



2.

Received / Revised

NOV 2 5 2024

Committeee of Adjustment



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete) -0068

A-2024

FILE NUMBER:

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer. Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be NOTE: accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

Baligh and Nora Graieb 1. Name of Owner(s) Address 10 Hazelwood Drive, Brampton, Ontario

Phone #	416-858-8078	Fax #	
Email	billygraieb@rogers.com		
Name of A	Agent Alana + Kelly Design Co. Ltd		
Name of Address	16 Mountainview Road South - Unit 305	, 	
		, 	
	16 Mountainview Road South - Unit 305	Fax #	

3. Nature and extent of relief applied for (variances requested):

To allow for a front yard landscape open space area of 41% whereas the minimum landscape open space area is 70%. To reduce the front setback to an addition a front yard setback of 2.04m. To reduce the interior side yard setback to a second storey addition to 1.9m. To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres. To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 40%.

Why is it not possible to comply with the provisions of the by-law? 4

Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp.

5. Legal Description of the subject land: Lot Number 10

Plan Number/Conce	ssion Number 717	
Municipal Address	10 Hazelwood Drive, Brampton, Ontario	

Dimension of subject land (in metric units) 6.

Frontage 34.51m

Depth	43m		
Area	1207.74m2		

Access to the subject land is by:
Provincial Highway
Municipal Road Maintained All Year
Private Right-of-Way

Season	al Ro	bad	
Other P	ublic	Road	l
Water			



8. Particulars of all buildings and structures on or proposed for the subject land: (specify <u>in metric units</u> ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land: See Attached

^{9.} Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in <u>metric units</u>)

	EXISTING		
	Front yard setback	10.67m	
	Rear yard setback	15.54m	
	Side yard setback	1.9m	
	Side yard setback	2.02m	
	PROPOSED		
	Front yard setback	2m	
	Rear yard setback	15.54m	
	Side yard setback	1.9m	
	Side yard setback	2.02m	
10.	Date of Acquisition of	of subject land:	Unknown
	•	•	
11.	Existing uses of sub	ject property:	Existing Single Detached Dwellings
12.	Proposed uses of su	ibject property:	Single Detached Dwellings
13.	Existing uses of abu	itting properties:	Residential
13.	Existing uses of abu	itting properties.	
14.	Date of construction	of all buildings & stru	ictures on subject land: Unknown
		J	
15.	Length of time the e	xisting uses of the sub	bject property have been continued: Unknown
16. (a)		s existing/proposed?	
	Municipal]	Other (specify)
	Well	1	
/L\	What sources disper	a lia (will be provided)	
(b)		sal is/will be provided? T	
	Municipal	1	Other (specify)
	Septic	4	
(c)	What storm drainage	e system is existing/pr	roposed?
(~)	Sewers]	
	Ditches]	Other (specify)
	Swales]	
		_	

	-3-	
17. Is the subject pro subdivision or co		nder the Planning Act, for approval of a plan of
Yes 🗌	No 🗸	
If answer is yes,	provide details: File #	Status
18. Has a pre-consul	tation application been filed?	
Yes	No 🔽	
19. Has the subject p	property ever been the subject of an ap	plication for minor variance?
Yes 🔽	No 🗌 Unknown	
If answer is yes,	provide details:	
File #	Decision Approved Decision Decision	Relief Relief Relief
		(A)
	11,115	nature of Applicant(s) or Authorized Agent
DATED AT THE TOW		on of Halton
THIS 25 DAY	OF November 2024	
THE SUBJECT LANDS, WE THE APPLICANT IS A CO	RITTEN AUTHORIZATION OF THE OWN	A ANY PERSON OTHER THAN THE OWNER OF ER MUST ACCOMPANY THE APPLICATION. IF HALL BE SIGNED BY AN OFFICER OF THE IXED.
	Nijelson	- town - Halton Hills
AIGHU	NIELSER, OF TH	and a second
IN THE KUGILON O		S SOLEMN DECLARATION CONSCIENTIOUSLY
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DECLARED BEFORE ME A	T THE	
Tawn of He	actontills	
IN THE REGION	OF	
MISSION THIS 25	DAY OF	(Ch)
CURTIS CURTIS	<u>Si</u>	gnature of Applicant or Authorized Agent
< NIELSEN		
WHILE BEING A A Commissione	er etc.	
CLISUC #P102	FOR OFFICE USE ON	ILY
Present Official	Plan Designation:	
Present Zoning	By-law Classification:	
This application	has been reviewed with respect to the va said review are outlined on the atta	
	Zoning Officer	Date
	DATE RECEIVED	
Date App	lication Deemed	Revised 2022/02/17
Complete by	the Municipality	



Owner Authorization

Alana + Kelly Design Co. Alana Nielsen 905-873-4993 alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality:Brampton

Signature: billy Graieb (Jun 25, 2023 12:20 EDT)
Print name: billy Graieb
_{Date:} Jun 25, 2023
Phone: 4168588078
Email: billygraieb@rogers.com

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billy Graieb	

Signature: billy Graieb (Jun 25, 2023 12:20 EDT)
Print name: billy Graieb
_{Date:} Jun 25, 2023
Phone: 4168588078
Email : aligra@rogers.com

Signature: billy Graieb (Jun 25, 2023 12:20 EDT)
Print name: billy Graieb
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Phone: 4168588078
Email: aligra@rogers.com



TOTAL

SCOPE OF WORK PROPOSED ADDITION ABOVE EXISTING GARAGE ON THE EAST SIDE OF THE PROPERTY AND A PROPOSED GROUND FLOOR ADDITION ON THE WEST SIDE.

ALLOWABLE LANDSCAPE % = 70% =2,212ft² (205.50m²)

LANDSCAPE OPEN SF FRONT YARD AREA DRIVEWAY AREA	= 2,884ft ² (267.93m ²) = 1,710ft ² (158.86m ²)
PROPOSED LANDSCAPE %	= 41% =1,174ft ² (109.07m ²)
SITE STATISTICS	R1 A(2)

ALLOWABLE%	25%=	3,043ft2 (282.70m2)
EXISTING	25.3% =	3,092ft2 (287.26m2)
PROPOSED	8% =	976ft ² (90.67m ²)
ACCESS. STRUCT.	6.3% =	
TOTAL	39.7% =	4,833ft2 (449m2)
LOT COVERAGE - AC	= 215ft ²	(20m ²)
EXISTING -A	= 204ft ²	
EXISTING -A EXISTING -B EXISTING -C	$= 204 \text{ft}^2$ = 160 ft ² = 404 ft ²	(14.86m ²)

 $= 768 \text{ft}^2 (71.34 \text{m}^2)$

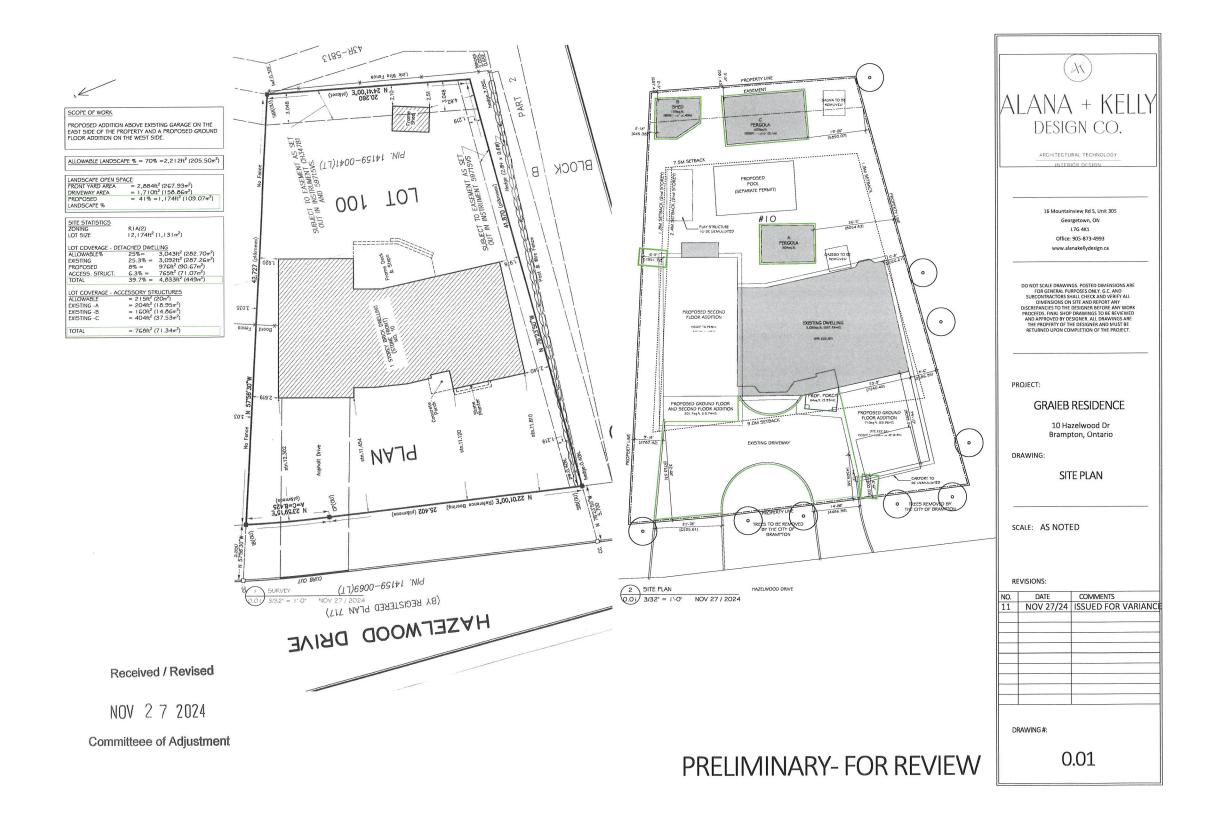


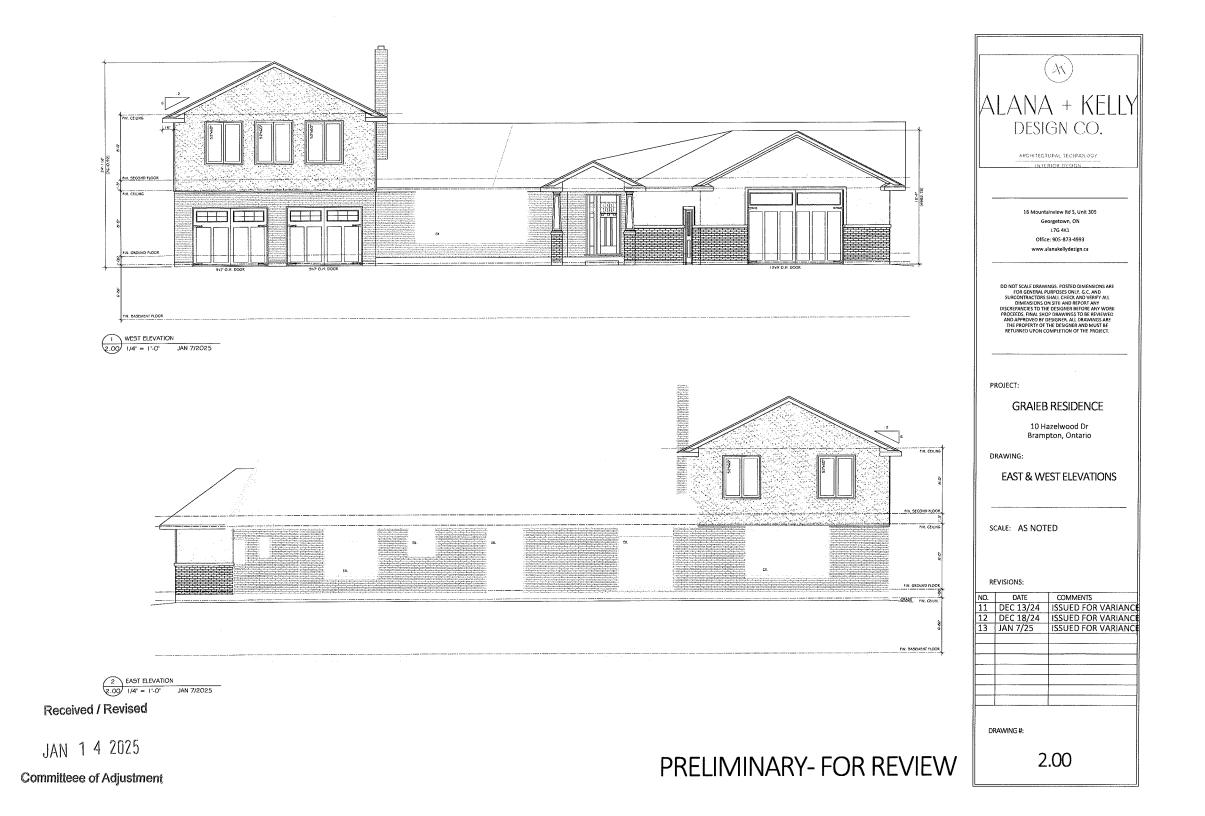
Alana + Kelly DESIGN CO. ARCHITECTURAL TECHNOLOGY INTERIOR DESIGN 16 Mountainview Rd S, Unit 305 Georgetown, ON L7G 4K1 Office: 905-873-4993 www.alanakellydesign.ca DO NOT SCALE DRAWINGS, POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY, G.C. AND SUBCOTRACTORS SHALL LEFEC AND VERITY ALL DIMENSIONS ON SITE AND REPORT ANY PROCEEDS FINAL SHOP DRAWINGS TO BE REVEYED AND AND AND AND ANY AND ANY AND ANY ANY PROCEEDS FINAL SHOP DRAWINGS TO BE REVEYED THE PROFERED OF THE DESIGNER AND MIST BE REFURNED UPON COMPLETION OF THE PROJECT. PROJECT: **GRAIEB RESIDENCE** 10 Hazelwood Dr Brampton, Ontario DRAWING: SITE PLAN SCALE: AS NOTED **REVISIONS:** DATE COMMENTS NO. 11 NOV 24/24 ISSUED FOR VARIANCI DRAWING #: 0.01MV

