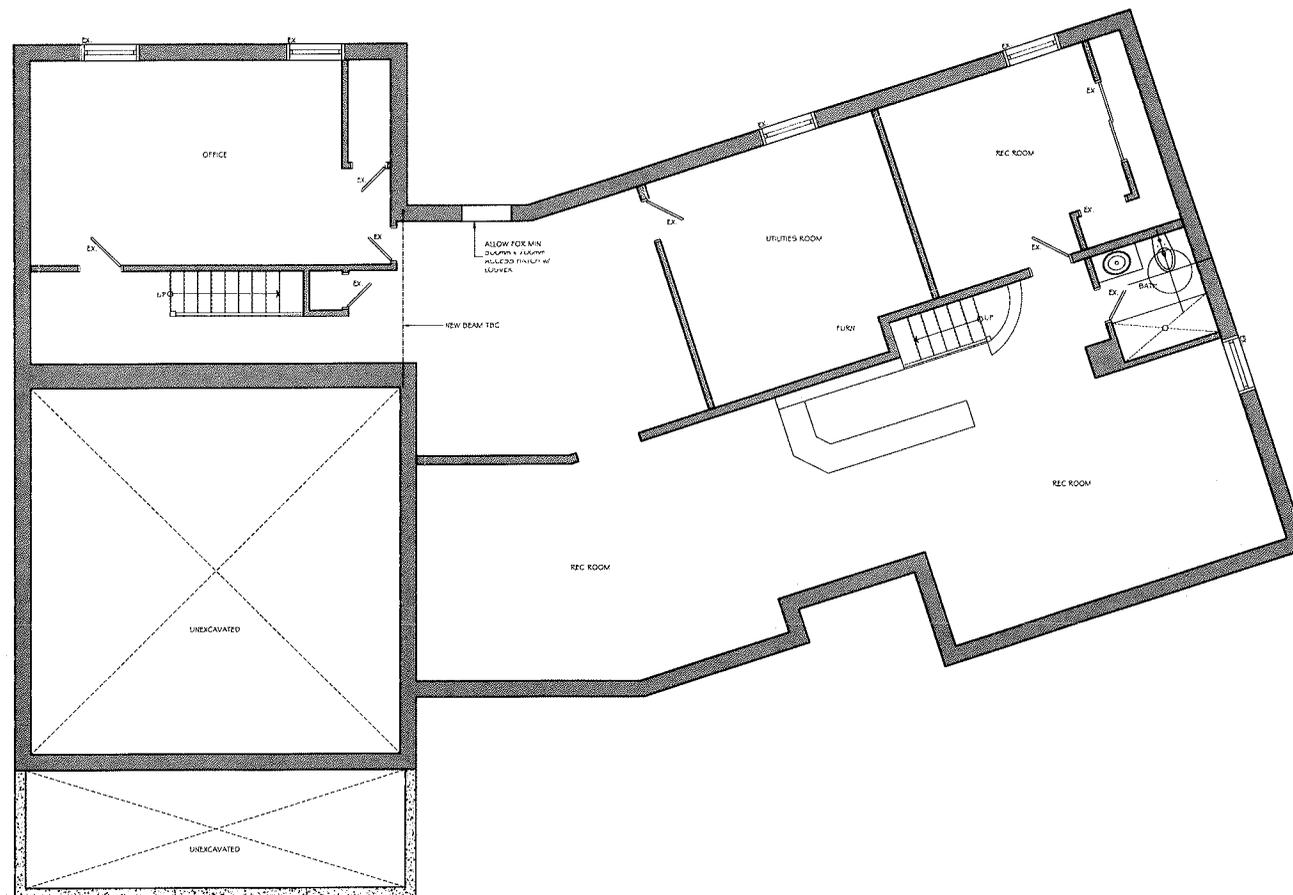
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9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

1.00



1 FOUNDATION PLAN
1.00 1/4" = 1'-0" AUGUST 29/2024

PRELIMINARY- FOR REVIEW



ALANA + KELLY DESIGN CO.

