

Flower City



brampton.ca

FILE NUMBER: A-2025-0035

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) JINDAL DEVELOPMENTS Ltd.
Address 12 JANETVILLE STREET BRAMPTON

Phone # 4164506242 Fax # _____
Email PUSHAPJINDAL@GMAIL.COM

2. Name of Agent MANNI CHAUHAN, MCIP, RPP, FITP(I)
Address _____
SUITE #401, 2800 SKYMARK AVENUE, MISSISSAUGA, ON, L4W 5A6

Phone # 6472969175 Fax # _____
Email MANNI@GFORCEPLANNERS.CA

3. Nature and extent of relief applied for (variances requested):
~~TO PERMIT A TEMPORARY SALES STRUCTURE AND PORTABLE WASHROOM WHEREAS ZONING BYLAW 215-2024 DOES NOT PERMIT A TEMPORARY STRUCTURE~~
~~TO PERMIT A 1M REAR YARD SETBACK WHEREAS ZONING BYLAW 215-2024 REQUIRES A MINIMUM SETBACK OF 38.16M~~
~~TO PERMIT A 0M EXTERIOR LANDSCAPE OPEN SPACE WHEREAS ZONING BYLAW 215-2024 REQUIRES A MINIMUM LANDSCAPE OPEN SPACE OF 3.29M~~
~~TO PERMIT A 0M EXTERIOR SIDEYARD SETBACK WHEREAS ZONING BYLAW 215-2024 REQUIRES A MINIMUM SETBACK OF 5M~~
~~TO PERMIT A 1M REAR YARD LANDSCAPE OPEN SPACE WHEREAS THE ZONING BYLAW 215-2024 REQUIRES A 3M REAR YARD LANDSCAPE OPEN SPACE~~
~~TO PERMIT 3 VISITORS PARKING SPACE WITH 1 SPACE BEING ACCESSIBLE PARKING (TYPE B) WHEREAS THE BYLAW 215-2024 REQUIRES A MINIMUM 35 VISITOR PARKING SPACES~~

4. Why is it not possible to comply with the provisions of the by-law?
~~THE ZONING BYLAW 215-2024 DOES NOT PERMIT A TEMPORARY SALES STRUCTURE UNLESS IT MEETS THE ZONING STANDARDS PRESCRIBED FOR THIS SITE~~
~~WE ARE UNABLE TO PLACE THE STRUCTURE CONFORMING TO THE ZONE R4A(3)3800 AS IT WILL INTERFERRE WITH FUTURE CONSTRUCTION~~
~~THE PLACEMENT OF THE STRUCTURE AT ITS PRESENT LOCATION WILL CAUSE THE LEAST INTERUPTIONS TO OUR DEVELOPMENT GOALS AND~~
~~ALSO SERVE THE PURPOSE IT IS INTENDED TO~~

5. Legal Description of the subject land:
Lot Number 45A
Plan Number/Concession Number 43M-1678
Municipal Address 1925 COTTRELL BOULEVARD, BRAMPTON

6. Dimension of subject land (in metric units)
Frontage 104M
Depth 182M
Area 1.003 ACRES

7. Access to the subject land is by:
Provincial Highway _____ Seasonal Road _____
Municipal Road Maintained All Year _____ Other Public Road _____
Private Right-of-Way _____ YES _____ Water _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

VACANT LANDS

PROPOSED BUILDINGS/STRUCTURES on the subject land:

10 STOREY BUILDING WITH 174 UNITS. PRESENTLY PROPOSING A TEMPORARY SALES STRUCTURE

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback VACANT LANDS _____
Rear yard setback _____
Side yard setback _____
Side yard setback _____

PROPOSED

Front yard setback 4M _____
Rear yard setback 38.16M _____
Side yard setback INTERIOR 29.79M _____
Side yard setback EXTERIOR 38.16M _____

- 0. Date of Acquisition of subject land: 2017 _____
- 1. Existing uses of subject property: VACANT _____
- 2. Proposed uses of subject property: RESIDENTIAL _____
- 3. Existing uses of abutting properties: COMMERCIAL AND RESIDENTIAL _____
- 4. Date of construction of all buildings & structures on subject land: VACANT LANDS _____
- 5. Length of time the existing uses of the subject property have been continued: VACANT LANDS _____

16. (a) What water supply is existing/proposed?

Municipal^x _____ Other (specify) _____
Well _____

(b) What sewage disposal is/will be provided?

Municipal^x _____ Other (specify) _____
Septic _____

(c) What storm drainage system is existing/proposed?

Sewers _____ Other (specify) _____
Ditches _____
Swales _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File #	A2023-0212	Decision	APPROVED	Relief	INCREASE TO NUMBER OF APARTMENTS
File #	_____	Decision	_____	Relief	_____
File #	_____	Decision	_____	Relief	_____



 Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ CITY _____ OF MISSISSAUGA Brampton
 THIS 19TH DAY OF MARCH, 20 25

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PUSHAP JINDAL, OF THE CITY _____ OF BRAMPTON

IN THE _____ REGION OF _____ PEEL _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
 CITY _____ OF Brampton
 IN THE _____ REGION OF _____
 PEEL _____ THIS 19TH DAY OF
 MARCH _____, 20 25



 Signature of Applicant or Authorized Agent

Vijayant Sood LSO #P18040

 A Commissioner etc.

VIJAYANT SOOD,
 a Commissioner for Taking Affidavits
 in and for the Courts in Ontario,
 while a licensed Paralegal.

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	<u>R4A(3)-3800</u>
Enforcement Action File Number:	_____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
<u>I. barbuto</u> Zoning Officer	<u>March 20, 2025</u> Date

DATE RECEIVED March 20, 2025
Mercewin

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 1925 COTTRELLE BOULEVARD, BRAMPTON

I/We, Jindal Developments Ltd.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

MANNI CHAUHAN, MCIP, RPP, FITP(I)
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 19TH day of MARCH, 2025.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

PUSHAP JINDAL
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 1925 COTTRELL BOULEVARD, BRAMPTON

I/We, JINDAL DEVELOPMENTS LTD.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

