



NOV 25 2024

Committee of Adjustment

REVISED

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Baligh and Nora Graieb  
Address 10 Hazelwood Drive, Brampton, Ontario

Phone # 416-858-8078 Fax #  
Email billygraieb@rogers.com

2. Name of Agent Alana + Kelly Design Co. Ltd  
Address 16 Mountainview Road South - Unit 305  
Georgetown, Ontario

Phone # 905-873-4993 Fax #  
Email alana@alanakellydesign.ca

3. Nature and extent of relief applied for (variances requested):  
To allow for a front yard landscape open space area of 41% whereas the minimum landscape open space area is 70%.  
To reduce the front setback to an addition a front yard setback of 2.04m.  
To reduce the interior side yard setback to a second storey addition to 1.9m.  
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres.  
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 40%.

4. Why is it not possible to comply with the provisions of the by-law?  
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5. Legal Description of the subject land:  
Lot Number 10  
Plan Number/Concession Number 717  
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. Dimension of subject land (in metric units)  
Frontage 34.51m  
Depth 43m  
Area 1207.74m2

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	10.67m
Rear yard setback	15.54m
Side yard setback	1.9m
Side yard setback	2.02m

**PROPOSED**

Front yard setback	2m
Rear yard setback	15.54m
Side yard setback	1.9m
Side yard setback	2.02m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A17-024	Decision Approved	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]  
Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF Region of Halton  
THIS 25 DAY OF November 20 24

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I Alana Nielsen OF THE Town OF Halton Hills  
IN THE Region OF Halton SOLEMNLY DECLARE THAT

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH

DECLARED BEFORE ME AT THE

Town OF Halton Hills

IN THE Region OF Halton THIS 25 DAY OF November 20 24

[Signature]  
Signature of Applicant or Authorized Agent



[Signature]  
A Commissioner etc

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED \_\_\_\_\_

Date Application Deemed Complete by the Municipality \_\_\_\_\_

Revised 2022/02/17



### Owner Authorization

Alana + Kelly Design Co.  
Alana Nielsen  
905-873-4993  
alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

Signature: *billy Graieb*  
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : billygraieb@rogers.com

Signature: *billy Graieb*  
billy Graieb (Jun 25, 2023 12:20 EDT)

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# ALANA + KELLY DESIGN CO.

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Alana + Kelly Design Co.  
Alana Nielsen  
905-873-4993  
alana@alanakellydesign.ca

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billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

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billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

←

SCOPE OF WORK	
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.	
ALLOWABLE LANDSCAPE % = 70% = 2,212ft <sup>2</sup> (205.50m <sup>2</sup> )	
LANDSCAPE OPEN SPACE	
FRONT YARD AREA	= 2,884ft <sup>2</sup> (267.93m <sup>2</sup> )
DRIVEWAY AREA	= 1,710ft <sup>2</sup> (158.86m <sup>2</sup> )
PROPOSED LANDSCAPE %	= 41% = 1,174ft <sup>2</sup> (109.07m <sup>2</sup> )
SITE STATISTICS	
ZONING	R1A(2)
LOT SIZE	12,174ft <sup>2</sup> (1,131m <sup>2</sup> )
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE %	25% = 3,043ft <sup>2</sup> (282.70m <sup>2</sup> )
EXISTING	25.3% = 3,092ft <sup>2</sup> (287.26m <sup>2</sup> )
PROPOSED	8% = 976ft <sup>2</sup> (90.67m <sup>2</sup> )
ACCESS. STRUCT.	6.3% = 765ft <sup>2</sup> (71.07m <sup>2</sup> )
TOTAL	39.7% = 4,833ft <sup>2</sup> (449m <sup>2</sup> )
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 215ft <sup>2</sup> (20m <sup>2</sup> )
EXISTING - A	= 204ft <sup>2</sup> (18.95m <sup>2</sup> )
EXISTING - B	= 160ft <sup>2</sup> (14.86m <sup>2</sup> )
EXISTING - C	= 404ft <sup>2</sup> (37.53m <sup>2</sup> )
TOTAL	= 768ft <sup>2</sup> (71.34m <sup>2</sup> )



1 SITE PLAN  
0.01M 3/32" = 1'-0" NOV 24 / 2024

PRELIMINARY- FOR REVIEW

AK

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
www.alanakellydesign.ca

PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

SITE PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	NOV 24/24	ISSUED FOR VARIANCE

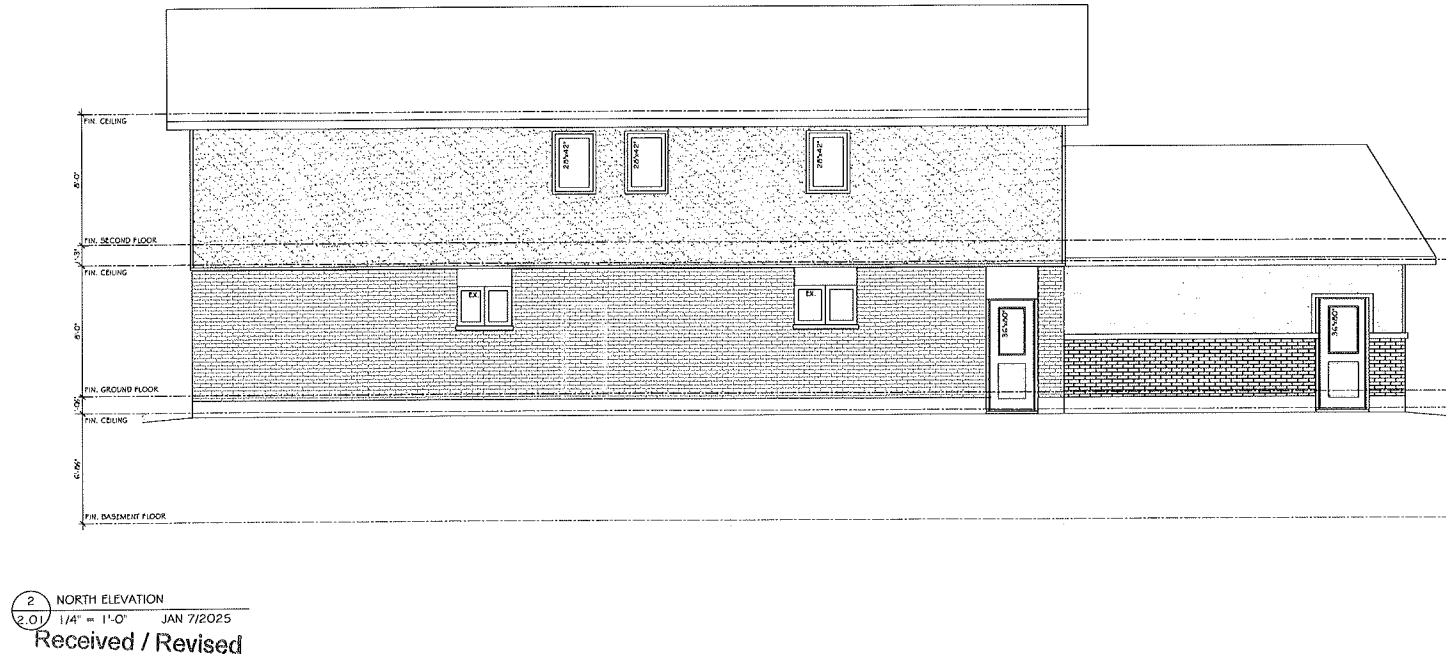
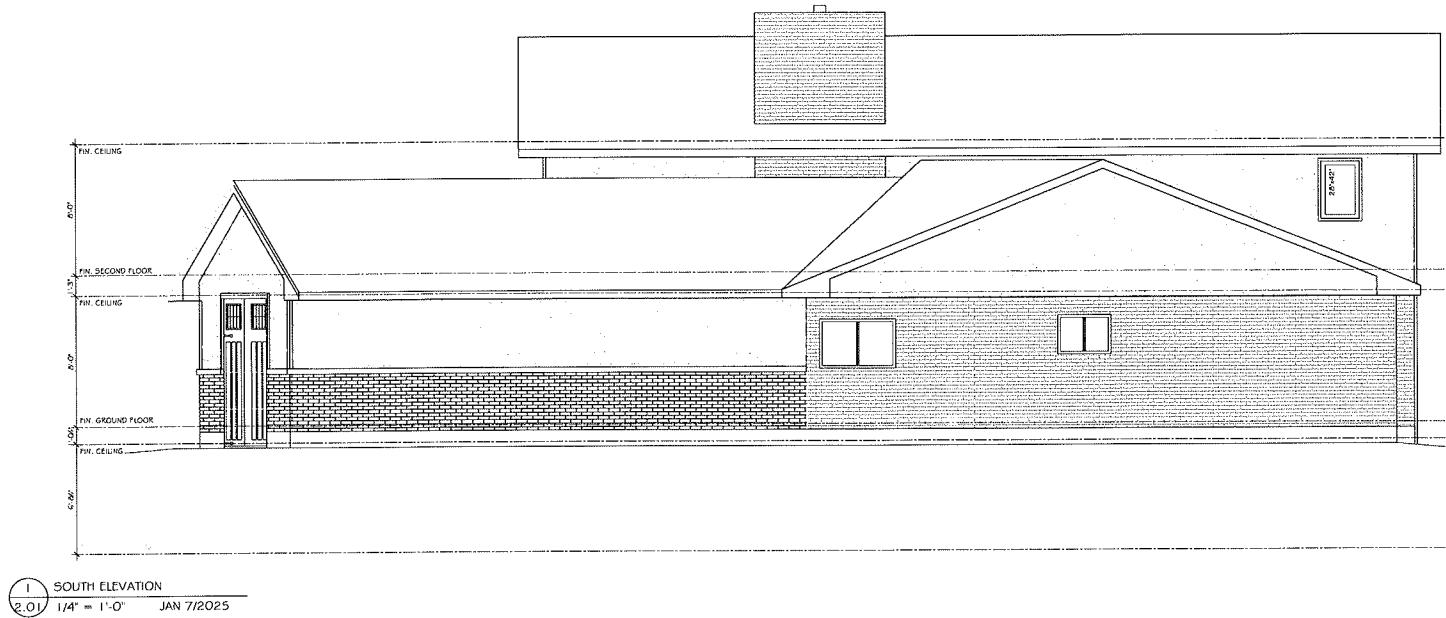
DRAWING #:

0.01MV









JAN 14 2025  
Committee of Adjustment

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ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305  
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PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED  
AND APPROVED BY DESIGNER. ALL DRAWINGS ARE  
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RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

NORTH & SOUTH ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

2.01

GRAIEB RESIDENCE  
ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
1.02	SECOND FLOOR
2.00	EAST & WEST ELEVATION
2.01	NORTH & SOUTH ELEVATION

ALANA + KELLY  
DESIGN CO.

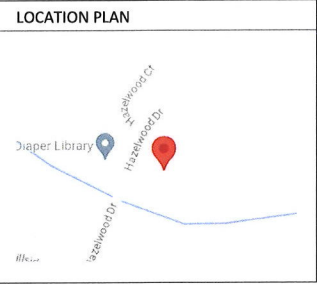
ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

ALANA + KELLY DESIGN CO.  
ALANA NIELSEN

(905)-873-4993  
ADMIN@ALANAKELLYDESIGN.CA

GENERAL NOTES	
ALL DRAWINGS ARE THE PROPERTY OF ALANA+KELLY DESIGN CO. LTD. THE DESIGNER RETAINS COPYRIGHT IN THESE DOCUMENTS WHICH MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.	
1. ALL DRAWINGS & CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: a. THE ONTARIO BUILDING CODE (LATEST EDITIONS) b. APPLICABLE LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) c. THE ONTARIO HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS d. ALL AUTHORITIES HAVING JURISDICTION OVER THE SITE	
2. ALL DIMENSIONS & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER.	
3. DRAWINGS ARE TO BE READ AND NOT SCALED.	
4. ANY VARIANCE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.	
5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.	

PROJECT STATISTICS	
GROSS FLOOR AREA - EXISTING	= 4,980ft <sup>2</sup>
- EXISTING BASEMENT	= 2,104ft <sup>2</sup>
- EXISTING GROUND FLOOR	= 2,876ft <sup>2</sup>
- EXISTING SECOND FLOOR	= 0ft <sup>2</sup>
GROSS FLOOR AREA - PROPOSED	= 2,247ft <sup>2</sup>
- PROPOSED BASEMENT	= 0ft <sup>2</sup>
- PROPOSED GROUND FLOOR	= 981ft <sup>2</sup>
- PROPOSED SECOND FLOOR	= 1,266ft <sup>2</sup>
GROSS FLOOR AREA - TOTAL	= 7,227ft <sup>2</sup>
- PROPOSED BASEMENT	= 2,104ft <sup>2</sup>
- PROPOSED GROUND FLOOR	= 3,857ft <sup>2</sup>
- PROPOSED SECOND FLOOR	= 1,266ft <sup>2</sup>



ADDITIONS TO EXISTING BUILDINGS 3.1.1.1.1	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	10.56 (R60)
CEILING W/O ATTIC SPACE <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
EXPOSED FLOOR <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
WALLS ABOVE GRADE <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	3.34+0.88ci (R19+5ci)
BASEMENT WALLS <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	3.52 ci (R20 ci)
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 7/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>(1)</sup>	1.76 (R10)
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 7/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>(1)</sup>	1.76 (R10)
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m2*K) <sup>(2)</sup>	1.6

NOTES:  
1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m2\*K)/W  
2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m2\*K  
3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.

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PROJECT:  
  
GRAIEB RESIDENCE  
  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
  
COVER PAGE

SCALE: AS NOTED

REVISIONS:		
NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
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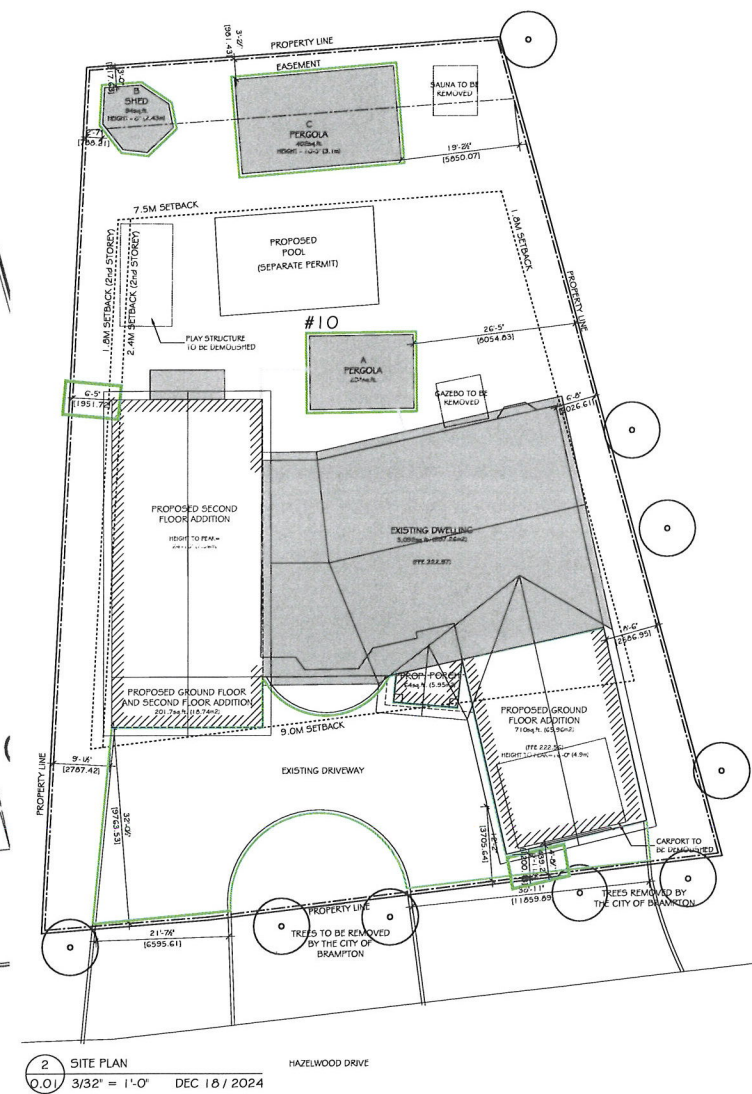
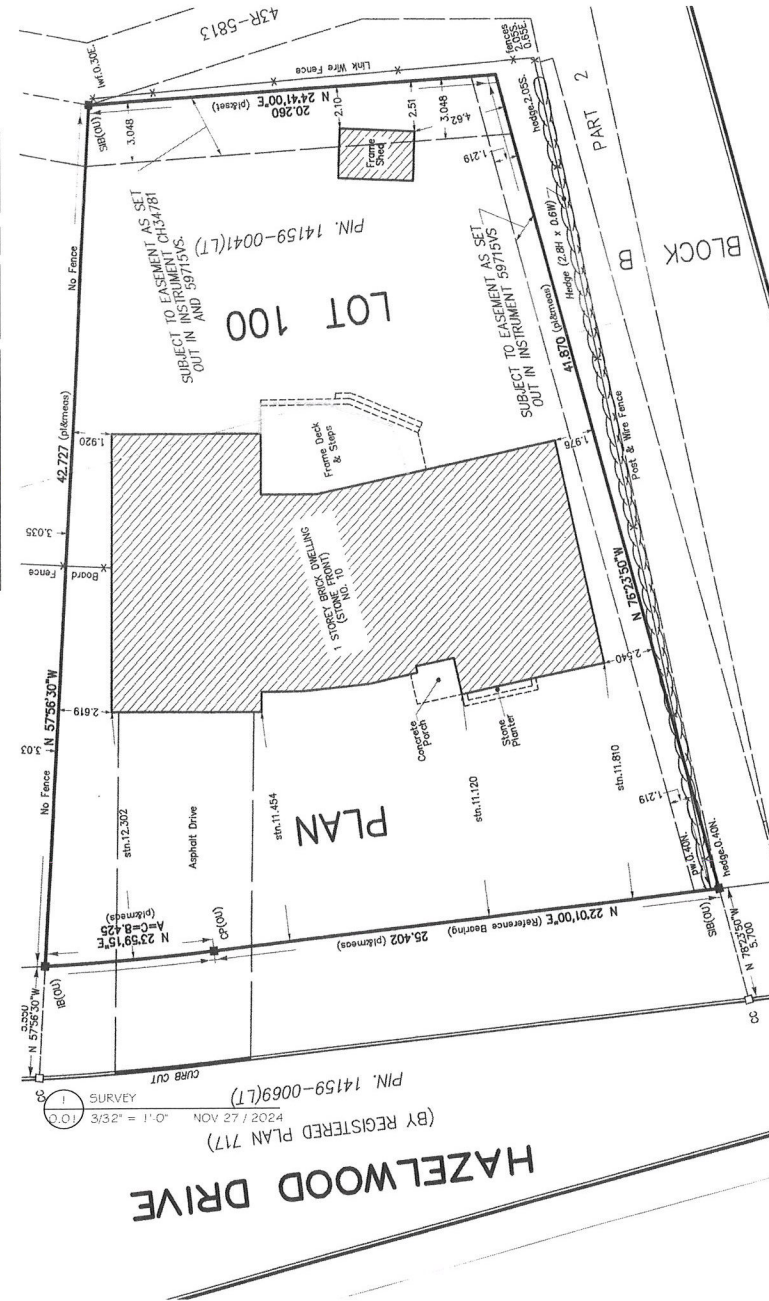
DRAWING #:  
  
0.00

Received / Revised  
JAN 14 2025  
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SCOPE OF WORK  
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 2,212ft<sup>2</sup> (205.50m<sup>2</sup>)  
LANDSCAPE OPEN SPACE  
FRONT YARD AREA = 2,884ft<sup>2</sup> (267.93m<sup>2</sup>)  
DRIVEWAY AREA = 1,854ft<sup>2</sup> (172.24m<sup>2</sup>)  
PROPOSED = 36% = 1,030ft<sup>2</sup> (95.69m<sup>2</sup>)  
LANDSCAPE %

SITE STATISTICS  
ZONING R1A(2)  
LOT SIZE 12,174ft<sup>2</sup> (1,131m<sup>2</sup>)  
LOT COVERAGE - DETACHED DWELLING  
ALLOWABLE% 25% = 3,043ft<sup>2</sup> (282.70m<sup>2</sup>)  
EXISTING 25.3% = 3,092ft<sup>2</sup> (287.26m<sup>2</sup>)  
PROPOSED 8.5% = 1,037ft<sup>2</sup> (96.34m<sup>2</sup>)  
ACCESS. STRUCT. 6% = 704ft<sup>2</sup> (65.4m<sup>2</sup>)  
TOTAL 40% = 4,833ft<sup>2</sup> (449.0m<sup>2</sup>)  
LOT COVERAGE - ACCESSORY STRUCTURES  
ALLOWABLE = 215ft<sup>2</sup> (20m<sup>2</sup>)  
EXISTING - A = 204ft<sup>2</sup> (18.95m<sup>2</sup>)  
EXISTING - B = 98ft<sup>2</sup> (9.03m<sup>2</sup>)  
EXISTING - C = 402ft<sup>2</sup> (37.35m<sup>2</sup>)  
TOTAL = 704ft<sup>2</sup> (65.4m<sup>2</sup>)



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10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
**SITE PLAN**