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

GROUND FLOOR PLAN

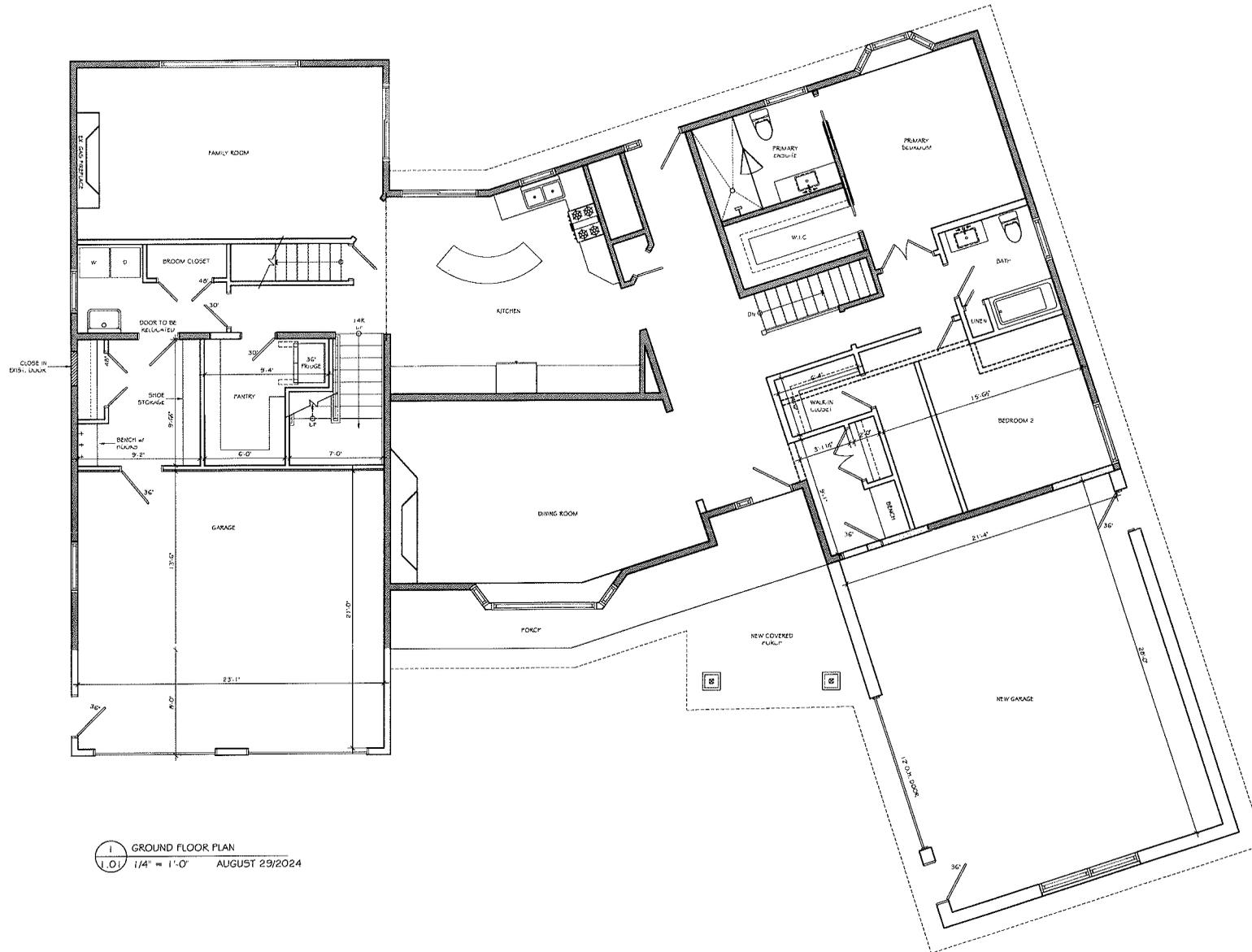
SCALE: AS NOTED

REVISIONS:

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DRAWING #:

1.01



1 GROUND FLOOR PLAN
1.01 1/4" = 1'-0" AUGUST 29/2024

PRELIMINARY- FOR REVIEW



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INTERIOR DESIGN

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PROJECT:
GRAIEB RESIDENCE
10 Hazelwood Dr
Brampton, Ontario
DRAWING:
SECOND FLOOR PLAN

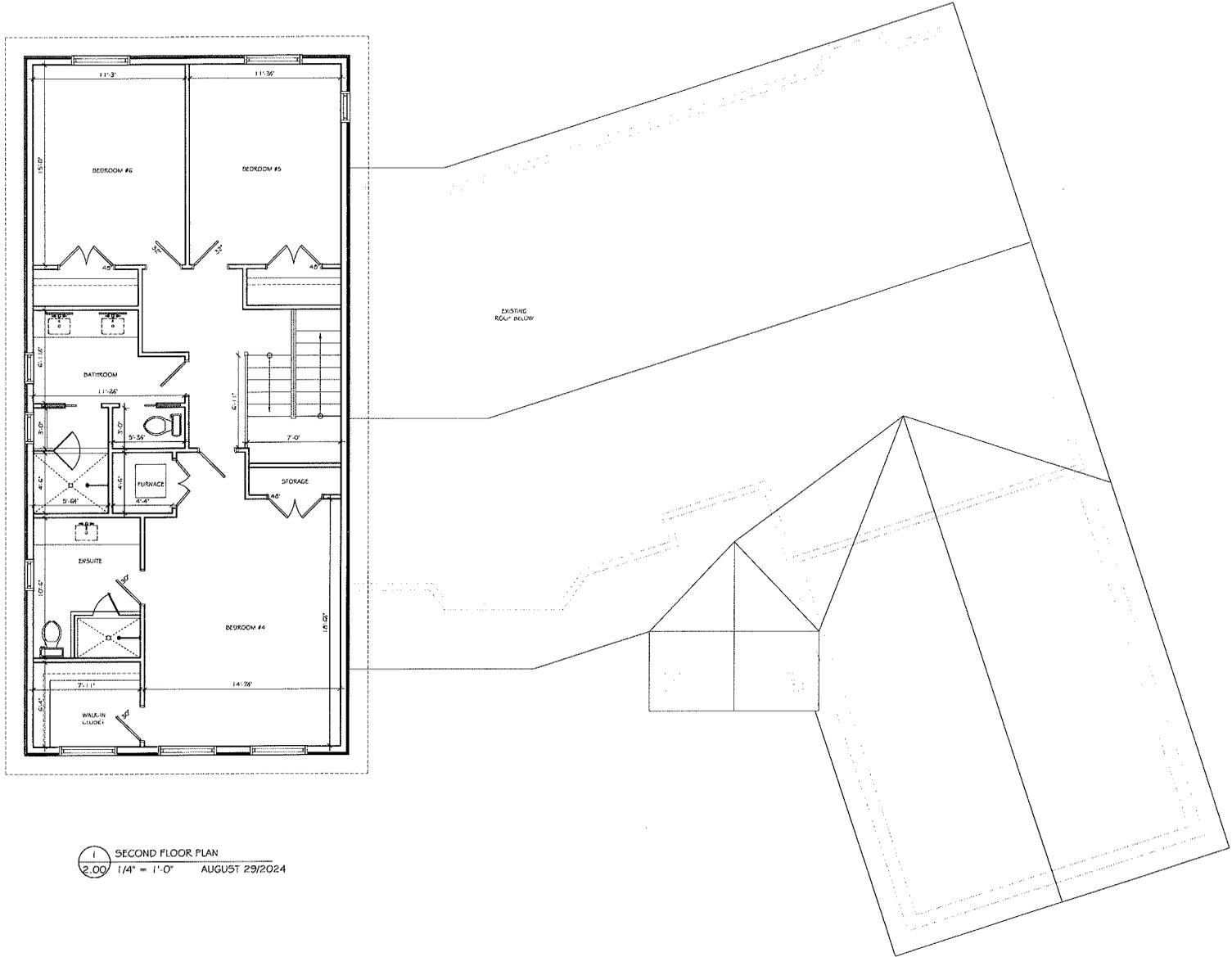
SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