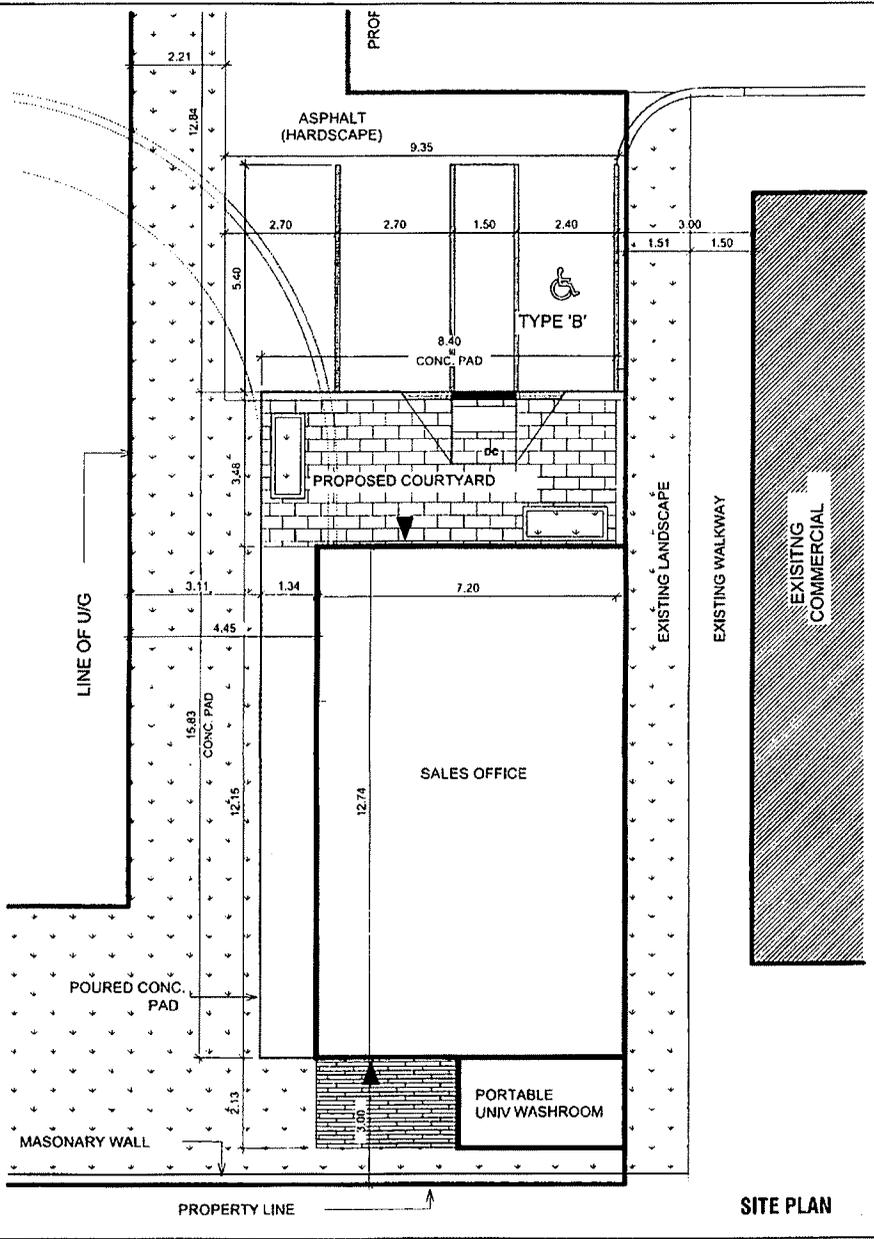
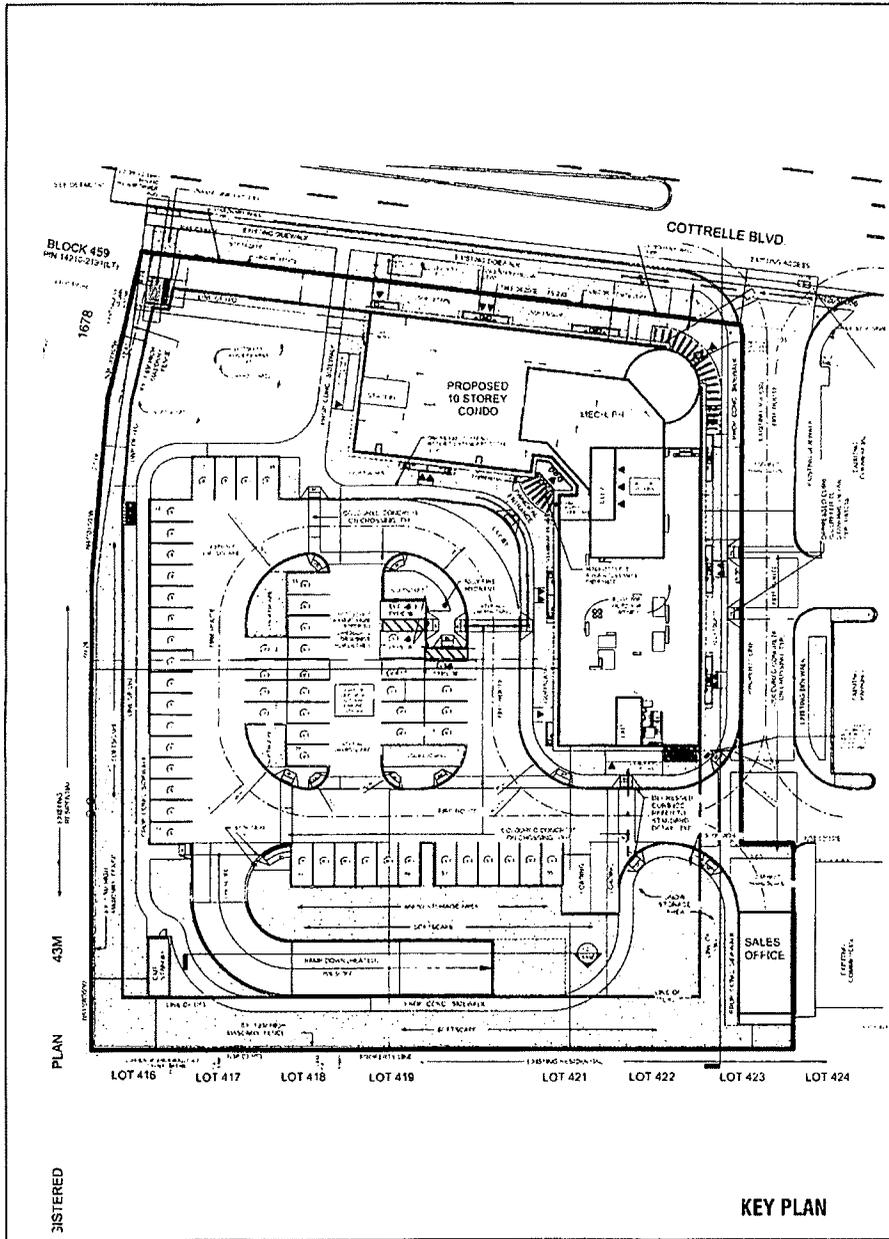
Dated this 18TH day of MARCH, 2025.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Purnesh Jindal
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



1. APPROVED BY THE CITY OF BRAMPTON
 2. APPROVED BY THE BOARD OF ZONING APPEALS
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 CITY OF BRAMPTON
 PROPOSED SALES OFFICE
 1955 COTTRELL BLVD
 BRAMPTON

 ANTRIX
 2503
 A0

8. Committee of Adjustment

8.1	Residential* Minor Variance Applications *Excluding Apartment Buildings		
8.1.1	Above/Below Grade Door/Window related Application	\$11,949	Per Application
8.1.2	Driveway and/or Parking related Application	\$11,949	Per Application
8.1.3	Variances to Section 10.16 (Additional Residential Units) of the Zoning By-Law	\$11,949	Per Application
8.1.4	All Other Variances	\$2,990	Per Variance to a Maximum Fee of \$11,949
8.1.5	"After the Fact" Variance: Variance application resulting from a registered complaint, construction inspection, building order or enforcement action where the construction or commencement of the use requiring a variance has already taken place without approval.	\$11,949	Per Application
8.1.6	Maximum Fee	\$11,949	Per Application
8.2	Institutional, Commercial, Industrial, Residential Apartment Building Minor Variance Applications		
8.2.1	Minor Variance Application	\$11,949	Per Application
8.3	Consent Applications		
8.3.1	Consent Application – Lot Creation	\$10,157	Per Application
8.3.2	Consent Application – All Other (in accordance with Planning Act S.57, 50(18), or 53(23))	\$5,078	Per Application
8.3.3	Consent Certificate	\$2,127	Per Certificate
8.4	General Committee of Adjustment Fees		
8.4.1	Committee of Adjustment Application Re-Circulated Pursuant to A Request by The Applicant to Defer an Application	50% of Application Fee	Per Deferral
8.4.2	Replacement Notice Sign	\$75	Per Sign
Committee of Adjustment Application Refunds: <ul style="list-style-type: none"> • 75% refund if withdrawn prior to internal circulation • 50% refund if withdrawn prior to circulation of public notice of a hearing. • No refund if withdrawn once the circulation of the public notice of a hearing has occurred 			

THIS DOCUMENT CONTAINS SECURITY FEATURES - SEE REVERSE

JINDAL DEVELOPMENTS LTD.
12 JANETVILLE ST
BRAMPTON, ONTARIO L6P 2A3

MERIDIAN CREDIT UNION LIMITED
4099 ERIN MILLS PARKWAY, UNIT 7
MISSISSAUGA, ON L5L 3P9

000652

DATE 0 3 1 9 2 0 2 5
M M D D Y Y Y Y

PAY *****Eleven Thousand Nine Hundred Forty-Nine and 00/100

\$ **11,949.00

TO THE ORDER OF
City of Brampton
2 Wellington St. W
Brampton, ON

JINDAL DEVELOPMENTS LTD.



[Handwritten Signature]

MEMO Minor Variance for temporary sale office

PER _____

⑈000652⑈ ⑆69262⑈ ⑆837⑆ 000235338111⑈

JINDAL DEVELOPMENTS LTD.
City of Brampton

3/19/2025

000652

Date	Type	Reference	Original Amt.	Balance Due	Discount	Payment
03/19/2025	Bill	MVA	11,949.00	11,949.00		11,949.00
					Cheque Amount	11,949.00

Meridian Credit Union Minor Variance for temporary sale office 11,949.00

JINDAL DEVELOPMENTS LTD.
City of Brampton

3/19/2025

000652

Date	Type	Reference	Original Amt.	Balance Due	Discount	Payment
03/19/2025	Bill	MVA	11,949.00	11,949.00		11,949.00
					Cheque Amount	11,949.00

Meridian Credit Union Minor Variance for temporary sale office 11,949.00

Manni Chauhan, MCIP, RPP
Principal Planner,
G-force Urban Planners & Consultants

2800 SKYMARK AVENUE
Suite 401
Mississauga,
Ontario, Canada
L4W 5A6

Mobile: 647-296-9175
Email: gforceplanners@gmail.com
Web: <http://www.gforceplanners.ca/>
In: ca.linkedin.com/in/gforceplanners/



G-force Urban Planners & Consultants

Committee of Adjustment
City of Brampton
2 Wellington Street West Brampton,
ON L6Y 4R2
Phone (905) 874-2117
coa@brampton.ca

March 19, 2025

Hi,

On behalf of Pushap Jindal, owner of properties addressed as 1925 Cottrelle Boulevard, Brampton, G-force Urban Planners are pleased to make an application for the following minor variances:

1. TO PERMIT A TEMPORARY SALES STRUCTURE AND PORTABLE WASHROOM WHEREAS ZONING BYLAW 215-2024 DOES NOT PERMIT A TEMPORARY STRUCTURE UNLESS IT CONFORMS TO CURRENT ZONE STANDARDS FOR THE LOT.
2. TO PERMIT A 1M REAR YARD SETBACK WHEREAS ZONING BYLAW 215-2024 REQUIRES A MINIMUM SETBACK OF 3.16M
3. TO PERMIT A 0M EXTERIOR LANDSCAPE OPEN SPACE WHEREAS ZONING BYLAW 215-2024 REQUIRES A MINIMUM LANDSCAPE OPEN SPACE OF 3.29M
4. TO PERMIT A 0M EXTERIOR SIDE YARD SETBACK WHEREAS ZONING BYLAW 215-2024 REQUIRES A MINIMUM EXTERIOR SIDE YARD SETBACK OF 5M
5. TO PERMIT A 1M REAR YARD LANDSCAPE OPEN SPACE WHEREAS THE ZONING BYLAW 215-2024 REQUIRES A 3M REAR YARD LANDSCAPE OPEN SPACE (To accommodate the portable washroom)
6. TO PERMIT 3 VISITORS PARKING SPACE WITH 1 SPACE BEING ACCESSIBLE PARKING (TYPE B) WHEREAS THE BYLAW 215-2024 REQUIRES A MINIMUM 35 VISITOR PARKING SPACES

The minor variances to the zoning bylaw are required because the owner wishes to construct a temporary sales centre for the proposed 10 storey, 174 apartment building. An application has been made to the building department for the issuance of a permit for the centre.

It is our understanding that the Building Department will permit the placement of a temporary structure that conforms to the existing zoning bylaw standards. Due to future construction constraints the structure cannot be placed with the setbacks outlined in the Site Specific Zoning Bylaw R4A(3)3800.

As such the structure has been placed at a location that will not hamper construction while also providing easy access.

We do not visualize the need for more than 3 parking spaces for the sales office.

If you have any questions, please call me at 6472969175 or email me at manni@gforceplanners.ca

Regards



Manni Chauhan, MCIP RPP
Principal, G-force Urban Planners & Consultants,
2800 Skymark Ave,
Suite 401, Mississauga, ON, L4W5A6



Zoning Non-compliance Checklist

File No. A-2025-0035

Applicant: Jindal Development Ltd.
 Address: 1925 Cottrelle Blvd
 Zoning: R4A(3)-3800
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR	To permit an exterior side yard setback of 0m to the proposed sales office and associated washroom facility To permit a rear yard setback of 0.87m to the proposed washroom facility	Whereas the by-law requires a minimum exterior side yard setback of 5m to the principal building Whereas the by-law requires a minimum rear yard setback of 38.16m	3800.3
BUILDING SIZE			
SIDE DOOR			
COVERAGE			
PARKING	To permit 0 parking spaces on-site	Whereas the by-law requires 4 parking spaces to be provided on-site	20
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE	To permit a 0.0m wide landscape open space strip along the exterior side lot line To permit a 0.89m wide landscape open space strip along the rear lot line	Whereas the by-law requires a 3.29m wide landscape open space strip along the exterior side lot line Whereas the by-law requires 3.0m wide landscape open space strip along the rear lot line.	3800.3
SCHEDULE 'C'			
FENCE HEIGHT			

Lesley Barbuto
Reviewed by Zoning

March 20, 2025
Date



MARTINELLO DESIGN

VALLEY CREEK RESIDENCES

1955 COTTRELLE BLVD. BRAMPTON



3D VIEW FROM NORTH EAST
(RENDERING REPRESENTS ARTIST CONCEPT ONLY)



LOCATION MAP

MARTINELLO
DESIGNS



info@byprecise.com
www.byprecise.com



martinelldesign@gmail.com
www.martinello.biz

City of Brampton - Planning Division
 Excluded from Site Plan Control
 Site Plan Approval - Limited
Description:

Authorized by: _____ Name

Date _____ Signature

NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.

No.	Description	Date
1	ISSUED FOR PRE-CON	23-09-11
2	ISSUED FOR ZBA	23-12-11
3	ISSUED FOR SPA	24-06-19
4	RE-ISSUED FOR ZBA	24-08-12
5	RE-ISSUED FOR SPA	24-08-23

SHEET INDEX

Sheet List	
Sheet Number	Sheet Name
A000	COVER
A101	PROPOSED SITE PLAN
A102	SITE DETAILS
A103	P1 LEVEL
A105	FLOOR PLATES
A106	ROOF PLAN
A107	ELEVATIONS
A108	SECTIONS
A109	PROPOSED RPLAN

JINDAL DEVELOPMENTS LTD.,

Valley Creek Residences City file # PRE-2024-0048

1955 COTTRELLE BOULEVARD
BRAMPTON, ON L6P 2Z8

COVER

Project number 23-118

Date DEC 01 2023

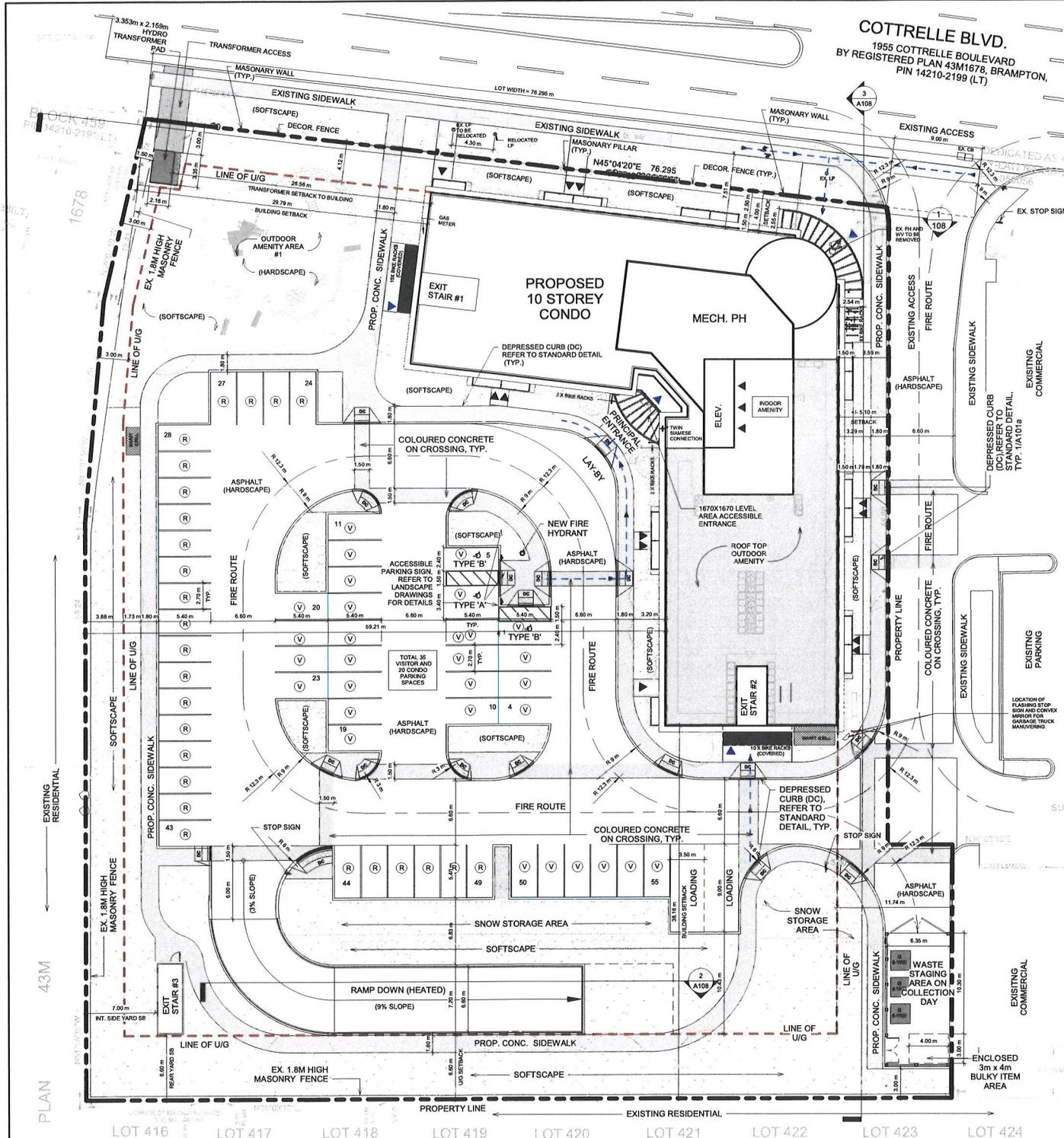
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Checked by GFORCE