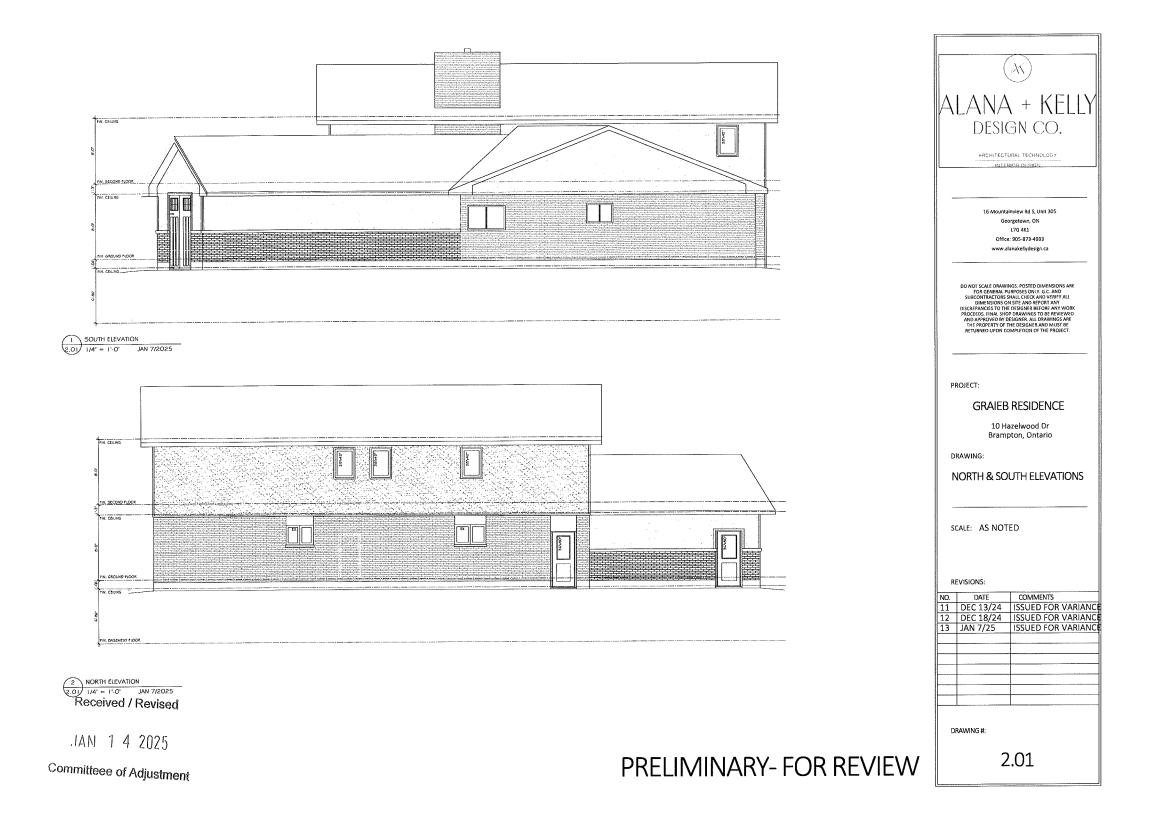
PRELIMINARY- FOR REVIEW

X

i SITE PLAN 01MV 3/32" = 1'-0" NOV 24 / 2024







GRAIEB RESIDENCE ARCHITECTURAL DESIGN PACKAGE

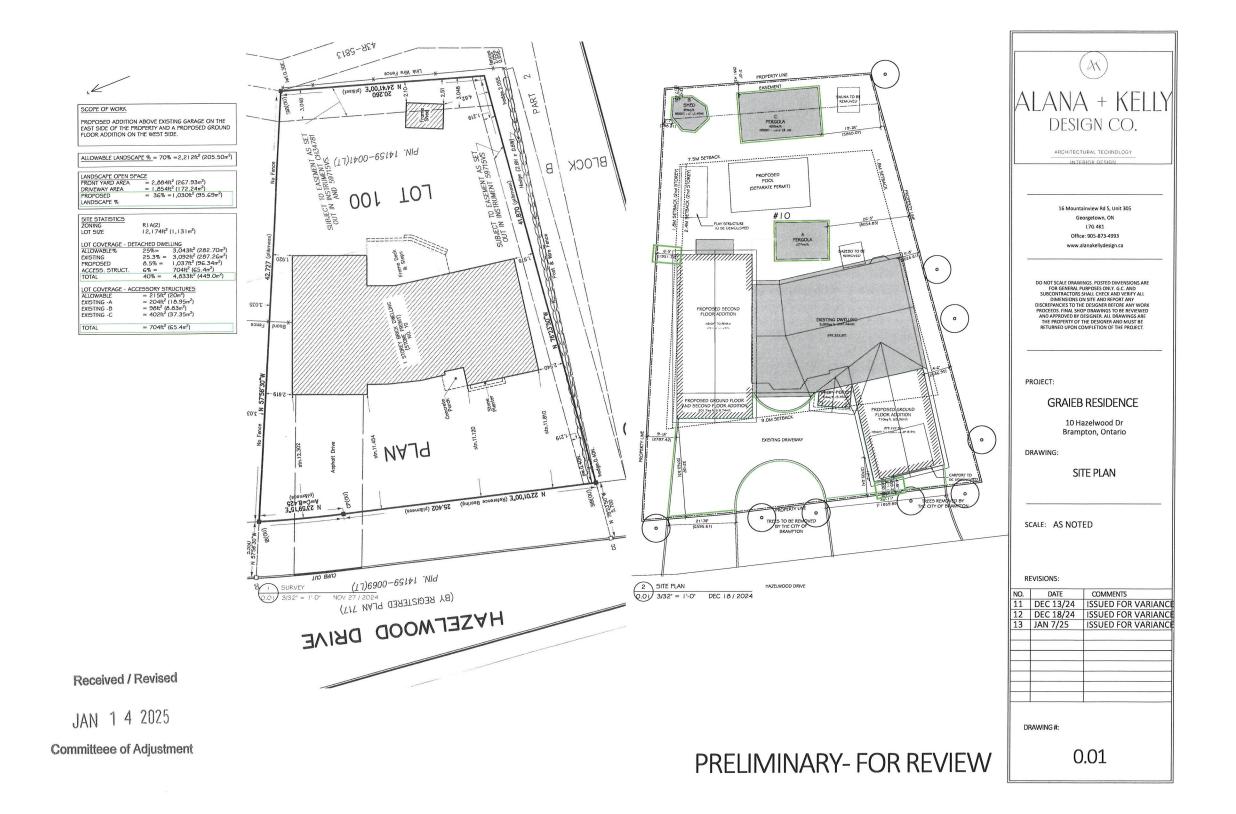
10 HAZELWOOD DRIVE, BRAMPTON ON

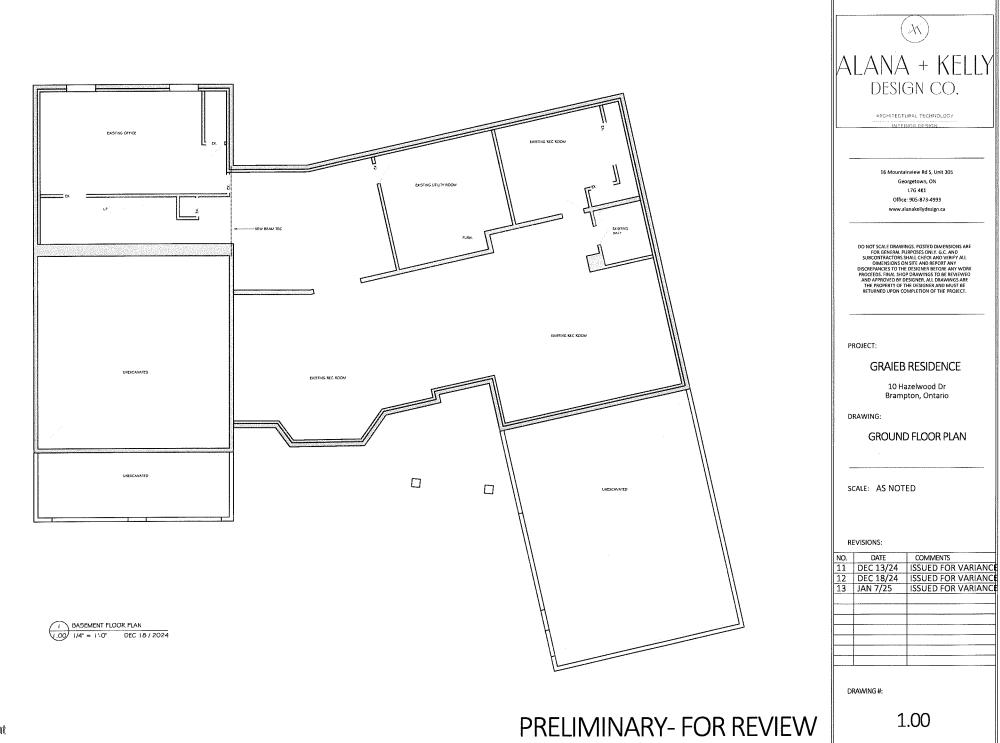
DRAWING LIST:	GENERAL NOTES		ADDITIONS TO EXIS BUILDINGS 3.1.1	
0.01 SITE PLAN	ALL DRAWINGS ARE THE PROPERTY OF ALANA+	KELLY DESIGN CO. LTD. THE DESIGNER RETAINS	COMPONENT	ADDITIONS
0.01 SITE PLAN 1.00 FOUNDATION PLAN 1.01 GROUND FLOOR 1.02 SECOND FLOOR 2.00 EAST & WEST ELEVATION 2.01 NORTH & SOUTH ELEVATION	 COPYRIGHT IN THESE DOCUMENTS WHICH MAY WITHOUT WRITTEN CONSENT. 1. ALL DRAWINGS & CONSTRUCTION TO BE D a. THE ONTARIO BUILDING CODE (LATES b. APPLICABLE LAW (AS DEFINED IN THE c. THE ONTARIO HEALTH & SAFETY ACT: d. ALL AUTHORITIES HAVING JURISDICTI 2. ALL DIMENSIONS & GRADES ON DRAWINGS COMMENCING CONSTRUCTION. ANY DIS- DESIGNER. 3. DRAWINGS ARE TO BE READ AND NOT SCA 4. ANY VARIANCE FROM THE STRUCTURAL DF CONDITIONS ENCOUNTERED AT THE JOB SI 	CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: O BUILDING CODE (LATEST EDITIONS) LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) O HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS RITIES HAVING JURISDICTION OVER THE SITE & GRADES ON DRAWINGS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE TO BE READ AND NOT SCALED. ROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM OUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE		10.56 (R60) 5.46 (R31) 3.34+0.88ci (R19+5ci) 3.52 ci (R20 ci) 1.76 (R10) 1.76
	OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY. 5. REFER TO INTERIOR DESIGN DRAWINGS, MECHANICAL DRAWINGS AND ALL SPECIFICATIONS/SHOP DRAWINGS INCLUDED AND DISCUSSED HEREIN AS ATTACHED.			(R10)
			WINDOWS AND SLIDING GLASS DOORS MAXIMUM	1.0
(AK)	PROJECT STATISTICS	LOCATION PLAN	U-VALUE (W/m2*K) ^w	
ALANA + KELLY DESIGN CO. Alana + Kelly design co. Alana + Kelly design co. Alana nielsen (905)-873-4993 Admin@Alanakellydesign.ca	GROSS FLOOR AREA - EXISTING = 4,980ft ² - EXISTING BASEMENT = 2,104ft ² - EXISTING BOUND FLOOR = 2,876ft ² - EXISTING SECOND FLOOR = 0ft ² GROSS FLOOR AREA - PROPOSED = 2,247ft ² - PROPOSED BASEMENT = 0ft ² - PROPOSED BASEMENT = 0ft ² - PROPOSED SECOND FLOOR 981ft ² - PROPOSED SECOND FLOOR 981ft ² - PROPOSED BASEMENT = 0ft ² - PROPOSED BASEMENT = 2,227ft ² - PROPOSED BASEMENT = 2,104ft ² - PROPOSED BASEMENT = 2,104ft ² - PROPOSED SECOND FLOOR 3,857ft ² - - PROPOSED SECOND FLOOR = 1,266ft ²	Diaper Library	NOTES: 1. THE VALUES LISTED ARE MIN RSI-VALUES FOR THERMAL INS COMPONENT ONLY. RSI-VALUE EXPRESSED IN (m2*K)/W 2. U-VALUES IS THE OVERALL C OF HEAT TRANSFER EXPRESSET W/m2*K 3. THE BUILDING NEED NOT CC MINIMUM EFFICIENCY REQUIR FOR HRV'S, DOMESTIC HOT W/ HEATERS & SPACE HEATING EC REQUIRED IN ARTICLE 2.1.1.2.	SULATION IES COEFFICIENT ID IN ONFORM TO REMENTS VATER QUIPMENT

A Alana + Kelly DESIGN CO. ARCHITECTURAL TECHNOLOGY INTERIOR DESIG 16 Mountainview Rd S, Unit 305 Georgetown, ON L7G 4K1 Office: 905-873-4993 www.alanakellydesign.ca DO NOT SCALE DRAWINGS. POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY. G.C. AND SUBCONTRACTORS SHALL LEFEC AND VERITY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPARCIES TO THE DOSIONER BEFORE ANY MORE PROCEEDS. FINAL SHOP DAWNINGS TO BE REVEVED AND APPROVED TO SEISIONER ALL DRAWINGS ARE THE PROVENTY OF THE DOSIGNER AND MUST BE RETURNED UPON COMMETERION OF THE PROJECT. PROJECT: **GRAIEB RESIDENCE** 10 Hazelwood Dr Brampton, Ontario DRAWING: COVER PAGE SCALE: AS NOTED **REVISIONS:** NO. COMMENTS DATE 11 DEC 13/24 ISSUED FOR VARIANCE 12DEC 18/24ISSUED FOR VARIANCE13JAN 7/25ISSUED FOR VARIANCE DRAWING #: 0.00