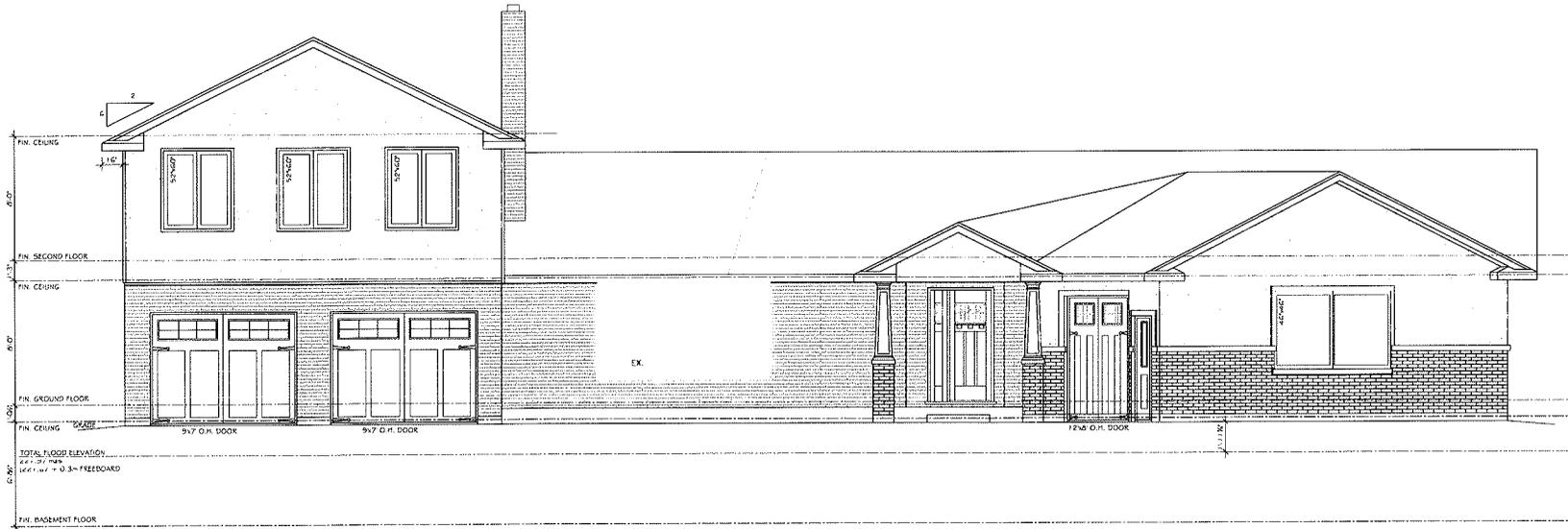
DRAWING #:

2.00

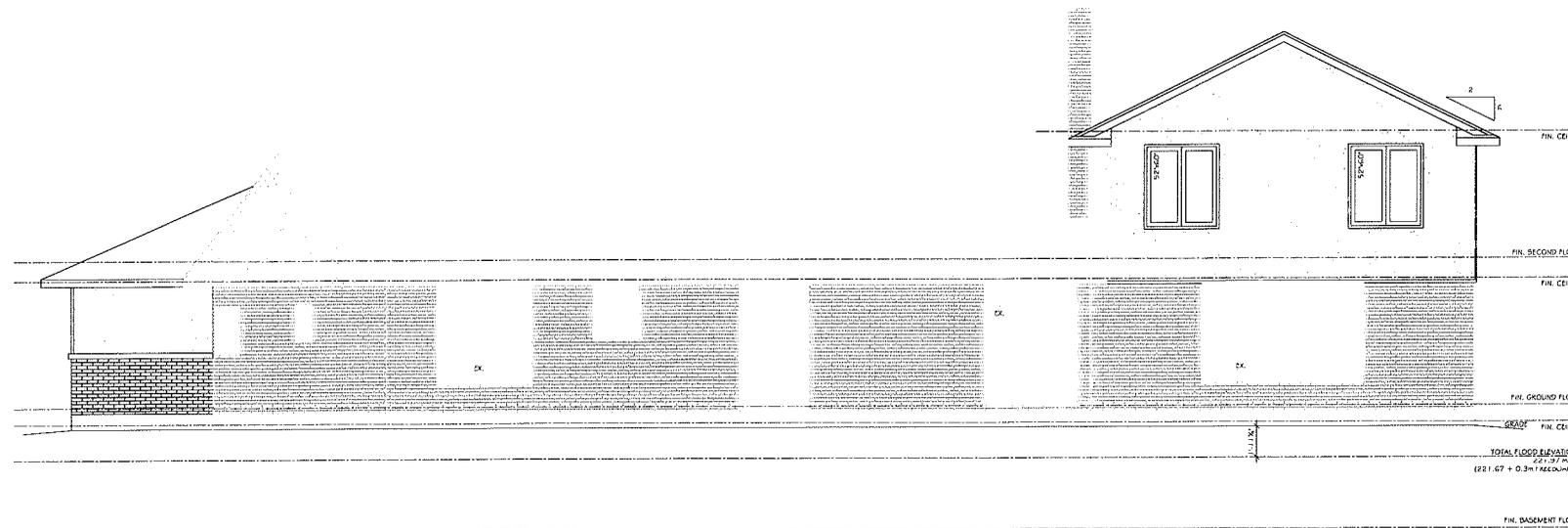


1 SECOND FLOOR PLAN
2.00 1/4" = 1'-0" AUGUST 29/2024

PRELIMINARY- FOR REVIEW



1 WEST ELEVATION
4.01 1/4" = 1'-0" AUGUST 29/2024



2 EAST ELEVATION
4.01 1/4" = 1'-0" AUGUST 29/2024



ALANA + KELLY DESIGN CO.

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305
Georgetown, ON
L7G 4K1
Office: 905-873-4993
www.alanakellydesign.ca

DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY. G.C. AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

EAST & WEST ELEVATIONS

SCALE: AS NOTED

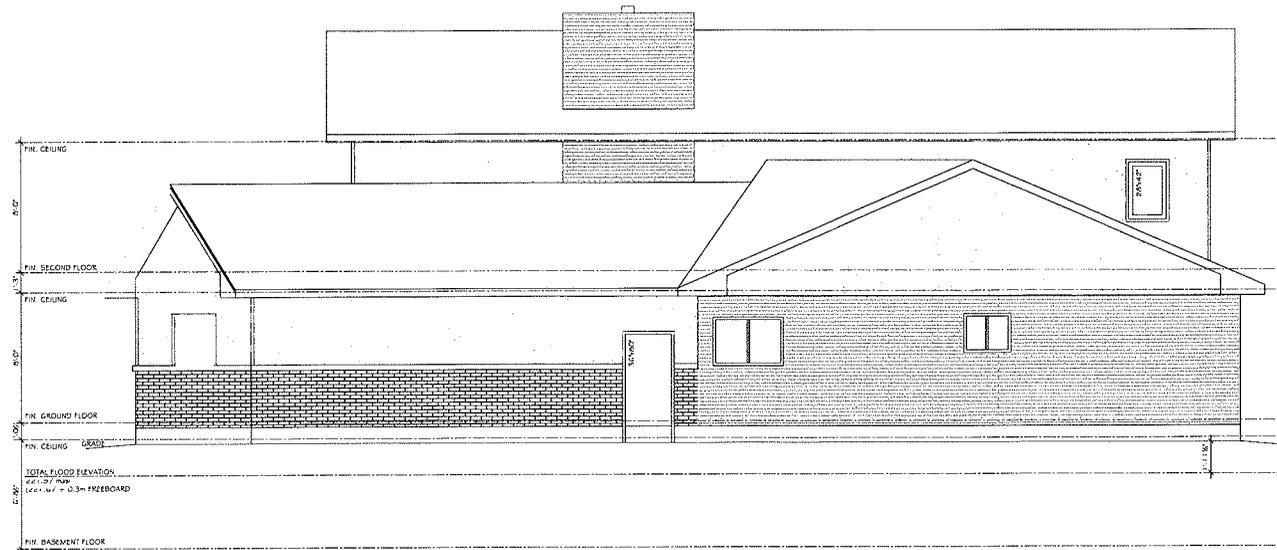
REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

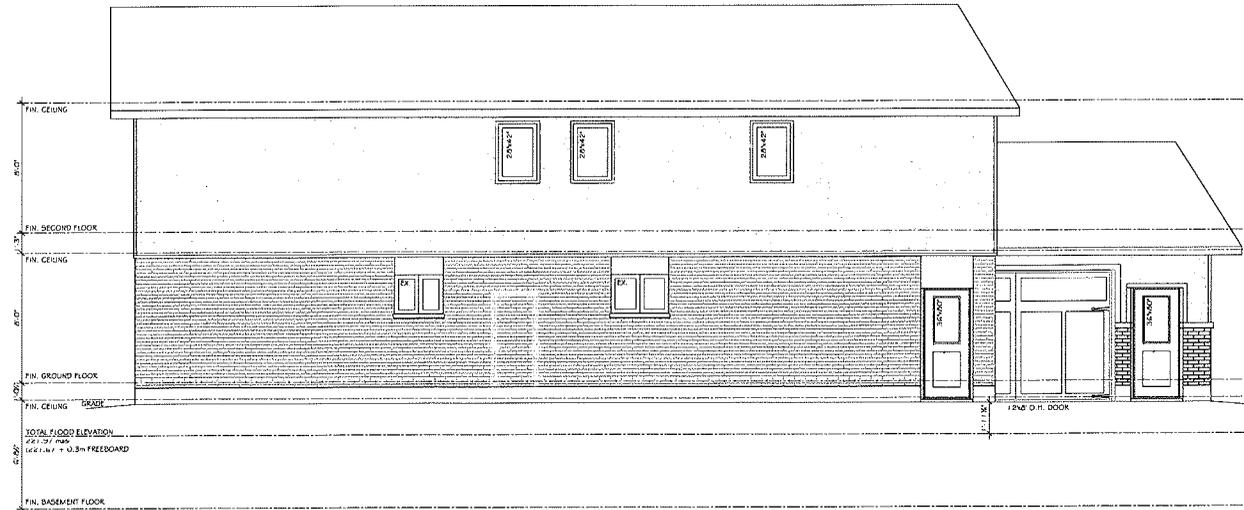
DRAWING #:

4.01

PRELIMINARY- FOR REVIEW



1 SOUTH ELEVATION
4.02 1/4" = 1'-0" AUGUST 29/2024



2 NORTH ELEVATION
4.02 1/4" = 1'-0" AUGUST 29/2024



ALANA + KELLY DESIGN CO.

ARCHITECTURAL TECHNOLOGY
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305
Georgetown, ON
L7G 4K1
Office: 905-873-4993
www.alanakellydesign.ca

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr
Brampton, Ontario

DRAWING:

NORTH & SOUTH ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

4.02

PRELIMINARY- FOR REVIEW

Zoning Non-compliance Checklist

File No.
A-2024-0068

Applicant: Alana + Kelly Design Co Ltd
Address: 10 Hazelwood Dr
Zoning: Mature Neighborhood, R1A (2)
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
BUILDING FRONT SETBACK	To permit a front yard setback of 0.855m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 42%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/02/27

Date

Zoning Non-compliance Checklist

File No.

A-2024-0868

Applicant: Alana + Kelly Design Co Ltd

Address: 10 Hazelwood Dr

Zoning: Mature Neighborhood, R1A (2)

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
BUILDING FRONT SETBACK	To permit a front yard setback of 3.625m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 36.6%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

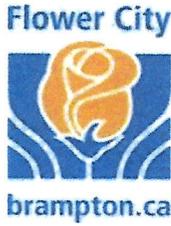
Reviewed by Zoning

2024/09/13

Date

JUL 17 2024

Committee of Adjustment



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** BALGH GRAEB
Address 10 Hazelwood Drive, Brampton, Ontario L6S 1B3
Phone # 416-858-8078 **Fax #** _____
Email billy2020@rogers.com

2. **Name of Agent** Alana + Kelly Design Co. Ltd.
Address 16 Mountainview Road South, Unit 305
Georgetown, Ontario L7G 4K1
Phone # 905-873-4993 **Fax #** _____
Email alana@alanakellydesign.ca

3. **Nature and extent of relief applied for (variances requested):**
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 1.6m.
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.34 square metres.
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 39%.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp

5. **Legal Description of the subject land:**
Lot Number 10
Plan Number/Concession Number 717
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. **Dimension of subject land (in metric units)**
Frontage 34.51m
Depth 43m
Area 1207.74m2

7. **Access to the subject land is by:**
Provincial Highway
Municipal Road Maintained All Year
Private Right-of-Way
Seasonal Road
Other Public Road
Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	10.67m
Rear yard setback	15.54m
Side yard setback	2.63m
Side yard setback	2.49m

PROPOSED

Front yard setback	1.61m
Rear yard setback	17.40m
Side yard setback	2.63m
Side yard setback	1.99m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown
16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # A17-024 Decision Approved Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF Region of Halton
THIS 14 DAY OF July, 20 24

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen OF THE Town OF Halton Hills
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Halton Hills
IN THE Region OF _____
Halton THIS 14 DAY OF July

Signature of Applicant or Authorized Agent

Curtis Nielsen
A Commissioner etc
WHILE BEING A LICENSED PARALEGAL
PROVINCIAL # P10204
PROVINCE OF ONTARIO

FOR OFFICE USE ONLY
Present Official Plan Designation: _____
Present Zoning By-law Classification: _____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer Date

DATE RECEIVED Received / Revised
Date Application Deemed Complete by the Municipality _____

Revised 2022/02/17

JUL 17 2024

Committee of Adjustment



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2524-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Baligh and Nora Graieb
Address 10 Hazelwood Drive, Brampton, Ontario L6S 1B3

Phone # 416-858-8078 **Fax #** _____
Email aligra@rogers.com

2. **Name of Agent** Alana + Kelly Design Co. Ltd
Address 16 Mountainview Road South - Unit 202
Georgetown, Ontario

Phone # 905-873-4993 **Fax #** _____
Email alana@alanakellydesign.ca

3. **Nature and extent of relief applied for (variances requested):**
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 0.855m.
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres.
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 42%.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5. **Legal Description of the subject land:**
Lot Number 10
Plan Number/Concession Number 717
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. **Dimension of subject land (in metric units)**
Frontage 34.51m
Depth 43m
Area 1207.74m2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	<u>10.67m</u>
Rear yard setback	<u>15.54m</u>
Side yard setback	<u>2.63m</u>
Side yard setback	<u>2.49</u>

PROPOSED

Front yard setback	<u>0.855m</u>
Rear yard setback	<u>15.54m</u>
Side yard setback	<u>2.63m</u>
Side yard setback	<u>2.63m</u>

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

- (b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

- (c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # A17-024	Decision Approved _____	Relief Carport/Accessory Structures _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

AK

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF The Region of Halton
THIS 9th DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen, OF THE Town OF Halton Hills
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Halton Hills
IN THE Region OF
Halton THIS 9th DAY OF
February, 2024

AK

Signature of Applicant or Authorized Agent



A Commissioner ETC

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	<u>Mature Neighborhood, R1A(2)</u>
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
Shiza Athar Zoning Officer	<u>2024/02/27</u> Date

DATE RECEIVED MAR. 4, 2024
Date Application Deemed Complete by the Municipality VL



ALANA + KELLY DESIGN CO.

