

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

Application Number: A-2024-0413
Property Address: 2084 Steeles Avenue East, Unit 3 & 4
Legal Description: PSCP 1124, LVL 1, UN 48, Ward 7
Agent: We Design Build Inc. c/o Haroon Malik
Owner(s): 1000340771 Ontario Inc.
Other applications: nil
under the *Planning Act*

Meeting Date and Time: Tuesday, April 29, 2025, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit a motor vehicle sales establishment, whereas the by-law does not permit the use; and
2. To permit 448 parking spaces to be provided on site, whereas the by-law requires 605 parking spaces to be provided on site.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, April 24, 2025**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, April 24, 2025**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

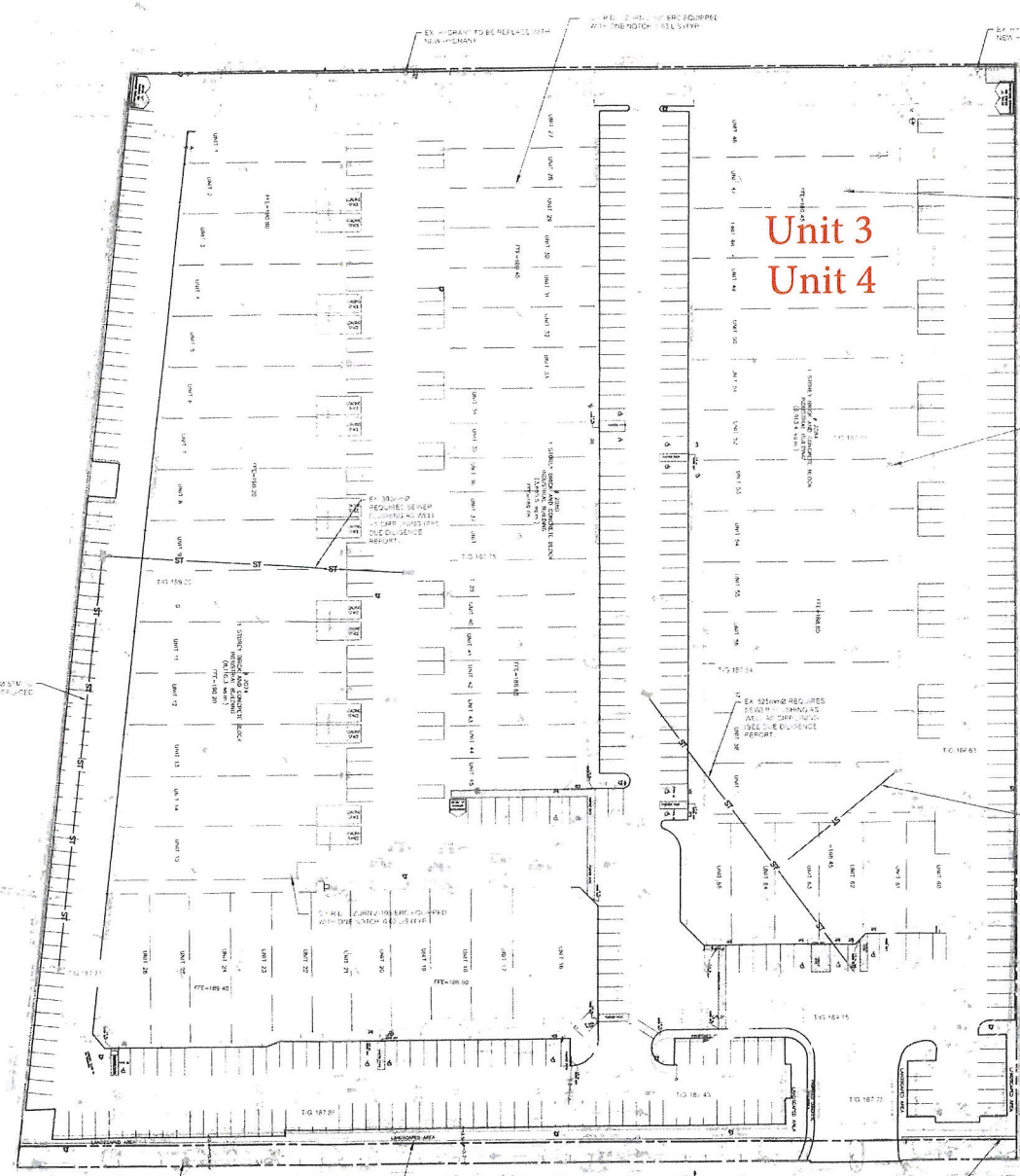
Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 14th day of April 2025