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2024-08-23 12:28:56 AM



COTTRELLE BLVD.
 1955 COTTRELLE BOULEVARD
 BY REGISTERED PLAN 43M1678, BRAMPTON,
 PIN 14210-2199 (LT)

- LEGEND:**
- + BARRIER FREE TRAVEL
 - + TWIN SIAMSE CONNECTION
 - ▶ BARRIER FREE ACCESS POINTS (MIN 1670mm X 1670mm LEVEL AREA)
 - V VISITOR PARKING PAINTED 'VISITOR' ON THE ASPHALT SURFACE
 - R RESIDENT PARKING PAINTED 'RESERVED' ON THE ASPHALT SURFACE
 - DC DEPRESSED CURB (REFER TO STANDARD DETAIL 'TYP.')
 - FH FIRE HYDRANT
 - LP LIGHT POLE

Development Statistics
 SITE AREA: 7,977.44 m² (20.797 ha) (1.97 ac)
 LOT COVERAGE: 1,334.40 m² (16.9%)

Total Building Footprint Area: ± 1,334.40 m² (14,363 FT²)
 Total Residential Units: = 174 Units

Total GFA:
 Total = +/- 13,252.74 m² (142,651 SF)

Parking Statistics

Parking Statistics - Apartments/Condo
 174 Condo Units @ 1.0 Spaces per unit: 174 Spaces

Parking Statistics - Visitor (0.20 space per unit)
 Total Visitor parking required for 174 Apartment Units: 35 Spaces

Total parking required: 209 Spaces
Total new parking provided: 209 Spaces
 (65 surface spaces + 154 underground spaces)

Loading Space provided: 2 Spaces

Bicycle Parking Statistics:

9 Units (<750 SF) = 3 Residents per Unit = 27 Persons
 166 Units (<750 SF) = 1.19 Residents per Unit = 199 Persons
 Total Persons = 226 Persons

Spaces Required @ 15% = 33
 Space Provided (32 Surface + 2 P1 Level) = 34
 *20 Surface Spaces (Covered)

Building Code Classification:
 3.2.2.42, Group C, Any Height, Any Area, Sprinklered
 3.2.2.81, Group F, Division 3, 1 Storey, Sprinklered

SURVEYOR'S INFORMATION:

PLAN OF SURVEY
 REGISTERED PLAN 43M-1678
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEELE

PREPARED BY:
 THAM SURVEYING LIMITED, O.L.S
 ONTARIO LAND SURVEYORS
 8888 KEESLE ST. UNIT 7
 VAUGHAN, ONTARIO L4K 2N2
 TEL. (907)-761-6521

DATE: DECEMBER 21, 2022

1955 COTTRELLE BOULEVARD
 BLOCK 454, REGISTERED PLAN 43M-1678
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEELE

REFER TO FUNCTIONAL DESIGN FOR ALL PAVEMENT MARKINGS.

REFER TO CIVIL DRAWINGS FOR ALL GRADING AND SERVICING.

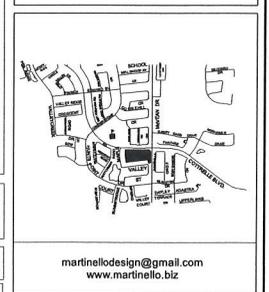
REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE FEATURES.

SITE AREAS:

GRASS: 2,375 M2
 HARDSCAPE: 1,355 M2
 ASPHALT: 2,766 M2
 ROOF: 501 M2
 MECH. ROOF AND STAIR WELL ROOF: 406 M2
 ROOF TERRACE: 442 M2
 SHAFT GRILL: 21 M2
 MASONRY WALL: 111 M2
 TOTAL SITE AREA: 7,977 M2

S. no.	PROVISION	ZONING R4A (3)	PROVIDED
1.	Minimum area of a dwelling unit	67 sq. m	47 sq. m
2.	Minimum lot width	24m	76.29m
3.	Minimum lot depth	No Requirement	N/A
4.	Minimum setback to a building		
4a.	Minimum front yard setback	17.6m (1/3 Build. Height)	4.0m
4b.	Minimum interior side yard setback	35.11m (Equal to Building Height)	7.0m to Exit Stair 23.79m to Building
4c.	Minimum exterior side yard	15.0 m	5.1m
4d.	Minimum rear yard setback	35.11m (Equal to Building Height)	6.6 m to Exit Stair 38.16m to Building
4e.	Minimum setback to a hydro transformer	No Requirement	25.77m
4f.	Minimum setback to hydro transformer enclosure	No Requirement	N/A
5.	Minimum Landscape Setbacks		
5a.	Minimum front yard setback	No Requirement	4.0m
5b.	Minimum interior side yard setback	No Requirement	0.3m
5c.	Minimum exterior side yard	No Requirement	0.0m
5d.	Minimum rear yard setback	No Requirement	3.0m
6.	Maximum FSI	1.5	1.66
7.	Maximum number of apartment units	No Requirement	174
8.	Min. distance between buildings	17.6m (1/3 Build. Height)	N/A
9.	Permitted yard encroachments		
9a.	Window bays, with or w/o foundation	No Requirement	N/A
9b.	Decks/balconies	No Requirement	1.5m
9c.	Exterior Stairwells	No Requirement	1.5m
9d.	Sills, belt courses, comices, gutters, chimneys, pilasters, eaves, parapets or canopies	No Requirement	2.55m
9e.	Entry feature columns	No Requirement	0m
10.	Minimum below grade Setbacks		
10a.	Front yard setback	No Requirement	4.0m
10b.	Interior side yard setback	No Requirement	3.0m
10c.	Exterior side yard	No Requirement	5.1m
10d.	Rear yard setback	No Requirement	6.6m
11.	Maximum Building height	No Requirement	35.11 m
12.	Maximum lot coverage	25%	16.9%
13.	Minimum landscaped Open space	40%	53%

FLOOR	GFA (m ²)
1st floor	1,334.40 m ²
2nd floor	1,324.26 m ²
3rd floor	1,324.26 m ²
4th floor	1,324.26 m ²
5th floor	1,324.26 m ²
6th floor	1,324.26 m ²
7th floor	1,324.26 m ²
8th floor	1,324.26 m ²
9th floor	1,324.26 m ²
10th floor	1,324.26 m ²
Roof Amenities	126.00 m ²
Total	13,252.74 m²
LOT AREA	7,977.44
FSI	1.66



City of Brampton - Planning Division
 Excluded from Site Plan Control
 Site Plan Approval - Limited Description

Authorized by: _____ Name _____
 Date _____ Signature _____

NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.

No.	Description	Date
1	ISSUED FOR PRE-CON	23-09-11
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4	RE-ISSUED FOR ZBA	24-08-12
5	RE-ISSUED FOR SPA	24-08-23

JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
 City file # PRE-2024-0048
 1955 COTTRELLE BOULEVARD
 BRAMPTON, ON L6P 2Z8