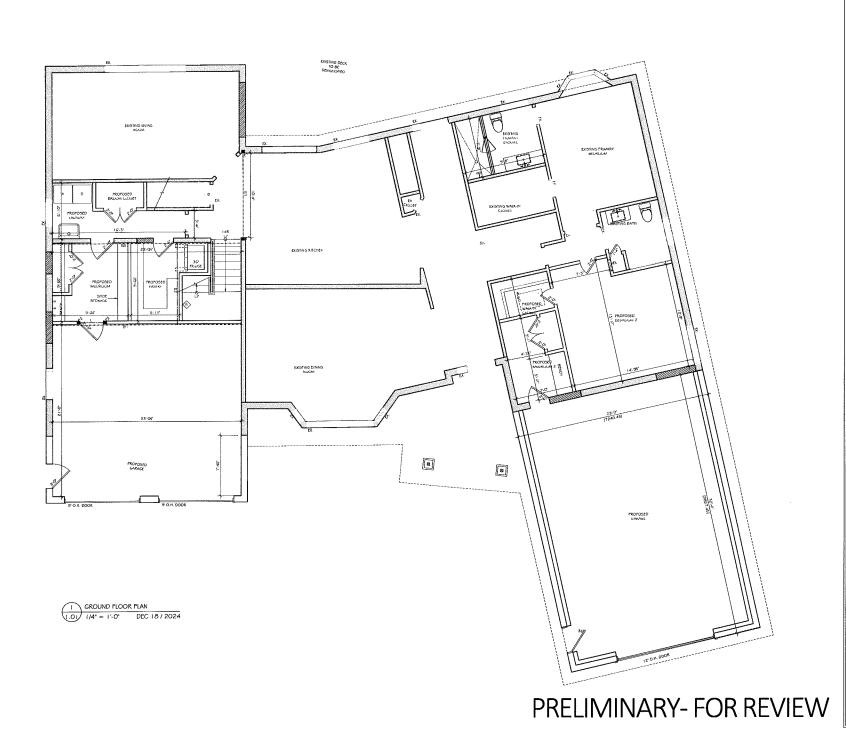
Received / Revised

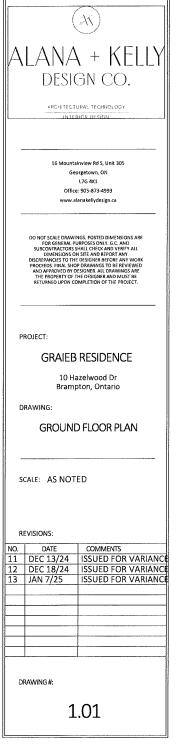
JAN 1 4 2025 Committeee of Adjustment



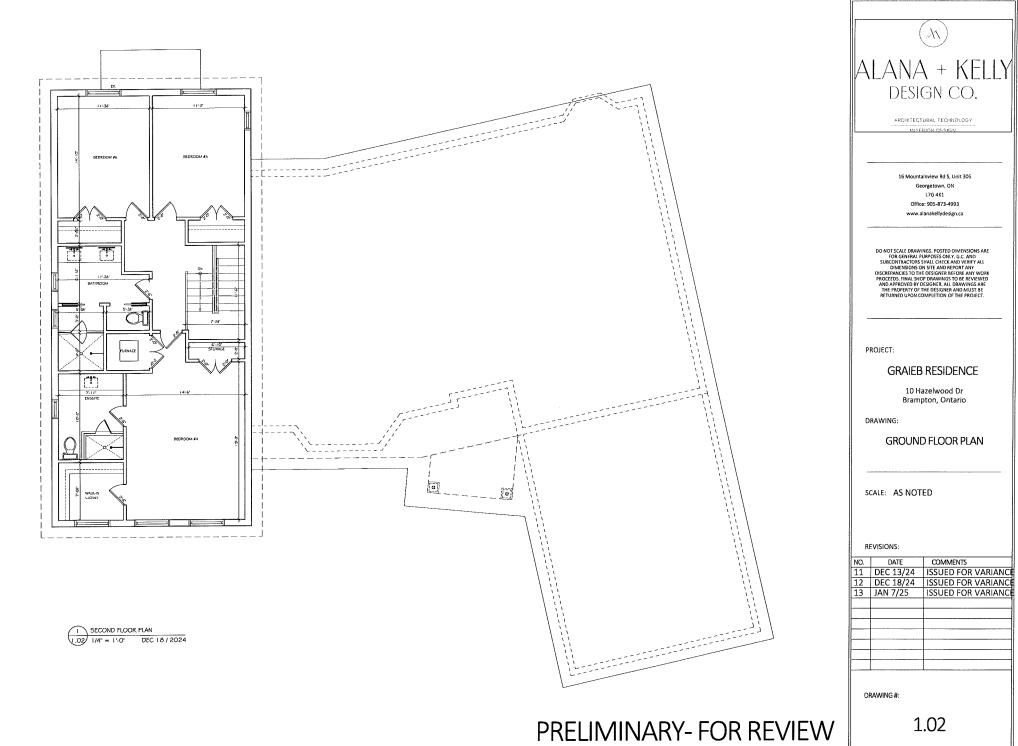


JAN 1 4 2025





JAN 1 4 2025



JAN 1 4 2025

Zoning Non-compliance Checklist

Applicant: Alana + Kelly Design Co Ltd

Zoning: Mature Neighbourhood, R1A (2)

Address: 10 Hazelwood Dr

By-law 270-2004, as amended

File No.

Received / Revised

JAN 1 4 2025

Committeee of Adjustment

Category	Proposal	By-law Requirement	Section #
SETBACKS	To permit a front yard setback of 1.2m metres to a proposed ground floor addition (Attached Garage)	Whereas the by-law requires a minimum front yard setback of 9.0 metres.	12.13.2(d)
	To permit an interior side yard setback of 2.587m to a proposed ground floor addition (Attached Garage).	Whereas the by-law requires a minimum interior side yard setback of 2.8 metres.	10.27.b)iii)
	To permit an interior side yard setback of 1.952 metres to a proposed Ground Floor & Second Floor Addition.	Whereas the by-law requires a minimum interior side yard setback of 2.8 metres	10.27.b)iii)
	To permit a setback of 0.439m for a garage door opening to a front yard line	Whereas the by-law requires a minimum setback of 6.0m from a front or flankage line to a carport or garage door opening.	10.5(b)
LOT COVERAGE	To permit a maximum lot coverage of 40%	Whereas the by-law permits a maximum lot coverage of 25%.	12.3.2.(i)
ACCESSORY STRUCTURES	To permit 2 accessory structures (Existing Pergola 'C' & Existing Shed 'B') to be constructed on an easement	Whereas the by-law does not permit accessory structures to be constructed upon any easement.	10.3.(b)
	To permit 3 accessory structures.	Whereas the zoning by-law permits a maximum of not more than one swimming pool enclosure, and two accessory buildings, other than a swimming pool on a lot.	10.3.(d)
	To permit an accessory structure (Existing Pergola 'A') having a gross floor area of 18.95 square metres (204 square feet).	Whereas the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.	10.3.(e)(ii)
	To permit an accessory structure (Existing Pergola 'A') having a height of 3.2 metres.	Whereas the by-law permits an accessory structure having a maximum height of 3.0 metres.	10.3(h)
	To permit an accessory structure (Existing Pergola 'C') to be used for human habitation.	Whereas the by-law does not permit an accessory structure to be used for human habitation.	10.3.(c)
	To permit an accessory structure (Existing Pergola 'C') having a gross floor area of 37.35 square metres (402 square feet).	Whereas the by-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.	10.3.(e)(ii)
	To permit an accessory structure (Existing Pergola 'C') having a height of 3.1 metres.	whereas the by-law permits an accessory structure having a maximum height of 3.0 metres.	10.3(h)
	To permit a combined gross floor area of 65.13 square metres for three (3) accessory structures.	Whereas the by-law permits a maximum combined gross floor area of 20 square metres for two (2) accessory structures.	10.3.(e)(ii)
DRIVEWAYS	To permit a semicircular Residential Driveway with a maximum surface area of 64.28% of the front yard area,	Whereas the by-law permits a maximum surface area of 50% of the front yard area for a Residential Driveway.	10.9.1.B.6)

John C. Cabral

Reviewed by Zoning

2025-01-14

Date

GRAIEB RESIDENCE ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

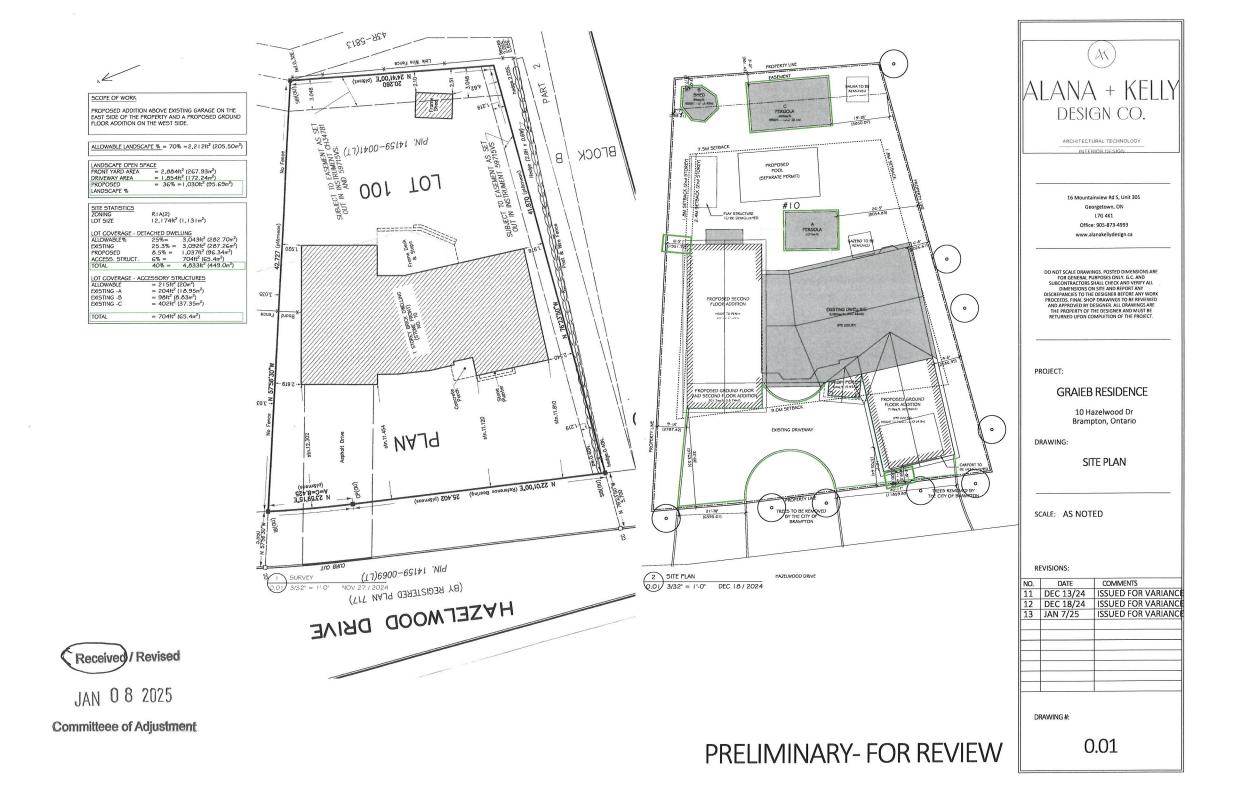
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2.00 EAST & WEST ELEVATION b. APPLICABLE LAW (AS DEFINED IN THE ONTARIO BUILDING CODE) c. THE ONTARIO HEALTH & SAFETY ACT: REGULATIONS FOR CONSTRUCTION PROJECTS d. ALL AUTHORTITES HAVING JURISDICTION OVER THE SITE Immunol Status Safety Action Status <t< td=""><td></td><td>1. ALL DRAWINGS & CONSTRUCTION TO BE D</td><td>DONE IN ACCORDANCE WITH:</td><td></td><td></td></t<>		1. ALL DRAWINGS & CONSTRUCTION TO BE D	DONE IN ACCORDANCE WITH:		
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	(005) 873 4003		No.		
			Illein 2	REQUIRED IN ARTICLE 2.1.1.2.	OR 2.1.1.3
	ADMINGALANARELETDESIGN.CA				

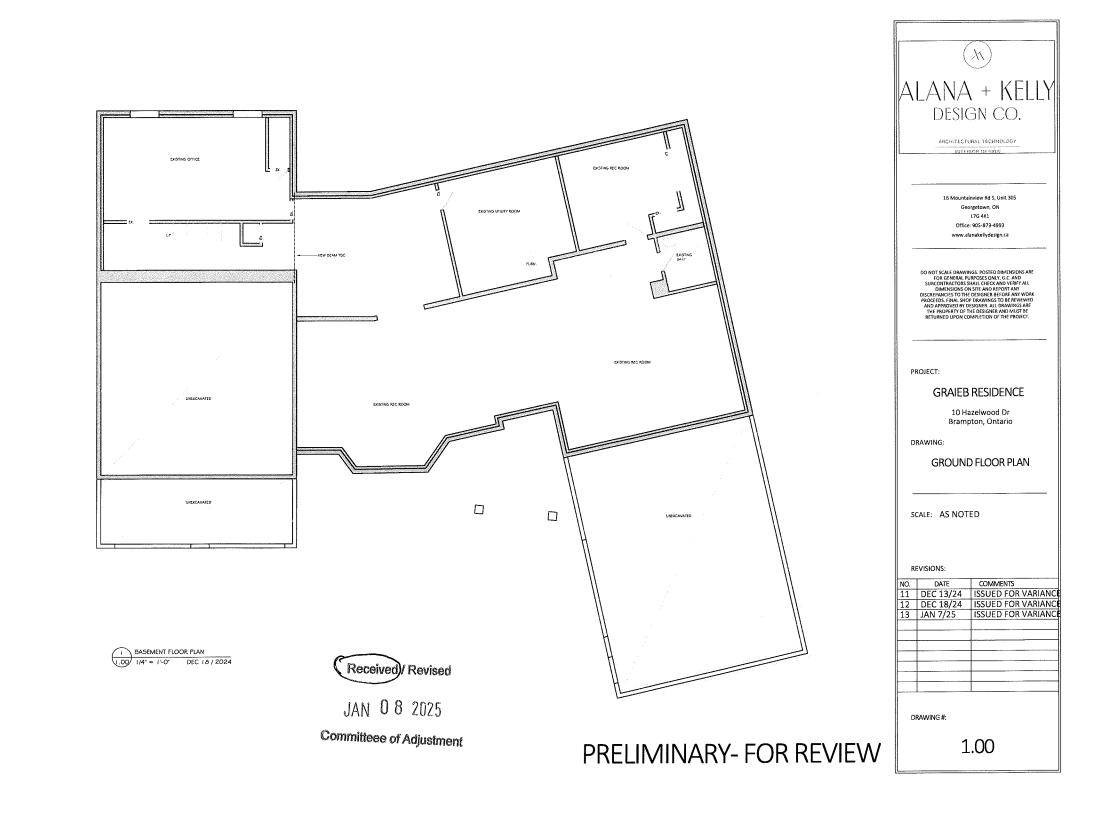
BUILDINGS 3.1.1.11				
COMPONENT	ADDITIONS			
CEILING WITH ATTIC SPACE	10.56			
MIN.RSI-VALUE (R-VALUE)	(R60)			
CEILING W/O ATTIC SPACE	5.46			
MIN.RSI-VALUE (R-VALUE)	(R31)			
EXPOSED FLOOR ⁽¹⁾	5.46			
MIN.RSI-VALUE (R-VALUE)	(R31)			
WALLS ABOVE GRADE "	3.34+0.88ci			
MIN.RSI-VALUE (R-VALUE)	(R19+5ci)			
BASEMENT WALLS **	3.52 ci			
MIN.RSI-VALUE (R-VALUE)	(R20 ci)			
EDGE OF BELOW GRADE	1.76			
SLAB EQUAL OR LESS THAN	(R10)			
600mm (23 5") BELOW				
GRADE MIN.RSI-VALUE				
(R-VALUE) ^w				
HEATED SLAB OR SLAB	1.76			
EQUAL OR LESS THAN	(R10)			
600mm (23 퉐'') BELOW				
GRADE MIN.RSI-VALUE				
(R-VALUE) ^w				
WINDOWS AND SLIDING	1.6			
GLASS DOORS MAXIMUM				
U-VALUE (W/m2*K) 🐃				
NOTES:				
1. THE VALUES LISTED ARE MI	MUMIN			
RSI-VALUES FOR THERMAL INS				
COMPONENT ONLY. RSI-VALU	ES			
EXPRESSED IN (m2*K)/W				
2. U-VALUES IS THE OVERALL O				
OF HEAT TRANSFER EXPRESSE	DIN			
W/m2*K				
3. THE BUILDING NEED NOT CO				
MINIMUM EFFICIENCY REQUIE				
OR HRV'S, DOMESTIC HOT W				
HEATERS & SPACE HEATING EC				
REQUIRED IN ARTICLE 2.1.1.2.	OR 2.1.1.3.			