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca



BENCHMARK NOTES

1. BASE INFORMATION FOR THIS DRAWING WAS DERIVED FROM TOPOGRAPHIC SURVEY COMPLETED BY RODNEY JENSEN CONSULTING INC. DATE SEPTEMBER 14, 2020.

2. ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM GASS OBSERVATIONS USING THE CAN-NET VRS NETWORK. OBSERVATIONS ARE RELATED TO THE CGVD2011 DATUM BY USING THE HTS_0 GEOD MODEL.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY OF BRAMPTON STANDARD SPECIFICATIONS AND DRAWINGS.

2. ALL AS-BUILT INFORMATION HAD BEEN PROVIDED FROM CITY OF BRAMPTON STORM MANAGEMENT PLAN (1885) FOR ADDRESS 2074-2084 STEELES AVENUE.

3. ORDER OF PRECEDENCE OF STANDARD DRAWINGS IS FIRSTLY BRAMPTON STANDARDS, AND SECONDLY ONTARIO PROVINCIAL STANDARD DRAWINGS (PSD).

4. ALL MEASUREMENTS FOR THIS PROJECT ARE IN METERS UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS, OR ERRORS TO THE CONTRACT ADMINISTRATOR. NO WORK IS TO PROCEED BEFORE CLARIFICATION OF THE DISCREPANCIES, OMISSIONS, OR ERRORS ARE RECEIVED FROM CONTRACT ADMINISTRATOR.

5. LOCATIONS PROVIDED FOR EXISTING SERVICES AND UTILITIES ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY UTILITY LOCATES PRIOR TO COMMENCING CONSTRUCTION.

6. AT CROSSINGS OF EXISTING UNDERGROUND SERVICES, SUPPORT TO BE PROVIDED WHEN REQUIRED.

7. RIGHT OF WAY ACTIVITY PERMIT IS REQUIRED FROM THE CITY OF BRAMPTON OPERATIONS DEPARTMENT PRIOR TO THE COMMENCEMENT OF WORK WITHIN THE RIGHT OF WAY. THE CONTRACTOR SHALL INFORM THE SITE MANAGER (ENGINEER) A MINIMUM OF 48 HRS IN ADVANCE OF THE INTENTION TO COMMENCE WORK.

8. NATIVE MATERIAL, SUITABLE FOR BACKFILL, SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.

9. GRANULAR MATERIAL, USED FOR BACKFILL, SHALL BE APPROVED BY THE CITY AND PLACED IN LAYER NOT EXCEEDING 100mm IN DEPTH AND COMPACTED TO 100% STANDARD PROCTOR DENSITY.

10. ALL DISTURBED AREAS ARE TO BE RESTORED TO THEIR ORIGINAL CONDITIONS OR BETTER, AS DETERMINED BY THE CONTRACT ADMINISTRATOR.

11. WHERE FROST DEPTH IS REQUIRED, USE A MINIMUM 4:1 SLOPE.

12. ALL EXISTING DIMENSIONS ARE APPROXIMATE AND THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.

13. ALL SILT CONTROL AND EROSION PROTECTION DEVICES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND THE GRASS HAS TAKEN. SUBJECT TO APPROVAL OF THE CONTRACT ADMINISTRATOR.

14. THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE SATISFACTORY TEMPORARY BARRICADES AND FLAGGING PROTECTION IN ACCORDANCE WITH MINISTRY OF LABOR POLICIES AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.