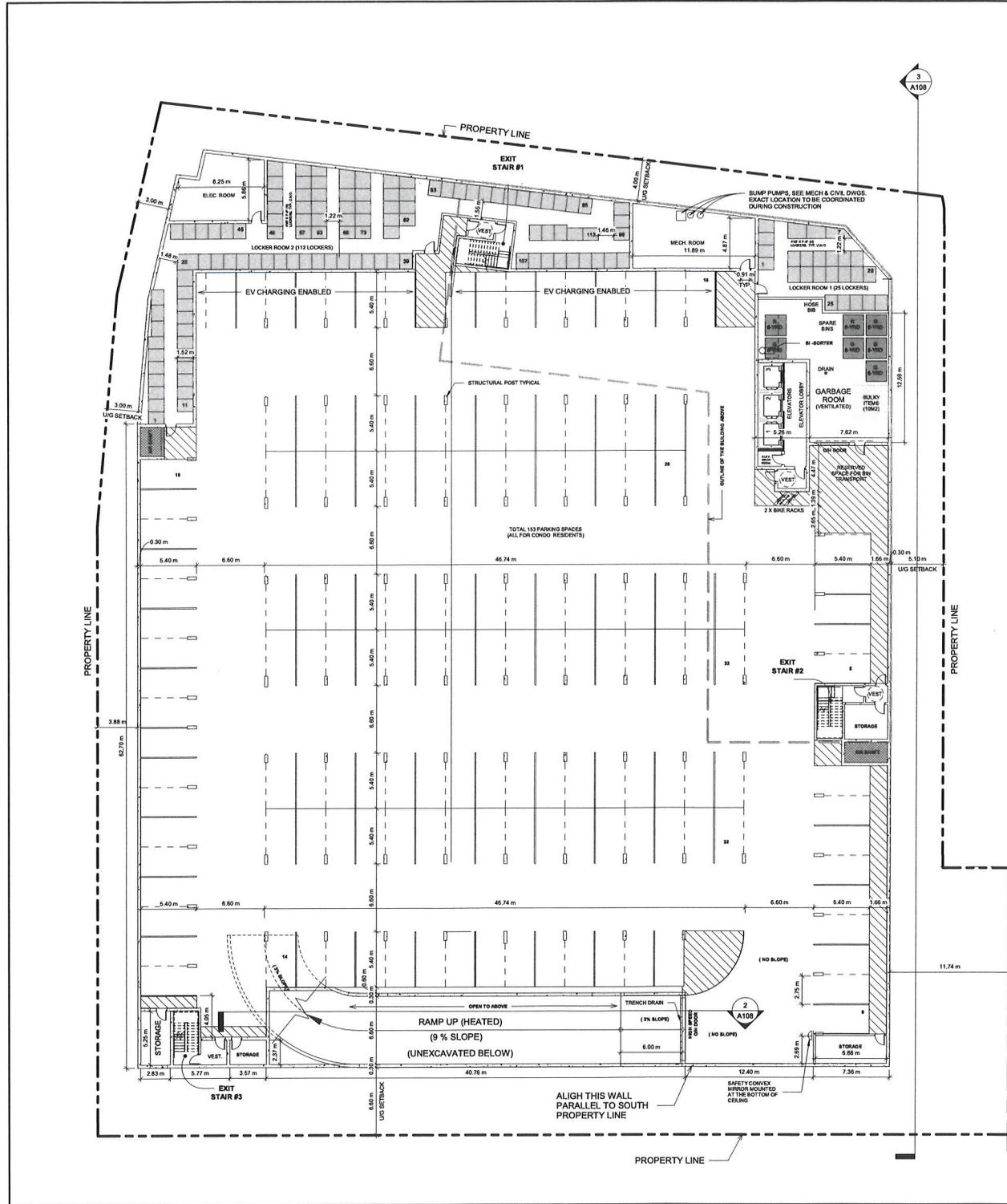
PROPOSED SITE PLAN

Project number 23-118
 Date DEC 01 2023
 Drawn by FM
 Checked by GFORCE

A101

Scale 1:200





3
A108

1955 COTTRELLE BOULEVARD
BLOCK 45A, REGISTERED PLAN 43M-1678
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

REFER TO CIVIL DRAWINGS FOR ALL GRADING AND SERVICING.

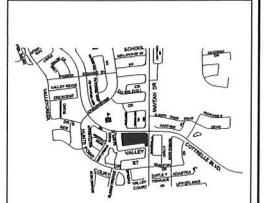
PEEL REGION WASTE BIN CALCULATIONS
174 UNITS / 36 = 5 (6 YD GARBAGE BINS)
174 UNITS / 90 = 2 (6 YD RECYCLING BINS)
6 YARD BIN SIZE: 2.03m D X 2.03m W X 1.38m H

PEEL REGION WASTE BIN CALCULATIONS
174 UNITS / 36 = 5 (6 YD GARBAGE BINS)
174 UNITS / 90 = 2 (6 YD RECYCLING BINS)
6 YARD BIN SIZE: 2.03m D X 2.03m W X 1.38m H

P1 LEVEL STATISTICS:
154 PARKING SPACES
137 LOCKERS



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www.byprecise.com



martinelloesign@gmail.com
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City of Brampton - Planning Division
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 Description:
 Authorized by: _____ Name
 Date: _____ Signature
 NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.

No.	Description	Date
2	ISSUED FOR ZBA	23-12-11
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5	RE-ISSUED FOR SPA	24-08-23

JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
City file # PRE-2024-0048
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BRAMPTON, ON L6P 2Z8

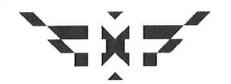
P1 LEVEL

Project number 23-118
Date DEC 01 2023
Drawn by FM
Checked by GFORCE

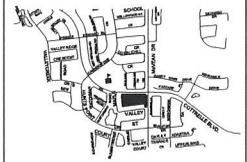
A103

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Authorized by: _____ Name

Date: _____ Signature

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JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
City file # PRE-2024-0048
1955 COTTRELL BOULEVARD
BRAMPTON, ON L6P 2Z8

FLOOR PLATES

Project number 23-118

Date DEC 01 2023

Drawn by FM

Checked by GFORCE

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Scale 1:200



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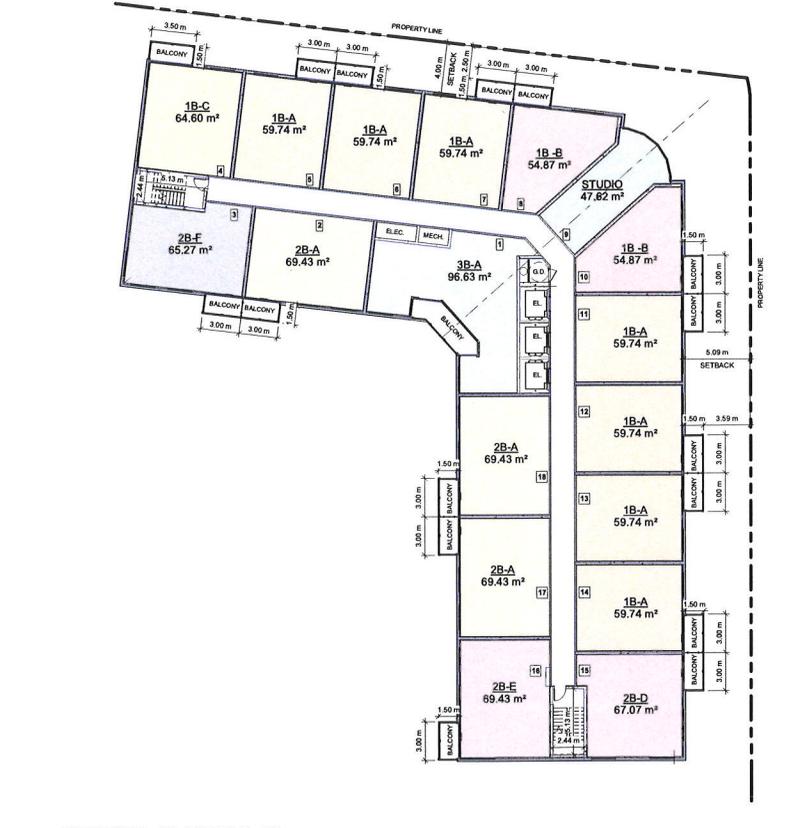


1 MAIN FLOOR
1 : 200

Main Floor Unit Area Schedule		
Unit Number	Unit Type	Unit Area
1	2B-A	69.43 m ²
2	2B-B	56.83 m ²
3	STUDIO 1	47.80 m ²
4	1B-A	59.74 m ²
5	1B-A	59.74 m ²
6	1B-A	59.74 m ²
7	1B-A	59.74 m ²
8	1B-A	59.74 m ²
9	STUDIO 2	49.66 m ²
10	2B-C	61.74 m ²
11	2B-A	69.43 m ²
12	2B-A	69.43 m ²
Grand total: 12		723.02 m ²

Main Floor Area Schedule (Amenity)	
Area	
431.67 m ²	

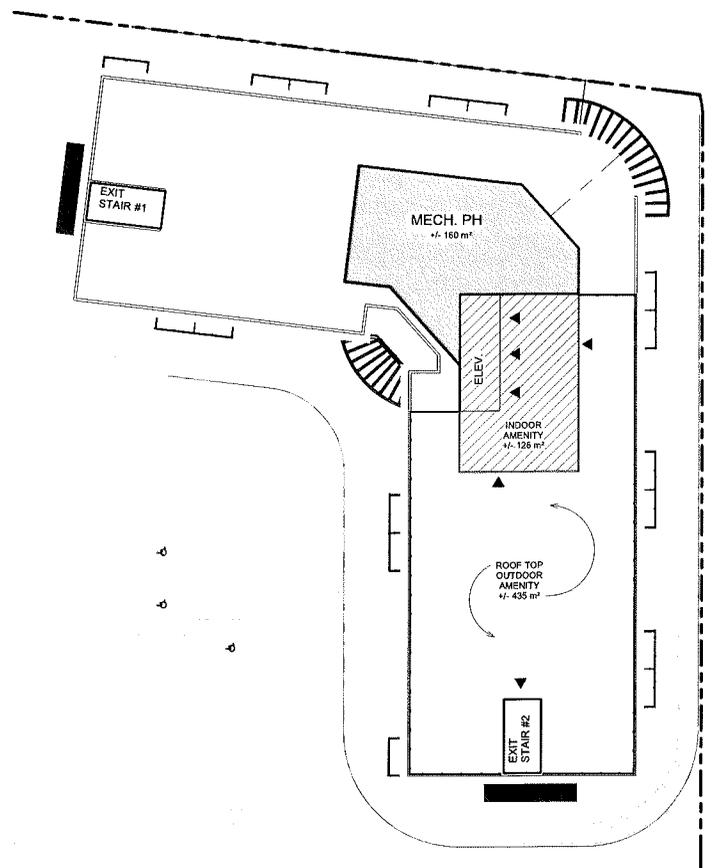
Main Floor Area GFA	
Area	
1334.40 m ²	



2 TYPICAL FLOOR 2-10
1 : 200

Typical Unit Floor Area Schedule		
Unit Number	Unit Type	Unit Area
1	3B-A	96.63 m ²
2	2B-A	69.43 m ²
3	2B-F	65.27 m ²
4	1B-C	64.60 m ²
5	1B-A	59.74 m ²
6	1B-A	59.74 m ²
7	1B-A	59.74 m ²
8	1B-B	54.87 m ²
9	STUDIO	47.62 m ²
10	1B-B	54.87 m ²
11	1B-A	59.74 m ²
12	1B-A	59.74 m ²
13	1B-A	59.74 m ²
14	1B-A	59.74 m ²
15	2B-D	67.07 m ²
16	2B-E	69.43 m ²
17	2B-A	69.43 m ²
18	2B-A	69.43 m ²
Grand total: 18		1146.83 m ²