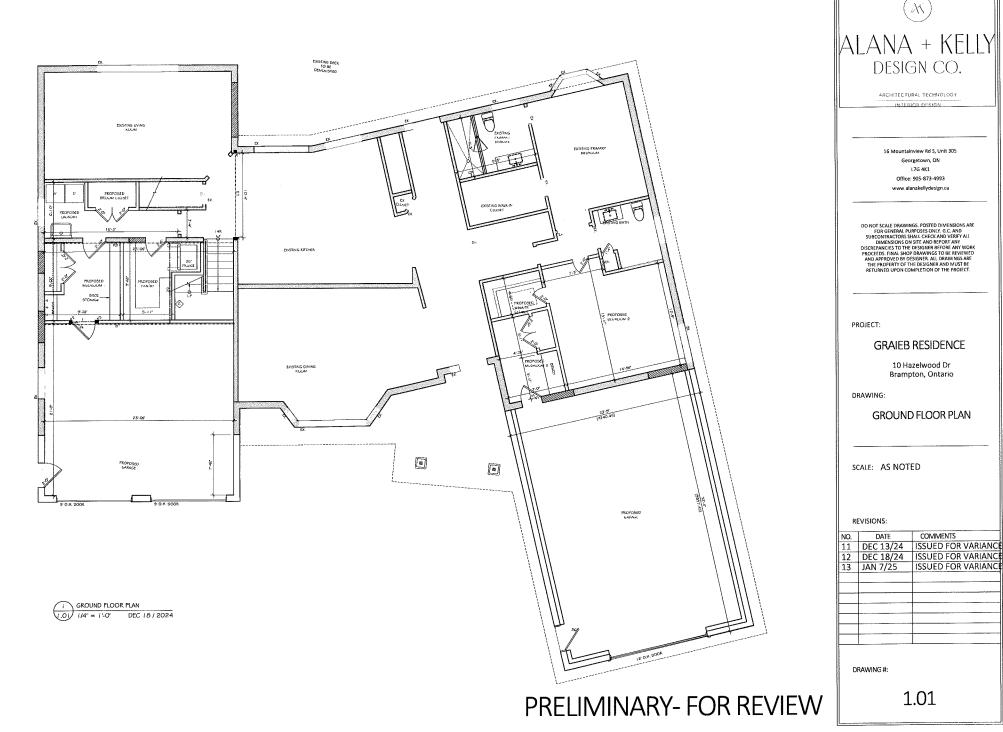
		AK				
ALANA + KELLY DESIGN CO.						
		OR DESIGN				
_	Geo Office:	view Rd S, Unit 305 getown, ON L/G 4K1 905-873-4993 nakellydesign.ca				
_	DO NOT SCALE DRAWIN FOR GENERAL PU SUBCONTRACTORS SI DIMENSIONS ON DISCREPANCIES TO THE PROCEEDS, FINAL SHOP AND APPROVED BY DE THE PROPERTY OF TH RETURNED UPON COL	GS. ROSTED DIMENSIONS ARE RPOSES DONY, G.C. AND AUL CHECK AND VERIFY ALL STE AND REPORT ANY DESIGNER REFORE ANY WORK DEAVINGS TO BE REVIEWED DEAVINGS TO BE REVIEWED DEAVINGS TO BE REVIEWED DESIGNER AROM MUST BE MPLETION OF THE PROJECT.				
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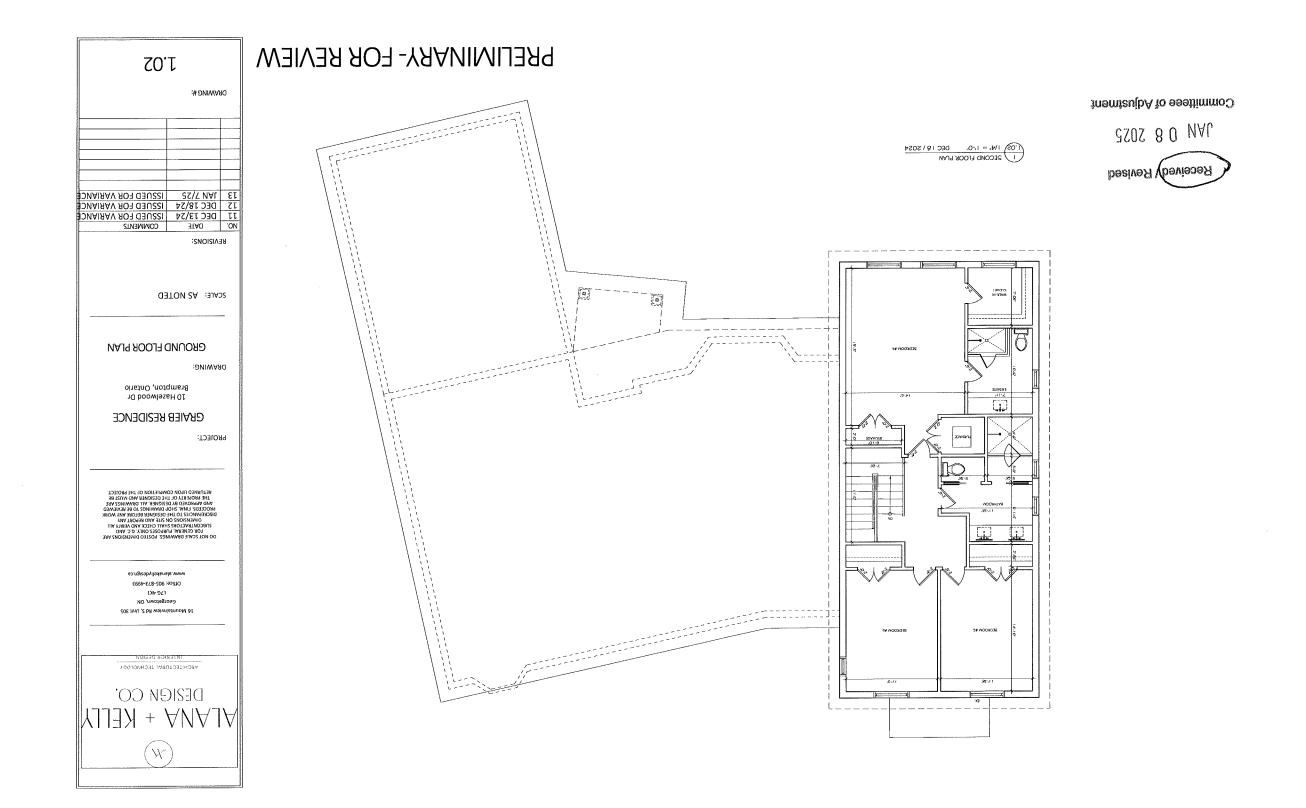
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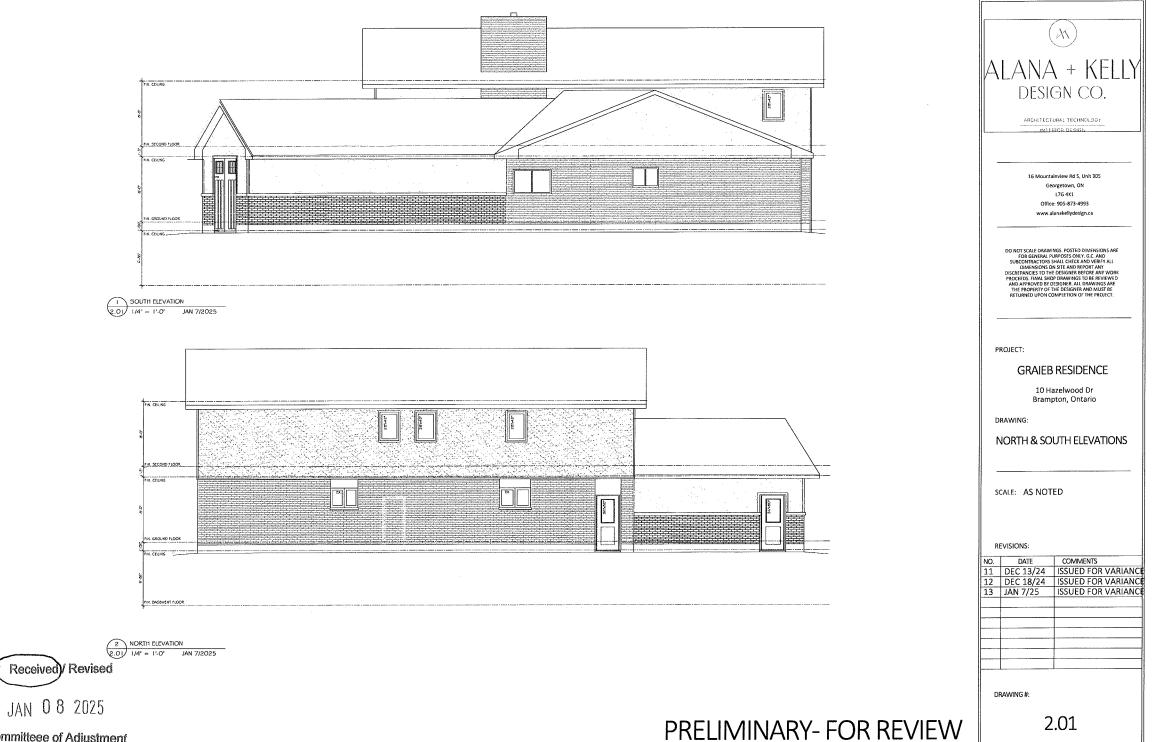




Received / Revised JAN 08 2025







JUL 17 2024

Committeee of Adjustment



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bramp	ton.ca	FI	after app	blication is deemed complete)	-0068		
Applicants an public inform	e advised that ation and is av	lected on this form is collected pursuant to section 45 of the Planning Ac he Committee of Adjustment is a public process and the information conta illable to anyone upon request and will be published on the City's website. retary-Treasurer, Committee of Adjustment, City of Brampton.	ined in the Committee of	Adjustment files is considered			
		APPLICATION					
		Minor Variance or Special Per (Please read Instructions)	rmission				
NOTE:	It is requir accompar	ed that this application be filed with the Secretary-Treasu ied by the applicable fee.	rer of the Committe	e of Adjustment and be			
	The unde the <u>Plann</u>	signed hereby applies to the Committee of Adjustment fo ng Act, 1990, for relief as described in this application fro	r the City of Brampi m By-Law 270-200	ton under section 45 of 4.			
1.	Name of Address	Baligh and Nora Graieb 10 Hazelwood Drive, Brampton, Ontario	133	>			
	Phone # Email	416-858-8078 Fa billy2020@rogers.com	ix #				
2.	Name of	Agent Alana + Kelly Design Co. Ltd.					
	Address	16 Mountainview Road South, Unit 305 Georgetown, Ontario					
	Phone #						
	Email	905-873-4993 Fa alana@alanakellydeisgn.ca	ix #				
	 Nature and extent of relief applied for (variances requested): To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%. To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 1.6m. To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.34 square metres. To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 39%. 						
4.	Due to adjacer	not possible to comply with the provisions of the by- ohysical limitations of the an occupant of the home, t to the bedroom area on the ground floor, resulting back. The garage must be at this size to accommod	we require a gara in the need for a	reduced front			
	an acce	ssory fold down ramp					
5.	Legal De Lot Num	scription of the subject land: per 10					
	Plan Nur	Iber/Concession Number 717 I Address 10 Hazelwood Drive, Brampton, Ontario					
6.	Frontage						
	Depth Area	43m 1207.74m2					
7.	Provinci Municipa	I Road Maintained All Year 🗹 O	easonal Road ther Public Road later				

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

See Attached

 Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in <u>metric units</u>)

	EXISTING Front yard setback Rear yard setback Side yard setback Side yard setback PROPOSED Front yard setback Rear yard setback Side yard setback Side yard setback	10.67m 15.54m 2.63m 2.49m 1.61m 17.40m 2.63m 1.99m				
10.	Date of Acquisition of	of subject land:	Unknown			
11.	Existing uses of sub	ject property:	Existing Single Detache	ed Dwellings		
12.	Proposed uses of su	ibject property:	Single Detached Dwell	ings		
13.	Existing uses of abu	itting properties:	Residential			
14.	Date of construction	of all buildings & strue	ctures on subject	land: <u>u</u>	Inknown	
15.	Length of time the e	xisting uses of the sub	ject property have	e been conti	nued:	Unknown
16. (a)	What water supply is Municipal // Well	s existing/proposed?]]	Other (specify)			
(b)	What sewage dispo Municipal Septic	sal is/will be provided?]]	Other (specify)			
(c)	What storm drainag Sewers 7 Ditches 5 Swales 7	e system is existing/pro]]]	oposed? Other (specify)			

		-3-		
17.	Is the subject property the sub subdivision or consent?	bject of an application	under the Planning Act, for ap	proval of a plan of
	Yes No	3		
	If answer is yes, provide detail	s: File #	Status	
18.	Has a pre-consultation applica	tion been filed?		
	Yes 🗌 No 🗹]		
19.	Has the subject property ever	been the subject of an	application for minor variance?	
	Yes 🗹 No 🗌	Unknow	n 🗔	
	If answer is yes, provide detai	ls:		
	File # A17-024 Decisio	Approved	Relief	
	File # Decisio File # Decisio	n	Relief Relief	
	- ottalto	n Hills o	Signature of Applicant(s) or Author	ized Agent
DAT	ED AT THE TOWN OF Halto	OF KOG	ION OF HAUTON	
THE SUE	JECT LANDS, WRITTEN AUTHO	DRIZATION OF THE O	OR ANY PERSON OTHER THAN WNER MUST ACCOMPANY THE	APPLICATION, IF
THE API	PLICANT IS A CORPORATION ATION AND THE CORPORATIO	, THE APPLICATION	SHALL BE SIGNED BY AN O	OFFICER OF THE
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	AlanaNIEDE	, OF	THE TOWN OF H	avion HIIIS
		SOLEMN		
ALL OF T BELIEVIN OATH.	THE ABOVE STATEMENTS ARE IG IT TO BE TRUE AND KNOWI	TRUE AND I MAKE T NG THAT IT IS OF THI	HIS SOLEMN DECLARATION C	ONSCIENTIOUSLY S IF MADE UNDER
DECLAR	ED BEFORE ME AT THE	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2		
Town	OF Hardton Hill	D		
IN THE	ROALON OF			
Hooto	N. THIS YHL DAY O	E		
Tu	INSSION		Signature of Applicant or Authori	
	CURTI	STIL	Signature of Applicant of Authon.	zed Agent
\subseteq	A Commissioner etc.	N ?		
	LICENSED PARAL	EGAL		
	OLSUC #P102	FOR OFFICE USE	ONLY	
National Accessed	Present Official Plan Forienta	aon:		
	Present Zoning By-law Classi	fication:	R1A(2), Mature Nei	ghbourhood
			e variances required and the result	s of the
	said rev	view are outlined on the		
	Shiza Athar		2024/09/13	
	Zoning Officer	0002042042042042042042042042042042042042	Date	
	DATE RECEIV	EDF	Received / Revised	
	Date Application Deem Complete by the Municipal			Revised 2022/02/17
			UL 17 2024	