SCALE: AS NOTED

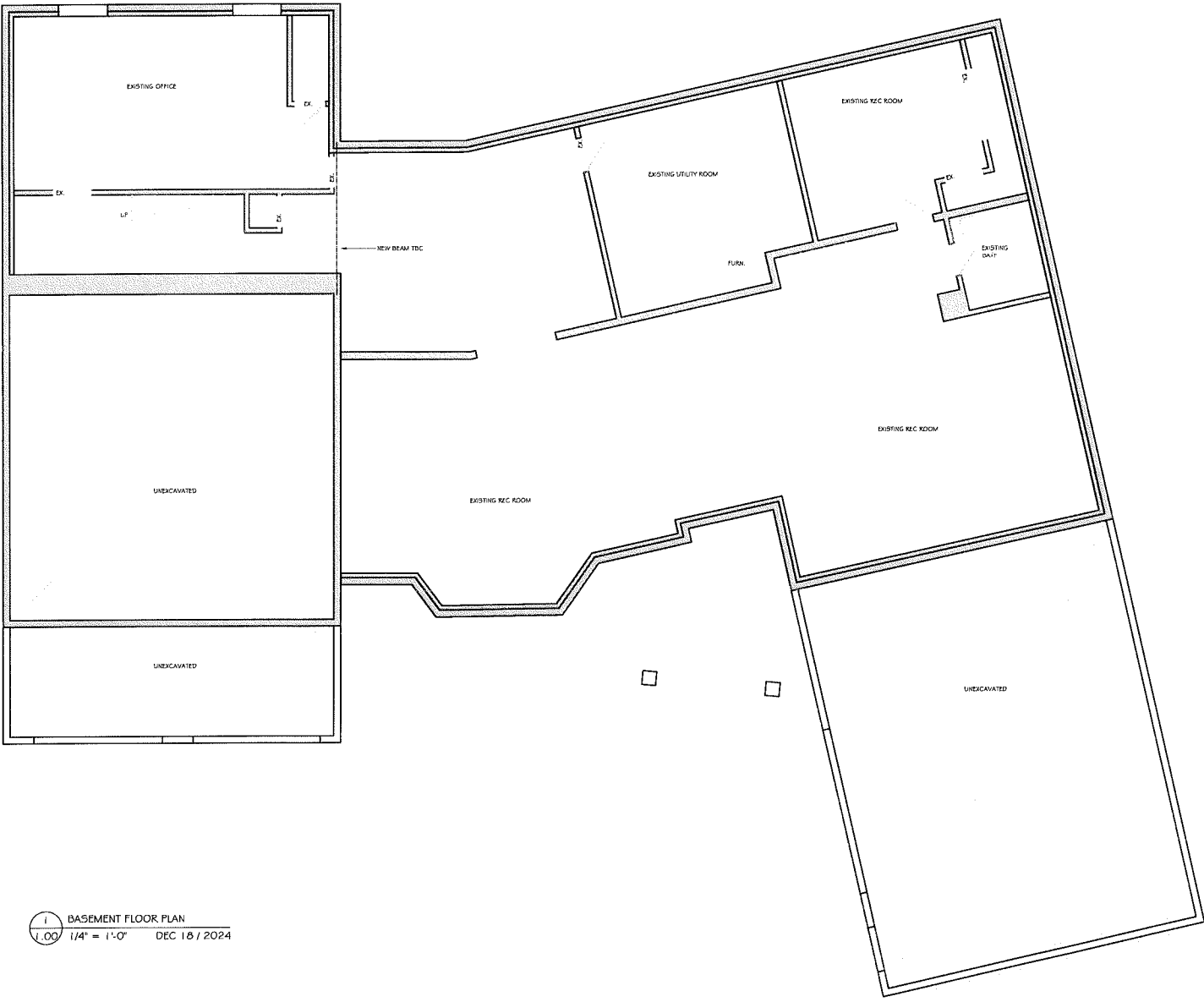
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0.01

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1.00 BASEMENT FLOOR PLAN  
1/4" = 1'-0" DEC 18 / 2024



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## DRAWING:

**GROUND FLOOR PLAN**

SCALE: AS NOTED

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1.00

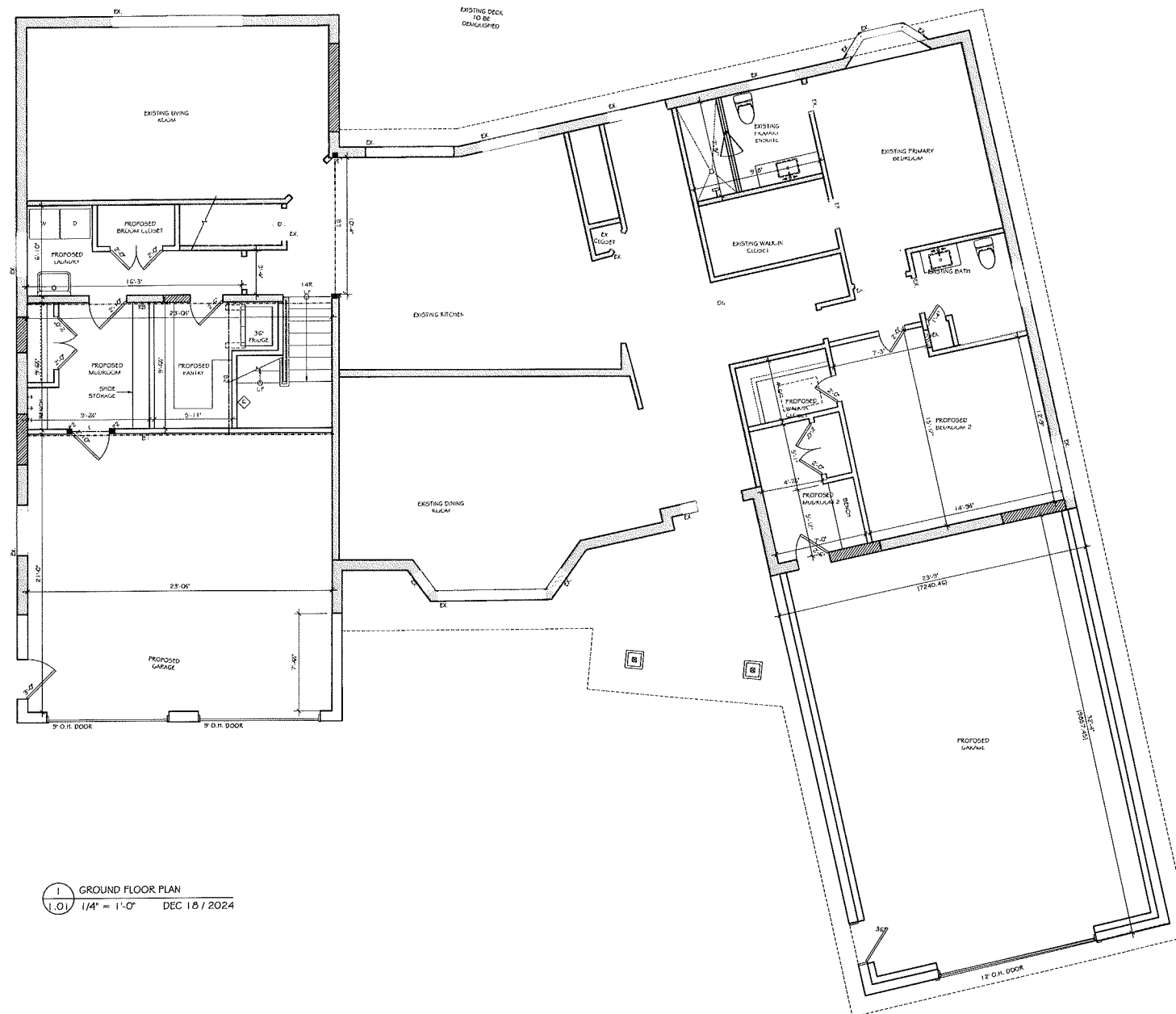
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PRELIMINARY- FOR REVIEW





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GRAIEB RESIDENCE  
  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
  
GROUND FLOOR PLAN

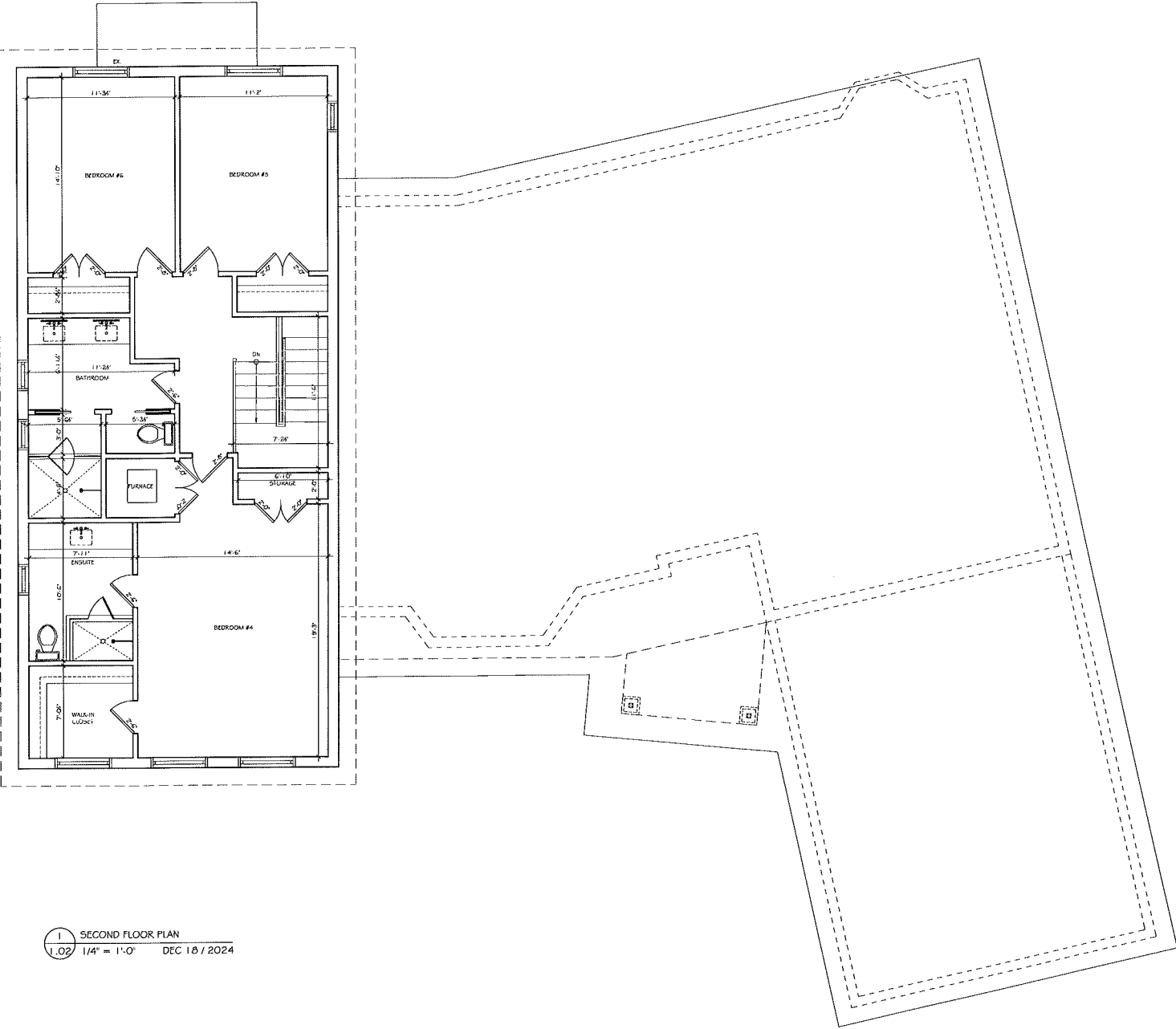
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DRAWING #:

1.01



1 SECOND FLOOR PLAN  
1.02 1/4" = 1'-0" DEC 18 / 2024

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Brampton, Ontario

DRAWING:  
**GROUND FLOOR PLAN**

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

1.02

# Zoning Non-compliance Checklist

File No.

Applicant: Alana + Kelly Design Co Ltd  
Address: 10 Hazelwood Dr  
Zoning: Mature Neighbourhood, R1A (2)  
By-law 270-2004, as amended

Received / Revised  
  
JAN 14 2025  
Committee of Adjustment

Category	Proposal	By-law Requirement	Section #
SETBACKS	To permit a front yard setback of 1.2m metres to a proposed ground floor addition (Attached Garage)	Whereas the by-law requires a minimum front yard setback of 9.0 metres.	12.13.2(d)
	To permit an interior side yard setback of 2.587m to a proposed ground floor addition (Attached Garage).	Whereas the by-law requires a minimum interior side yard setback of 2.8 metres.	10.27.b)iii)
	To permit an interior side yard setback of 1.952 metres to a proposed Ground Floor & Second Floor Addition.	Whereas the by-law requires a minimum interior side yard setback of 2.8 metres	10.27.b)iii)
	To permit a setback of 0.439m for a garage door opening to a front yard line	Whereas the by-law requires a minimum setback of 6.0m from a front or flankage line to a carport or garage door opening.	10.5(b)
LOT COVERAGE	To permit a maximum lot coverage of 40%	Whereas the by-law permits a maximum lot coverage of 25%.	12.3.2.(i)
ACCESSORY STRUCTURES	To permit 2 accessory structures (Existing Pergola 'C' & Existing Shed 'B') to be constructed on an easement	Whereas the by-law does not permit accessory structures to be constructed upon any easement.	10.3.(b)
	To permit 3 accessory structures.	Whereas the zoning by-law permits a maximum of not more than one swimming pool enclosure, and two accessory buildings, other than a swimming pool on a lot.	10.3.(d)
	To permit an accessory structure (Existing Pergola 'A') having a gross floor area of 18.95 square metres (204 square feet).	Whereas the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.	10.3.(e)(ii)
	To permit an accessory structure (Existing Pergola 'A') having a height of 3.2 metres.	Whereas the by-law permits an accessory structure having a maximum height of 3.0 metres.	10.3(h)
	To permit an accessory structure (Existing Pergola 'C') to be used for human habitation.	Whereas the by-law does not permit an accessory structure to be used for human habitation.	10.3.(c)
	To permit an accessory structure (Existing Pergola 'C') having a gross floor area of 37.35 square metres (402 square feet).	Whereas the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.	10.3.(e)(ii)
	To permit an accessory structure (Existing Pergola 'C') having a height of 3.1 metres.	whereas the by-law permits an accessory structure having a maximum height of 3.0 metres.	10.3(h)
	To permit a combined gross floor area of 65.13 square metres for three (3) accessory structures.	Whereas the by-law permits a maximum combined gross floor area of 20 square metres for two (2) accessory structures.	10.3.(e)(ii)
DRIVEWAYS	To permit a semicircular Residential Driveway with a maximum surface area of 64.28% of the front yard area,	Whereas the by-law permits a maximum surface area of 50% of the front yard area for a Residential Driveway.	10.9.1.B.6)

John C. Cabral  
Reviewed by Zoning

2025-01-14  
Date

GRAIEB RESIDENCE  
ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
1.02	SECOND FLOOR
2.00	EAST & WEST ELEVATION
2.01	NORTH & SOUTH ELEVATION



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DESIGN CO.

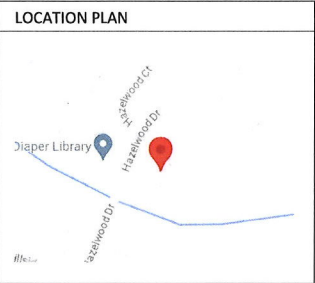
ARCHITECTURAL TECHNOLOGY

ALANA + KELLY DESIGN CO.  
ALANA NIELSEN

(905)-873-4993  
ADMIN@ALANAKELLYDESIGN.CA

GENERAL NOTES	
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1. ALL DRAWINGS & CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: a. THE ONTARIO BUILDING CODE (LATEST EDITIONS) b. APPLICABLE LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) c. THE ONTARIO HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS d. ALL AUTHORITIES HAVING JURISDICTION OVER THE SITE	
2. ALL DIMENSIONS & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER.	
3. DRAWINGS ARE TO BE READ AND NOT SCALED.	
4. ANY VARIANCE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.	
5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.	

PROJECT STATISTICS	
GROSS FLOOR AREA - EXISTING	= 4,980ft <sup>2</sup>
- EXISTING BASEMENT	= 2,104ft <sup>2</sup>
- EXISTING GROUND FLOOR	= 2,876ft <sup>2</sup>
- EXISTING SECOND FLOOR	= 0ft <sup>2</sup>
GROSS FLOOR AREA - PROPOSED	= 2,247ft <sup>2</sup>
- PROPOSED BASEMENT	= 0ft <sup>2</sup>
- PROPOSED GROUND FLOOR	= 981ft <sup>2</sup>
- PROPOSED SECOND FLOOR	= 1,266ft <sup>2</sup>
GROSS FLOOR AREA - TOTAL	= 7,227ft <sup>2</sup>
- PROPOSED BASEMENT	= 2,104ft <sup>2</sup>
- PROPOSED GROUND FLOOR	= 3,857ft <sup>2</sup>
- PROPOSED SECOND FLOOR	= 1,266ft <sup>2</sup>




ADDITIONS TO EXISTING BUILDINGS 3.1.1.11	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE <sup>u</sup>	10.56 (R60)
MIN.RSI-VALUE (R-VALUE)	
CEILING W/O ATTIC SPACE <sup>u</sup>	5.46 (R31)
MIN.RSI-VALUE (R-VALUE)	
EXPOSED FLOOR <sup>u</sup>	5.46 (R31)
MIN.RSI-VALUE (R-VALUE)	
WALLS ABOVE GRADE <sup>u</sup>	3.34+0.88ci (R19+5ci)
MIN.RSI-VALUE (R-VALUE)	
BASEMENT WALLS <sup>u</sup>	3.52 ci (R20 ci)
MIN.RSI-VALUE (R-VALUE)	
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>u</sup>	1.76 (R10)
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>u</sup>	1.76 (R10)
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m <sup>2</sup> *K) <sup>u</sup>	1.6

NOTES:

1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m<sup>2</sup>\*K)/W

2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m<sup>2</sup>\*K

3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.



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INTERIOR DESIGN

16 Mountainview Rd S, Unit 305  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
www.alanakellydesign.ca

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

COVER PAGE

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

0.00

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JAN 08 2025

Committee of Adjustment



SCOPE OF WORK  
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

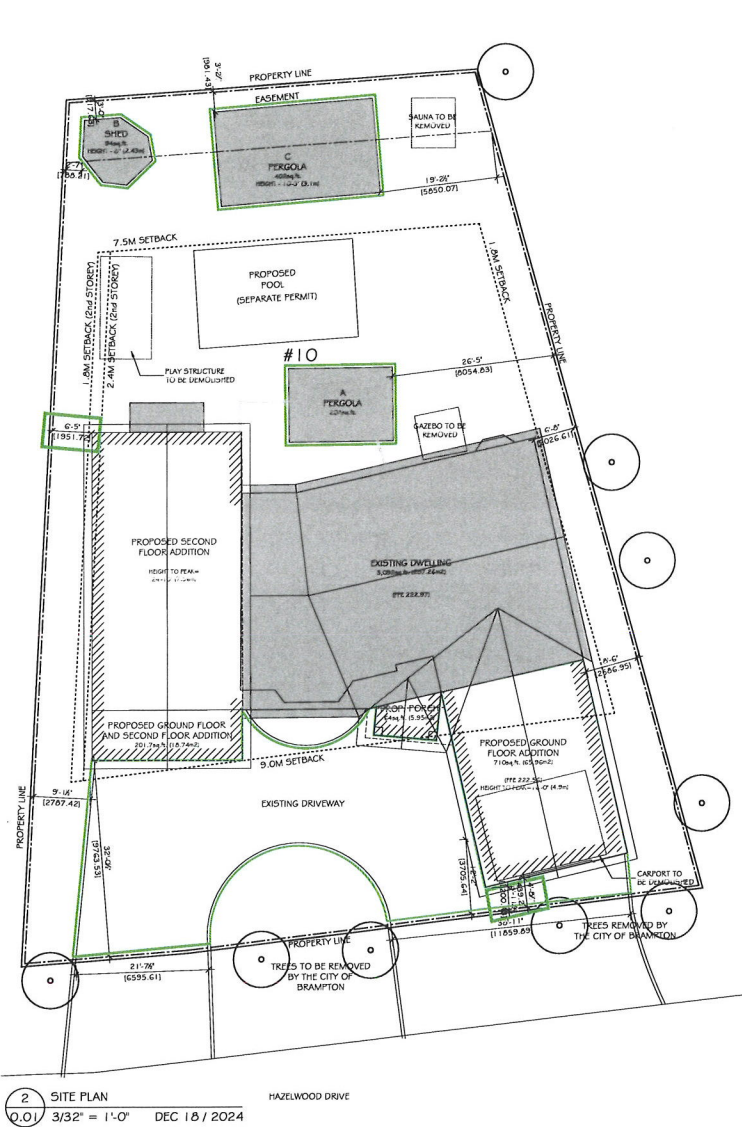
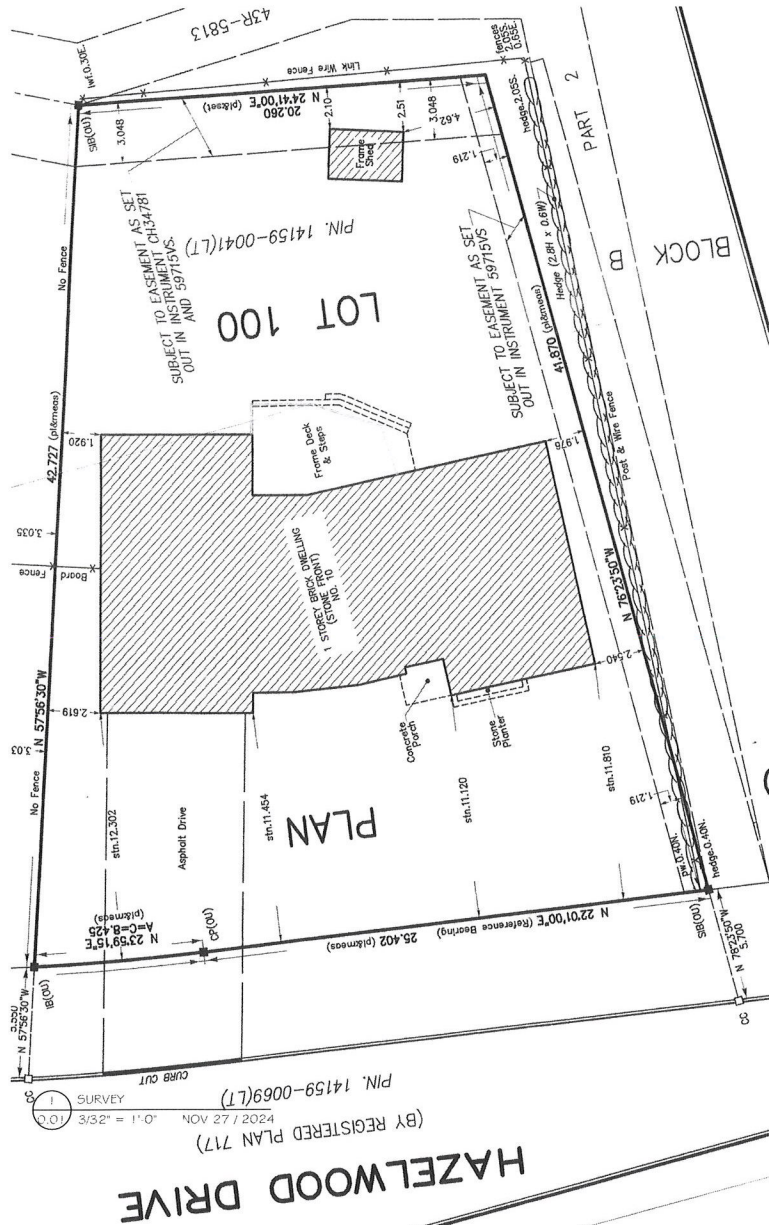
ALLOWABLE LANDSCAPE % = 70% = 2,212ft<sup>2</sup> (205.50m<sup>2</sup>)