Typical Floor GFA (Floor 2-10)	
Area	
1324.26 m ²	



1 ROOF PLATE
1:200

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JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
 City file # PRE-2024-0048
 1955 COTTRELLE BOULEVARD
 BRAMPTON, ON L6P 2Z8

ROOF PLAN

Project number	23-118
Date	DEC 01 2023
Drawn by	FM
Checked by	GFORCE

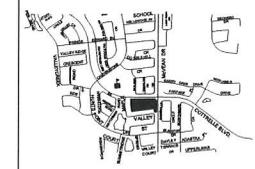
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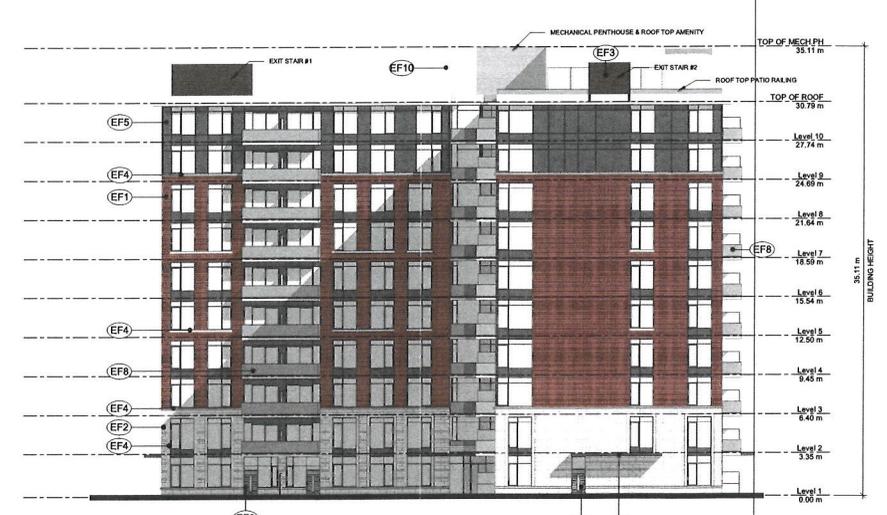
3 East Elevation
1 : 200



1 North Elevation
1 : 200



5 West Elevation
1 : 200



2 South Elevation
1 : 200

EXTERIOR FINISH SCHEDULE



EXTERIOR FINISH SCHEDULE

- (EF1) CLAY BRICKS (DARK RED) - KING MASONRY CRIMSON (FINISH: FLUSH)
- (EF2) STONE BRICK (LIGHT) - KING MASONRY POLAR WHITE
- (EF3) CLAY BRICK (DARK GREY) - KING MASONRY ESPRESSO
- (EF4) PRECAST ELEMENTS (GREY)
- (EF5) SPANDREL GLAZING (BLACK)
- (EF6) GLAZING (TRANSPARENT)
- (EF7) ANODIZED ALUMINIUM (BLACK)
- (EF8) GLASS RAILING
- (EF9) PAINT FINISH (DARK GREY) - BENJAMIN MOORE
- (EF10) CONTEMPORARY HORIZONTAL METAL SIDING (DARK GREY)

NOTES:

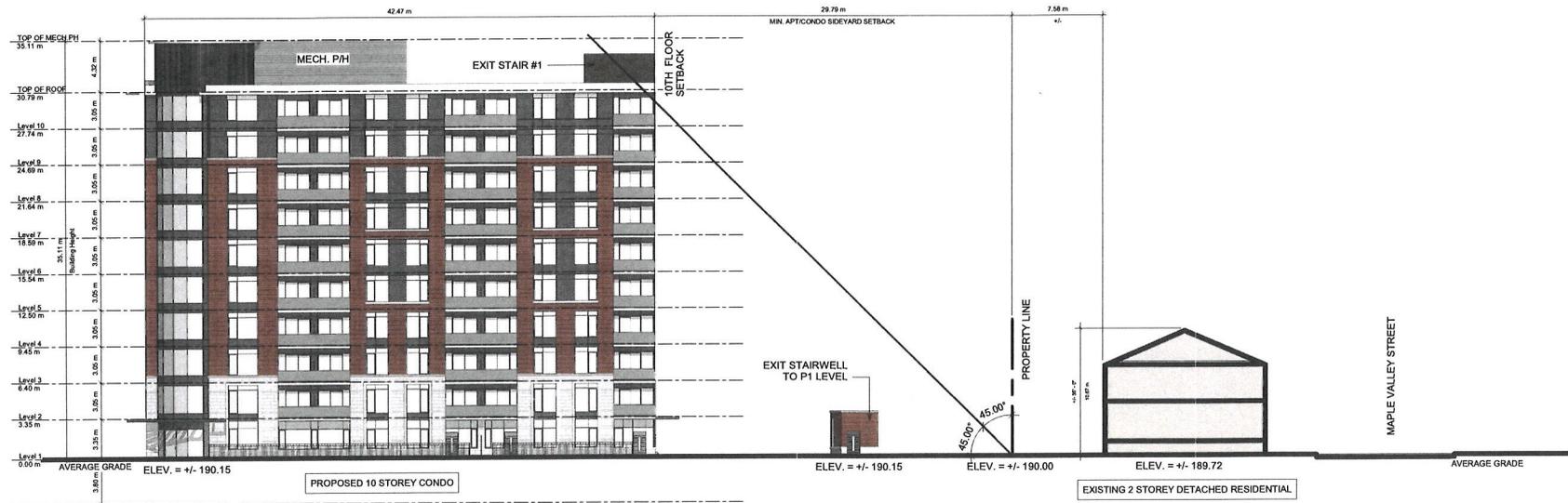
1. MATERIAL COLORS ARE BASED ON EXTERIOR RENDERING AS SHOWN ON COVER SHEET
2. CHANGE OF COLOR OCCURS ON INSIDE CORNER OF CONTROL JOINTS - JOINTS TO ACCENT BASE COLOR.
4. ALL MATERIAL MUST BE INSTALLED IN ACCORDANCE WITH MFG'S STANDARDS RECOMMENDATION.
5. WINDOW GRILLS AND LOUVERS TO BE PREFINISHED TO MATCH WINDOW FRAMES

No.	Description	Date
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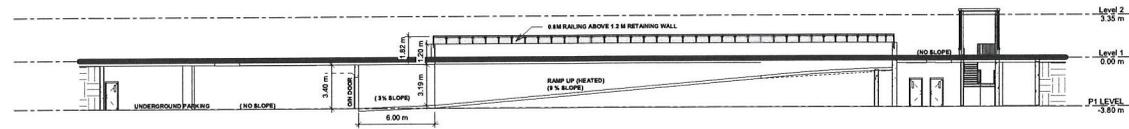
JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
 City file # PRE-2024-0048
 1955 COTTRELL BOULEVARD
 BRAMPTON, ON L6P 2Z8