Committeee of Adjustment

GRAIEB RESIDENCE ARCHITECTURAL DESIGN PACKAGE

-

10 HAZELWOOD DRIVE, BRAMPTON ON

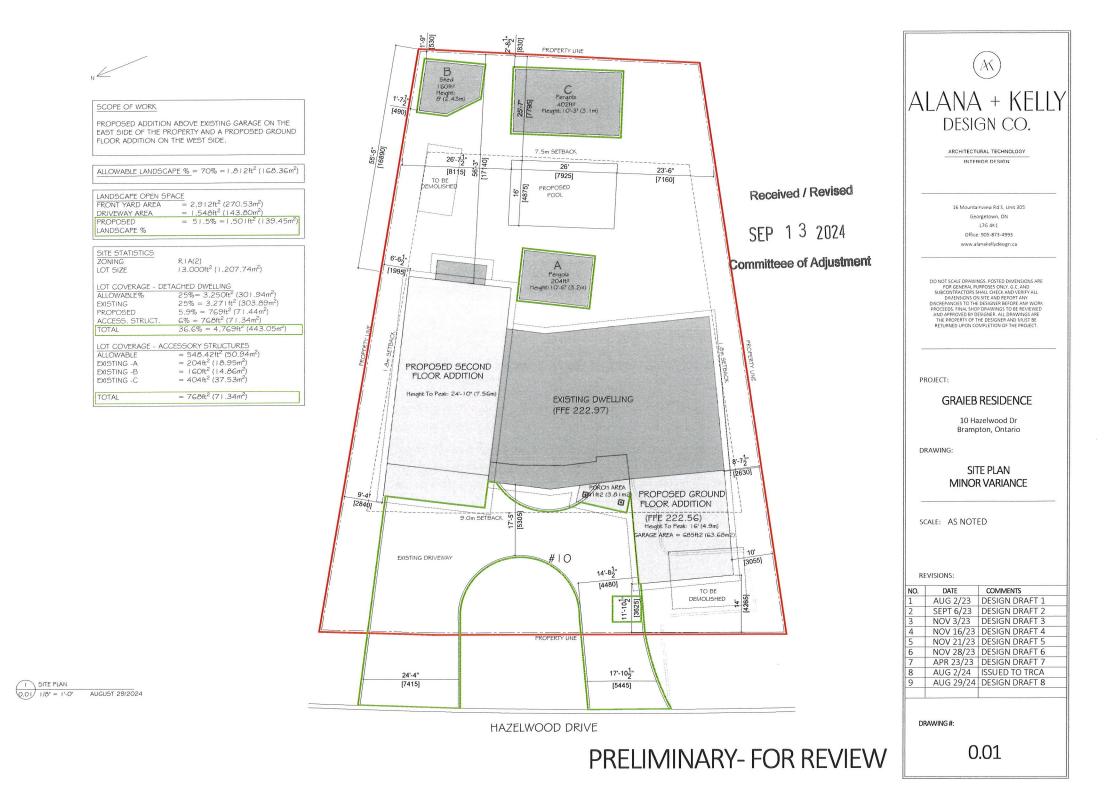
DRAWING LIST:	GENERAL NOTES		ADDITIONS TO EXIS BUILDINGS 3.1.1			
0.01 SITE PLAN	ALL DRAWINGS ARE THE PROPERTY OF ALANA+ COPYRIGHT IN THESE DOCUMENTS WHICH MA	KELLY DESIGN CO. LTD. THE DESIGNER RETAINS Y NOT BE USED FOR ANY OTHER PROJECT	COMPONENT	ADDITIONS		
1.00 FOUNDATION PLAN	WITHOUT WRITTEN CONSENT.					
1.01 GROUND FLOOR		 ALL DRAWINGS & CONSTRUCTION TO BE DONE IN ACCORDANCE WITH: a. THE ONTARIO BUILDING CODE (LATEST EDITIONS) 				
2.00 SECOND FLOOR						
4.01 EAST & WEST	b. APPLICABLE LAW (AS DEFINED IN THE	EXPOSED FLOOR ⁽¹⁾	5.46			
ELEVATION		REGULATIONS FOR CONSTRUCTION PROJECTS	MIN.RSI-VALUE (R-VALUE)	(R31)		
4.02 NORTH & SOUTH	d. ALL AUTHORITIES HAVING JURISDICT	ION OVER THE SITE		3.34+0.88ci		
ELEVATION			MIN.RSI-VALUE (R-VALUE)	(R19+5ci)		
	2. ALL DIMENSIONS & GRADES ON DRAWING	IS TO BE VERIFIED ON SITE PRIOR TO	BASEMENT WALLS ⁽¹⁾	3.52 ci		
	COMMENCING CONSTRUCTION. ANY DIS	SCREPANCIES MUST BE REPORTED TO THE	MIN.RSI-VALUE (R-VALUE)	(R20 ci)		
	DESIGNER.		EDGE OF BELOW GRADE	1.76		
			SLAB EQUAL OR LESS THAN	(R10)		
	3. DRAWINGS ARE TO BE READ AND NOT SCA	600mm (23 ်ar) BELOW				
			GRADE MIN.RSI-VALUE			
	4. ANY VARIANCE FROM THE STRUCTURAL D	RAWINGS AND SPECIFICATIONS OR FROM	(R-VALUE) ⁽¹⁾			
	CONDITIONS ENCOUNTERED AT THE JOB S	SITE, SHALL BE RESOLVED BY THE	HEATED SLAB OR SLAB	1.76		
	OWNER/BUILDER AND SUCH SOLUTION SH	HALL BE THEIR SOLE RESPONSIBILITY.	EQUAL OR LESS THAN	(R10)		
			600mm (23 5") BELOW			
	5 REFER TO INTERIOR DESIGN DRAWINGS, M	5. REFER TO INTERIOR DESIGN DRAWINGS. MECHANICAL DRAWINGS AND ALL				
	SPECIFICATIONS/SHOP DRAWINGS INCLUE	GRADE MIN.RSI-VALUE (R-VALUE) ⁽¹⁾				
[WINDOWS AND SLIDING	1.6			
			GLASS DOORS MAXIMUM	1.0		
	PROJECT STATISTICS	LOCATION PLAN	U-VALUE (W/m2*K) (2)			
(λx)	PROJECT STATISTICS	LOCATION PLAN		I		
	EXISTING 3.205ft ² (297.75m ²)		NOTES:			
ALANIA . KELINA	EXISTING 3,205ft ² (297.75m ²) PROPOSED 2,249ft ² (208.93m ²)		1. THE VALUES LISTED ARE MI			
ALANA + KELLY		00	RSI-VALUES FOR THERMAL INS			
	TOTAL 5,454ft ² (506.69m ²)	No.	COMPONENT ONLY. RSI-VALU	ES		
DESIGN CO.		10 N	EXPRESSED IN (m2*K)/W			
	ACCESSORY STRUCTURES		2. U-VALUES IS THE OVERALL			
ARCHITECTURAL TECHNOLOGY		Diaper Library 👽 🧋 🛑	OF HEAT TRANSFER EXPRESSE	DIN		
INTERIOR DESIGN	EXISTING -A 204ft ² (18.95m ²) EXISTING -B 160ft ² (14.86m ²)	, ⁴ a	W/m2*K			
ALANA + KELLY DESIGN CO.	EXISTING -B 160ft" (14.86m") EXISTING -C 404ft ² (37.53m ²)		3. THE BUILDING NEED NOT CO			
ALANA NIELSEN	EXISTING-C 404IL (37.55III)	10	MINIMUM EFFICIENCY REQUIR			
	TOTAL 768ft ² (71.34m ²)	Dog 1	FOR HRV'S, DOMESTIC HOT W			
(905)-873-4993	10112 1001 (11.0411)	Doonieze.	HEATERS & SPACE HEATING EG			
ADMIN@ALANAKELLYDESIGN.CA		illei	REQUIRED IN ARTICLE 2.1.1.2.	OR 2.1.1.3.		
A SIMILAR A CANARELE IDESIGN.CA						

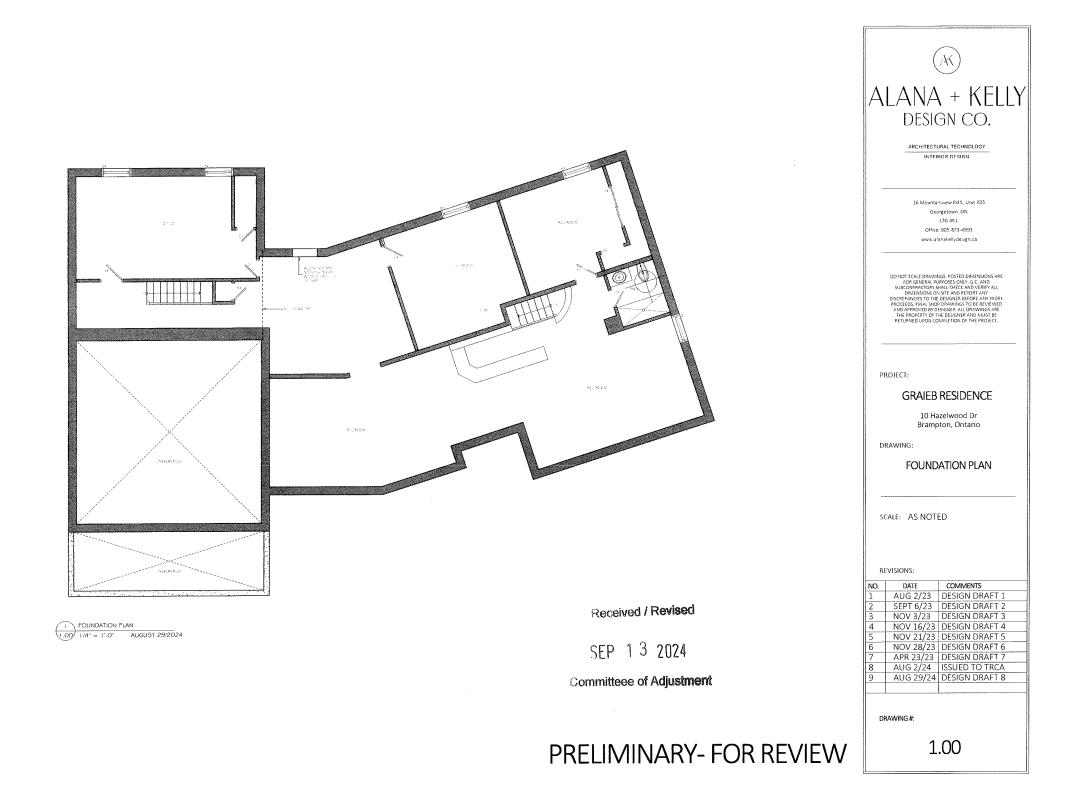
 (\mathcal{K}) ALANA + KELLY DESIGN CO. ARCHITECTURAL TECHNOLOGY INTERIOR DESIGN 16 Mountainview Rd S, Unit 305 Georgetown, ON L7G 4K1 Office: 905-873-4993 www.alanakellydesign.ca DO NOT SCALE DRAWINGS, POSTED DIMENSIONS ARE FOR GENERAL PURPOSES ONLY, G.C. AND SUBCONTRACTORS SHALL CHECA NOT VERITY ALL DIMENSIONS ON SITE AND REPORT ANY PROCEEDS, FINAL SHOE DRAWINGS TO BE REVIEWED THE SPORTEN OF THE DISINGER BAND MAST BE RETURNED UPON COMPLETION OF THE PROJECT, PROJECT: **GRAIEB RESIDENCE** 10 Hazelwood Dr Brampton, Ontario DRAWING: COVER PAGE SCALE: AS NOTED REVISIONS: NO. DATE COMMENTS 1 AUG 2/23 DESIGN DRAFT 1 SEPT 6/23 DESIGN DRAFT 2 NOV 3/23 DESIGN DRAFT 3 NOV 16/23 DESIGN DRAFT 4 4 5 NOV 21/23 DESIGN DRAFT 5 6 NOV 28/23 DESIGN DRAFT 6 7 APR 23/23 DESIGN DRAFT 7 8 AUG 2/24 ISSUED TO TRCA 9 AUG 29/24 DESIGN DRAFT 8 DRAWING #: 0.00