LANDSCAPE OPEN SPACE  
FRONT YARD AREA = 2,884ft<sup>2</sup> (267.93m<sup>2</sup>)  
DRIVEWAY AREA = 1,854ft<sup>2</sup> (172.24m<sup>2</sup>)  
PROPOSED = 36% = 1,030ft<sup>2</sup> (95.69m<sup>2</sup>)  
LANDSCAPE %

SITE STATISTICS  
ZONING R1A(2)  
LOT SIZE 12,174ft<sup>2</sup> (1,131m<sup>2</sup>)

LOT COVERAGE - DETACHED DWELLING  
ALLOWABLE% = 25% = 3,043ft<sup>2</sup> (282.70m<sup>2</sup>)  
EXISTING = 25.3% = 3,092ft<sup>2</sup> (287.26m<sup>2</sup>)  
PROPOSED = 0.5% = 1,037ft<sup>2</sup> (96.34m<sup>2</sup>)  
ACCESS. STRUCT. = 6% = 704ft<sup>2</sup> (65.4m<sup>2</sup>)  
TOTAL = 40% = 4,833ft<sup>2</sup> (449.0m<sup>2</sup>)

LOT COVERAGE - ACCESSORY STRUCTURES  
ALLOWABLE = 215ft<sup>2</sup> (20m<sup>2</sup>)  
EXISTING - A = 204ft<sup>2</sup> (18.95m<sup>2</sup>)  
EXISTING - B = 98ft<sup>2</sup> (9.03m<sup>2</sup>)  
EXISTING - C = 402ft<sup>2</sup> (37.35m<sup>2</sup>)  
TOTAL = 704ft<sup>2</sup> (65.4m<sup>2</sup>)



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PROJECT:  
GRAIEB RESIDENCE  
10 Hazelwood Dr  
Brampton, Ontario  
DRAWING:  
SITE PLAN

SCALE: AS NOTED

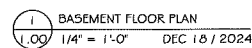
REVISIONS:		
NO.	DATE	COMMENTS
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DRAWING #:

0.01

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JAN 08 2025  
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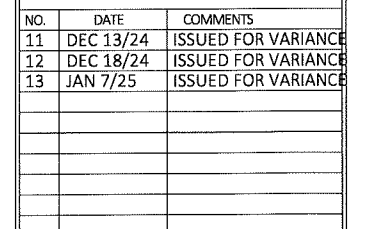
PRELIMINARY- FOR REVIEW



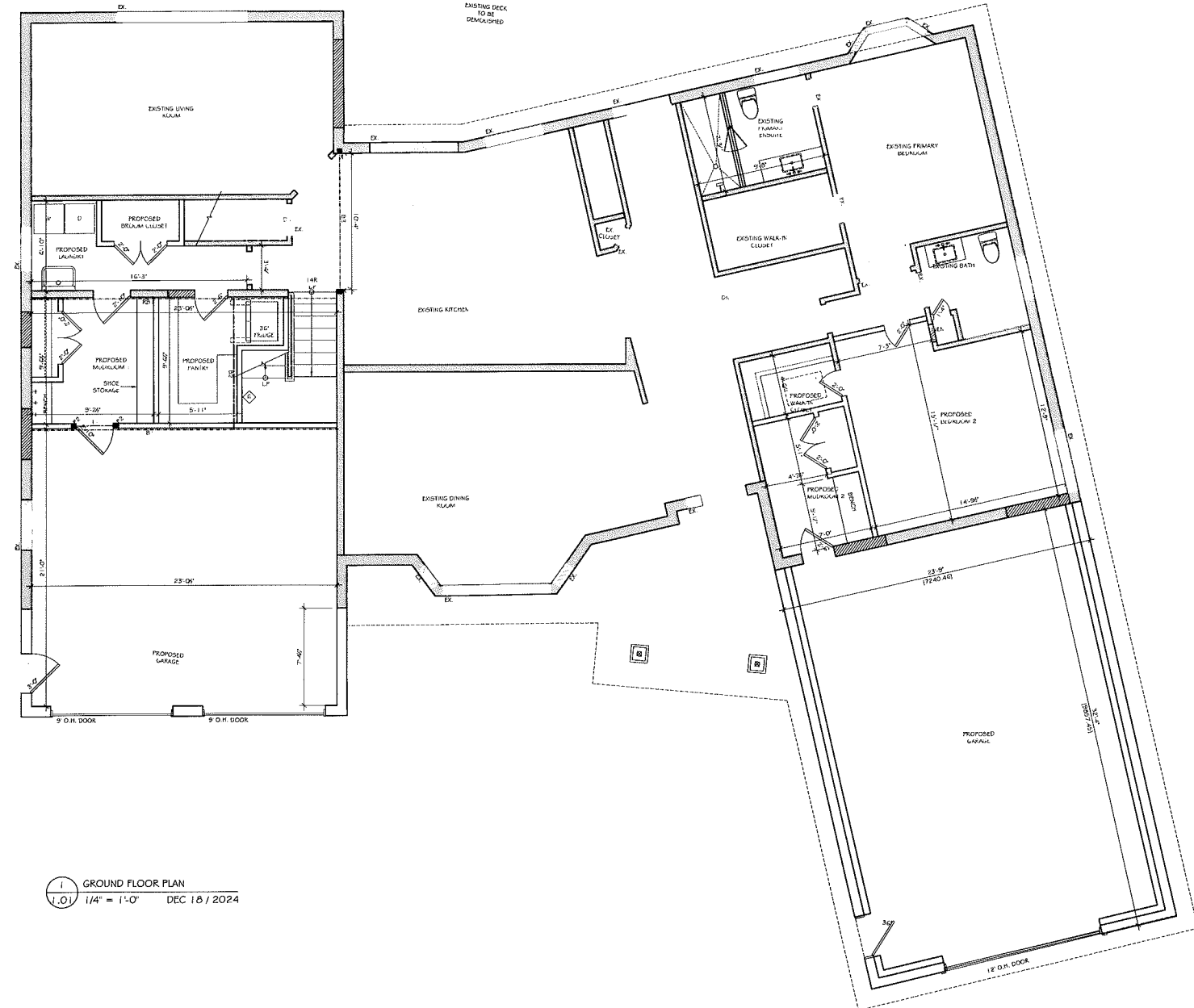
JAN 08 2025

Committee of Adjustment

PRELIMINARY- FOR REVIEW



1.00




1 GROUND FLOOR PLAN  
1/4" = 1'-0" DEC 18 / 2024

Received / Revised

JAN 08 2025

Committee of Adjustment

PRELIMINARY- FOR REVIEW



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INTERIOR DESIGN

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PROJECT:

**GRAIEB RESIDENCE**

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

**GROUND FLOOR PLAN**

---

SCALE: AS NOTED

REVISIONS:

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DRAWING #:

**1.01**

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PROJECT:

GRAEB RESIDENCE

10 Hazelwood Dr

Brampton, Ontario

DRAWING:

GROUND FLOOR PLAN

SCALE: AS NOTED

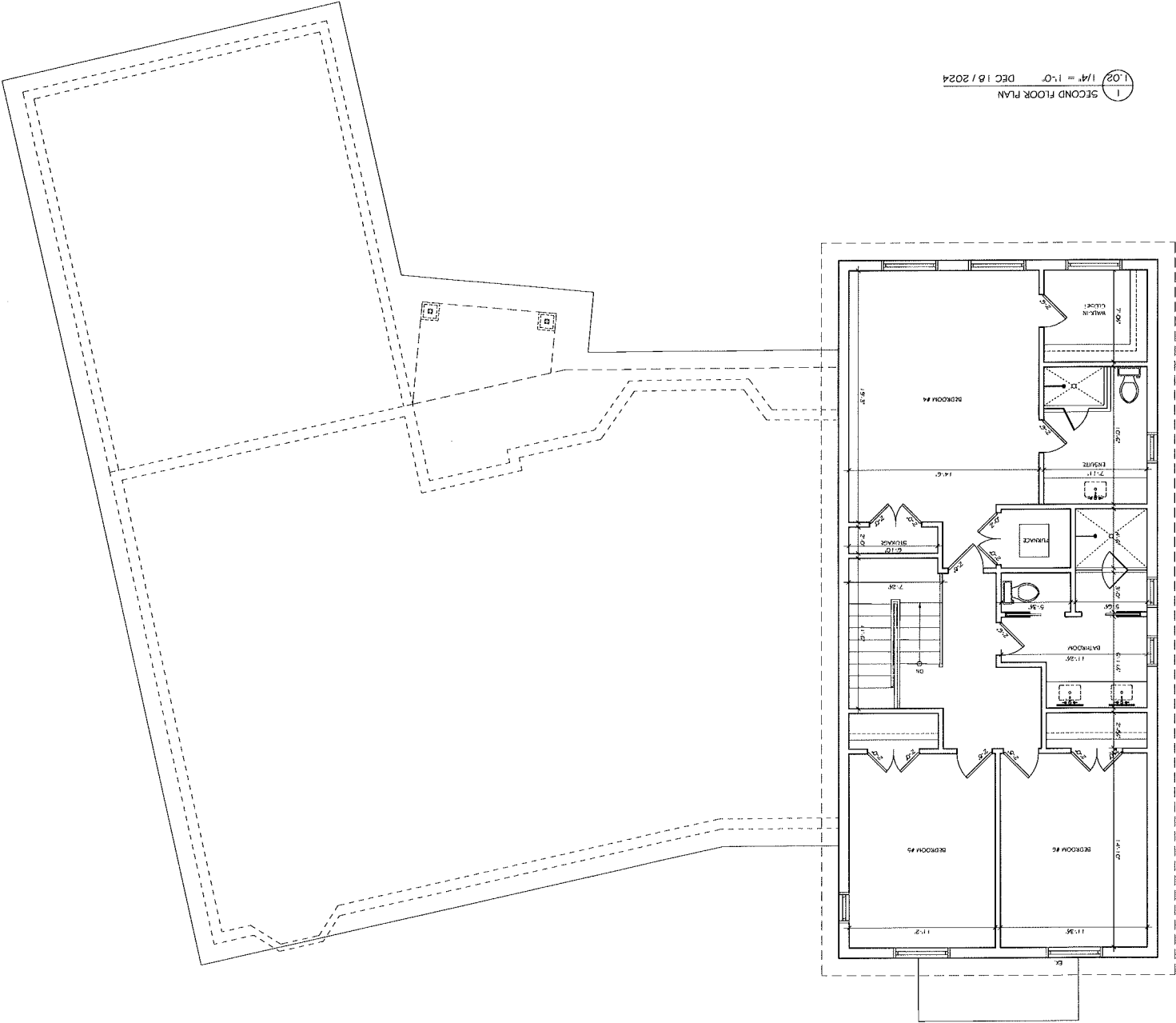
REVISIONS:

NO.	DATE	COMMENTS
11	DEC 13/24	ISSUED FOR VARIANCE
12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

1.02

PRELIMINARY- FOR REVIEW



Received/ Revised

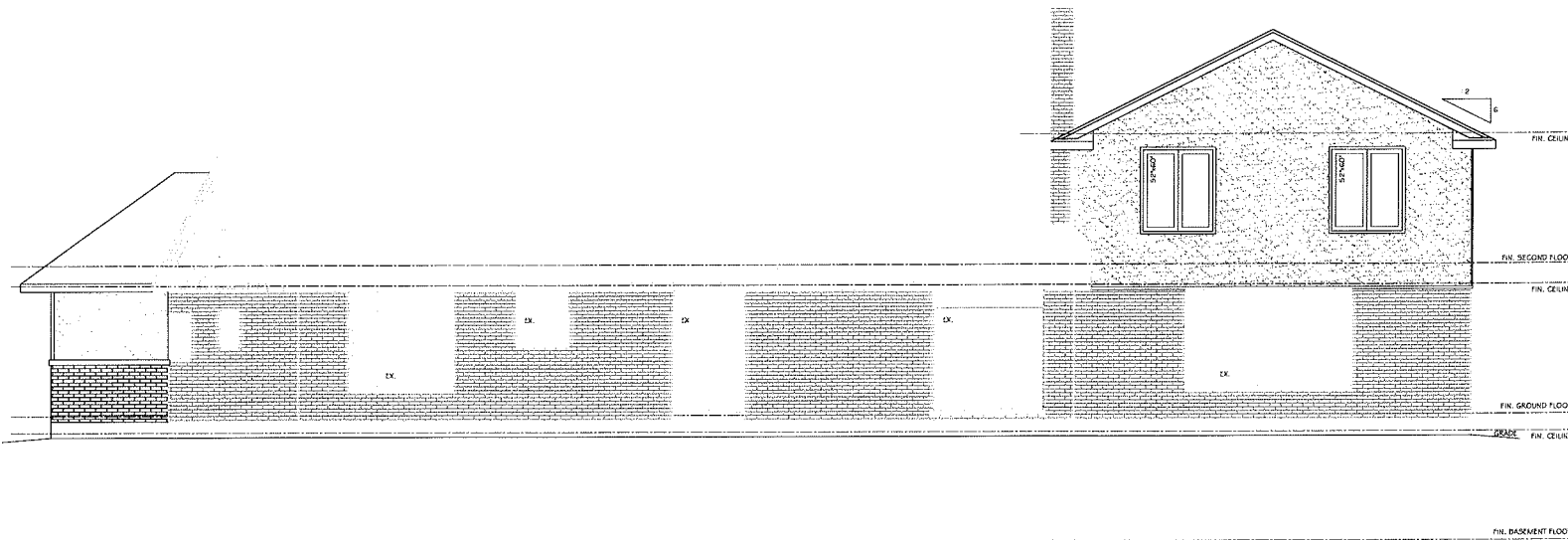
JAN 08 2025

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1 WEST ELEVATION  
1/4" = 1'-0" JAN 7/2025



2 EAST ELEVATION  
1/4" = 1'-0" JAN 7/2025



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PROJECT:

**GRAIEB RESIDENCE**

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

**EAST & WEST ELEVATIONS**

---

SCALE: AS NOTED

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REVISIONS:

NO.	DATE	COMMENTS
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13	JAN 7/25	ISSUED FOR VARIANCE

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DRAWING #:

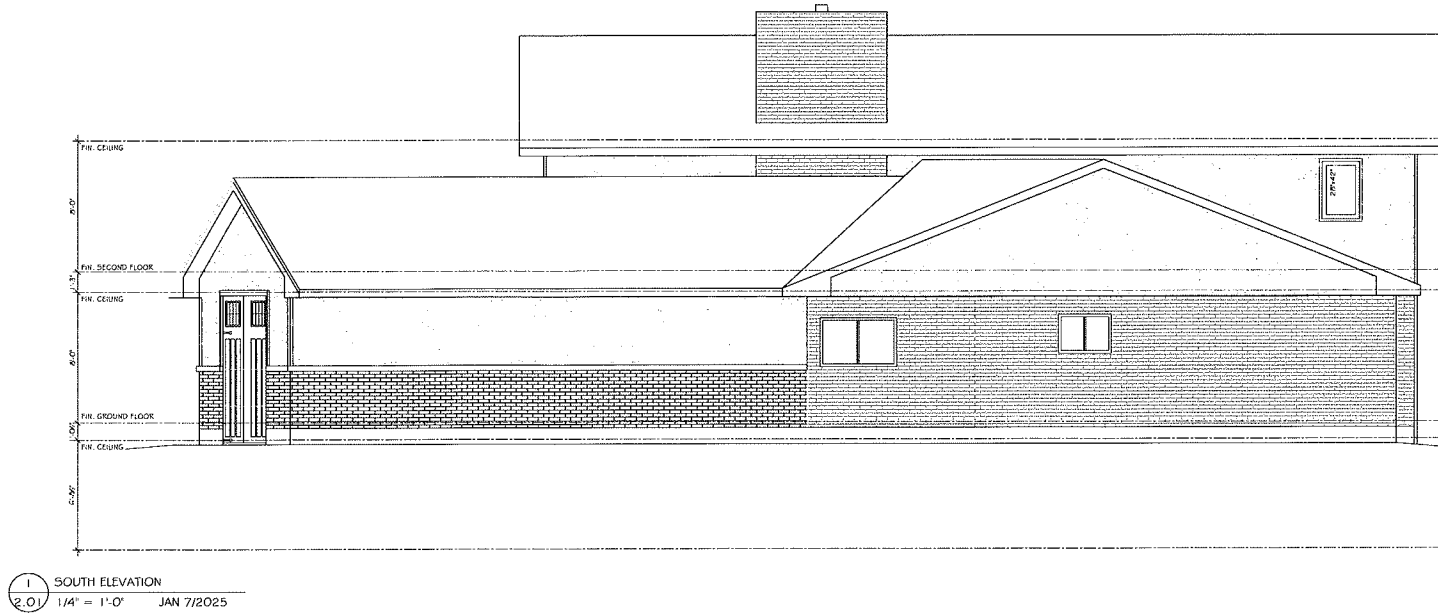
**2.00**

Received Revised

JAN 08 2025

Committee of Adjustment

PRELIMINARY- FOR REVIEW



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 JAN 08 2025  
 Committee of Adjustment

PRELIMINARY- FOR REVIEW

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ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

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 Office: 905-873-4993  
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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
 Brampton, Ontario

DRAWING:

NORTH & SOUTH ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
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12	DEC 18/24	ISSUED FOR VARIANCE
13	JAN 7/25	ISSUED FOR VARIANCE

DRAWING #:

2.01

Received / Revised

JUL 17 2024

Committee of Adjustment



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1.

Name of Owner(s)

Baligh and Nora Graieb

Address

10 Hazelwood Drive, Brampton, Ontario

Phone #

416-858-8078

Fax #

Email

billy2020@rogers.com

L 65 1 B 3
2.

Name of Agent

Alana + Kelly Design Co. Ltd

Address

16 Mountainview Road South, Unit 305

Georgetown, Ontario

Phone #

905-873-4993

Fax #

Email

alana@alanakellydesign.ca
3.

Nature and extent of relief applied for (variances requested):

To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.

To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 1.6m.

To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.34 square metres.

To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 39%.
4.

Why is it not possible to comply with the provisions of the by-law?

Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp
5.

Legal Description of the subject land:

Lot Number<sup>10</sup>

Plan Number/Concession Number

717

Municipal Address

10 Hazelwood Drive, Brampton, Ontario
6.

Dimension of subject land (in metric units)

Frontage

34.51m

Depth

43m

Area

1207.74m2
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	10.67m
Rear yard setback	15.54m
Side yard setback	2.63m
Side yard setback	2.49m

PROPOSED

Front yard setback	1.61m
Rear yard setback	17.40m
Side yard setback	2.63m
Side yard setback	1.99m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A17-024	Decision Approved	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF Region of Halton  
THIS 14 DAY OF July, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen, OF THE Town OF Halton Hills  
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Halton Hills  
IN THE Region OF Halton  
THIS 14 DAY OF July  
Curtis Nielsen  
A Commissioner etc.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1A(2), Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar

Zoning Officer

2024/09/13

Date

DATE RECEIVED

Received / Revised

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17

JUL 17 2024

Committee of Adjustment



GRAIEB RESIDENCE  
ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
2.00	SECOND FLOOR
4.01	EAST & WEST ELEVATION
4.02	NORTH & SOUTH ELEVATION

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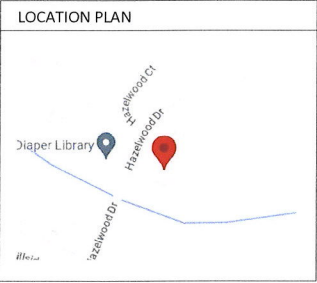
ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

ALANA + KELLY DESIGN CO.  
ALANA NIELSEN

(905)-873-4993  
ADMIN@ALANAKELLYDESIGN.CA

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1. ALL DRAWINGS & CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: a. THE ONTARIO BUILDING CODE (LATEST EDITIONS) b. APPLICABLE LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) c. THE ONTARIO HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS d. ALL AUTHORITIES HAVING JURISDICTION OVER THE SITE	
2. ALL DIMENSIONS & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER.	
3. DRAWINGS ARE TO BE READ AND NOT SCALED.	
4. ANY VARIANCE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.	
5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.	