Owner Authorization

Alana + Kelly Design Co.
Alana Nielsen
905-873-4993
alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

Signature: *billy Graieb*
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

Signature: *billy Graieb*
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

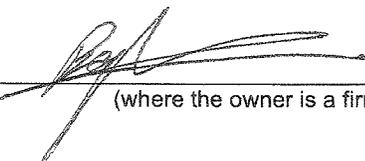
LOCATION OF THE SUBJECT LAND: 10 HAZELWOOD DRIVE, BRAMPTON

I/We, NORA & BALIGH GRAIEB
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 4th day of March, 2024

 NORA GRAIEB
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

 BALIGH GRAIEB
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

8. Existing Buildings

Existing Detached Dwelling:

Ground Floor Area - 242.71 sqm

Gross Floor Area - 292.57 (Ground) + 252.46 (Basement)

Number of Storeys 1 Width : 24.076 m

Length: 13.586m

Accessory Building A Ground Floor Area: 18.95 sqm

Number of Storeys: 1 Width: 5.13m

Length: 3.66m

Accessory Building B

Ground Floor Area: 14.86 sqm

Number of Storeys: 1

Width: 4.27m

Length: 3.76m

Accessory Building C

Ground Floor Area: 37.35 sqm

Number of Storeys: 1

Width: 7.95m

Length: 4.69m

Proposed Building

Proposed Detached Dwelling

Ground Floor Area - 347.96 sqm

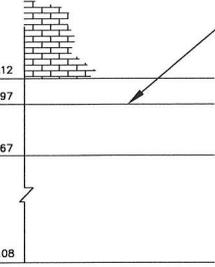
Gross Floor Area: 139.41 sqm (Second) + 399.91sqm (Ground) + 270.02sqm (Basement)

Total: 890.34 sqm

Number of Storeys: 2

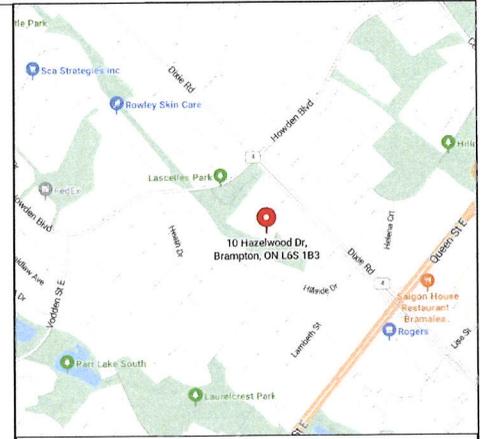
Width : 24.076 m

Length: 26.42m

TFW	222.12	
ELEVATION INCL. FREEBOARD	221.97	
FLOOD PLAIN ELEVATION	221.67	
FBE	220.08	

NO NEW OPENINGS BELOW ELEV. 221.97

ALL NEW OPENINGS TO BE ABOVE 221.97 (0.3M FREEBOARD)



LEGEND

PROPERTY BOUNDARY	---
EXITING GROUND ELEVATION	x 100.00
PROPOSED ADDITION	XXXXXX
FLOODLINE, Z = 221.67m	---

Received / Revised

JUL 03 2024

Committee of Adjustment

No	Date	Drawn	App'd	Revisions
1.	2024-06-27	H.S.	G.M.	FIRST SUBMISSION

Design	G.K.	Checked	G.M.
Drawn	H.S.	Checked	G.M.
Scale	1:100		
Date	June 27, 2024		