ELEVATIONS

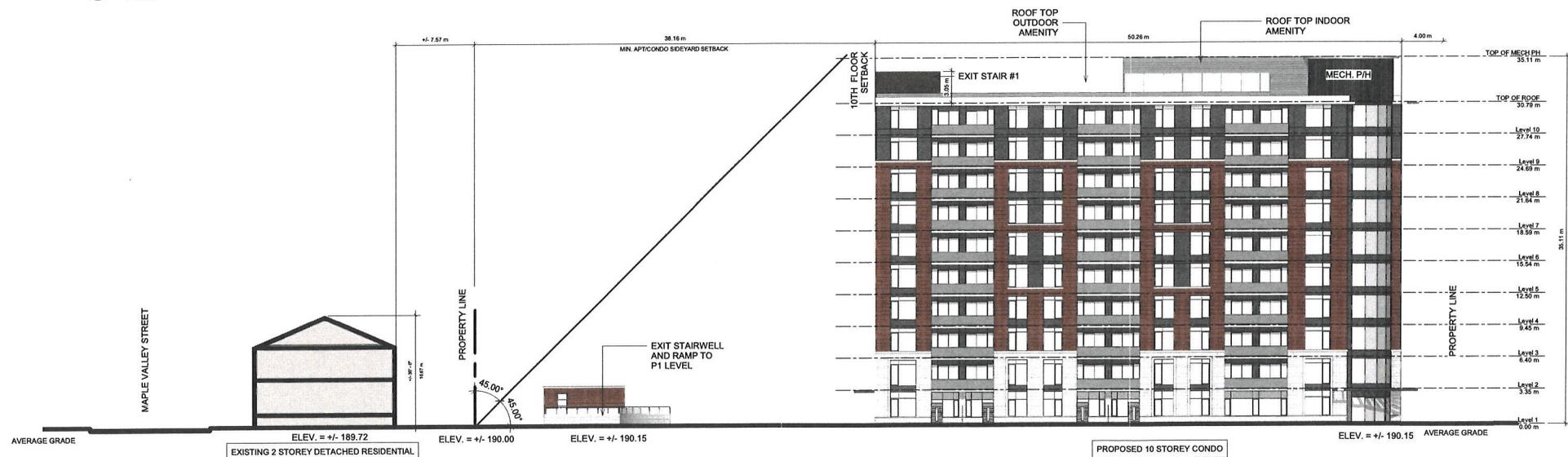
Project number	23-118
Date	DEC 01 2023
Drawn by	FM
Checked by	GFORCE
A107	
Scale	1:200



1 EAST/WEST SITE SECTION
1 : 200



2 Section 2
1 : 200



3 NORTH/SOUTH SECTION
1 : 200

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 Description:
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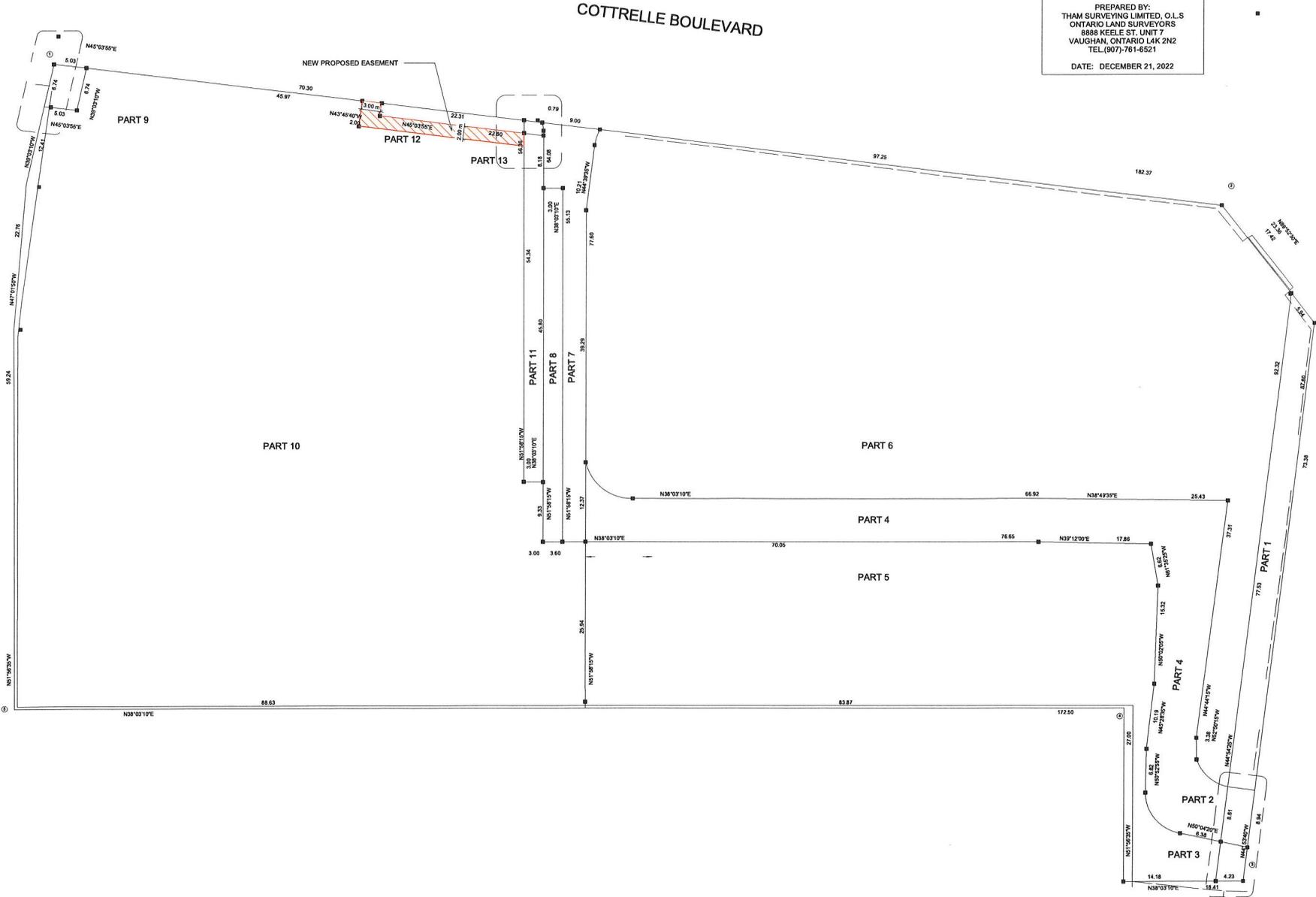
JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
 City file # PRE-2024-0048
 1955 COTTRELL BOULEVARD
 BRAMPTON, ON L6P 2Z8

SECTIONS

Project number 23-118
 Date DEC 01 2023
 Drawn by FM
 Checked by GFORCE

A108

Scale 1:200



SURVEYOR'S INFORMATION:
 PLAN OF SURVEY
 REGISTERED PLAN 43M-1678
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 PREPARED BY:
 THAM SURVEYING LIMITED, O.L.S.
 ONTARIO LAND SURVEYORS
 8888 KEELE ST. UNIT 7
 VAUGHAN, ONTARIO L4K 2N2
 TEL: (907)-761-8521
 DATE: DECEMBER 21, 2022

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City of Brampton - Planning Division
 Excluded from Site Plan Control
 Site Plan Approval - Limited Description

Authorized by: _____
 Name: _____
 Date: _____
 Signature: _____

NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.

No.	Description	Date
3	ISSUED FOR SPA	24-06-19
4	RE-ISSUED FOR ZBA	24-08-12

JINDAL DEVELOPMENTS LTD.,
Valley Creek Residences
 City file # PRE-2024-0048
 1955 COTTRELLE BOULEVARD
 BRAMPTON, ON L6P 2Z8

PROPOSED RPLAN

Project number 23-118
 Date DEC 01 2023
 Drawn by FM
 Checked by PJ

A109

Scale



Properties

PIN 14210 - 2186 LT Interest/Estate Fee Simple Split
Description PART OF BLOCK 454 ON PLAN 43M-1678 DESIGNATED AS PARTS 1 TO 8 INCLUSIVE ON PLAN 43R- 40539, CITY OF BRAMPTON; SUBJECT TO AN EASEMENT OVER PARTS 1, 2 AND 3 AS IN INSTRUMENT NO. PR1653188.
SEE SCHEDULE
Address BRAMPTON

Consideration

Consideration \$2.00

Transferor(s)

The transferor(s) hereby transfers the land to the transferee(s).

Name JINDAL DEVELOPMENTS LTD.
Address for Service 12 Janetville Street
Brampton, ON. L6P 2A3

A person or persons with authority to bind the corporation has/have consented to the registration of this document.
This document is not authorized under Power of Attorney by this party.

Transferee(s)

Capacity

Share

Name JINDAL DEVELOPMENTS LTD.
Address for Service 12 Janetville Street
Brampton, ON. L6P 2A3

Statements

The City of Brampton has consented to the severance herein. See Schedules
Schedule: See Schedules

Signed By

Denise Mara Lash 225 Richmond Street West, Suite 200 acting for First 2022 11 21
Toronto Transferor(s) Signed
M5V 1W2

Tel 416-214-4134
Fax 416-214-4136

Denise Mara Lash 225 Richmond Street West, Suite 200 acting for Last 2022 12 14
Toronto Transferor(s) Signed
M5V 1W2

Tel 416-214-4134
Fax 416-214-4136

I am the solicitor for the transferor(s). The transferor(s) and the transferee(s) are one and the same, and the transfer is being made to effect a severance of the land prior to the expiry of a consent granted under the Planning Act.

I have the authority to sign and register the document on behalf of all parties to the document.