PROJECT STATISTICS	
EXISTING	3,205ft <sup>2</sup> (297.75m <sup>2</sup> )
PROPOSED	2,249ft <sup>2</sup> (208.93m <sup>2</sup> )
TOTAL	5,454ft <sup>2</sup> (506.69m <sup>2</sup> )
ACCESSORY STRUCTURES	
EXISTING -A	204ft <sup>2</sup> (18.95m <sup>2</sup> )
EXISTING -B	160ft <sup>2</sup> (14.86m <sup>2</sup> )
EXISTING -C	404ft <sup>2</sup> (37.53m <sup>2</sup> )
TOTAL	768ft <sup>2</sup> (71.34m <sup>2</sup> )



ADDITIONS TO EXISTING BUILDINGS 3.1.1.11	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE <sup>(1)</sup>	10.56
MIN.RSI-VALUE (R-VALUE)	(R60)
CEILING W/O ATTIC SPACE <sup>(1)</sup>	5.46
MIN.RSI-VALUE (R-VALUE)	(R31)
EXPOSED FLOOR <sup>(1)</sup>	5.46
MIN.RSI-VALUE (R-VALUE)	(R31)
WALLS ABOVE GRADE <sup>(1)</sup>	3.34+0.88ci
MIN.RSI-VALUE (R-VALUE)	(R19+5ci)
BASEMENT WALLS <sup>(1)</sup>	3.52 ci
MIN.RSI-VALUE (R-VALUE)	(R20 ci)
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>(1)</sup>	1.76
	(R10)
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>(1)</sup>	1.76
	(R10)
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m2*K) <sup>(2)</sup>	1.6

NOTES:  
1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m2\*K)/W  
2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m2\*K  
3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.

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SEP 13 2024

Committee of Adjustment

PRELIMINARY- FOR REVIEW

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

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www.alanakellydesign.ca

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PROJECT:  
  
GRAIEB RESIDENCE  
  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
  
COVER PAGE

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

0.00



#### SCOPE OF WORK

PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 1,812ft<sup>2</sup> (168,36m<sup>2</sup>)

#### LANDSCAPE OPEN SPACE

FRONT YARD AREA = 2,912ft<sup>2</sup> (270,53m<sup>2</sup>)  
DRIVEWAY AREA = 1,548ft<sup>2</sup> (143,80m<sup>2</sup>)  
PROPOSED = 51.5% = 1,501ft<sup>2</sup> (139,45m<sup>2</sup>)  
LANDSCAPE %

#### SITE STATISTICS

ZONING R1A(2)  
LOT SIZE 13,000ft<sup>2</sup> (1,207.74m<sup>2</sup>)

#### LOT COVERAGE - DETACHED DWELLING

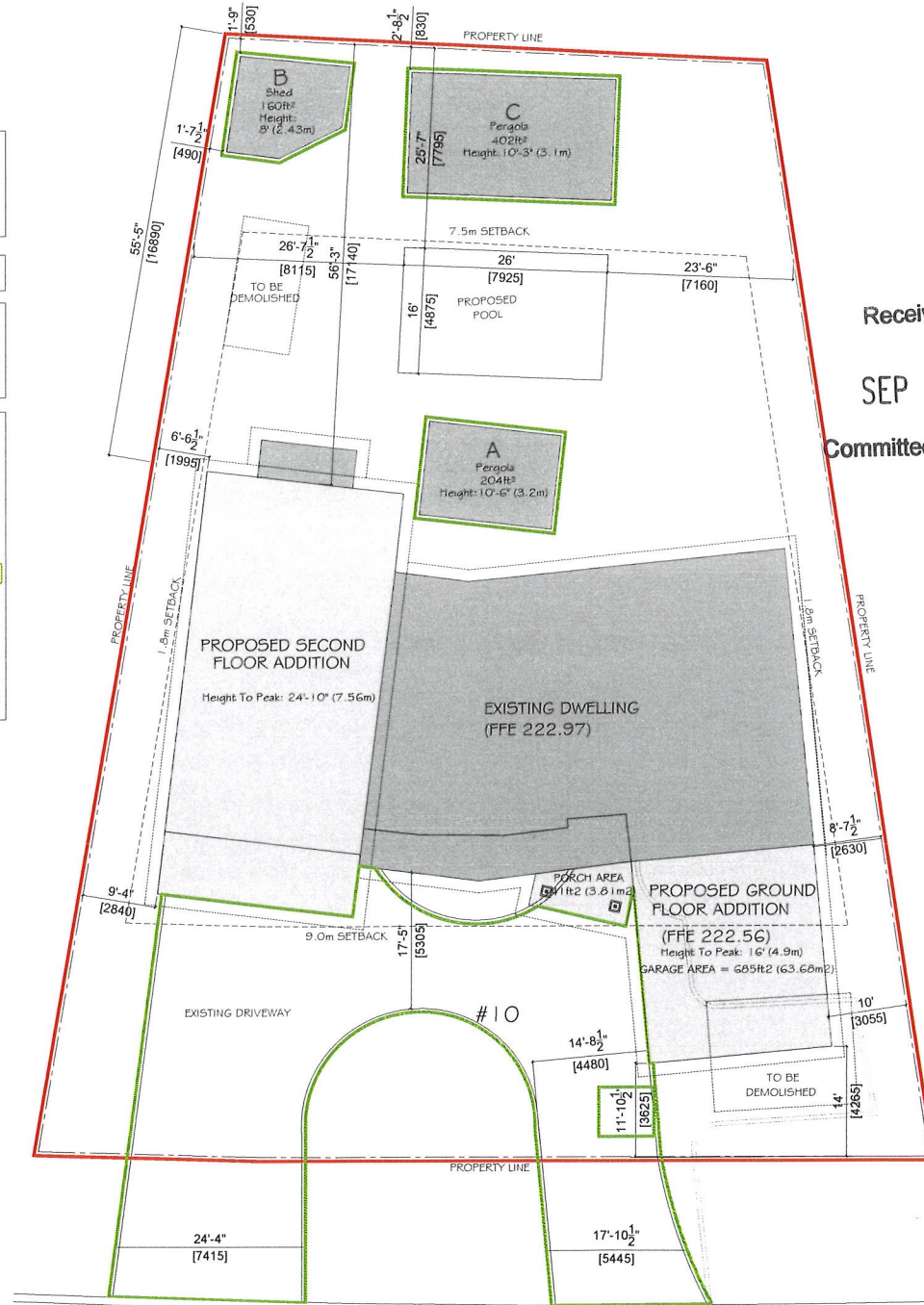
ALLOWABLE% = 25% = 3,250ft<sup>2</sup> (301.94m<sup>2</sup>)  
EXISTING = 25% = 3,271ft<sup>2</sup> (303.89m<sup>2</sup>)  
PROPOSED = 5.9% = 769ft<sup>2</sup> (71.44m<sup>2</sup>)  
ACCESS. STRUCT. 6% = 768ft<sup>2</sup> (71.34m<sup>2</sup>)  
TOTAL 36.6% = 4,769ft<sup>2</sup> (443.05m<sup>2</sup>)

#### LOT COVERAGE - ACCESSORY STRUCTURES

ALLOWABLE = 548,42ft<sup>2</sup> (50,94m<sup>2</sup>)  
EXISTING -A = 204ft<sup>2</sup> (18.95m<sup>2</sup>)  
EXISTING -B = 160ft<sup>2</sup> (14.86m<sup>2</sup>)  
EXISTING -C = 404ft<sup>2</sup> (37.53m<sup>2</sup>)

TOTAL = 768ft<sup>2</sup> (71.34m<sup>2</sup>)

1 SITE PLAN  
0.01 1/8" = 1'-0" AUGUST 29/2024



HAZELWOOD DRIVE

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

SITE PLAN  
MINOR VARIANCE

SCALE: AS NOTED

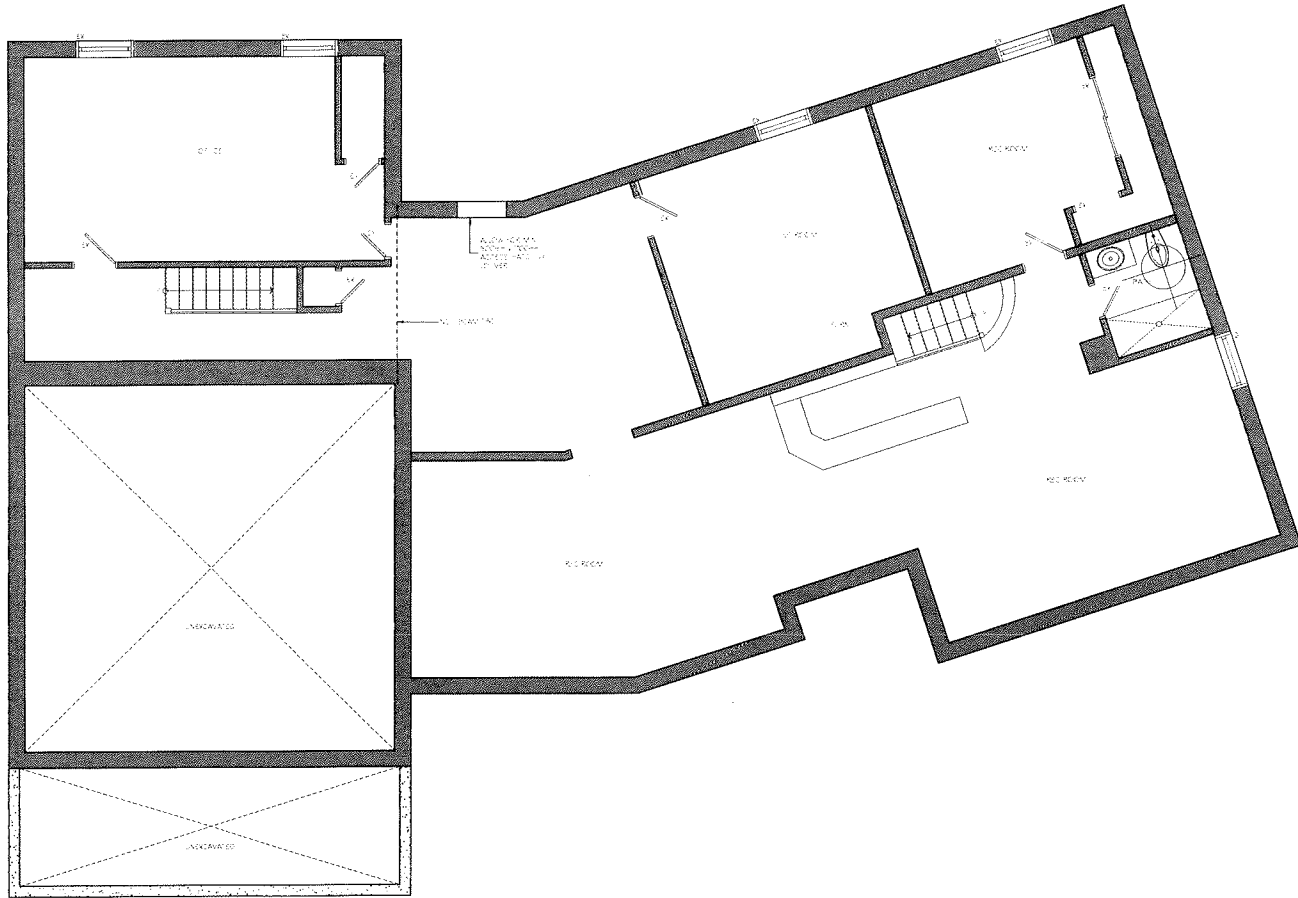
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8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING#:

0.01

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1 FOUNDATION PLAN  
1.00 1/4" = 1'-0" AUGUST 29/2024

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PROJECT:

**GRAIEB RESIDENCE**

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

**FOUNDATION PLAN**

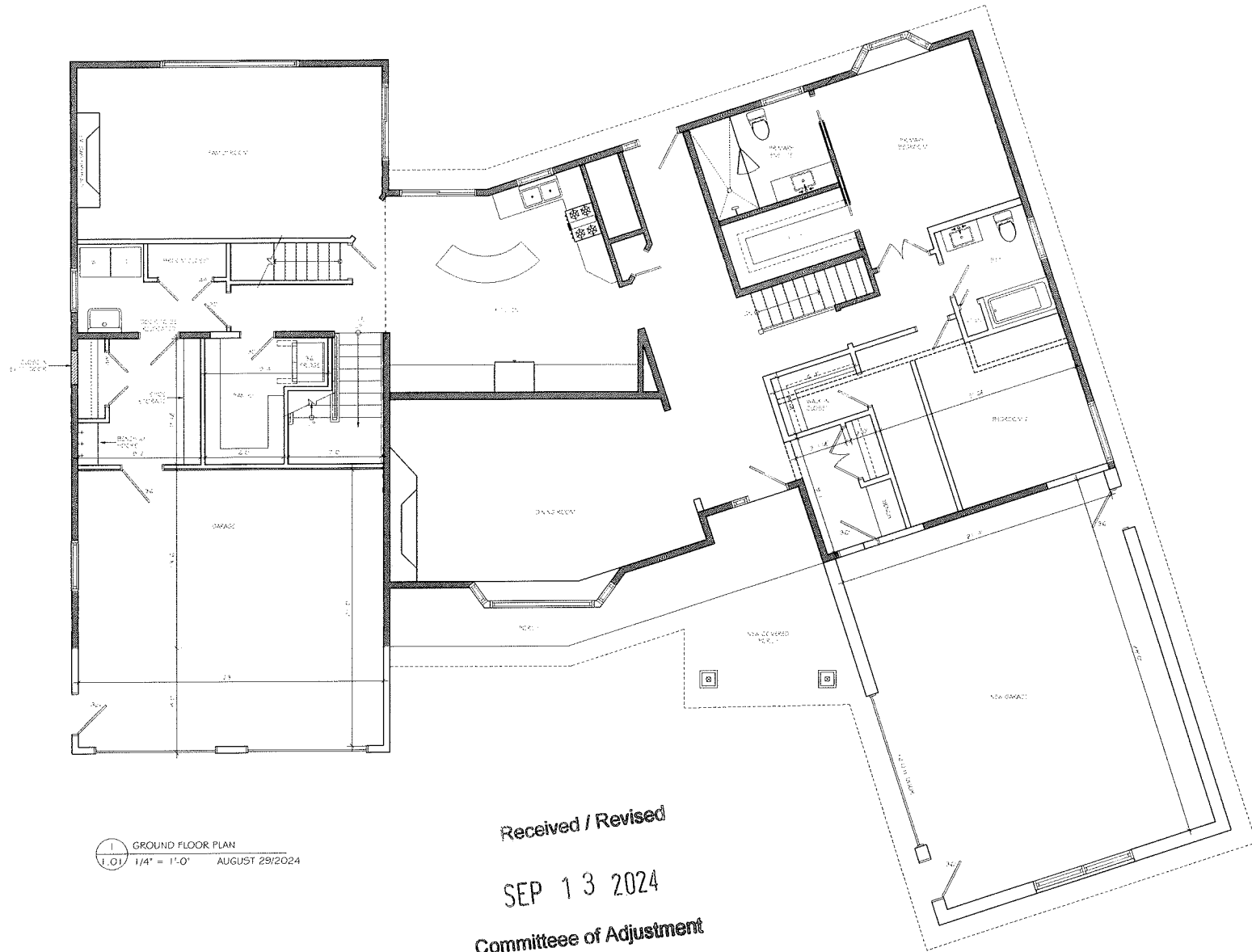
SCALE: AS NOTED

REVISIONS:

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DRAWING #:

1.00



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PROJECT:

**GRAIEB RESIDENCE**

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

**GROUND FLOOR PLAN**

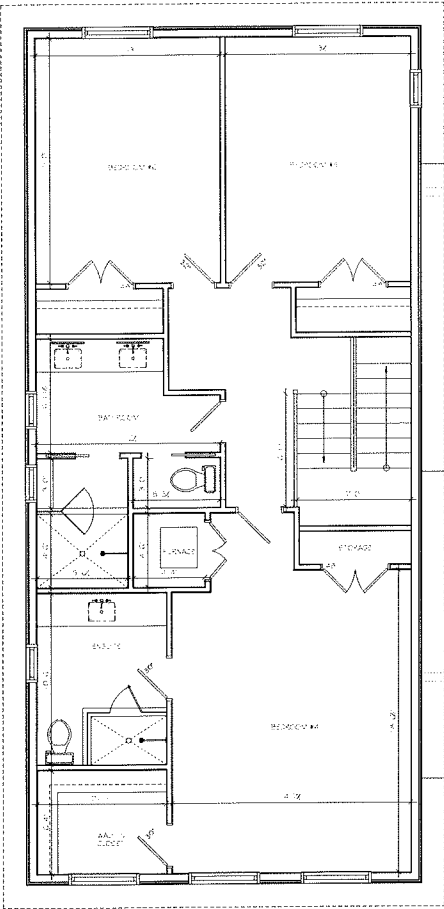
SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
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DRAWING#:

**1.01**



1 SECOND FLOOR PLAN  
2.00 1/4" = 1'-0" AUGUST 29/2024

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

SECOND FLOOR PLAN

SCALE: AS NOTED

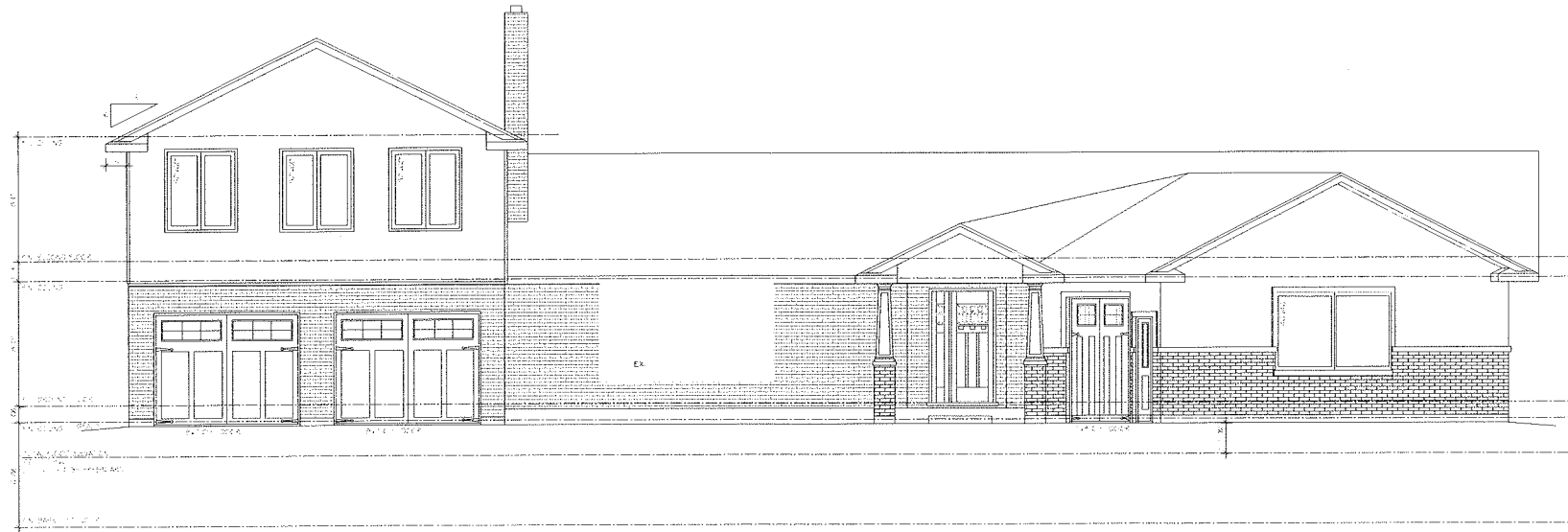
REVISIONS:

NO.	DATE	COMMENTS
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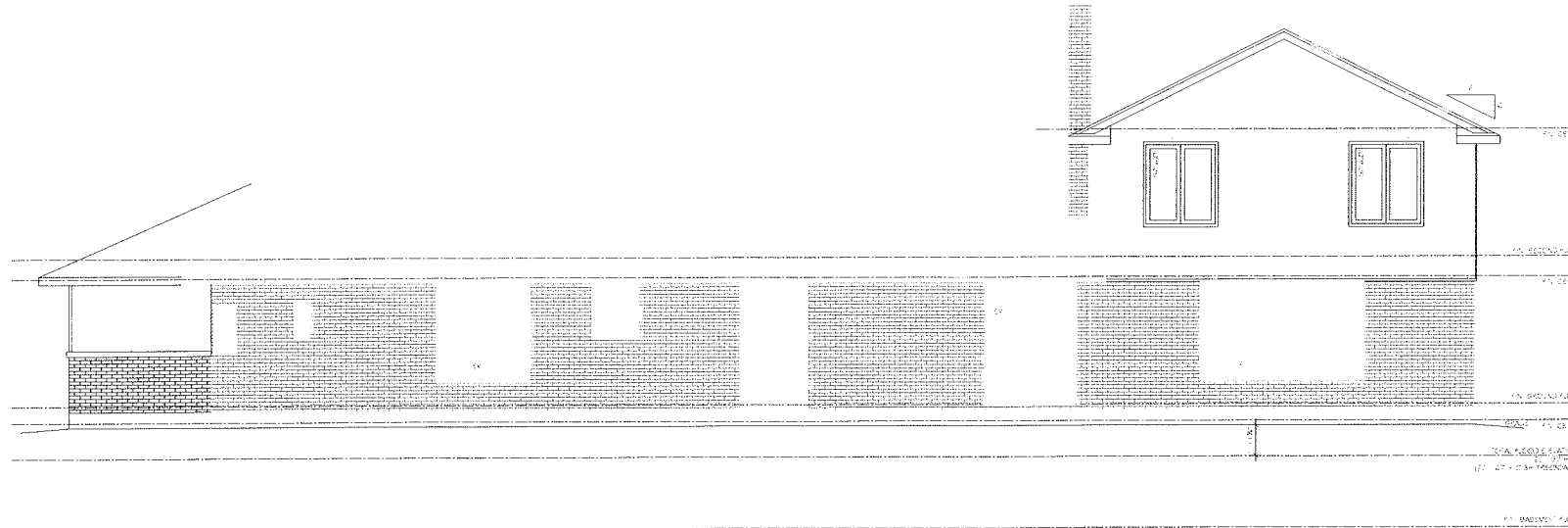
DRAWING #:

2.00





1 WEST ELEVATION  
4.01 1/4" = 1'-0" AUGUST 29/2024



2 EAST ELEVATION  
4.01 1/4" = 1'-0" AUGUST 29/2024

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

EAST & WEST ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
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8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

4.01



GRAIEB RESIDENCE  
ARCHITECTURAL DESIGN PACKAGE  
10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	
0.01	SITE PLAN
1.00	FOUNDATION PLAN
1.01	GROUND FLOOR
2.00	SECOND FLOOR
4.01	EAST & WEST ELEVATION
4.02	NORTH & SOUTH ELEVATION

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ADDITIONS TO EXISTING BUILDINGS 3.1.1.1.1	
COMPONENT	ADDITIONS
CEILING WITH ATTIC SPACE <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	10.56 (R60)
CEILING W/O ATTIC SPACE <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
EXPOSED FLOOR <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
WALLS ABOVE GRADE <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	3.34+0.88G (R19+5c)
BASEMENT WALLS <sup>(1)</sup> MIN.RSI-VALUE (R-VALUE)	3.52 G (R20 G)
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>(1)</sup>	1.76 (R10)
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE MIN.RSI-VALUE (R-VALUE) <sup>(1)</sup>	1.76 (R10)
WINDOWS AND SLIDING GLASS DOORS MAXIMUM U-VALUE (W/m <sup>2</sup> *K) <sup>(1)</sup>	1.6

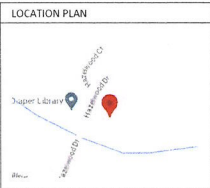
AK

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ARCHITECTURAL TECHNOLOGY  
INTERIOR DIVISION

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PROJECT STATISTICS	
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TOTAL	5,454ft <sup>2</sup> (506.68m <sup>2</sup> )
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EXISTING -A	204ft <sup>2</sup> (18.95m <sup>2</sup> )
EXISTING -B	180ft <sup>2</sup> (14.86m <sup>2</sup> )
EXISTING -C	404ft <sup>2</sup> (37.53m <sup>2</sup> )
TOTAL	788ft <sup>2</sup> (71.34m <sup>2</sup> )



NOTES:  
1. THE VALUES LISTED ARE MINIMUM RSI-VALUES FOR THERMAL INSULATION COMPONENT ONLY. RSI-VALUES EXPRESSED IN (m<sup>2</sup>\*K)/W  
2. U-VALUES IS THE OVERALL COEFFICIENT OF HEAT TRANSFER EXPRESSED IN W/m<sup>2</sup>\*K  
3. THE BUILDING NEED NOT CONFORM TO MINIMUM EFFICIENCY REQUIREMENTS FOR HRV'S, DOMESTIC HOT WATER HEATERS & SPACE HEATING EQUIPMENT REQUIRED IN ARTICLE 2.1.1.2. OR 2.1.1.3.

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www.alanakellydesign.ca

PROJECT:  
**GRAIEB RESIDENCE**  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
**COVER PAGE**

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
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9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:  
**0.00**

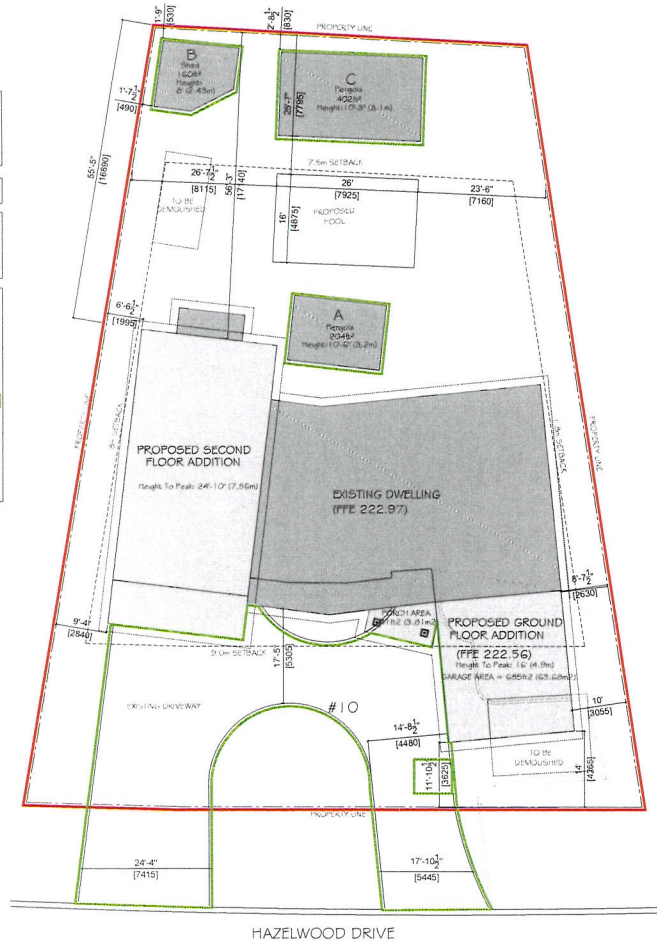
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SEP 13 2024  
Committee of Adjustment



0.01MV

SCOPE OF WORKS	
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED LANDSCAPE ADDITION ON THE WEST SIDE	
ALLOWABLE LANDSCAPE % = 70% = 1,261.21' (126,36m <sup>2</sup> )	
LANDSCAPE OPEN SPACE	
FRONT YARD AREA	= 2,812.11' (277,53m <sup>2</sup> )
DRIVEWAY AREA	= 1,544.81' (143,60m <sup>2</sup> )
PROPOSED LANDSCAPE %	= 11.11% = 1,261.21' (126,36m <sup>2</sup> )
SITE STATISTICS	
ZONING	R1(A)
LOT SIZE	12,000.11' (1,207,74m <sup>2</sup> )
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE %	25% = 3,000.11' (287,94m <sup>2</sup> )
EXISTING %	25% = 3,000.11' (287,94m <sup>2</sup> )
PROPOSED %	25% = 3,000.11' (287,94m <sup>2</sup> )
ACCESS STRUCT	25% = 3,000.11' (287,94m <sup>2</sup> )
TOTAL	3,000.11' (287,94m <sup>2</sup> )
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 4,000.11' (383,92m <sup>2</sup> )
EXISTING A	= 4,000.11' (383,92m <sup>2</sup> )
EXISTING B	= 4,000.11' (383,92m <sup>2</sup> )
EXISTING C	= 4,000.11' (383,92m <sup>2</sup> )
TOTAL	= 4,000.11' (383,92m <sup>2</sup> )



1. SITE PLAN  
1/8" = 1' 0"  
AUGUST 2024/24

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

10 Mount Pleasant Rd. Unit 101  
Oshkosh, WI  
54901  
Office: 920.457.4555  
www.alanakellyco.com

PROJECT:  
GRAIBER RESIDENCE  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
SITE PLAN  
MINOR VARIANCE

SCALE: AS NOTED

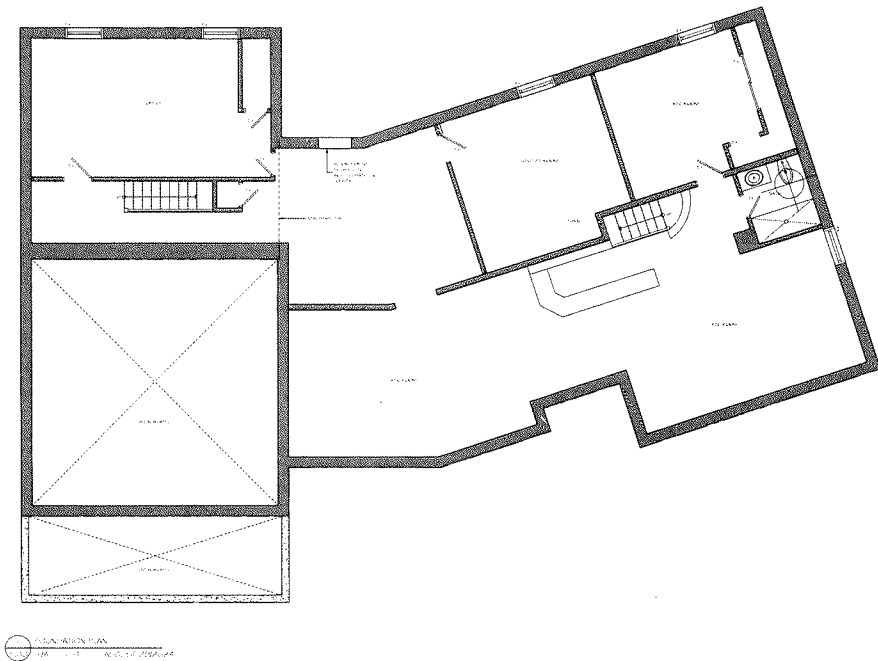
REVISIONS:

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7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:  
0.01

PRELIMINARY- FOR REVIEW





FOUNDATION PLAN  
1:100  
ALANA + KELLY DESIGN CO.

PRELIMINARY- FOR REVIEW

AK

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
BURLINGTON, ONTARIO

10 Mount Pleasant Drive  
Burlington, ON  
L7R 4A5  
Office: 905.335.8750  
www.alanakellydesign.com

Our drawings are prepared in accordance with the Ontario Building Code and the National Building Code of Canada. We warrant that the drawings are prepared in accordance with the applicable codes and standards. We do not warrant that the drawings are free from errors or omissions. We accept no liability for any loss or damage resulting from the use of our drawings. The drawings are to be used for the project only and are not to be used for any other purpose. The drawings are the property of Alana + Kelly Design Co. and are to be kept confidential. The drawings are to be used for the project only and are not to be used for any other purpose. The drawings are the property of Alana + Kelly Design Co. and are to be kept confidential.

PROJECT:  
**GRAEB RESIDENCE**  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
**FOUNDATION PLAN**

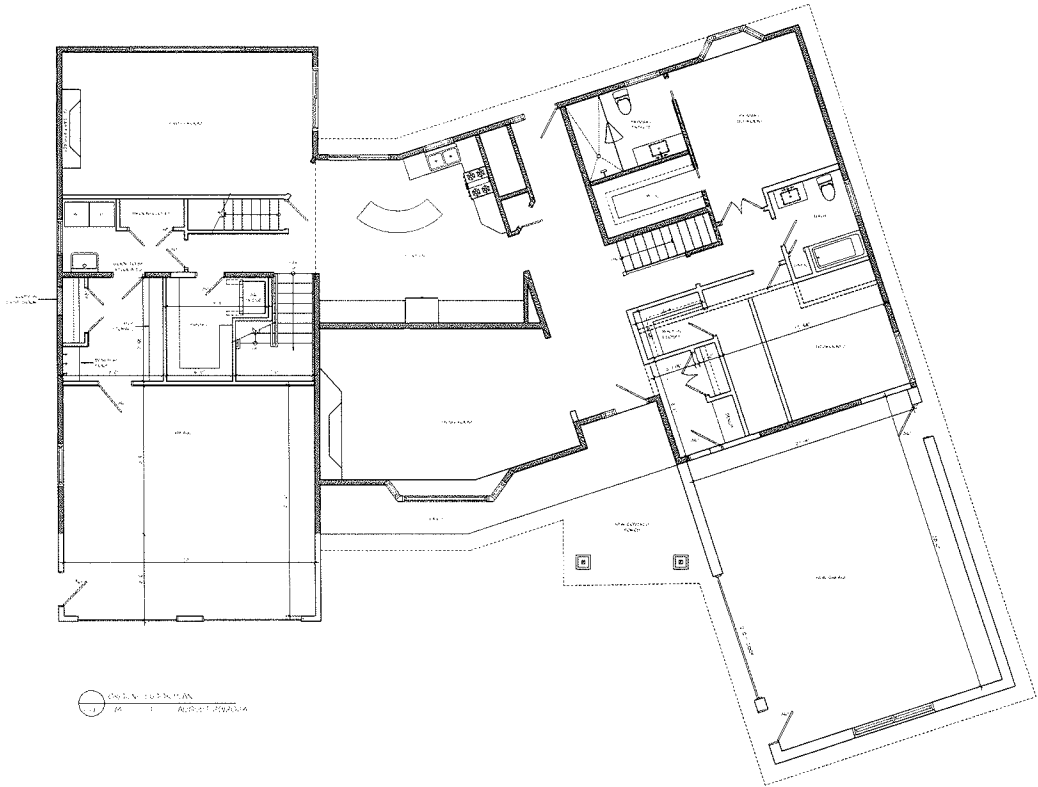
SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
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3	NOV 3/23	DESIGN DRAFT 3
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DRAWING #:

1.00



PRELIMINARY- FOR REVIEW

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY

REGISTERED ARCHITECT

10 Hazelwood Dr  
Brampton, ON  
N6A 6K5  
905.876.8777  
www.alanakellydesign.ca

THE NOTED ARCHITECTS AND DESIGNERS HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS DRAWING WAS PREPARED BY THEM OR UNDER THEIR CLOSE PERSONAL SUPERVISION AND THAT THEY ARE A REGISTERED PROFESSIONAL ARCHITECT IN THE PROVINCE OF ONTARIO.

PROJECT:  
**GRAIEB RESIDENCE**  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
**GROUND FLOOR PLAN**

SCALE: AS NOTED

REVISIONS:

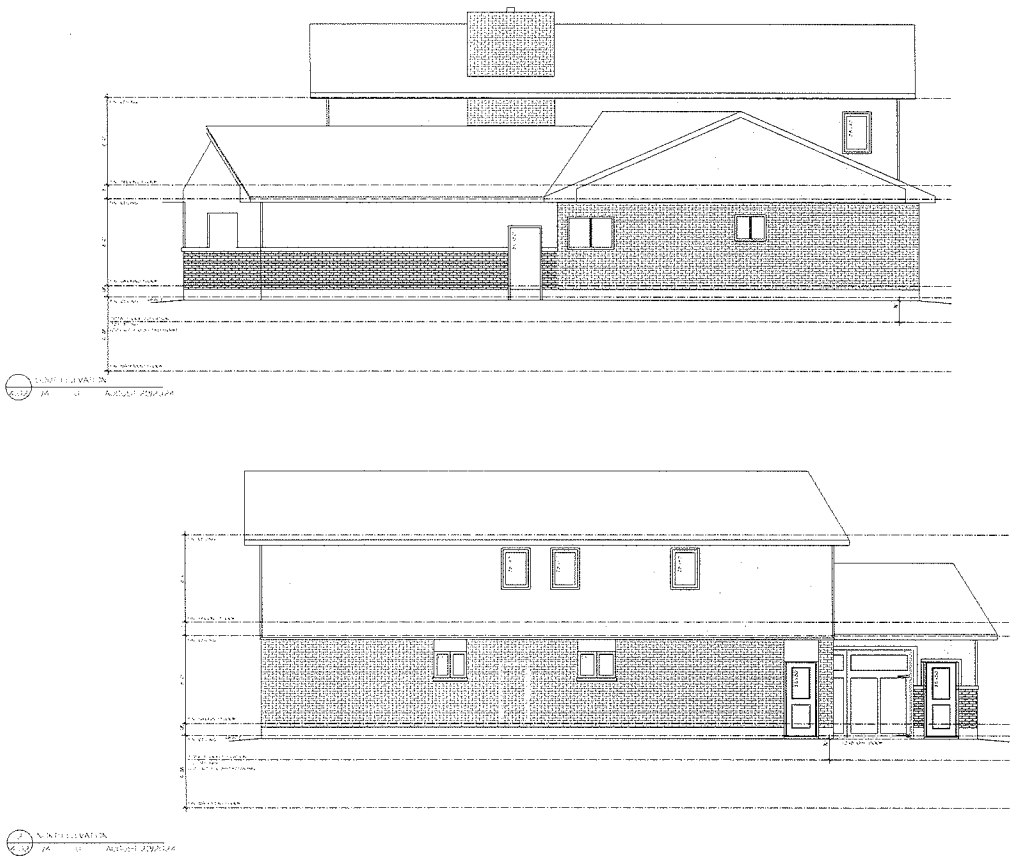
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DRAWING #:  
**1.01**



2.00





PRELIMINARY- FOR REVIEW

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL, ENGINEERING  
PLANNING & DESIGN

20 Mount Pleasant Avenue, Unit 101  
Toronto, ON M5S 1A5  
Tel: 416-593-8888  
www.alanakelly.ca

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PROJECT:  
**GRAIEB RESIDENCE**  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
**NORTH & SOUTH ELEVATIONS**

SCALE: AS NOTED

REVISIONS:

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1	AUG 2/23	DESIGN DRAFT 1
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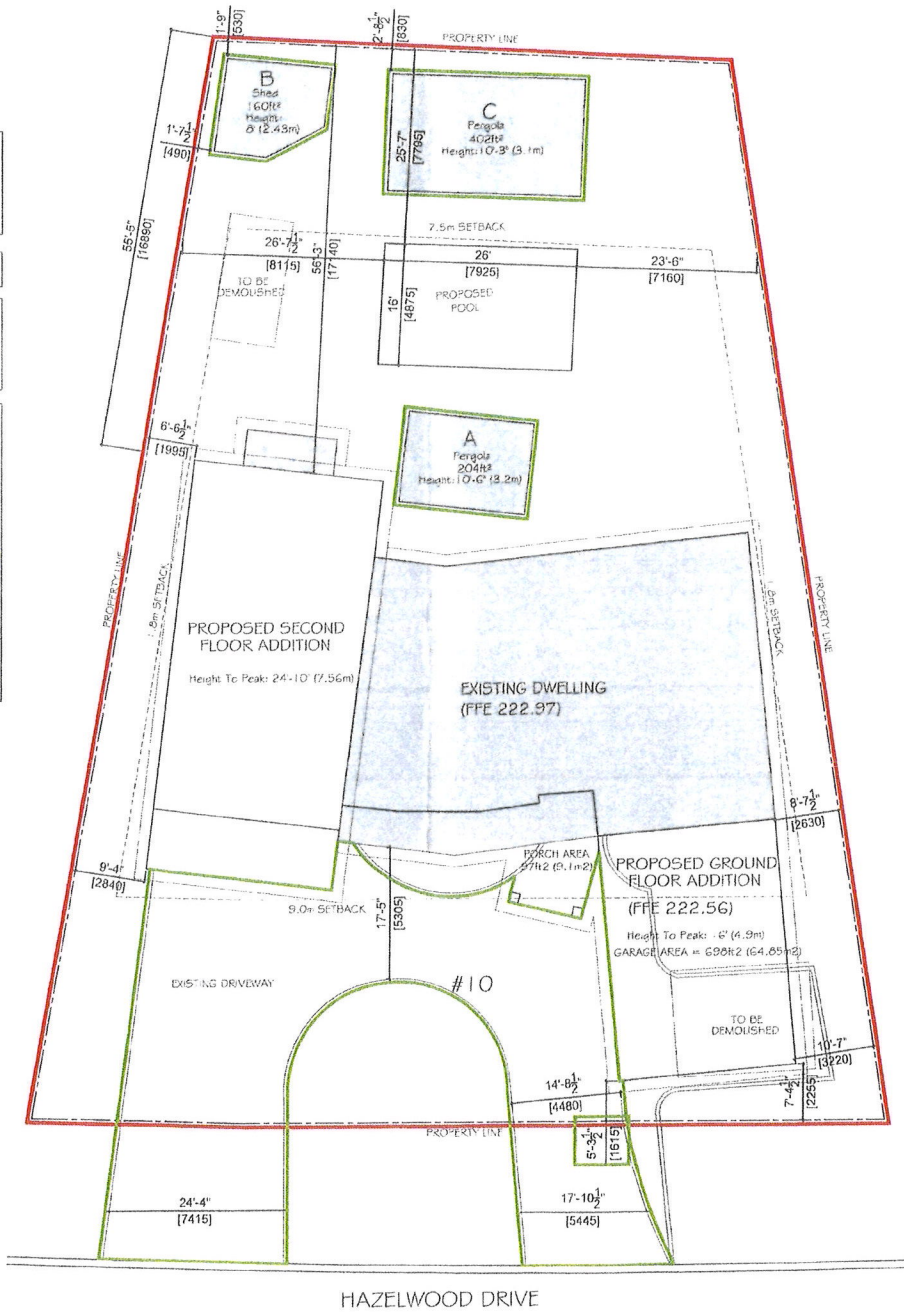
DRAWING #:

**4.02**





SCOPE OF WORK	
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.	
ALLOWABLE LANDSCAPE % = 70% = 1,012ft <sup>2</sup> (160.36m <sup>2</sup> )	
LANDSCAPE OPEN SPACE	
FRONT YARD AREA	= 2,647ft <sup>2</sup> (245.91m <sup>2</sup> )
DRIVEWAY AREA	= 1,548ft <sup>2</sup> (143.80m <sup>2</sup> )
PROPOSED LANDSCAPE %	= 40% = 1,041ft <sup>2</sup> (96.73m <sup>2</sup> )
SITE STATISTICS	
ZONING	R1A(2)
LOT SIZE	15,000ft <sup>2</sup> (1,207.74m <sup>2</sup> )
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE%	25% = 3,250ft <sup>2</sup> (301.94m <sup>2</sup> )
EXISTING	25% = 3,271ft <sup>2</sup> (303.89m <sup>2</sup> )
PROPOSED	8% = 991ft <sup>2</sup> (92.07m <sup>2</sup> )
ACCESS. STRUCT.	6% = 768ft <sup>2</sup> (71.34m <sup>2</sup> )
TOTAL	39% = 5,030ft <sup>2</sup> (467.30m <sup>2</sup> )
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 548.42ft <sup>2</sup> (50.94m <sup>2</sup> )
EXISTING - A	= 204ft <sup>2</sup> (18.95m <sup>2</sup> )
EXISTING - B	= 160ft <sup>2</sup> (14.86m <sup>2</sup> )
EXISTING - C	= 404ft <sup>2</sup> (37.53m <sup>2</sup> )
TOTAL	= 768ft <sup>2</sup> (71.34m <sup>2</sup> )



1 SITE PLAN  
0.01 NTS  
JULY 15 / 2024

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

16 Mountainview Rd 5, Unit 305  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
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PROJECT:  
GRAIEB RESIDENCE  
10 Hazelwood Drive,  
Brampton, Ontario

DRAWING:  
SITE PLAN  
MINOR VARIANCE

SCALE: NTS

REVISIONS:

NO.	DATE	COMMENTS
01	AUG 2/23	DESIGN DRAFT 1
02	SEPT 6/23	DESIGN DRAFT 2
03	NOV 3/23	DESIGN DRAFT 3
04	NOV 16/23	DESIGN DRAFT 4
05	NOV 21/23	DESIGN DRAFT 5
06	NOV 28/23	DESIGN DRAFT 6
07	FEB 07/24	MINOR VARIANCE
08	FEB 09/24	MINOR VARIANCE 2
09	JULY 15/24	MINOR VARIANCE 3

DRAWING #:  
0.01

Committee of Adjustment

JUL 17 2024

Received / Revised



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)  
Address  
Phone #  
Email

Baligh and Nora Graieb  
10 Hazelwood Drive, Brampton, Ontario  
416-858-8078  
aligra@rogers.com

65133

Fax #

2.