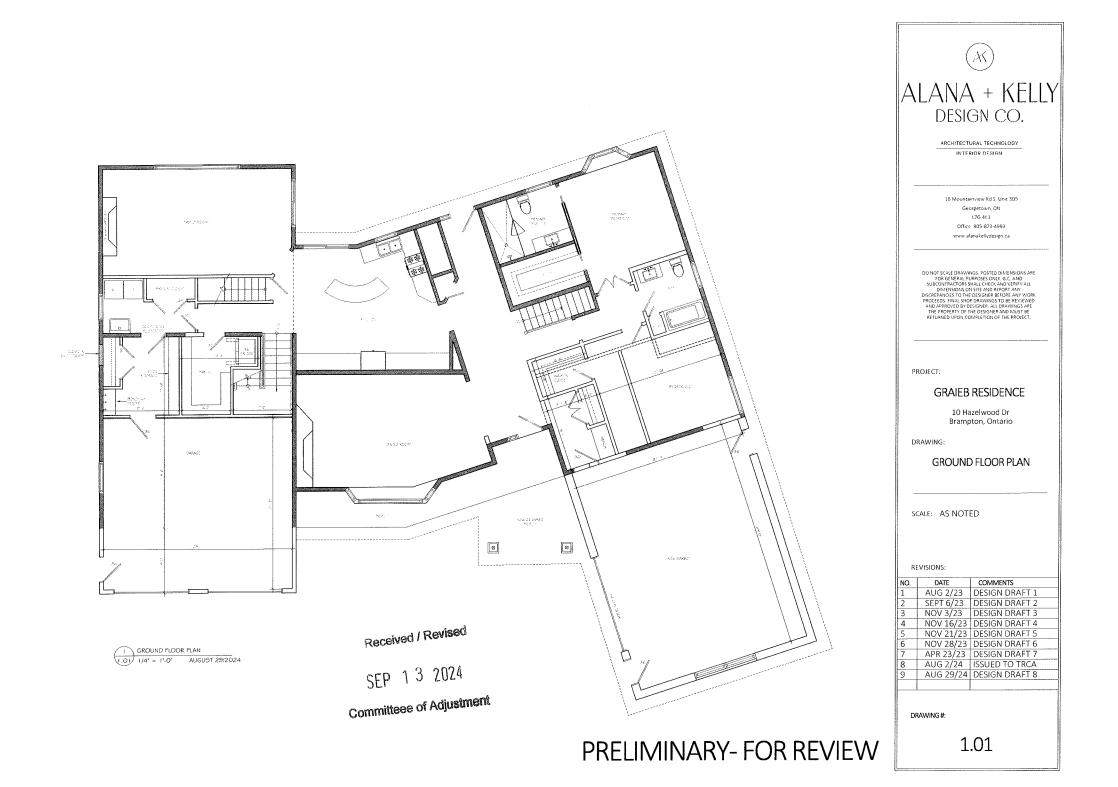
PRELIMINARY-FOR REVIEW

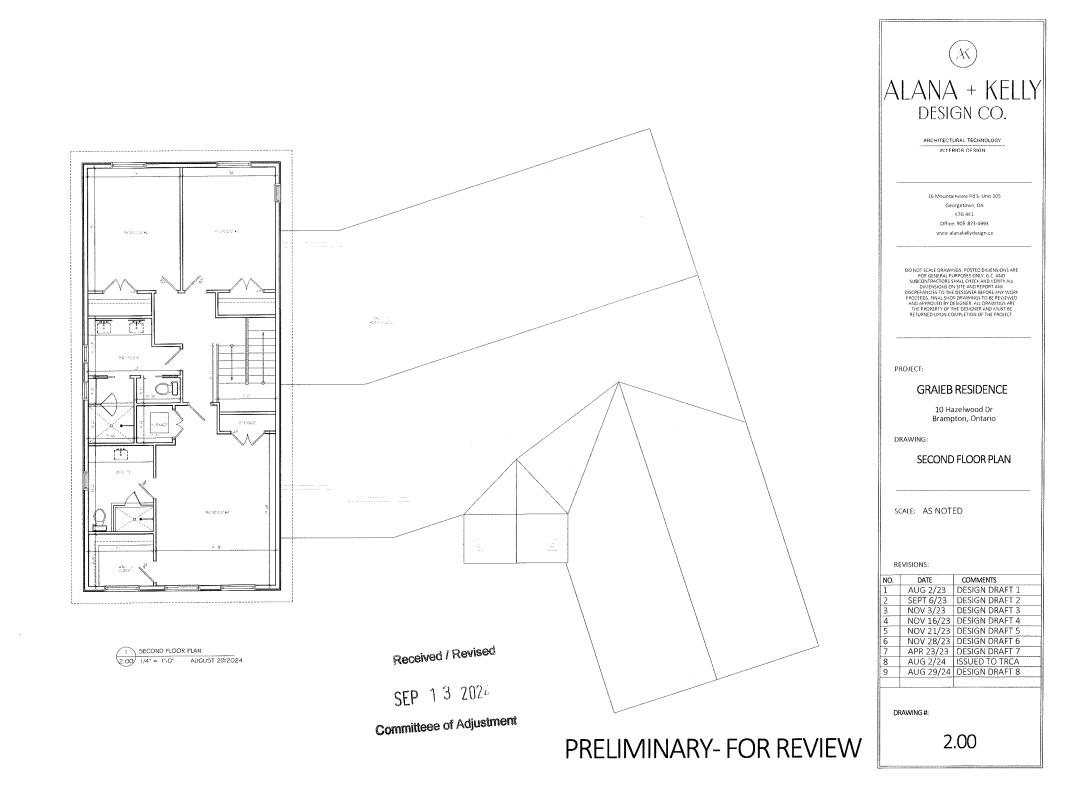
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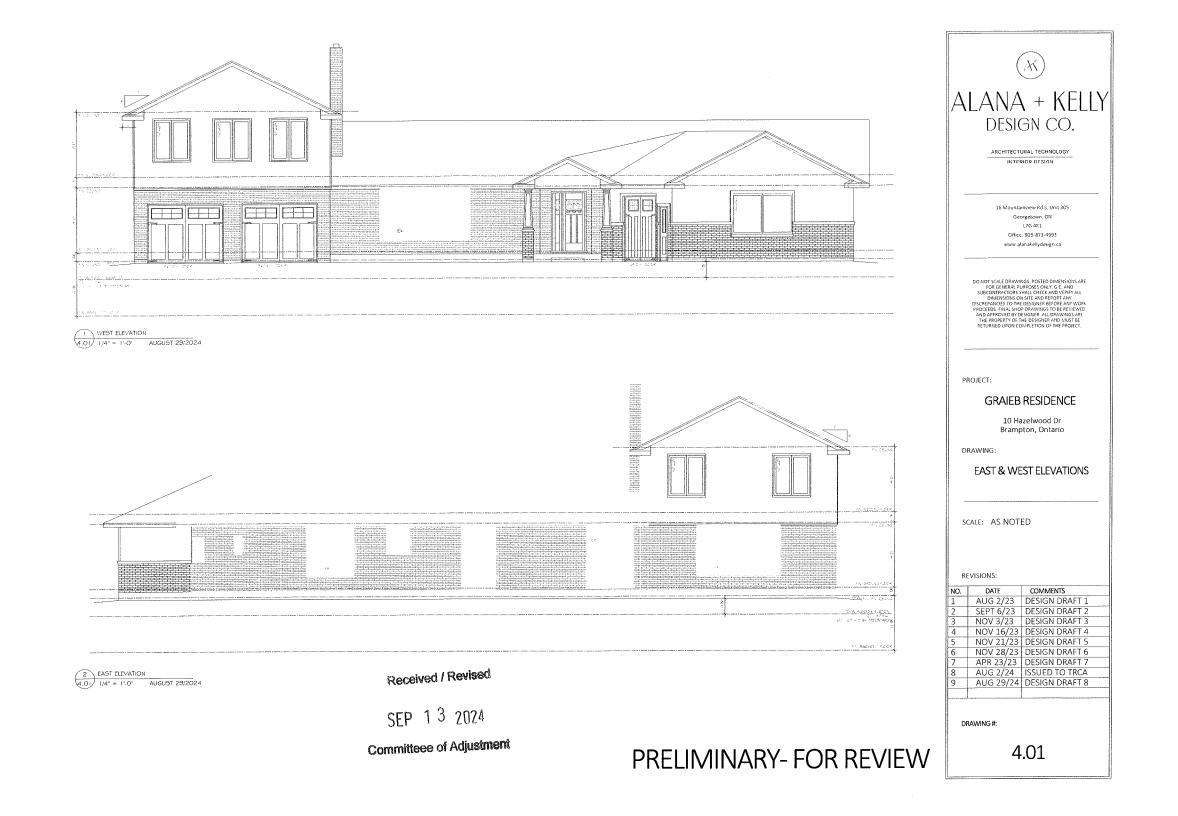
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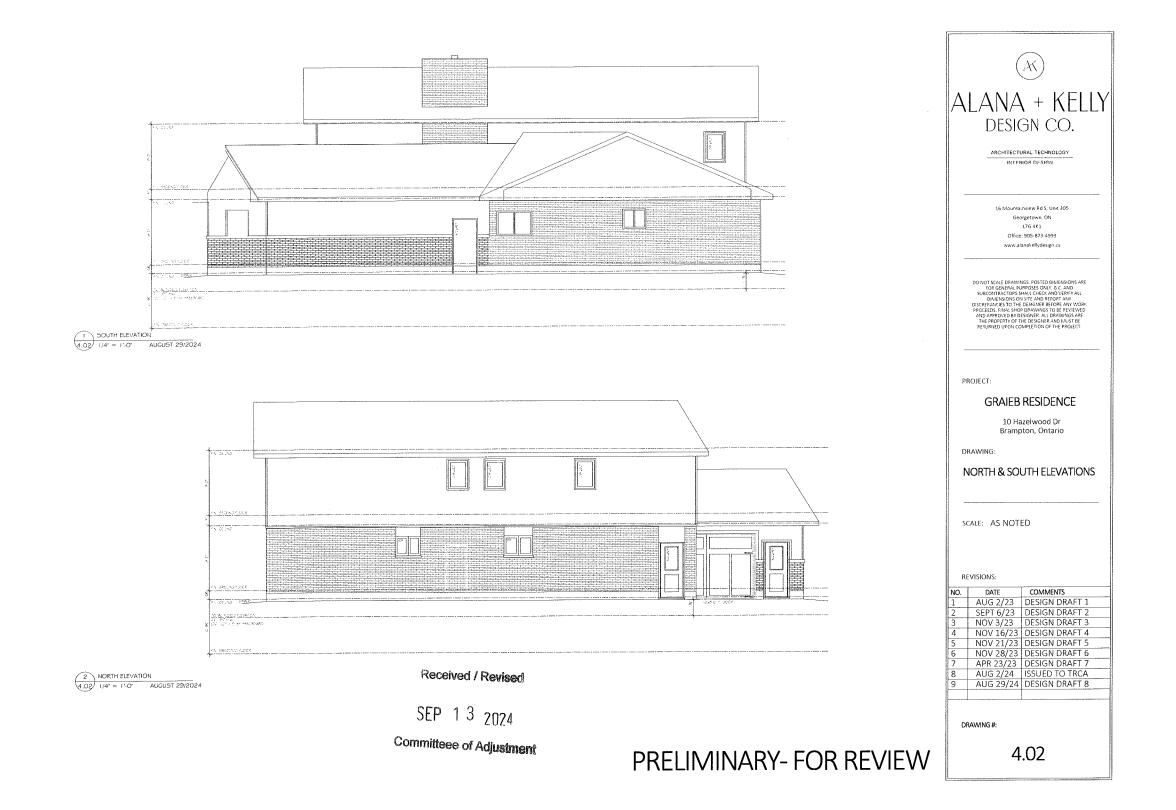


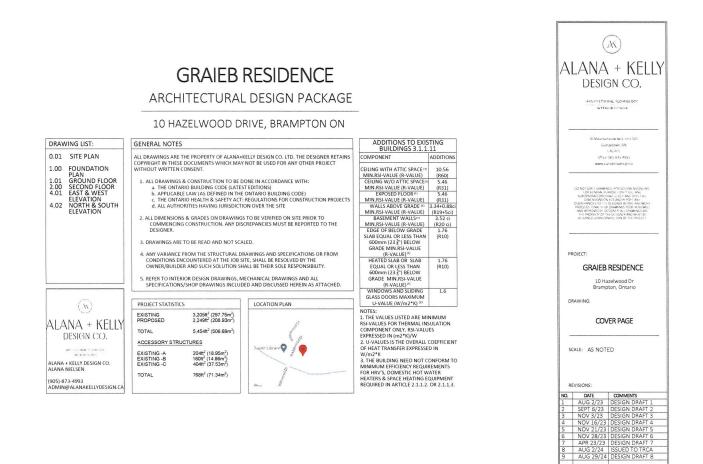












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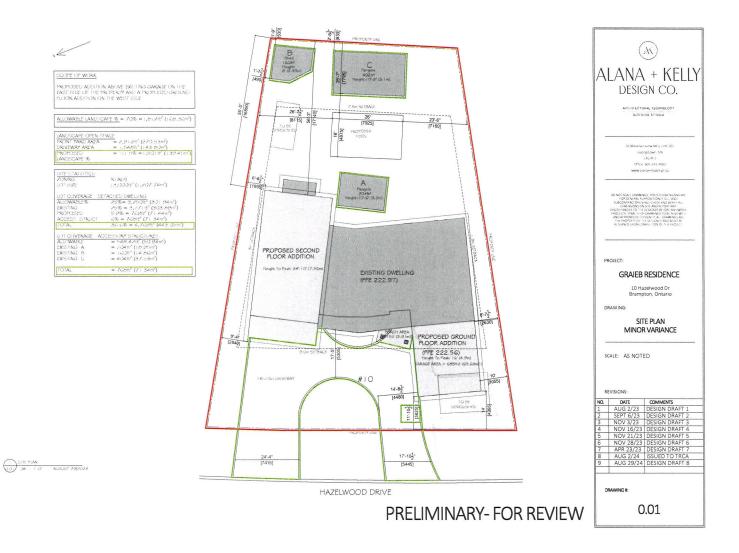
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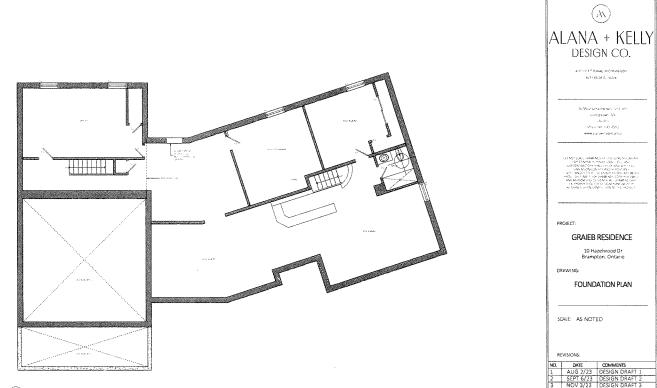
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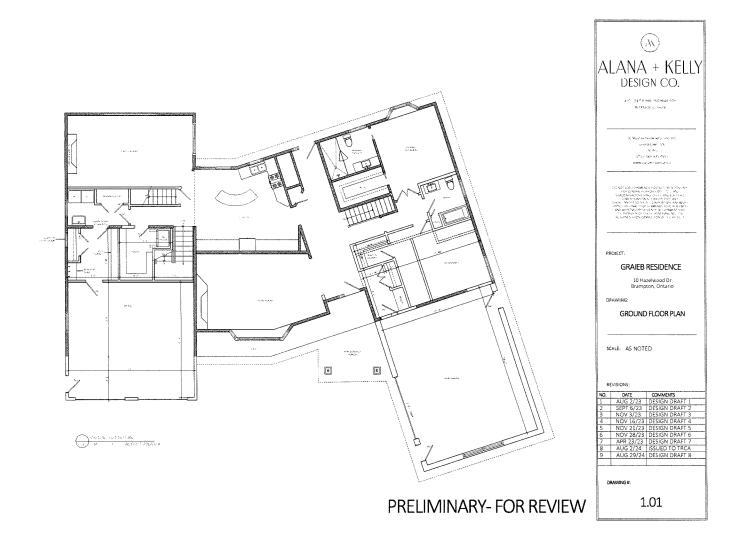


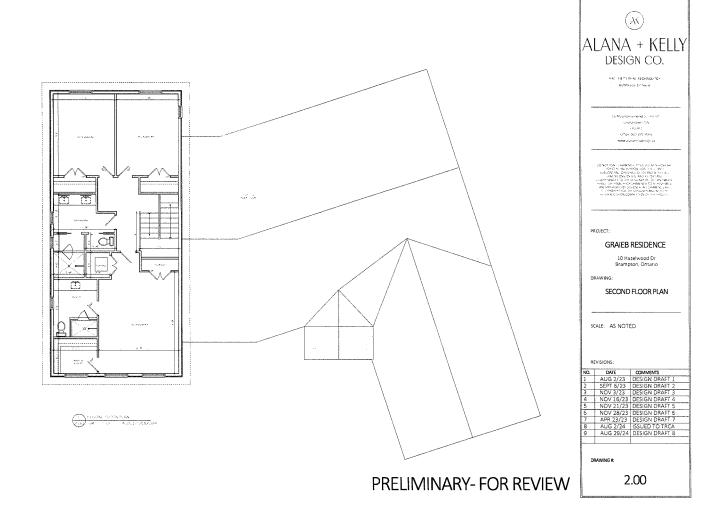


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1.00

DRAWING #:







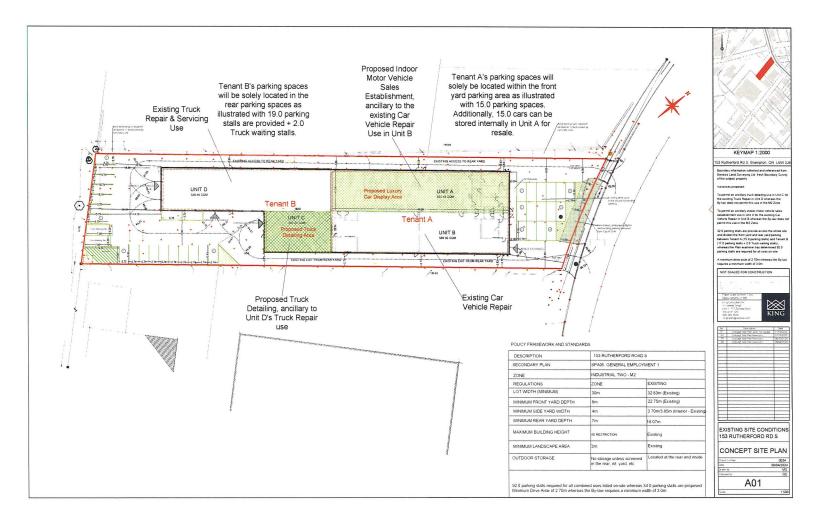
PRELIMINARY- FOR REVIEW

4.01



PRELIMINARY- FOR REVIEW

4.02



Received / Revised

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Committeee of Adjustment



Received / Revised

Committeee

9

Adjustment

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2024

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For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete) FILE NUMBER: <u>A</u> -2524-006 §

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION						
Minor Variance or Special Permission						
(Please read Instructions)						
NOTE:	It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.					
1.	The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u> , 1990, for relief as described in this application from By-Law 270-2004 . Name of Owner(s) Baligh and Nora Graieb Address 10 Hazelwood Drive, Brampton, Ontario 65133					
	Phone # 416-858-8078 Fax #					
	Email aligra@rogers.com					
2.	Name of Agent Alana + Kelly Design Co. Ltd Address 16 Mountainview Road South - Unit 202 Georgetown, Ontario					
	Phone # 905-873-4993 Fax # Email alana@alanakellydesign.ca Fax #					
3. 4.	Nature and extent of relief applied for (variances requested): To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%. To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 0.855m. To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.24 square metres. To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 42%. Why is it not possible to comply with the provisions of the by-law? Due to physical limitations of the an occupant of the home, we require a garage space					
5.	 adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp. Legal Description of the subject land: Lot Number 10 Plan Number/Concession Number <u>717</u> Municipal Address <u>10 Hazelwood Drive, Brampton, Ontario</u> 					
6.	Dimension of subject land (in metric units)Frontage34.51mDepth43mArea1207.74m2					
7.	Access to the subject land is by: Seasonal Road Image: Constraint of the subject land is by: Provincial Highway Image: Constraint of the subject land is by: Seasonal Road Image: Constraint of the subject land is by: Municipal Road Maintained All Year Image: Constraint of the subject land is by: Image: Constraint of the subject land is by: Image: Constraint of the subject land is by: Private Right-of-Way Image: Constraint of the subject land is by: Private Right-of-Way Image: Constraint of the subject land is by: Image: Constraint of the subject land is by: Image: Constraint of the subject land is by:					

8. Particulars of all buildings and structures on or proposed for the subject land: (specify <u>in metric units</u> ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land: See Attached

EXISTING

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in <u>metric units</u>)

	Front yard setback	10.67m	
	Rear yard setback	15.54m	
	Side yard setback	2.63m	
	Side yard setback	2.49	
	····· , ···· ····		· · · · · · · · · · · · · · · · · · ·
	PROPOSED		
	Front yard setback	0.855m	
	Rear yard setback	15.54m	
	Side yard setback	2.63m	
	Side yard setback	2.63m	
10.	Date of Acquisition of	of subject land:	Unknown
11.	Existing uses of sub	viact property:	Existing Single Detached Dwellings
11.	Existing uses of sub	ject property.	
12.	Proposed uses of su	ubject property:	Single Detached Dwellings
13.	Existing uses of abu	Itting properties:	Residential
14.	Date of constructior	of all buildings & strue	ctures on subject land: Unknown
15.	Length of time the e	xisting uses of the sub	ject property have been continued: Unknown
16. (a)	What water supply i Municipal 🛛 🗹 Well	s existing/proposed?]]	Other (specify)
(b)	What sewage dispo Municipal	sal is/will be provided?]]	Other (specify)
(c)	·	e system is existing/pr]]]	oposed? Other (specify)

17.	Is the subject prop subdivision or cons		t of an application under the	e Planning Act, for approval of a plan of			
	Yes	No 🔽					
	If answer is yes, pro	ovide details:	File #	Status			
18.	Has a pre-consultat	tion application	been filed?				
	Yes	No 🗸					
19.	Has the subject pro	operty ever bee	n the subject of an application	on for minor variance?			
	Yes 🔽	No 🗖	Unknown				
	If answer is yes, pr	ovide details:					
	File # <u>A17-024</u> File # File #	Decision A Decision Decision	pproved	Relief Carport/Accessory Structures Relief Relief			
SH							
	Signature of Applicant(s) or Authorized Agent						
DAT	ED AT THE TOWN		OF The Region	of though			
тні	S CHA DAY OF	= <u>Feloruc</u>	Ury , 20.24.				
THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF HE SUBJECT LANDS. WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF							

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

1. Alana	Niel	sen	,	OF THE	Town	OF	HaltonHills
N THE ROALDO	OF	Halton	SO		CLARE THAT		

IN THE REGION OF HOUTON SOLEMNLY DECLARE THAT: ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

OATH.			
DECLARED BEFORE ME AT THE			
Town or Halton Hills			
IN THE ROOM OF			
Halton THIS 94 DAY OF		al	
February 2024	Signa	ture of Applicant or Author	ized Agent
IMISSION COME			
CURTIS S	L.		
A Commissioner Attel SEN			
WHILE BEING A			
OUSUC SPIOLATI	FOR OFFICE USE ONLY		
Present Official Plan Designatio	on:		
	2 M.A.*	Making Mainh have a	D44(0)
Present Zoning By-law Classific	ation:	Mature Neighborhood	, R1A(2)
This application has been review	ved with respect to the varia	nces required and the resu	Its of the
said revie	w are outlined on the attach	ed checklist.	1
Shiza Athar		2024/02/27 Date	
Zoning Officer		Date	
DATE RECEIVE	MAR. 4,	2024	D
Date Application Deeme Complete by the Municipalit			Revised 2022/02/17
complete by the municipality	J		

-3-



Owner Authorization

Alana + Kelly Design Co. Alana Nielsen 905-873-4993 alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

billy Graieb Signature: billy Graieb Print name: billy Graieb Date: Jun 25, 2023 Phone: 4168588078 Email : aligra@rogers.com

billy Graieb Signature: billy Graieb Print name: billy Graieb Date: Jun 25, 2023 Phone: 4168588078 Email : aligra@rogers.com

PERMISSION TO ENTER

To: The Secretary-Treasurer Committee of Adjustment City of Brampton 2 Wellington Street West Brampton, Ontario L6Y 4R2 coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 10 HAZGLWOOD DRIVG, BRAMPTON

I/We, <u>NORG & BALIGH</u> <u>GRAIEB</u> please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 4 H day of , 20 24 (signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.) (where the owner is a firm or corporation, please print or type the full name of the person signing.) BALIGH

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

8. Existing Buildings **Existing Detached Dwelling:** Ground Floor Area - 242.71 sqm Gross Floor Area - 292.57 (Ground) + 252.46 (Basement) Number of Storeys 1 Width : 24.076 m Length: 13.586m Accessory Building A Ground Floor Area: 18.95 sqm Number of Storeys: 1 Width: 5.13m Length: 3.66m **Accessory Building B** Ground Floor Area: 14.86 sqm Number of Storeys: 1 Width: 4.27m Length: 3.76m **Accessory Building C** Ground Floor Area: 37.35 sqm Number of Storeys: 1 Width: 7.95m Length: 4.69m

Proposed Building Proposed Detatched Dwelling Ground Floor Area - 347.96 sqm Gross Floor Area: 139.41 sqm (Second) + 399.91sqm (Ground) + 270.02sqm (Basement) Total: 890.34 sqm Number of Storeys: 2 Width : 24.076 m Length: 26.42m

GRAIEB RESIDENCE ARCHITECTURAL DESIGN PACKAGE

10 HAZELWOOD DRIVE, BRAMPTON ON

DRAWING LIST:	GENERAL NOTES		ADDITIONS TO EXIS BUILDINGS 3.1.1	
0.01 SITE PLAN	ALL DRAWINGS ARE THE PROPERTY OF ALANA+ COPYRIGHT IN THESE DOCUMENTS WHICH MAY	COMPONENT	ADDITIONS	
1.00 FOUNDATION PLAN	WITHOUT WRITTEN CONSENT.	INOT BE USED FOR ANY OTHER PROJECT	CEILING WITH ATTIC SPACE (1) MIN.RSI-VALUE (R-VALUE)	10.56 (R60)
1.01 GROUND FLOOR 2.00 SECOND FLOOR	1. ALL DRAWINGS & CONSTRUCTION TO BE D a. THE ONTARIO BUILDING CODE (LATES	ST EDITIONS)	CEILING W/O ATTIC SPACE MIN.RSI-VALUE (R-VALUE)	5.46 (R31)
4.01 EAST & WEST ELEVATION		: REGULATIONS FOR CONSTRUCTION PROJECTS	EXPOSED FLOOR ⁽¹⁾ MIN.RSI-VALUE (R-VALUE)	5.46 (R31) 3.34+0.88ci
4.02 NORTH & SOUTH ELEVATION	d. ALL AUTHORITIES HAVING JURISDICT		WALLS ABOVE GRADE (0) MIN.RSI-VALUE (R-VALUE) BASEMENT WALLS(0)	(R19+5ci) 3.52 ci
		SCREPANCIES MUST BE REPORTED TO THE	MIN.RSI-VALUE (R-VALUE) EDGE OF BELOW GRADE	(R20 ci) 1.76
	3. DRAWINGS ARE TO BE READ AND NOT SCA	SLAB EQUAL OR LESS THAN 600mm (23 퉐'') BELOW GRADE MIN.RSI-VALUE	(R10)	
	4. ANY VARIANCE FROM THE STRUCTURAL D CONDITIONS ENCOUNTERED AT THE JOB S	(R-VALUE) ⁽¹⁾ HEATED SLAB OR SLAB	1.76	
	OWNER/BUILDER AND SUCH SOLUTION SH	EQUAL OR LESS THAN 600mm (23 퉒") BELOW	(R10)	
-	5. REFER TO INTERIOR DESIGN DRAWINGS, M SPECIFICATIONS/SHOP DRAWINGS INCLUE	GRADE MIN.RSI-VALUE (R-VALUE) ^(۱) WINDOWS AND SLIDING	1.6	
	PROJECT STATISTICS	GLASS DOORS MAXIMUM U-VALUE (W/m2*K) ⁽²⁾	1.6	
(AK)	EXISTING 3,205ft ² (297.75m ²)	LOCATION PLAN	NOTES: 1. THE VALUES LISTED ARE MI	NIMUM
ALANA + KELLY	PROPOSED 2,249ft ² (208.93m ²) TOTAL 5,454ft ² (506.69m ²)	Contraction of the second	RSI-VALUES FOR THERMAL INS	
design co.	ACCESSORY STRUCTURES	Diaper Library	EXPRESSED IN (m2*K)/W 2. U-VALUES IS THE OVERALL O OF HEAT TRANSFER EXPRESSE	
ALANA + KELLY DESIGN CO.	EXISTING -A 204ft ² (18.95m ²) EXISTING -B 160ft ² (14.86m ²) EXISTING -C 404ft ² (37.53m ²)	W/m2*K 3. THE BUILDING NEED NOT C MINIMUM EFFICIENCY REQUI	ONFORM TO	
ALANA NIELSEN (905)-873-4993	TOTAL 768ft ² (71.34m ²)	as alwood of a	FOR HRV'S, DOMESTIC HOT W HEATERS & SPACE HEATING E REQUIRED IN ARTICLE 2.1.1.2.	QUIPMENT
ADMIN@ALANAKELLYDESIGN.CA			• • • • • • • • • • • • • • • • • • •	

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	(X)
Λ	LANA	+ KELLY
A		
	DESIC	GN CO.
	ARCHITECTU	IRAL TECHNOLOGY
	INTER	IOR DESIGN
_	16 Mountai	nview Rd S, Unit 305
	Geo	rgetown, ON
	Office	L7G 4K1 905-873-4993
	www.al	anakellydesign.ca
-		
	DO NOT SCALE DRAWIN	IGS. POSTED DIMENSIONS ARE
	FOR GENERAL PL SUBCONTRACTORS S	IGS. POSTED DIMENSIONS ARE RPOSES ONLY, G.C. AND AILL CHECK AND VERIFY ALL ISTE AND REPORT ANY DESIGNER BEFORE ANY WORK DRAWINGS TO BE REVIEWED SIGNER, ALL DRAWINGS ARE HE DESIGNER AND MUST BE MPLETION OF THE PROJECT.
	DISCREPANCIES TO THE	DESIGNER BEFORE ANY WORK
	AND APPROVED BY DI	SIGNER. ALL DRAWINGS ARE HE DESIGNER AND MUST BE
	RETURNED UPON CO	MPLETION OF THE PROJECT.
Pf	ROJECT:	
	GRAIEB	RESIDENCE
		zelwood Dr ton, Ontario
	Drainp	iton, ontano
D	RAWING:	
	COV	ER PAGE
_		
SC	CALE: AS NOT	ED
R	EVISIONS:	
NO.	DATE	COMMENTS
1	AUG 2/23	DESIGN DRAFT 1
2	SEPT 6/23	DESIGN DRAFT 2
3 4	NOV 3/23 NOV 16/23	DESIGN DRAFT 3 DESIGN DRAFT 4
5	NOV 16/23	DESIGN DRAFT 5
6	NOV 21/23	DESIGN DRAFT 6

DRAWING #:

6

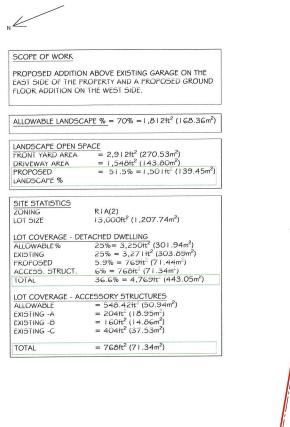
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PRELIMINARY-FOR REVIEW

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NOV 28/23 DESIGN DRAFT 6 APR 23/23 DESIGN DRAFT 7 AUG 2/24 ISSUED TO TRCA