15. ALL BROKEN CONCRETE, BRICK, EXCAVATED MATERIAL, AND NON-SALVAGEABLE MATERIAL SHALL BE DISPOSED OF AT AN APPROVED LOCATION.

16. ONLY THE LATEST APPROVED DRAWINGS AND SPECIFICATIONS ARE TO BE USED FOR CONSTRUCTION.

17. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE CONSULTANT, AND SHALL BE RETURNED TO THE CONSULTANT UPON REQUEST. IF NO WAY SHALL BE RETURNED TO THE CONSULTANT UPON REQUEST. IN WHOLE OR IN PART, BE REPRODUCED OR DISTRIBUTED WITHOUT THE PERMISSION OF THE CONSULTANT.

18. CONTRACTOR SHALL LOCATE ALL EXISTING VALVE BOXES WITHIN THE WORK LIMITS AND MAKE THE APPROPRIATE ADJUSTMENTS AS REQUIRED TO SET THE EXISTING VALVE BOX TO PROPOSED FINISHED GRADE.

19. THE CONTRACTOR SHALL LOCATE ALL EXISTING MAINTENANCE HOLES, ACCESS COVERS WITHIN THE WORK LIMITS AND MAKE THE APPROPRIATE ADJUSTMENTS AS REQUIRED TO SET THE EXISTING FRAME AND COVER TO PROPOSED FINISHED GRADE.

20. THE CONTRACTOR SHALL LOCATE ALL EXISTING MAINTENANCE HOLES, ACCESS COVERS WITHIN THE WORK LIMITS, REMOVE AND DISPOSE OFF-SITE THE EXISTING FRAME AND COVER, AND SUPPLY AND INSTALL AUTOMATIC SELF-SEALING, 150mm FRAMES AND COVER AND MAKE THE APPROPRIATE ADJUSTMENTS AS REQUIRED TO SET THE PROPOSED FRAME AND COVER TO PROPOSED FINISHED GRADE.

21. THESE NOTES ARE GENERAL IN NATURE. FOR SPECIFIC DETAILS REFER TO CITY OF BRAMPTON STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.

22. FOR FURTHER INFORMATION ON PAVEMENT STRUCTURE, PLEASE REFER TO PAVEMENT REPORT BRM0007490-40 - 2074-2084 STEELES AVE PAVEMENT REPORT R01 091520.PDF (REFER TO PAGE 19 FOR PROPOSED WORKS DWG.). THIS DOCUMENT WILL SHOWCASE THE PROPOSED RECOMMENDATIONS FOR THE SITE AND PROVIDE ASPHALT PAVEMENT STRUCTURE RECOMMENDATIONS FOR EACH ZONE.

23. FOR ANY STORM OR SANITARY GRADE STRUCTURES INCREASES MUST ADHERE TO CITY OF BRAMPTON STANDARDS FOLLOWED BY PSD.

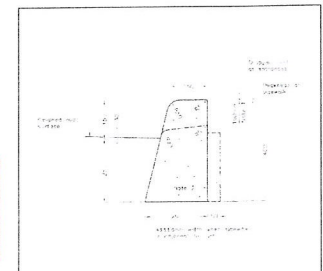
24. THE LOCATION OF ALL UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES ARE NOT GUARANTEED. PRIOR TO STAGING WORK, THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO ANY UTILITIES.

25. LOCATION OF EXISTING SERVICES ARE NOT GUARANTEED. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL UTILITY LOCATES AND NOTIFY THE VARIOUS UTILITY COMPANIES 48 HRS PRIOR TO THE COMMENCEMENT OF ANY WORK. (BLANKET EASEMENT IN FAVOUR OF ENBRIDGE AS IN INSTRUMENT NO. P18375420).

26. EXISTING STORM SEWER SYSTEM SHOULD BE PROPERLY FLUSHED AND DE-SILTED WITH COMPLETE EXPOSURE OF THE EXISTING DRAINAGE CONTROL, AT MIN 10% AS RECOMMENDED IN SWM BRIEF.