Name of Agent  
Address  
Phone #  
Email

Alana + Kelly Design Co. Ltd  
16 Mountainview Road South - Unit 202  
Georgetown, Ontario  
905-873-4993  
alana@alanakellydesign.ca

Fax #

3.

Nature and extent of relief applied for (variances requested):  
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.  
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 0.855m.  
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres.  
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 42%.

4.

Why is it not possible to comply with the provisions of the by-law?  
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5.

Legal Description of the subject land:  
Lot Number  
Plan Number/Concession Number  
Municipal Address

10  
717  
10 Hazelwood Drive, Brampton, Ontario

6.

Dimension of subject land (in metric units)  
Frontage  
Depth  
Area

34.51m  
43m  
1207.74m2

7.

Access to the subject land is by:  
Provincial Highway  
Municipal Road Maintained All Year  
Private Right-of-Way

☐  
☒  
☐

Seasonal Road  
Other Public Road  
Water

☐  
☐  
☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 10.67m

Rear yard setback 15.54m

Side yard setback 2.63m

Side yard setback 2.49

**PROPOSED**

Front yard setback 0.855m

Rear yard setback 15.54m

Side yard setback 2.63m

Side yard setback 2.63m

10. Date of Acquisition of subject land: Unknown

11. Existing uses of subject property: Existing Single Detached Dwellings

12. Proposed uses of subject property: Single Detached Dwellings

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: Unknown

15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)

If answer is yes, provide details:      File # \_\_\_\_\_      Status \_\_\_\_\_

Yes ☐ No ☒

Yes ☒ No ☐ Unknown ☐

File # A17-024	Decision Approved	Relief Carport/Accessory Structures
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

DATED AT THE Town of Haddon <sup>Hills</sup> OF The Region of Haddon  
THIS 04<sup>th</sup> DAY OF February, 2024.

I, Aiana Nielsen, OF THE Town OF Halton Hills  
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

DECLARED BEFORE ME AT THE

Town OF Halton Hills  
IN THE Region OF  
Halton THIS 9th DAY OF  
February, 2024

Signature of Applicant or Authorized Agent

A Commissioner

**FOR OFFICE USE ONLY**

Present Official Plan Designation:

**Present Zoning By-law Classification:**

Mature Neighborhood, R1A(2)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar

**Zoning Officer**

2024/02/27

Date \_\_\_\_\_

DATE RECEIVED

Date Application Deemed Complete by the Municipality

Revised 2022/02/17



ALANA + KELLY  
DESIGN CO.

### Owner Authorization

Alana + Kelly Design Co.  
Alana Nielsen  
905-873-4993  
alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

Signature: *billy Graieb*  
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

Signature: *billy Graieb*  
billy Graieb (Jun 25, 2023 12:20 EDT)

Print name: billy Graieb

Date: Jun 25, 2023

Phone: 4168588078

Email : aligra@rogers.com

**PERMISSION TO ENTER**


To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
cca@brampton.ca

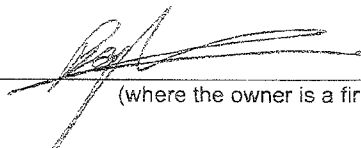
LOCATION OF THE SUBJECT LAND: 10 HAZELWOOD DRIVE, BRAMPTON

I/We, NORA & BALIGH GRAIB  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 4th day of March, 2024

 NORA GRAIB  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

 BALIGH GRAIB  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

## 8. Existing Buildings

### **Existing Detached Dwelling:**

Ground Floor Area - 242.71 sqm

Gross Floor Area - 292.57 (Ground) + 252.46 (Basement)

Number of Storeys 1 Width : 24.076 m

Length: 13.586m

### **Accessory Building A Ground Floor Area: 18.95 sqm**

Number of Storeys: 1 Width: 5.13m

Length: 3.66m

### **Accessory Building B**

Ground Floor Area: 14.86 sqm

Number of Storeys: 1

Width: 4.27m

Length: 3.76m

### **Accessory Building C**

Ground Floor Area: 37.35 sqm

Number of Storeys: 1

Width: 7.95m

Length: 4.69m

## Proposed Building

### **Proposed Detatched Dwelling**

Ground Floor Area - 347.96 sqm

Gross Floor Area: 139.41 sqm (Second) + 399.91sqm (Ground) + 270.02sqm (Basement)

Total: 890.34 sqm

**Number of Storeys: 2**

**Width : 24.076 m**

**Length: 26.42m**





SCOPE OF WORK

PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 1,812ft<sup>2</sup> (168.36m<sup>2</sup>)

LANDSCAPE OPEN SPACE

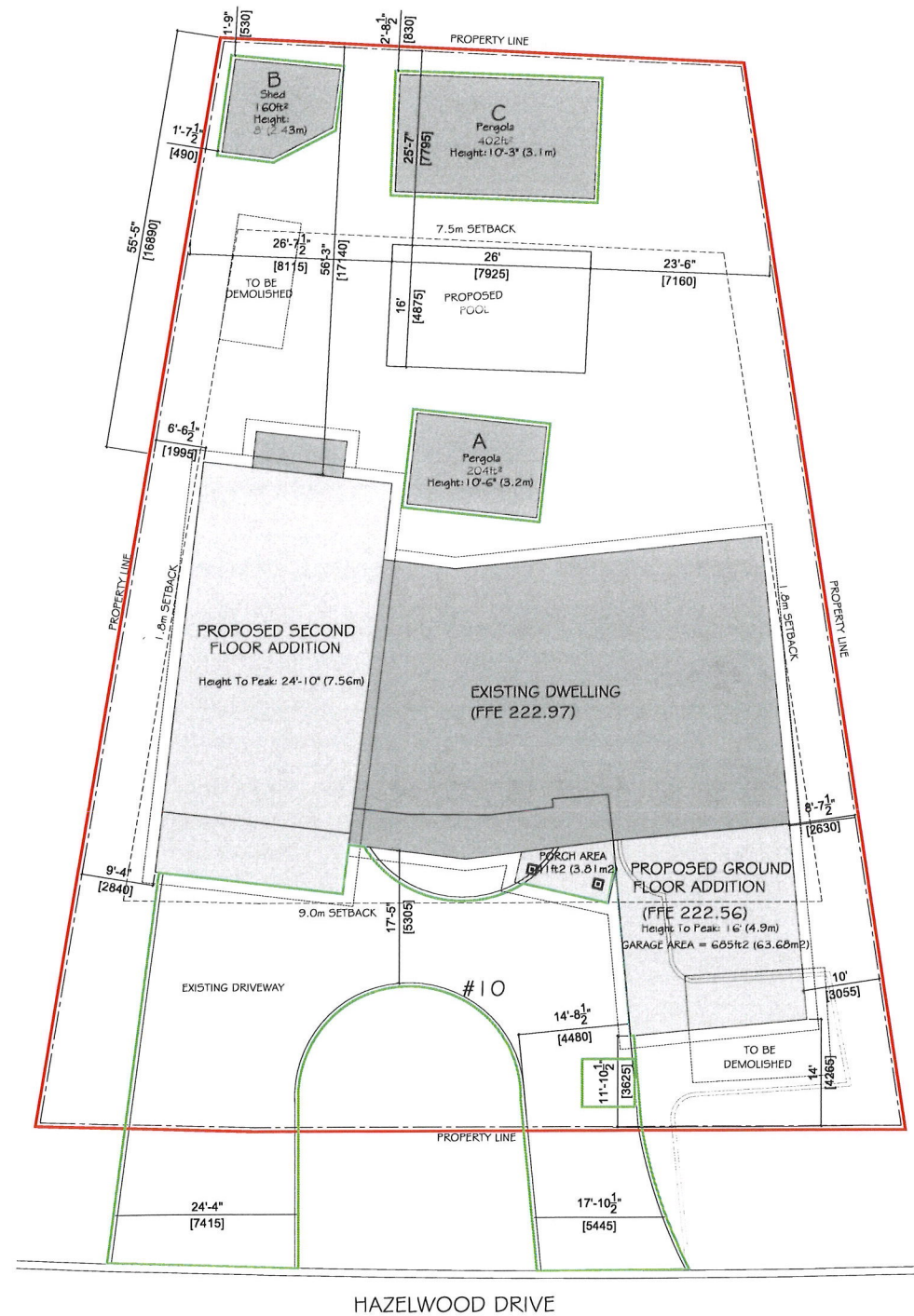
FRONT YARD AREA = 2,912ft<sup>2</sup> (270.53m<sup>2</sup>)

DRIVEWAY AREA = 1,548ft<sup>2</sup> (143.80m<sup>2</sup>)

PROPOSED = 51.5% = 1,501ft<sup>2</sup> (139.45m<sup>2</sup>)

LANDSCAPE %

SITE STATISTICS	
ZONING	R1A(2)
LOT SIZE	13,000ft <sup>2</sup> (1,207.74m <sup>2</sup> )
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE%	25% = 3,250ft <sup>2</sup> (301.94m <sup>2</sup> )
EXISTING	25% = 3,271ft <sup>2</sup> (303.89m <sup>2</sup> )
PROPOSED	5.9% = 769ft <sup>2</sup> (71.44m <sup>2</sup> )
ACCESS. STRUCT.	6% = 768ft <sup>2</sup> (71.34m <sup>2</sup> )
TOTAL	36.6% = 4,769ft <sup>2</sup> (443.05m <sup>2</sup> )
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 548.42ft <sup>2</sup> (50.94m <sup>2</sup> )
EXISTING - A	= 204ft <sup>2</sup> (18.95m <sup>2</sup> )
EXISTING - B	= 160ft <sup>2</sup> (14.86m <sup>2</sup> )
EXISTING - C	= 404ft <sup>2</sup> (37.53m <sup>2</sup> )
TOTAL	= 768ft <sup>2</sup> (71.34m <sup>2</sup> )



0.01MV 1/8" = 1'-0" AUGUST 29/2024

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
www.alanakellydesign.ca

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PROJECT:  
**GRAIEB RESIDENCE**  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
**SITE PLAN**

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
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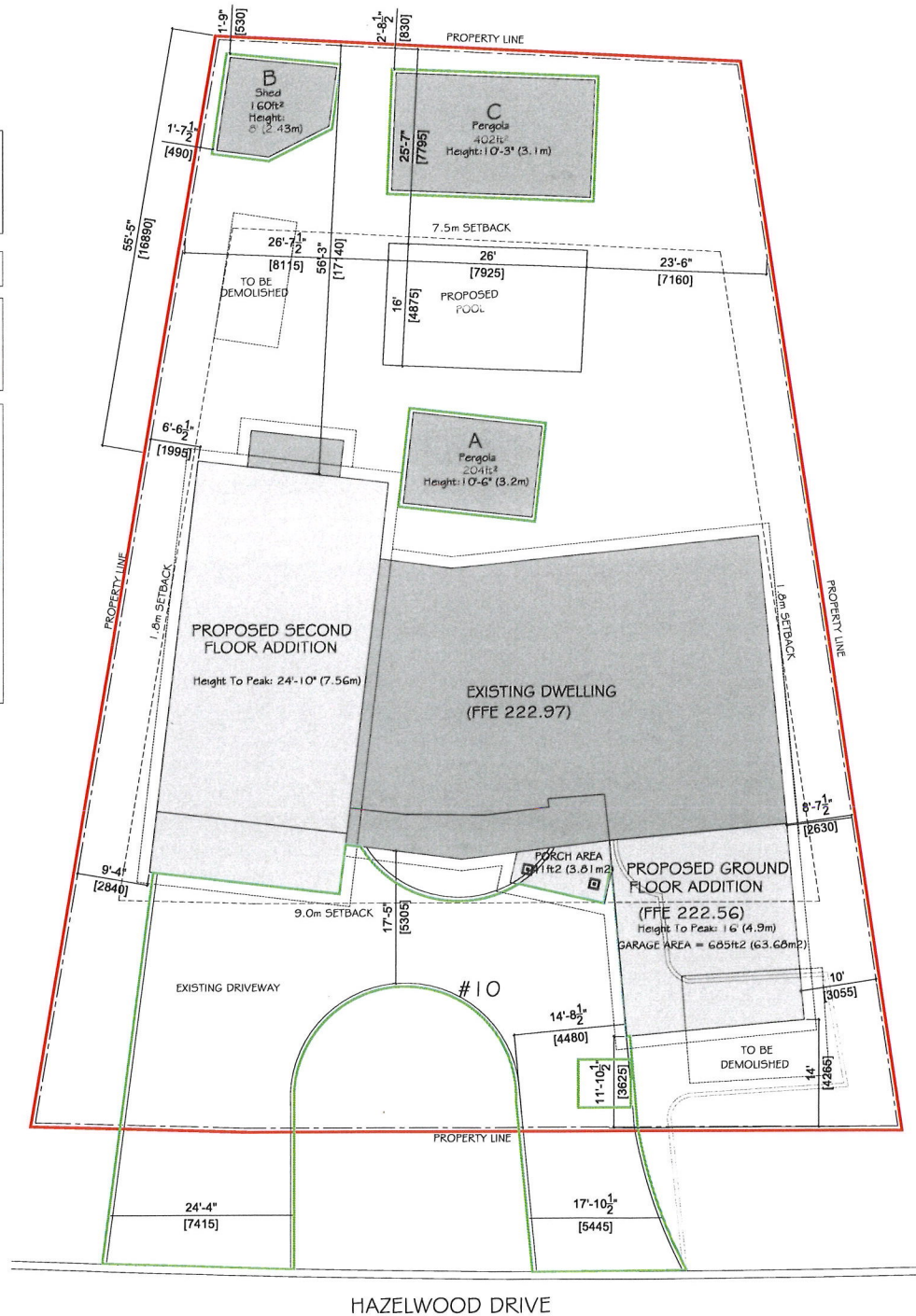
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PRELIMINARY- FOR REVIEW





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SITE STATISTICS	
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TOTAL	= 768ft <sup>2</sup> (71.34m <sup>2</sup> )



1 SITE PLAN  
0.01 1/8" = 1'-0" AUGUST 29/2024

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INTERIOR DESIGN

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PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

SITE PLAN  
MINOR VARIANCE

SCALE: AS NOTED

REVISIONS:

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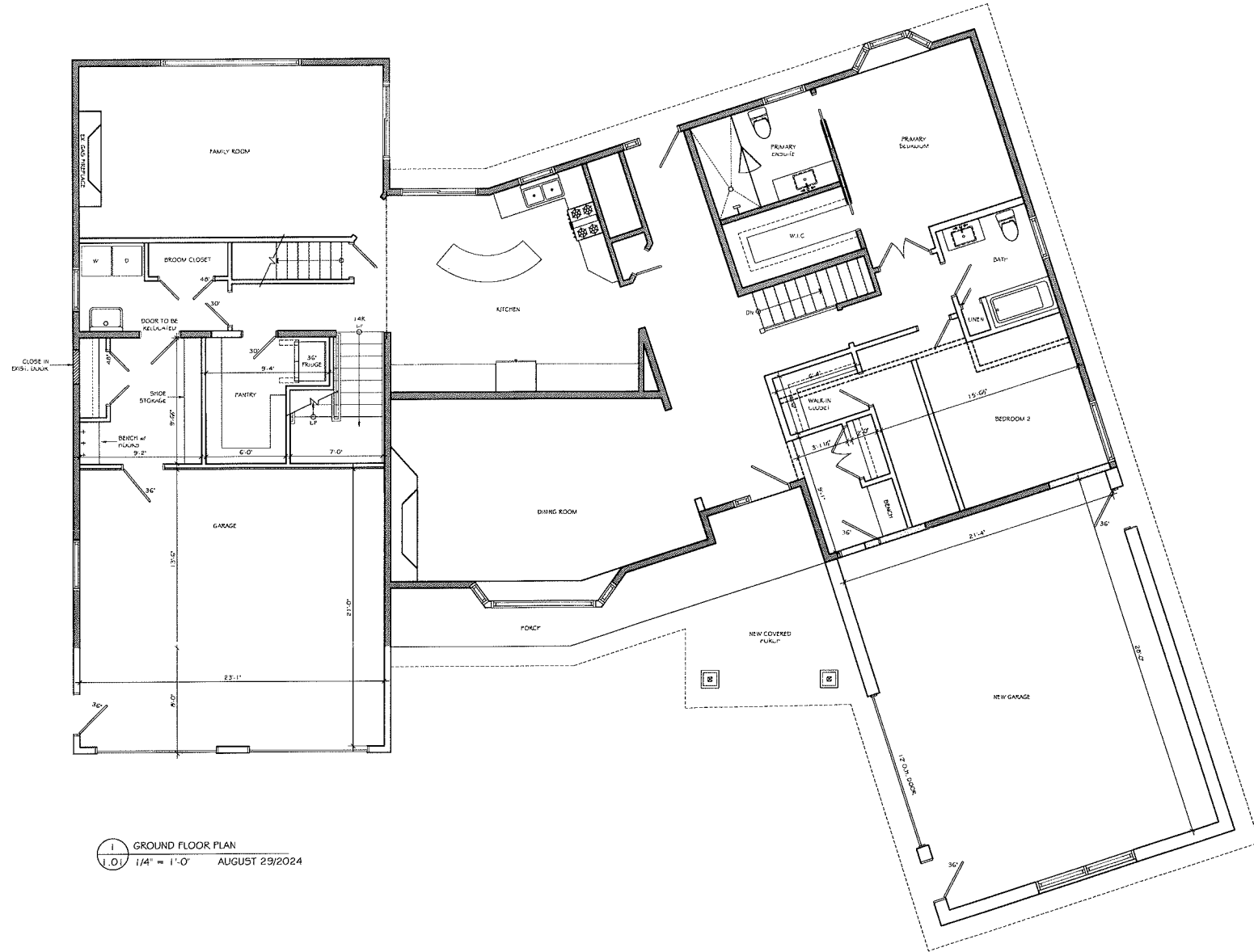
DRAWING #:

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PRELIMINARY- FOR REVIEW







1 GROUND FLOOR PLAN  
1/4" = 1'-0" AUGUST 29/2024



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PROJECT:

**GRAIEB RESIDENCE**

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

**GROUND FLOOR PLAN**

SCALE: AS NOTED

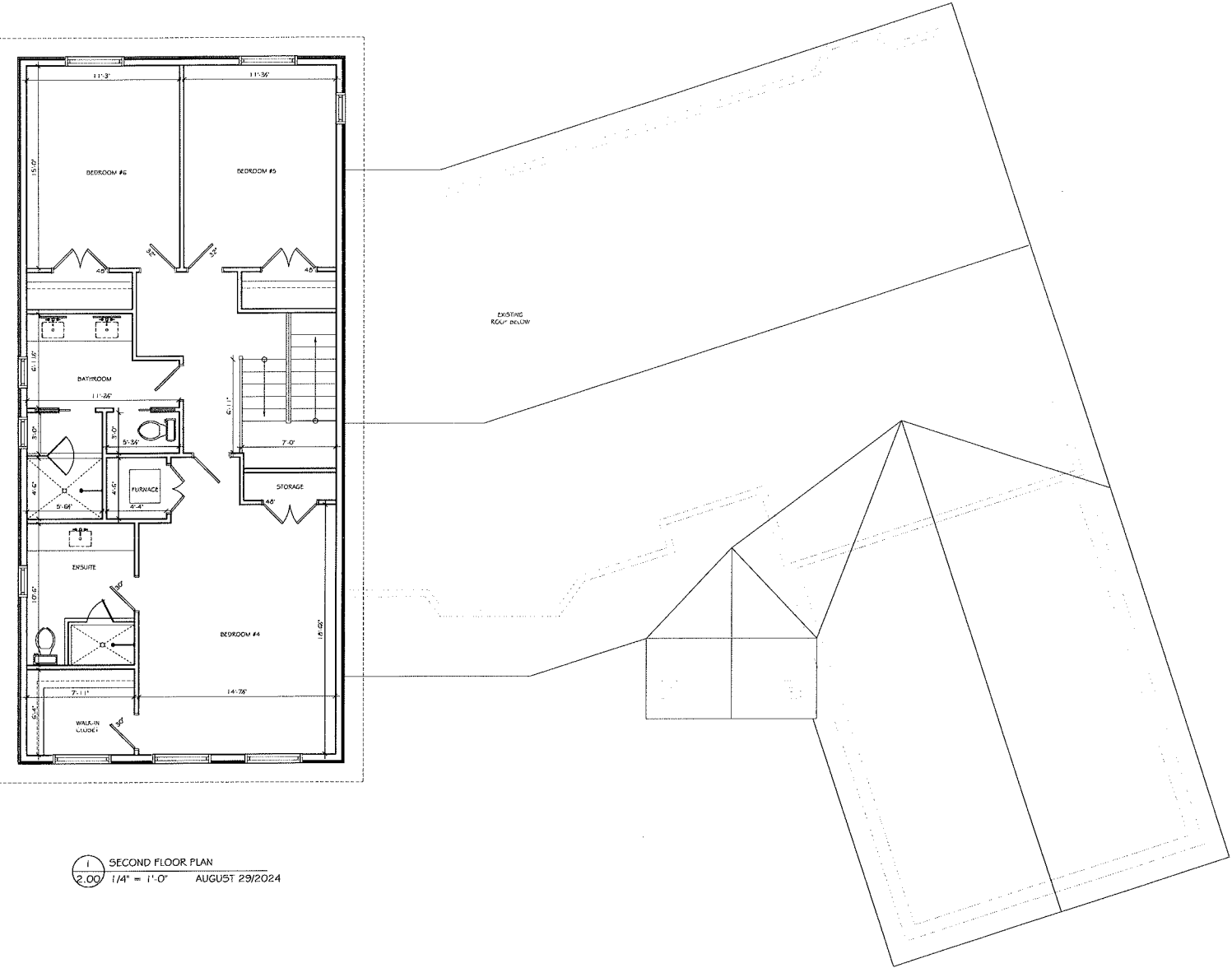
REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

**1.01**

**PRELIMINARY- FOR REVIEW**



1 SECOND FLOOR PLAN  
2.00 1/4" = 1'-0" AUGUST 29/2024

PRELIMINARY- FOR REVIEW



ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

16 Mountainview Rd S, Unit 305  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
www.alanakellydesign.ca

DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE  
FOR GENERAL PURPOSES ONLY. G.C. AND  
SUBCONTRACTORS SHALL CHECK AND VERIFY ALL  
DIMENSIONS ON SITE AND REPORT ANY  
DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK  
PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED  
AND APPROVED BY DESIGNER. ALL DRAWINGS ARE  
THE PROPERTY OF THE DESIGNER AND MUST BE  
RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

SECOND FLOOR PLAN

SCALE: AS NOTED

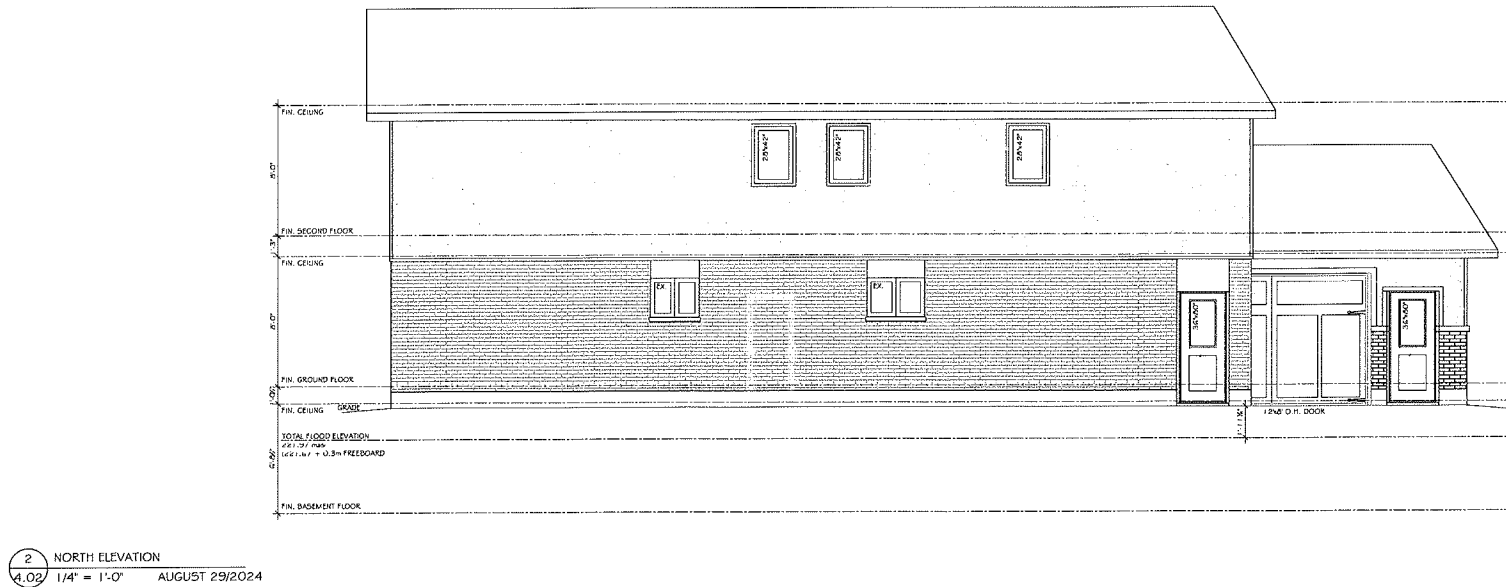
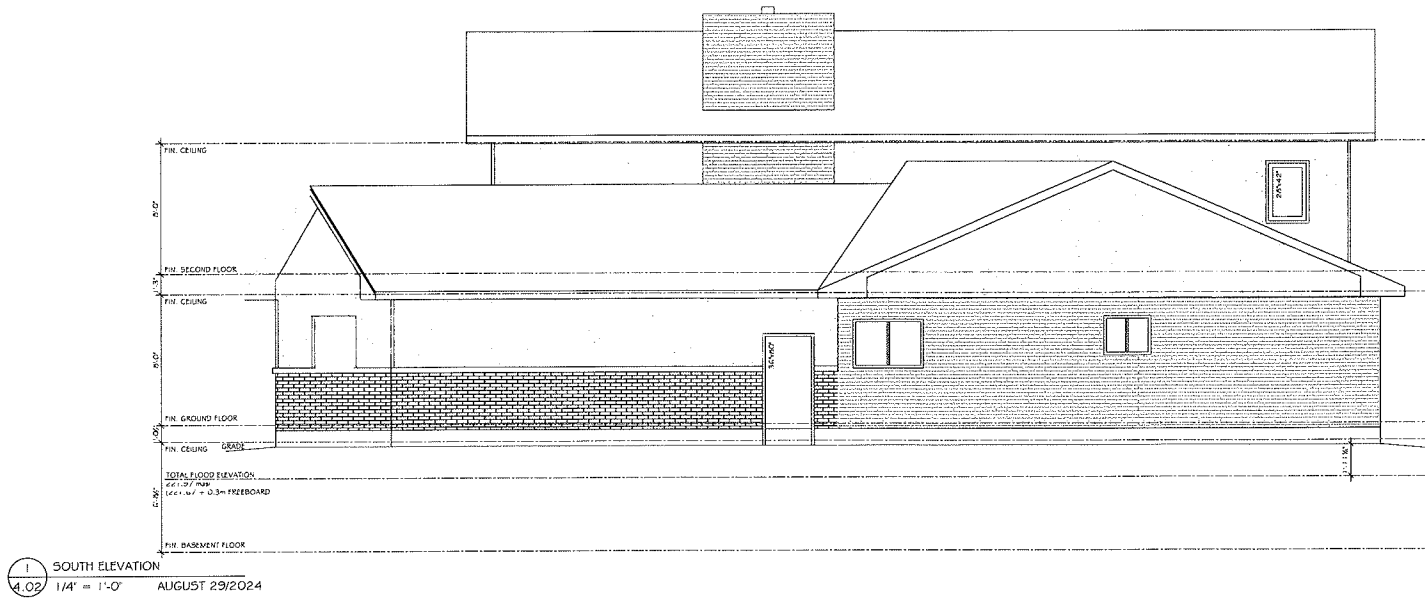
REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

2.00





16 Mountainview Rd S, Unit 305  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
www.alanakellydesign.ca

DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY. G.C. AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:

GRAIEB RESIDENCE

10 Hazelwood Dr  
Brampton, Ontario

DRAWING:

NORTH & SOUTH ELEVATIONS

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:

4.02

PRELIMINARY- FOR REVIEW

# Zoning Non-compliance Checklist

File No.  
A - 2024 - 0068

Applicant: Alana + Kelly Design Co Ltd  
Address: 10 Hazelwood Dr  
Zoning: Mature Neighborhood, R1A (2)  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
BUILDING FRONT SETBACK	To permit a front yard setback of 0.855m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 42%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/02/27

Date



# Zoning Non-compliance Checklist

File No.  
A-2024-0868

Applicant: Alana + Kelly Design Co Ltd  
Address: 10 Hazelwood Dr  
Zoning: Mature Neighborhood, R1A (2)  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
BUILDING FRONT SETBACK	To permit a front yard setback of 3.625m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 36.6%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/09/13

Date

Received / Revised

JUL 17 2024

Committee of Adjustment



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) BAIGH GRAEB  
Address 10 Hazelwood Drive, Brampton, Ontario L6S 1B3  
Phone # 416-858-8078 Fax #  
Email billy2020@rogers.com

2. Name of Agent Alana + Kelly Design Co. Ltd.  
Address 16 Mountainview Road South, Unit 305  
Georgetown, Ontario L7G 4K1  
Phone # 905-873-4993 Fax #  
Email alana@alanakellydesign.ca

3. Nature and extent of relief applied for (variances requested):  
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.  
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 1.6m.  
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.34 square metres.  
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 39%.

4. Why is it not possible to comply with the provisions of the by-law?  
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp

5. Legal Description of the subject land:  
Lot Number 10  
Plan Number/Concession Number 717  
Municipal Address 10 Hazelwood Drive, Brampton, Ontario

6. Dimension of subject land (in metric units)  
Frontage 34.51m  
Depth 43m  
Area 1207.74m2

7. Access to the subject land is by:  
Provincial Highway ☐  
Municipal Road Maintained All Year ☒  
Private Right-of-Way ☐  
Seasonal Road ☐  
Other Public Road ☐  
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	10.67m
Rear yard setback	15.54m
Side yard setback	2.63m
Side yard setback	2.49m

PROPOSED

Front yard setback	1.61m
Rear yard setback	17.40m
Side yard setback	2.63m
Side yard setback	1.99m

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Existing Single Detached Dwellings
12. Proposed uses of subject property: Single Detached Dwellings
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A17-024	Decision Approved	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent \_\_\_\_\_

DATED AT THE Town of Halton Hills OF Region of Halton  
THIS 14 DAY OF July, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen, OF THE Town OF Halton Hills  
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Halton Hills  
IN THE Region OF Halton  
THIS 14 DAY OF July

Signature of Applicant or Authorized Agent \_\_\_\_\_

A Commissioner etc.



FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer \_\_\_\_\_

Date \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_

Received / Revised

Date Application Deemed Complete by the Municipality \_\_\_\_\_

Revised 2022/02/17

JUL 17 2024

Committee of Adjustment

FILE NUMBER: A-2524-0068

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Baligh and Nora Graieb  
**Address** 10 Hazelwood Drive, Brampton, Ontario L6S 1B3

**Phone #** 416-858-8078 **Fax #** \_\_\_\_\_  
**Email** aligra@rogers.com

2. **Name of Agent** Alana + Kelly Design Co. Ltd  
**Address** 16 Mountainview Road South - Unit 202  
Georgetown, Ontario

**Phone #** 905-873-4993 **Fax #** \_\_\_\_\_  
**Email** alana@alanakellydesign.ca

3. **Nature and extent of relief applied for (variances requested):**  
To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%.  
To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 0.855m.  
To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres.  
To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 42%.

4. **Why is it not possible to comply with the provisions of the by-law?**  
Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5. **Legal Description of the subject land:**  
**Lot Number** 10  
**Plan Number/Concession Number** 717  
**Municipal Address** 10 Hazelwood Drive, Brampton, Ontario

6. **Dimension of subject land (in metric units)**  
**Frontage** 34.51m  
**Depth** 43m  
**Area** 1207.74m2

7. **Access to the subject land is by:**  
**Provincial Highway** ☐ **Seasonal Road** ☐  
**Municipal Road Maintained All Year** ☒ **Other Public Road** ☐  
**Private Right-of-Way** ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	10.67m
Rear yard setback	15.54m
Side yard setback	2.63m
Side yard setback	2.49

**PROPOSED**

Front yard setback	0.855m
Rear yard setback	15.54m
Side yard setback	2.63m
Side yard setback	2.63m

10. Date of Acquisition of subject land: Unknown

11. Existing uses of subject property: Existing Single Detached Dwellings

12. Proposed uses of subject property: Single Detached Dwellings

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: Unknown

15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A17-024	Decision Approved	Relief Carport/Accessory Structures
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Halton Hills OF The Region of Halton  
THIS 9th DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alana Nielsen, OF THE Town OF Halton Hills  
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

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DECLARED BEFORE ME AT THE

Town OF Halton Hills  
IN THE Region OF  
Halton THIS 9th DAY OF  
February, 2024

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

A Commissioner for the Province of Ontario



FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

Mature Neighborhood, R1A(2)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar  
Zoning Officer

2024/02/27  
Date

DATE RECEIVED

MAR. 4, 2024

Date Application Deemed  
Complete by the Municipality

VL

Revised 2022/02/17



### Owner Authorization

Alana + Kelly Design Co.  
Alana Nielsen  
905-873-4993  
alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive  
Municipality: Brampton

Signature: *billy Graieb*  
billy Graieb (Jun 25, 2023 12:20 EDT)  
Print name: billy Graieb  
Date: Jun 25, 2023  
Phone: 4168588078  
Email : aligra@rogers.com

Signature: *billy Graieb*  
billy Graieb (Jun 25, 2023 12:20 EDT)  
Print name: billy Graieb  
Date: Jun 25, 2023  
Phone: 4168588078  
Email : aligra@rogers.com

**PERMISSION TO ENTER**

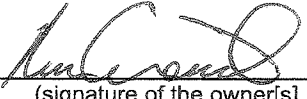
To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
coa@brampton.ca

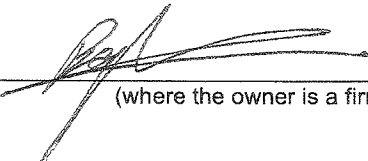
LOCATION OF THE SUBJECT LAND: 10 HAZELWOOD DRIVE, BRAMPTON

I/We, NORA & BALIGH GRAIEB  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 4th day of March, 2024

 NORA GRAIEB  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

 BALIGH GRAIEB  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

## 8. Existing Buildings

### **Existing Detached Dwelling:**

Ground Floor Area - 242.71 sqm

Gross Floor Area - 292.57 (Ground) + 252.46 (Basement)

Number of Storeys 1 Width : 24.076 m

Length: 13.586m

### **Accessory Building A Ground Floor Area: 18.95 sqm**

Number of Storeys: 1 Width: 5.13m

Length: 3.66m

### **Accessory Building B**

Ground Floor Area: 14.86 sqm

Number of Storeys: 1

Width: 4.27m

Length: 3.76m

### **Accessory Building C**

Ground Floor Area: 37.35 sqm

Number of Storeys: 1

Width: 7.95m

Length: 4.69m

## Proposed Building

### **Proposed Detatched Dwelling**

Ground Floor Area - 347.96 sqm

Gross Floor Area: 139.41 sqm (Second) + 399.91sqm (Ground) + 270.02sqm (Basement)

Total: 890.34 sqm

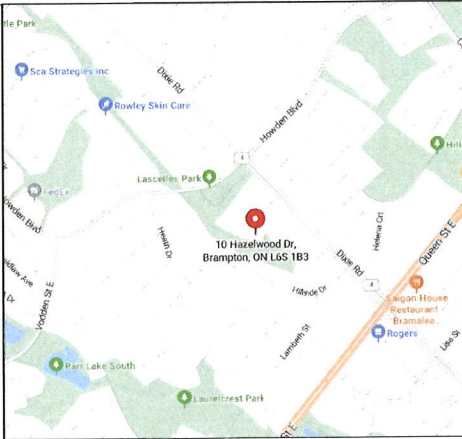
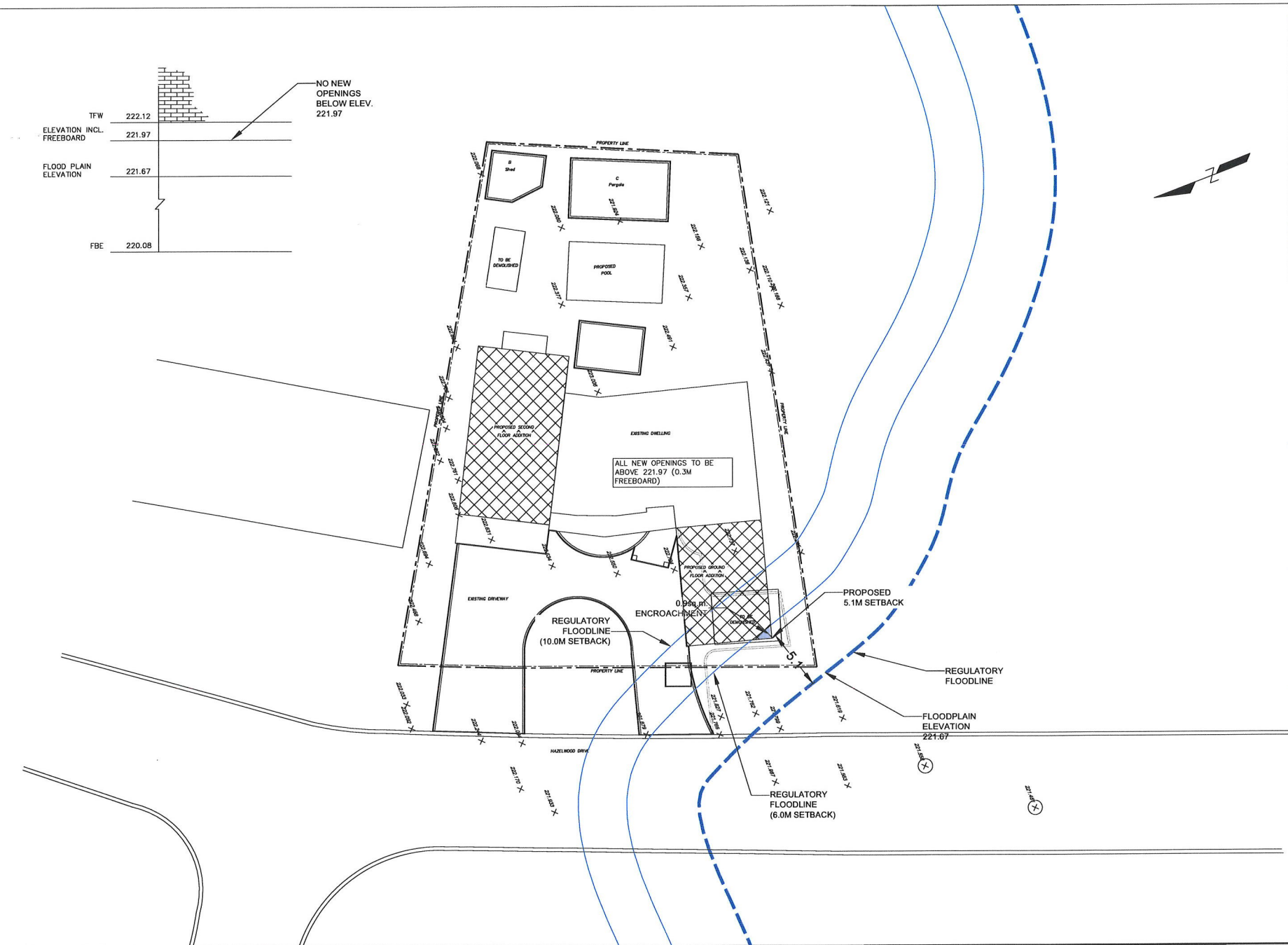
**Number of Storeys: 2**