Denise Mara Lash 225 Richmond Street West, Suite 200 acting for First 2022 11 21
Toronto Transferee(s) Signed
M5V 1W2

Tel 416-214-4134
Fax 416-214-4136

Denise Mara Lash 225 Richmond Street West, Suite 200 acting for Last 2022 12 14
Toronto Transferee(s) Signed
M5V 1W2

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I have the authority to sign and register the document on behalf of all parties to the document.

Submitted By

LASH CONDO LAW

225 Richmond Street West, Suite 200
Toronto
M5V 1W2

2022 12 14

Tel 416-214-4134

Fax 416-214-4136

Fees/Taxes/Payment

Statutory Registration Fee \$69.00

Provincial Land Transfer Tax \$0.00

Total Paid \$69.00

File Number

Transferor Client File Number : 1258-001

Transferee Client File Number : 1258-001

SCHEDULE TO TRANSFER

Under subsection 53(42) of the *Planning Act*, I certify that the consent of the Committee of Adjustment of the City of Brampton was given on March 29, 2022 by Decision Number B-2021-0020, to a Consent for the conveyance of a lot to create the following easements in favour of the Retained Lands:

The Lot:

Part of Block 454 on Plan 43M-1678 designated as Parts 1 to 8 inclusive on Plan 43R-40539; City of Brampton (hereinafter referred to as the "**Lot**")

The Retained Lands:

Part of Block 454 on plan 43M-1678, designated as Parts 9 to 13 inclusive on Plan 43R-40539; City of Brampton (hereinafter referred to as the "**Retained Lands**")

Reserving an easement in favour of the owner(s), their successors, and assigns of the Retained Lands in and through Part 8 on Plan 43R-40539 for the purpose of allowing access person, materials, vehicles and equipment to the extent reasonably necessary for the installation, inspection, maintenance, repair, replacement, reconstruction, relocation, operation, renovation, and retrofit of all storm sewers, catch basins, stormwater drains, surface drainage facilities, pumps, valves, and related appurtenances, located within the limits of the Lot which provide any service or benefit to the Retained Lands and for the purpose of receiving the benefit of storm water drainage disposal from the lands, buildings, structures, and/or improvements located or to be located in whole or in part on the Retained Lands. (Stormwater Easement)

Reserving an easement in favour of the owner(s), their successors, and assigns of the Retained Lands in and through Parts 2, 4, 7, and 8 on Plan 43R-40539 for the purpose of pedestrian and vehicular use, ingress, and egress to and from the Phase II Lands. Subject to cost sharing agreement between the Retained Lands and the Lot. (Access Easement)

Together with an easement in favour of the owner(s), their successors, and assigns of the Lot in and through Parts 12 and 13 on Plan 43R-40539 for the purpose of allowing access of persons, materials, vehicles, and equipment to the extent reasonably necessary for the installation, inspection, maintenance, repair, replacement, reconstruction, relocation, operation, renovation, and retrofit of all sanitary sewers and sanitary sewer pipes (including all appurtenant equipment thereto) located within the limits of the Retained Lands which provide any service or benefit to the Lot. (Sanitary Easement)

Together with an easement in favour of the owner(s), their successors, and assigns of the Lot in and through Parts 11 and 13 on Plan 43R-40539 for the purpose of allowing access of persons, materials, vehicles, and equipment to the extent reasonably necessary for the installation, inspection, maintenance, repair, replacement, reconstruction, relocation, operation, renovation, and retrofit of all water mains and water pipes (including all appurtenant equipment thereto) located within the limits of the Retained Lands which provide any service or benefit to the Lot. (Water (domestic) and Fire Easement)



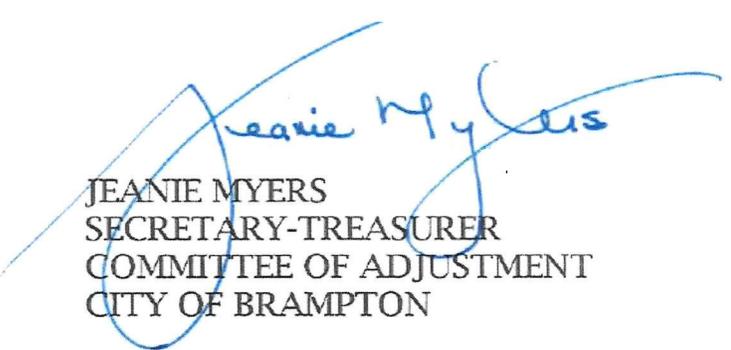
APPLICANTS: JINDAL DEVELOPMENTS LTD.

**FORM 2
PLANNING ACT
CERTIFICATE OF SECRETARY-TREASURER**

Under subsection 53(42) of the *PLANNING ACT*, R.S.O. 1990, as amended, I certify that the consent of the COMMITTEE OF ADJUSTMENT, of the CITY OF BRAMPTON, in the REGIONAL MUNICIPALITY OF PEEL was given on March 29, 2022 to a conveyance of the land described as follows and easements for access and servicing, water (domestic) and fire; and sanitary sewer as set out on Schedule 'A'.

Part of Block 454, Plan 43M-1678, designated as Parts 1 to 8 inclusive on Plan 43R-40539; City of Brampton

See Schedule 'A' attached



JEANIE MYERS
SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT
CITY OF BRAMPTON

Dated this 17th Day of November, 2022

NOTE:

1. The *PLANNING ACT* indicates that a consent lapses at the expiration of two years from the date of the Certificate, therefore, if the transaction noted above is not carried out within the two year period, the Certificate of Consent will lapse.
2. Development charges may be payable at the time of the issuance of a building permit.



Committee of Adjustment

THIS IS SCHEDULE "A" REFERRED TO ON THE CERTIFICATE (FORM 2B)
PURSUANT TO SUBSECTION 53(42) OF THE *PLANNING ACT*

DATED: **November 17, 2022**
APPLICATION NO: **B-2021-0020**

EASEMENT SCHEDULE

The Lot:

Part of Block 454 on Plan 43M-1678 designated as Parts 1 to 8 inclusive on Plan 43R-40539; City of Brampton (hereinafter referred to as the "**Lot**")

The Retained Lands:

Part of Block 454 on plan 43M-1678, designated as Parts 9 to 13 inclusive on Plan 43R-40539; City of Brampton (hereinafter referred to as the "**Retained Lands**")

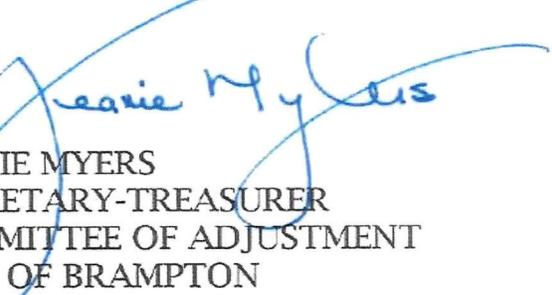
RESERVING an easement in favour of the owner(s), their successors, and assigns of the Retained Lands in and through Part 8 on Plan 43R-40539 for the purpose of allowing access person, materials, vehicles and equipment to the extent reasonably necessary for the installation, inspection, maintenance, repair, replacement, reconstruction, relocation, operation, renovation, and retrofit of all storm sewers, catch basins, stormwater drains, surface drainage facilities, pumps, valves, and related appurtenances, located within the limits of the Lot which provide any service or benefit to the Retained Lands and for the purpose of receiving the benefit of storm water drainage disposal from the lands, buildings, structures, and/or improvements located or to be located in whole or in part on the Retained Lands. (Stormwater Easement)

RESERVING an easement in favour of the owner(s), their successors, and assigns of the Retained Lands in and through Parts 2, 4, 7, and 8 on Plan 43R-40539 for the purpose of pedestrian and vehicular use, ingress, and egress to and from the Phase II Lands. Subject to cost sharing agreement between the Retained Lands and the Lot. (Access Easement)

TOGETHER WITH an easement in favour of the owner(s), their successors, and assigns of the Lot in and through Parts 12 and 13 on Plan 43R-40539 for the purpose of allowing access of persons, materials, vehicles, and equipment to the extent reasonably necessary for the installation, inspection, maintenance, repair, replacement, reconstruction, relocation, operation, renovation, and retrofit of all sanitary sewers and sanitary sewer pipes (including all appurtenant equipment thereto) located within the limits of the Retained Lands which provide any service or benefit to the Lot. (Sanitary Easement)

TOGETHER WITH an easement in favour of the owner(s), their successors, and assigns of the Lot in and through Parts 11 and 13 on Plan 43R-40539 for the purpose of allowing access of persons, materials, vehicles, and equipment to the extent reasonably necessary for the installation, inspection, maintenance, repair, replacement, reconstruction, relocation, operation, renovation, and retrofit of all water mains and water pipes (including all appurtenant equipment thereto) located within the limits of the Retained Lands which provide any service or benefit to the Lot. (Water (domestic) and Fire Easement)

Dated this 17th Day of November, 2022


JEANIE MYERS
SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT
CITY OF BRAMPTON