CITY OF BRAMPTON
DEV. ENGINEERING SERVICES
Planning & Design Services & Permitting
SEP 15 2021
By: [Signature]

CITY OF BRAMPTON
PUBLIC WORKS & ENGINEERING DEPT.
Maintenance & Operations
Read Occupancy & Access Permit required for all work within the road allowance. Permit to be obtained at least 48 hours prior to commencement of the work.



NOTES

1. Refer to the site plan for the location of the concrete barrier curb.

2. The concrete barrier curb shall be constructed in accordance with the City of Brampton Standards and Specifications.

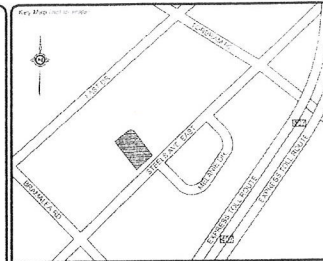
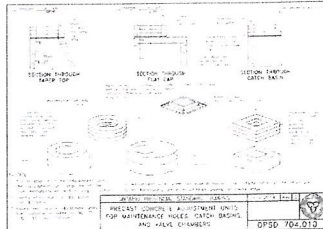
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CONCRETE BARRIER CURB

OPSD 600.110

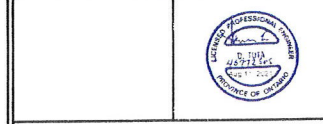


LEGEND:

EX. IRON BAR	NEW STORM M.H.
EX. SHORT STD. I.B.	EX. SANITARY M.H.
EX. LIGHT STANDARD	NEW SANITARY M.H.
EX. HYDRO POLE	EX. CATCH BASIN
EX. GAS VALVE	EX. CATCH BASIN
EX. WATER VALVE	NEW CATCH BASIN M.H.
EX. FIRE HYDRANT	REVISED RIM ELEVATION
EX. CLEAN OUT	NEW SLOPE
EX. DOWNSPOUT	EX. STORM SEWER
EX. STORM M.H.	EX. SANITARY SEWER
NEW STORM M.H.	EX. WATER MAIN
EX. SANITARY M.H.	EX. GAS MAIN
NEW SANITARY M.H.	EX. OVERHEAD HYDRO
EX. CATCH BASIN	EX. 1/2" HYDRO
NEW CATCH BASIN M.H.	EX. 1/2" BELL
REVISED RIM ELEVATION	EX. 1/2" CABLE
NEW SLOPE	NEW STORM SEWER
EX. STORM SEWER	NEW SANITARY SEWER
EX. SANITARY SEWER	NEW WATER SERVICE
EX. WATER MAIN	NEW GAS SERVICE
EX. GAS MAIN	NEW HYDRO SERVICE
EX. OVERHEAD HYDRO	NEW BELL SERVICE
EX. 1/2" HYDRO	EX. CONC. CURB
EX. 1/2" BELL	NEW CONC. CURB
EX. 1/2" CABLE	

REVISIONS

NO.	REVISIONS	DATE	BY	APP.
1	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
2	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
3	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
4	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
5	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
6	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
7	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
8	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
9	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST
10	REV. ISSUED FOR SPA	JUL 15 2021	AT	ST



exp Services Inc.
1000 Glen Road
Brampton, ON L6T 4J1
Canada
www.exp.com

exp.
• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
• INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

TAKOL STEELTON INC.
PARKING LOT REHABILITATION

2074-2084 STEELES AVENUE, BRAMPTON, ON
SPA - 2021-0044
CONDO APPLICATION No. DPC - 2021-0031
REGION SITE PLAN No. SP-21-0448

SITE SERVICING PLAN

Designed By: [Signature] Drawn By: [Signature] Checked By: [Signature]
Scale: 1:500 Date: 02/20/21 Drawing No.: [Signature]
Project No.: BRM-20207490-40

SS-01