**Width : 24.076 m**

**Length: 26.42m**

TFW	222.12
ELEVATION INCL. FREEBOARD	221.97
FLOOD PLAIN ELEVATION	221.67
FBE	220.08

NO NEW OPENINGS BELOW ELEV. 221.97



LEGEND	
PROPERTY BOUNDARY	---
EXISTING GROUND ELEVATION	x 100.00
PROPOSED ADDITION	XXXXXX
FLOODLINE, Z = 221.67m	---

No	Date	Drawn	App'd	Revisions
1.	2024-06-27	H.S.	G.M.	FIRST SUBMISSION

Design	G.K.	Checked	G.M.
Drawn	H.S.	Checked	G.M.
Scale	1:100		
Date	June 27, 2024		



www.amengineering.ca

10 HAZELWOOD DR,  
BRAMPTON, ON L6S 1B3

Project No. 2023-10104

Drawing No. 2023-10104-01

Received / Revised

JUL 03 2024

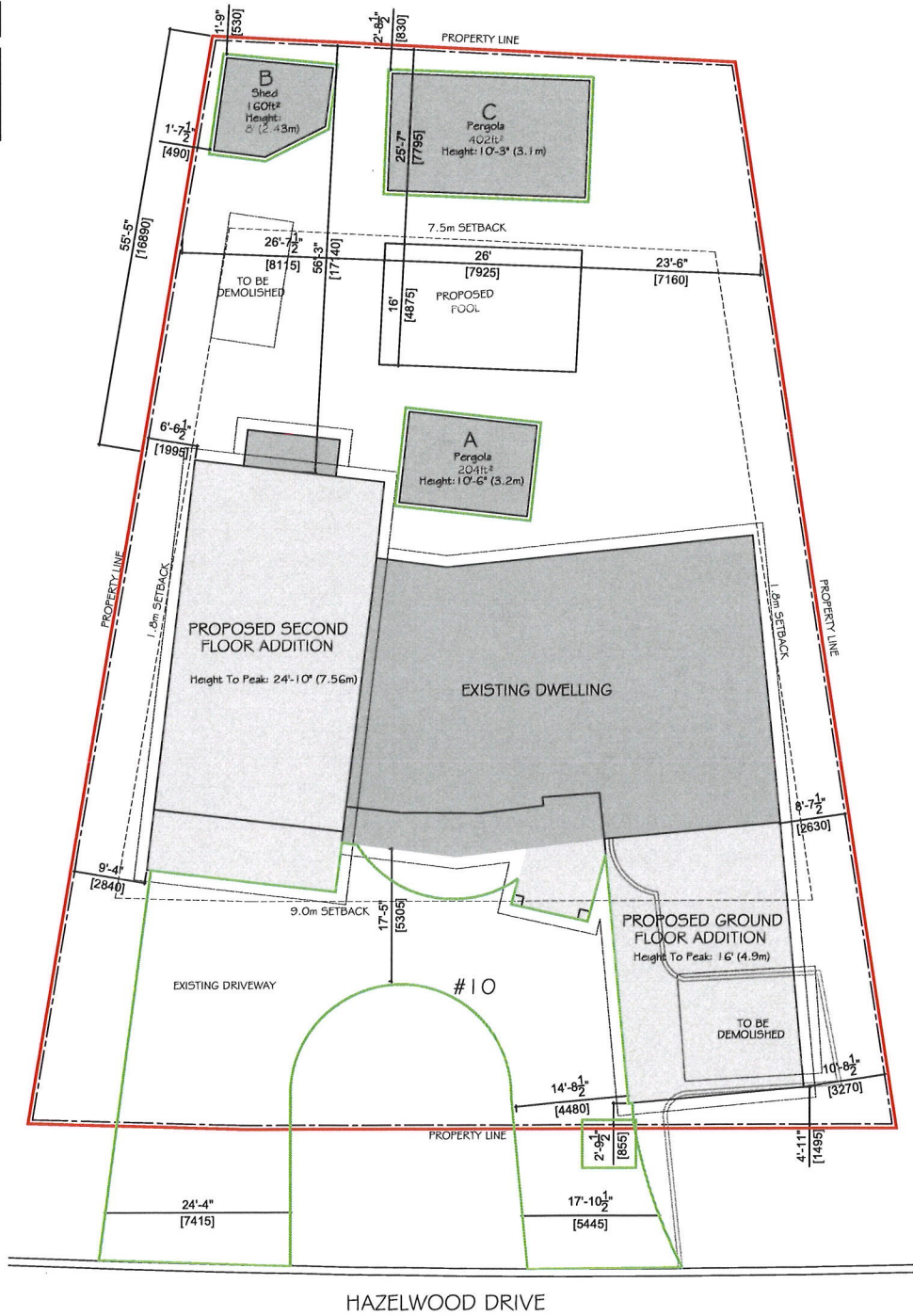
Committee of Adjustment



ALLOWABLE LANDSCAPE % = 70% = 1812ft<sup>2</sup> (168.36m<sup>2</sup>)

LANDSCAPE OPEN SPACE  
FRONT YARD AREA = 2589ft<sup>2</sup> (240.53m<sup>2</sup>)  
DRIVEWAY AREA = 1548ft<sup>2</sup> (143.80m<sup>2</sup>)  
PROPOSED = 40% = 1041ft<sup>2</sup> (96.73m<sup>2</sup>)  
LANDSCAPE %

SITE STATISTICS	
ZONING	R1A(2)
LOT SIZE	13,000ft <sup>2</sup> (1,207.74m <sup>2</sup> )
LOT COVERAGE - DETACHED DWELLING	
ALLOWABLE%	25% = 3,250ft <sup>2</sup> (301.94m <sup>2</sup> )
EXISTING	24.7% = 3,205ft <sup>2</sup> (297.75m <sup>2</sup> )
PROPOSED	17% = 2,267ft <sup>2</sup> (210.6m <sup>2</sup> )
TOTAL	42% = 5,472ft <sup>2</sup> (508.35m <sup>2</sup> )
LOT COVERAGE - ACCESSORY STRUCTURES	
ALLOWABLE	= 548.42ft <sup>2</sup> (50.94m <sup>2</sup> )
EXISTING -A	= 204ft <sup>2</sup> (18.95m <sup>2</sup> )
EXISTING -B	= 160ft <sup>2</sup> (14.86m <sup>2</sup> )
EXISTING -C	= 404ft <sup>2</sup> (37.53m <sup>2</sup> )
TOTAL	= 768ft <sup>2</sup> (71.34m <sup>2</sup> )



SITE PLAN

NTS

FEB 16/ 2024



ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

16 Mountainview Rd S, Unit 205  
Georgetown, ON  
L7G 4K1  
Office: 905-873-4993  
www.alanakellydesign.ca

DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE  
FOR GENERAL PURPOSES ONLY. S.C. AND  
SUBCONTRACTORS SHALL CHECK AND VERIFY ALL  
DIMENSIONS ON SITE AND REPORT ANY  
DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK  
PROCEEDS. FINAL SHOP DRAWINGS TO BE REVIEWED  
AND APPROVED BY DESIGNER. ALL DRAWINGS ARE THE  
PROPERTY OF THE DESIGNER AND MUST BE RETURNED  
UPON COMPLETION OF THE PROJECT.

PROJECT:

GRAIEB RESIDENCE  
10 Hazelwood Drive,  
Brampton, Ontario

DRAWING:

SITE PLAN  
MINOR VARIANCE

SCALE: NTS

REVISIONS:

NO.	DATE	COMMENTS
01	AUG 2/23	DESIGN DRAFT 1
02	SEPT 6/23	DESIGN DRAFT 2
03	NOV 3/23	DESIGN DRAFT 3
04	NOV 16/23	DESIGN DRAFT 4
05	NOV 21/23	DESIGN DRAFT 5
06	NOV 28/23	DESIGN DRAFT 6
07	FEB 07/24	MINOR VARIANCE
08	FEB 09/24	MINOR VARIANCE 2

DRAWING #:

0.01



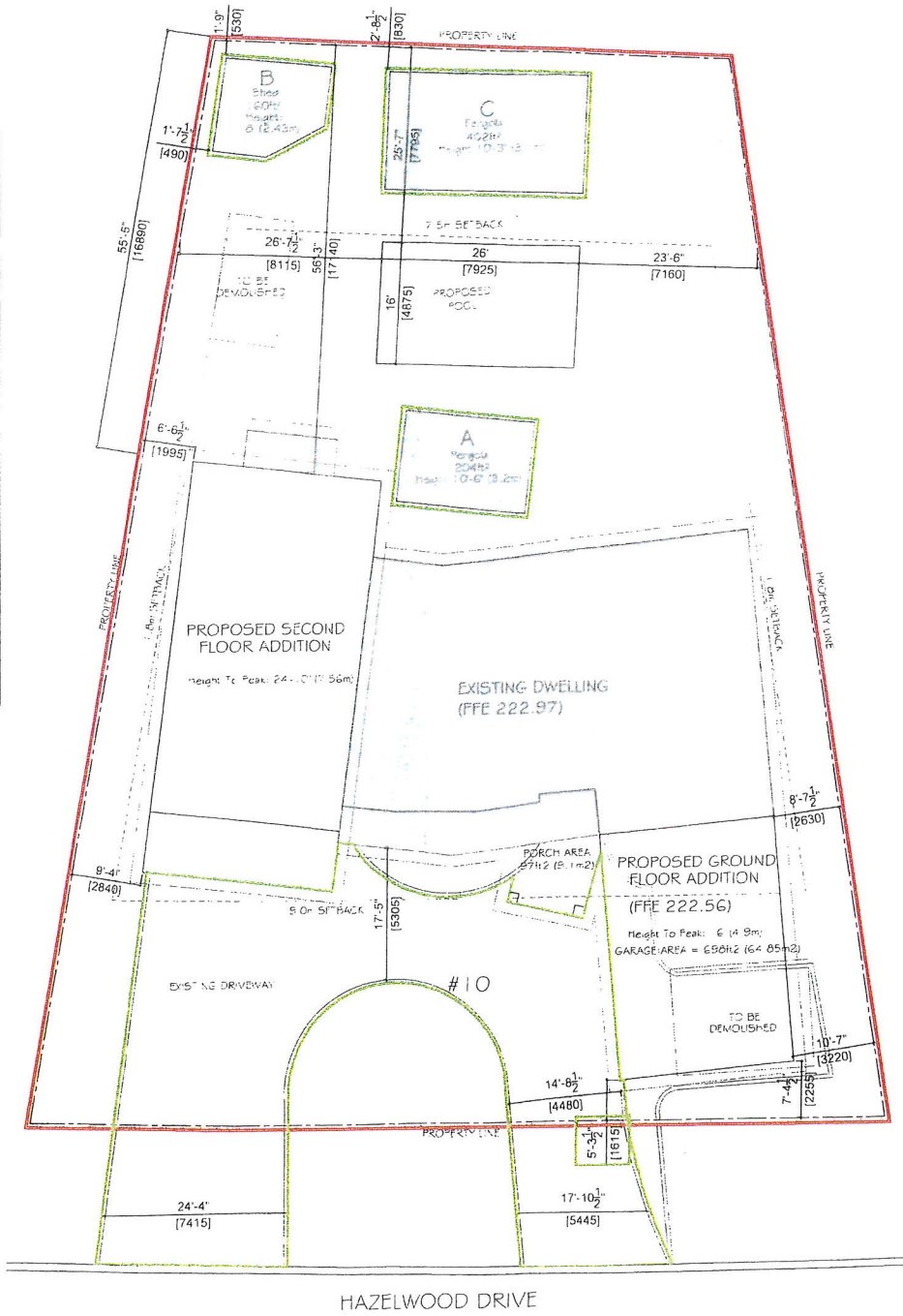
SCOPE OF WORK  
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% = 1,812ft<sup>2</sup> (168,36m<sup>2</sup>)

LANDSCAPE OPEN SPACE  
FRONT YARD AREA = 2,647ft<sup>2</sup> (245,91m<sup>2</sup>)  
DRIVEWAY AREA = 1,548ft<sup>2</sup> (143,80m<sup>2</sup>)  
PROPOSED = 40% = 1,041ft<sup>2</sup> (96,73m<sup>2</sup>)  
LANDSCAPE %

SITE STATISTICS  
ZONING R1A(2)  
LOT SIZE 3,000ft<sup>2</sup> (277,78m<sup>2</sup>)  
LOT COVERAGE - DETACHED DWELLING  
ALLOWABLE% 25% = 3,250ft<sup>2</sup> (301,94m<sup>2</sup>)  
EXISTING 25% = 3,271ft<sup>2</sup> (303,89m<sup>2</sup>)  
PROPOSED 8% = 991ft<sup>2</sup> (92,07m<sup>2</sup>)  
ACCESS. STRUCT. 6% = 768ft<sup>2</sup> (71,34m<sup>2</sup>)  
TOTAL 39% = 5,030ft<sup>2</sup> (467,30m<sup>2</sup>)

LOT COVERAGE - ACCESSORY STRUCTURES  
ALLOWABLE = 548,42ft<sup>2</sup> (50,94m<sup>2</sup>)  
EXISTING -A = 204ft<sup>2</sup> (18,95m<sup>2</sup>)  
EXISTING -B = 160ft<sup>2</sup> (14,86m<sup>2</sup>)  
EXISTING -C = 404ft<sup>2</sup> (37,53m<sup>2</sup>)  
TOTAL = 768ft<sup>2</sup> (71,34m<sup>2</sup>)



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SECOND SCALE DRAWINGS FOR THE PURPOSES OF THE PROJECT. ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE ANY WORK BEGINS. ALL DRAWINGS TO BE REVIEWED AND APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE PROJECT.

PROJECT:  
GRAIEB RESIDENCE  
10 Hazelwood Drive,  
Brampton, Ontario

DRAWING:  
SITE PLAN  
MINOR VARIANCE

SCALE: NTS

REVISIONS

NO	DATE	COMMENTS
01	AUG 2/23	DESIGN DRAFT 1
02	SEPT 6/23	DESIGN DRAFT 2
03	NOV 3/23	DESIGN DRAFT 3
04	NOV 16/23	DESIGN DRAFT 4
05	NOV 21/23	DESIGN DRAFT 5
06	NOV 28/23	DESIGN DRAFT 6
07	FEB 07/24	MINOR VARIANCE
08	FEB 09/24	MINOR VARIANCE 2
09	JULY 15/24	MINOR VARIANCE 3

DRAWING #:

0.01

Committee of Adjustment

JUL 17 2024

Received / Revised

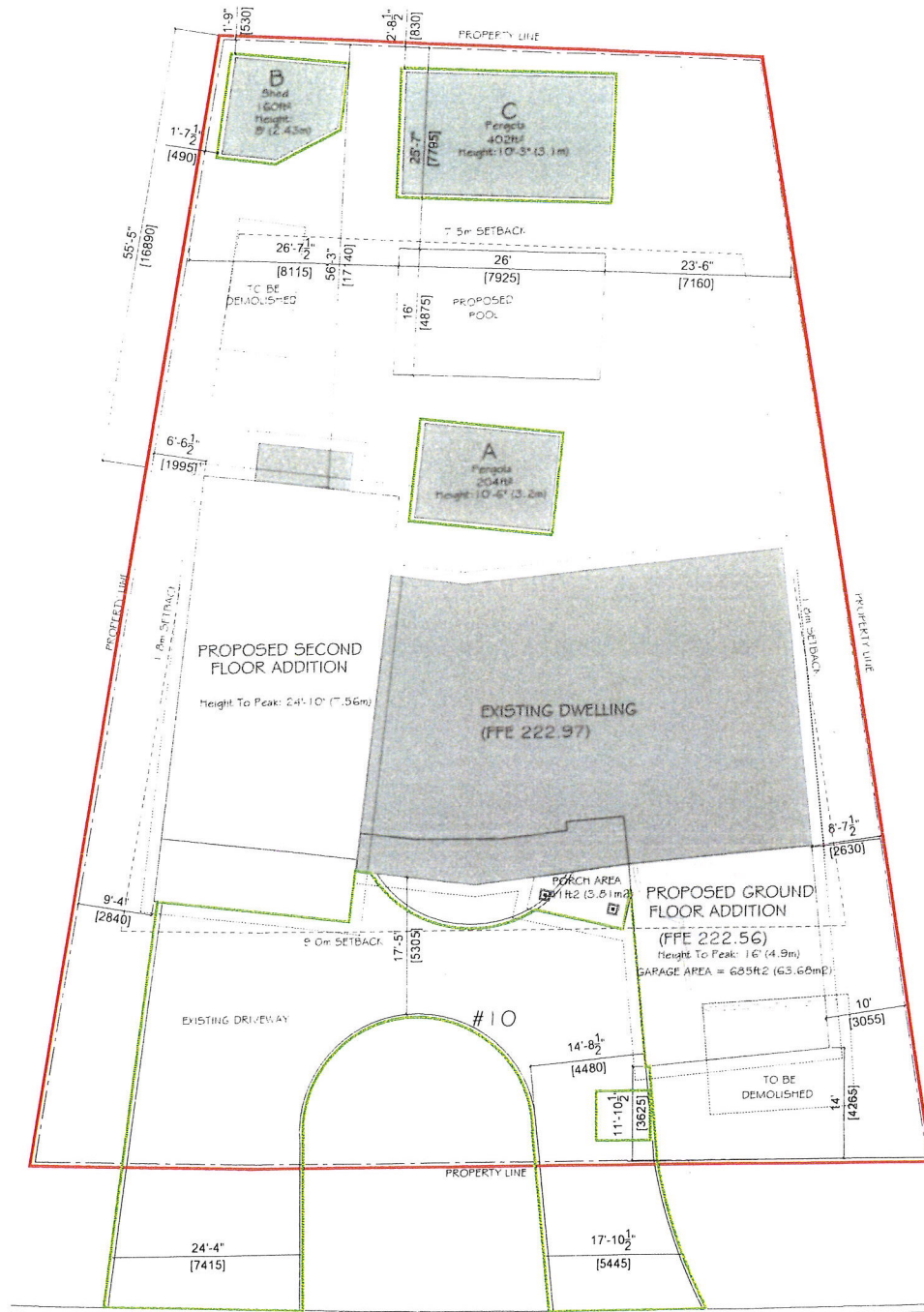
SCOPE OF WORK  
PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE

ALLOWABLE LANDSCAPE % = 70% = 1.8.2ft<sup>2</sup> (65.36m<sup>2</sup>)  
LANDSCAPE OPEN SPACE  
FRONT YARD AREA = 2.9.2ft<sup>2</sup> (270.53m<sup>2</sup>)  
DRIVEWAY AREA = 54.6ft<sup>2</sup> (5.03m<sup>2</sup>)  
PROPOSED LANDSCAPE % = 5.5% = 1.50.1ft<sup>2</sup> (39.45m<sup>2</sup>)

SITE STATISTICS  
ZONING R-42  
LOT SIZE 3.000ft<sup>2</sup> (207.74m<sup>2</sup>)  
LOT COVERAGE - DETACHED DWELLING  
ALLOWABLE = 2.9.2ft<sup>2</sup> (270.53m<sup>2</sup>)  
EXISTING = 3.27.1ft<sup>2</sup> (303.89m<sup>2</sup>)  
PROPOSED = 7.68ft<sup>2</sup> (71.34m<sup>2</sup>)  
ACCESSORY STRUCTURE  
TOTAL = 4.768ft<sup>2</sup> (442.05m<sup>2</sup>)

LOT COVERAGE - ACCESSORY STRUCTURES  
ALLOWABLE = 54.6ft<sup>2</sup> (5.03m<sup>2</sup>)  
EXISTING - A = 20.4ft<sup>2</sup> (1.89m<sup>2</sup>)  
EXISTING - B = 1.60ft<sup>2</sup> (1.48m<sup>2</sup>)  
EXISTING - C = 40.4ft<sup>2</sup> (37.53m<sup>2</sup>)  
TOTAL = 76.6ft<sup>2</sup> (71.34m<sup>2</sup>)

1 SITE PLAN  
0.01MV 1/8" = 1'-0" AUGUST 29/2024



HAZELWOOD DRIVE

Received / Revised  
SEP 13 2024  
Committee of Adjustment

PRELIMINARY- FOR REVIEW

AK

ALANA + KELLY  
DESIGN CO.

ARCHITECTURAL TECHNOLOGY  
INTERIOR DESIGN

26 Richmond Ave. P.O. Box 305  
Georgetown, ON  
L7G 4K1  
Office: 905.877.4961  
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PROJECT:  
GRAIEB RESIDENCE  
10 Hazelwood Dr  
Brampton, Ontario

DRAWING:  
SITE PLAN

SCALE: AS NOTED

REVISIONS:

NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3	NOV 3/23	DESIGN DRAFT 3
4	NOV 16/23	DESIGN DRAFT 4
5	NOV 21/23	DESIGN DRAFT 5
6	NOV 28/23	DESIGN DRAFT 6
7	APR 23/23	DESIGN DRAFT 7
8	AUG 2/24	ISSUED TO TRCA
9	AUG 29/24	DESIGN DRAFT 8

DRAWING #:  
0.01MV

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# Zoning Non-compliance Checklist

File No.  
A - 2024 - 0068

Applicant: Alana + Kelly Design Co Ltd  
Address: 10 Hazelwood Dr  
Zoning: Mature Neighborhood, R1A (2)  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
BUILDING FRONT SETBACK	To permit a front yard setback of 0.855m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 42%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/02/27

Date