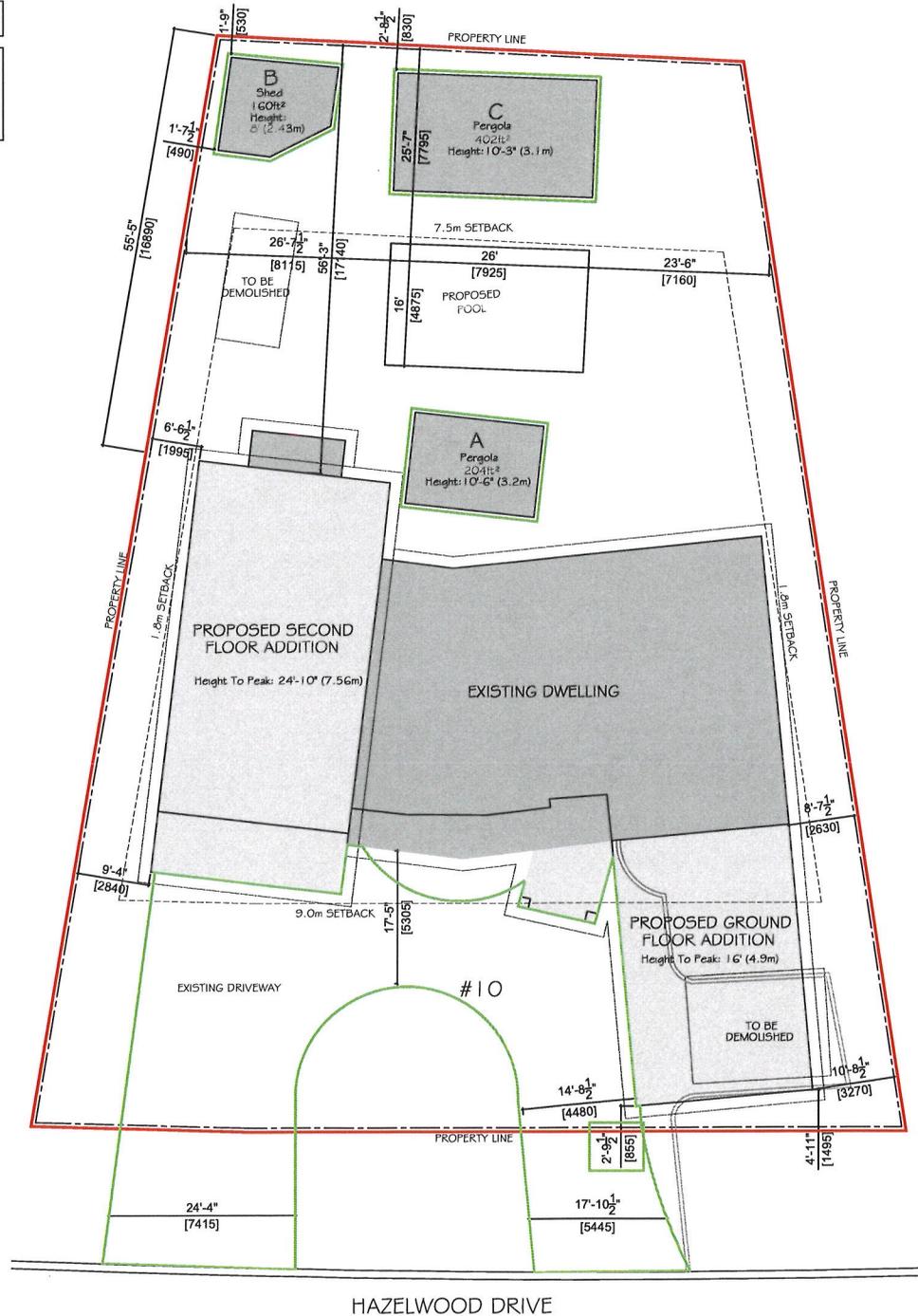
10 HAZELWOOD DR,
BRAMPTON, ON L6S 1B3

Project No. 2023-10104
Drawing No. 2023-10104-01

ALLOWABLE LANDSCAPE % = 70% = 1812ft² (168.36m²)

LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2589ft² (240.53m²)
 DRIVEWAY AREA = 1548ft² (143.80m²)
 PROPOSED = 40% = 1041ft² (96.73m²)
 LANDSCAPE %

SITE STATISTICS
 ZONING R1A(2)
 LOT SIZE 13,000ft² (1,207.74m²)
 LOT COVERAGE - DETACHED DWELLING
 ALLOWABLE% 25% = 3,250ft² (301.94m²)
 EXISTING 24.7% = 3,205ft² (297.75m²)
 PROPOSED 17% = 2,267ft² (210.6m²)
 TOTAL 42% = 5,472ft² (508.35m²)
 LOT COVERAGE - ACCESSORY STRUCTURES
 ALLOWABLE = 548.42ft² (50.94m²)
 EXISTING -A = 204ft² (18.95m²)
 EXISTING -B = 160ft² (14.86m²)
 EXISTING -C = 404ft² (37.53m²)
 TOTAL = 768ft² (71.34m²)



1 SITE PLAN
 0.01 NTS
 FEB 16/ 2024



ALANA + KELLY DESIGN CO.

ARCHITECTURAL TECHNOLOGY
 INTERIOR DESIGN

16 Mountainview Rd S, Unit 205
 Georgetown, ON
 L7G 4K1
 Office: 905-873-4993
 www.alanakellydesign.ca

DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY. G.C. AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:
GRAIEB RESIDENCE
 10 Hazelwood Drive,
 Brampton, Ontario

DRAWING:
**SITE PLAN
 MINOR VARIANCE**

SCALE: NTS

REVISIONS:

NO.	DATE	COMMENTS
01	AUG 2/23	DESIGN DRAFT 1
02	SEPT 6/23	DESIGN DRAFT 2
03	NOV 3/23	DESIGN DRAFT 3
04	NOV 16/23	DESIGN DRAFT 4
05	NOV 21/23	DESIGN DRAFT 5
06	NOV 28/23	DESIGN DRAFT 6
07	FEB 07/24	MINOR VARIANCE
08	FEB 09/24	MINOR VARIANCE 2

DRAWING #:

0.01

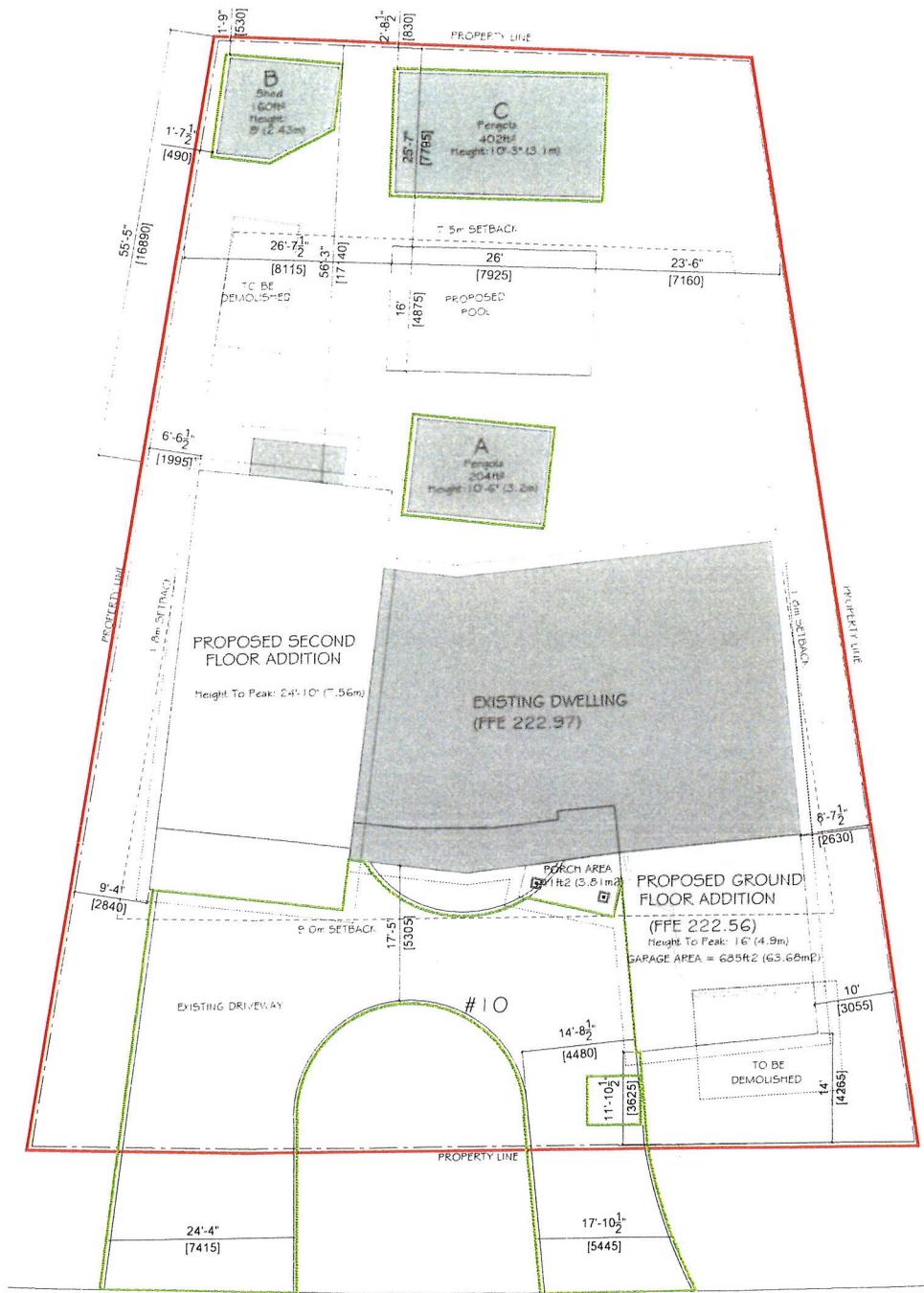
SCOPE OF WORK
 PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE

ALLOWABLE LANDSCAPE % = 70% = 1.8.21ft² (66.36m²)

LANDSCAPE OPEN SPACE
 FRONT YARD AREA = 2.9.21ft² (270.53m²)
 DRIVEWAY AREA = 5.46ft² (143.60m²)
 PROPOSED LANDSCAPE % = 5.5% = 1.50ft² (39.45m²)

SITE STATISTICS
 ZONING R. A.2
 LOT SIZE 3.000ft² (207.74m²)
 LOT COVERAGE - DETACHED DWELLING
 ALLOWABLE = 28% = 2.250ft² (30.92m²)
 EXISTING = 3.271ft² (303.89m²)
 PROPOSED = 7.69ft² (714.42m²)
 ACCESSORY STRUCTURE
 TOTAL = 4.769ft² (442.05m²)

LOT COVERAGE - ACCESSORY STRUCTURES
 ALLOWABLE = 548.42ft² (50.92m²)
 EXISTING - A = 204ft² (18.95m²)
 EXISTING - B = 160ft² (14.86m²)
 EXISTING - C = 404ft² (37.53m²)
 TOTAL = 768ft² (71.34m²)



1 SITE PLAN
 0.01MV 1/8" = 1'-0" AUGUST 29/2024

Received / Revised
 SEP 13 2024
 Committee of Adjustment

HAZELWOOD DRIVE

PRELIMINARY- FOR REVIEW

ALANA + KELLY
 DESIGN CO.

ARCHITECTURAL TECHNOLOGY
 INTERIOR DESIGN

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DO NOT SCALE DRAWINGS. PLOTTED DIMENSIONS ONLY ARE FOR GENERAL PURPOSES ONLY. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY THE ARCHITECT. DIMENSIONS ON SITE AND REPORT AND DRAWINGS TO THE DESIGNER BEFORE ANY CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY THE ARCHITECT. DIMENSIONS ON SITE AND REPORT AND DRAWINGS TO THE DESIGNER BEFORE ANY CONSTRUCTION.

PROJECT:
 GRAIEB RESIDENCE
 10 Hazelwood Dr
 Brampton, Ontario

DRAWING:
 SITE PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

0.01MV

Zoning Non-compliance Checklist

File No.

A-2024-0068

Applicant: Alana + Kelly Design Co Ltd

Address: 10 Hazelwood Dr

Zoning: Mature Neighborhood, R1A (2)

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
BUILDING FRONT SETBACK	To permit a front yard setback of 0.855m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 42%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/02/27

Date