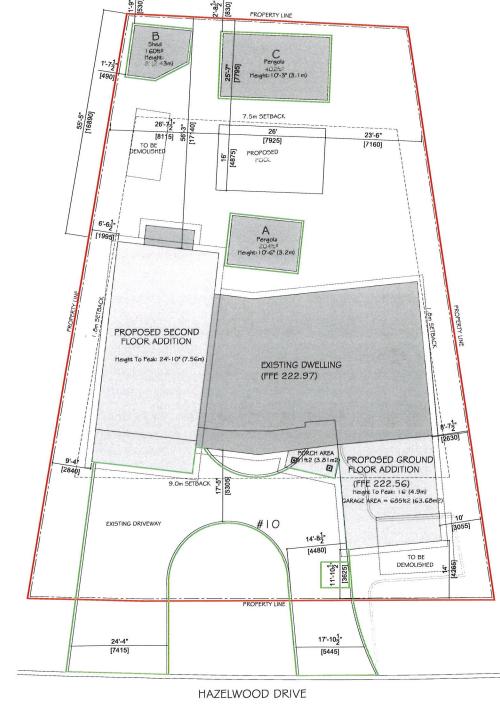
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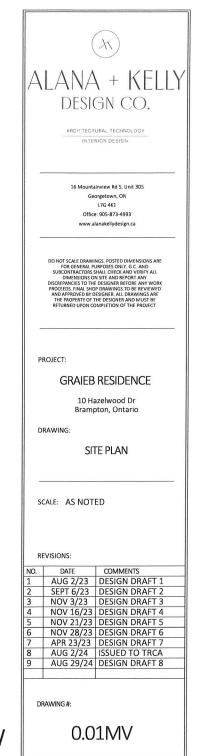


SITE PLAN

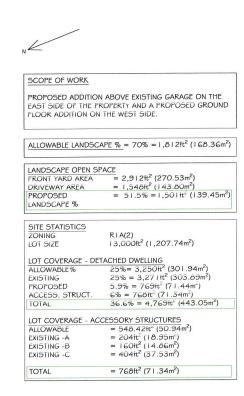
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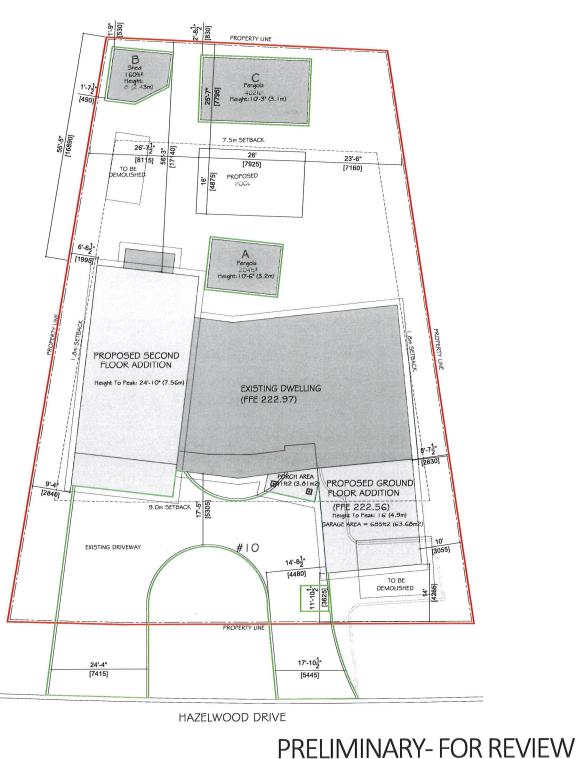
AUGUST 29/2024





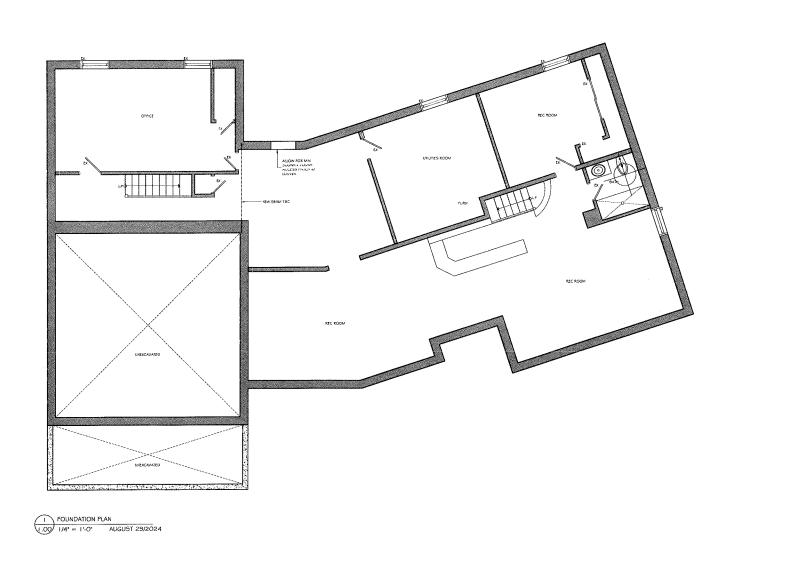
PRELIMINARY-FOR REVIEW

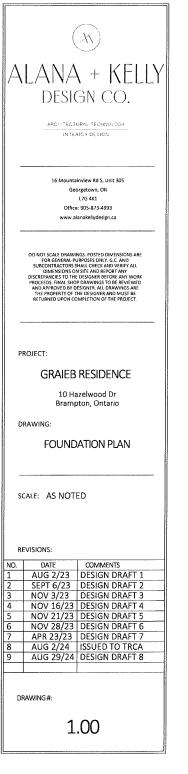




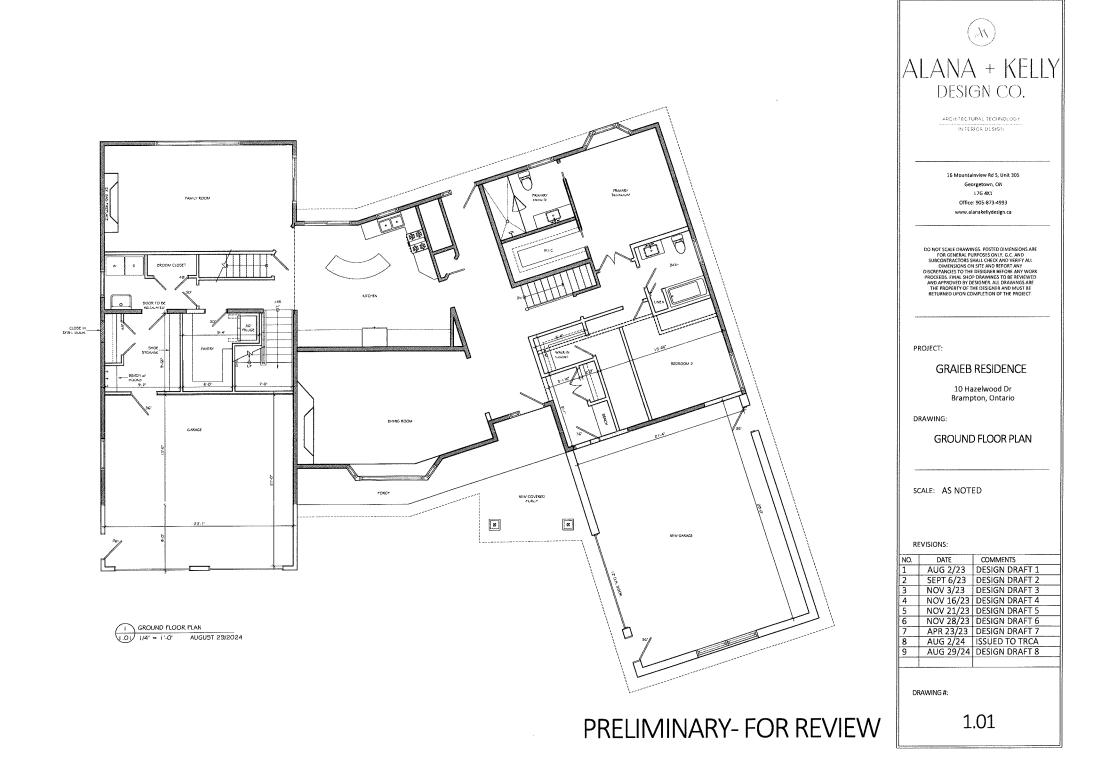


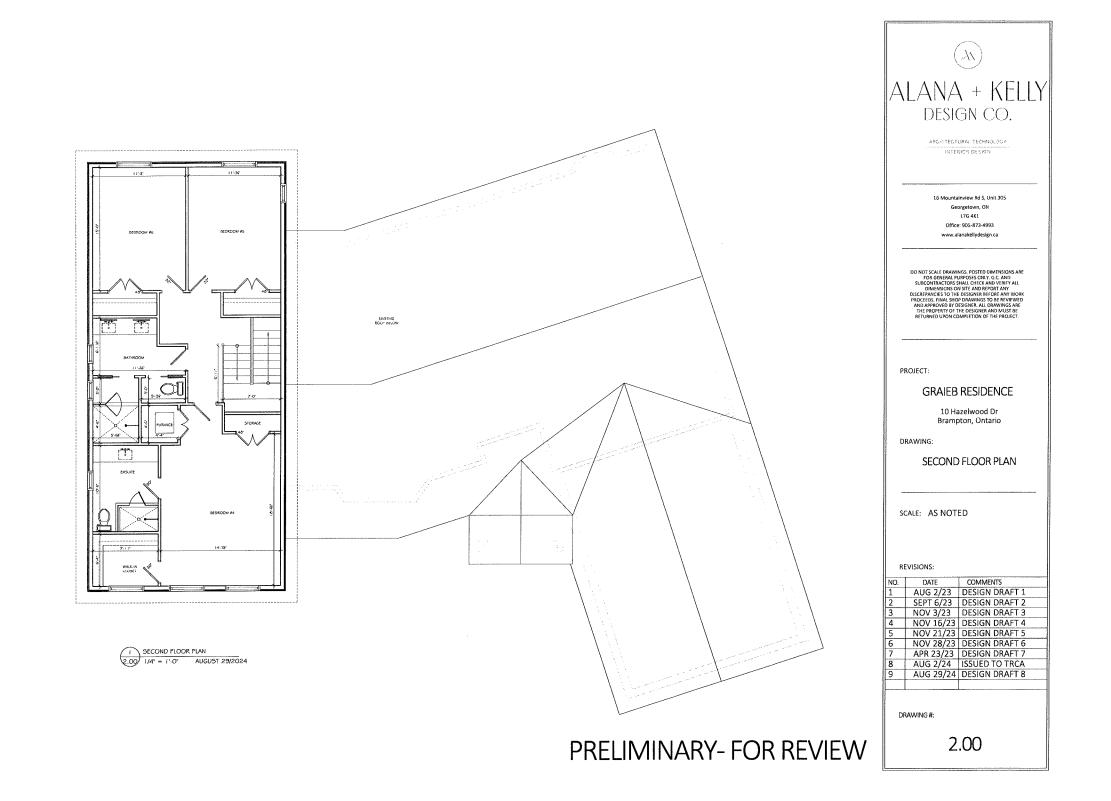


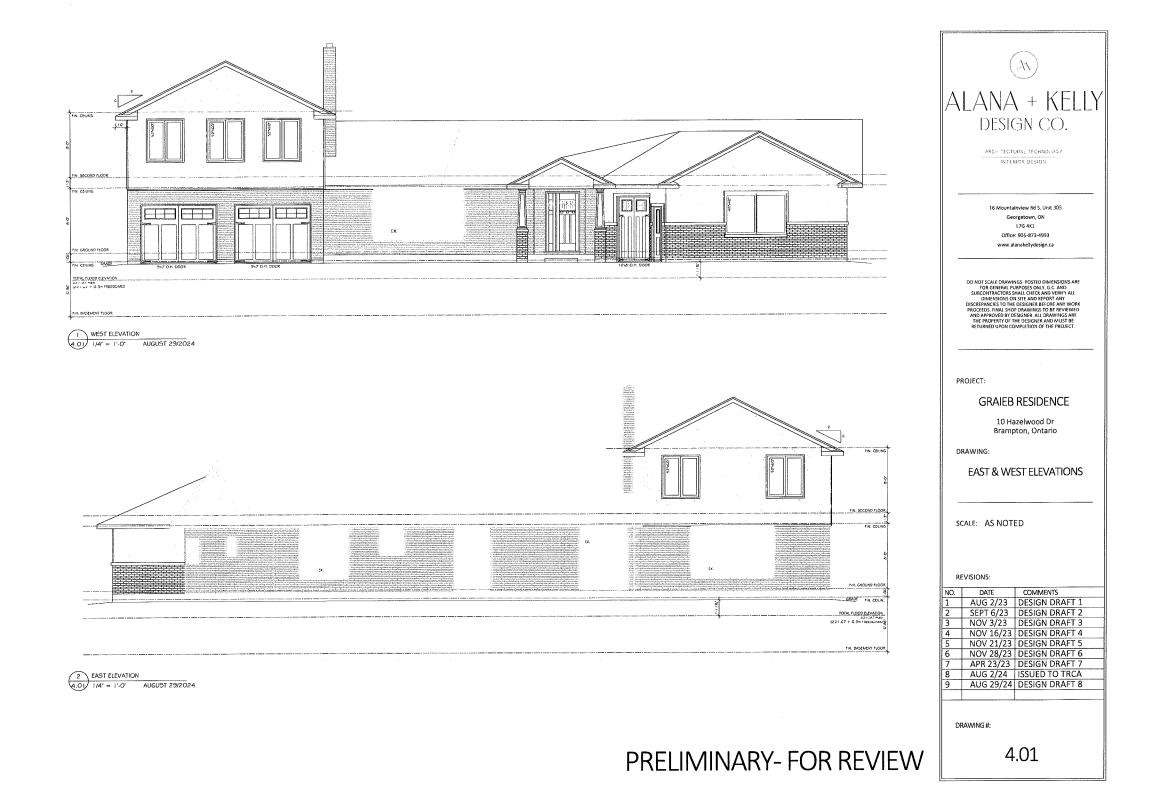




PRELIMINARY- FOR REVIEW





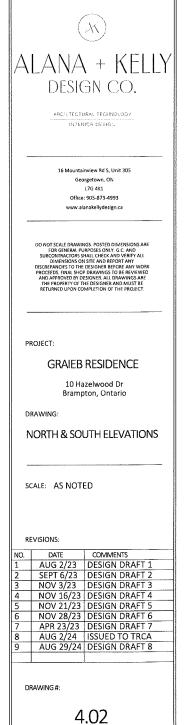


PRELIMINARY- FOR REVIEW



FIN. CEILING





Zoning Non-compliance Checklist

File No. A - 2024 - 0068

Applicant: Alana + Kelly Design Co Ltd Address: 10 Hazelwood Dr Zoning: Mature Neighborhood, R1A (2) By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #	
USE				
LOT DIMENSIONS AREA / DEPTH / WIDTH				
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)	
BUILDING FRONT SETBACK	To permit a front yard setback of 0.855m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)	
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)	
COVERAGE	To permit a lot coverage of 42%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)	
BELOW GRADE ENTRANCE				
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)	
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)	
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)	
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)	
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)	
LANDSCAPED OPEN SPACE				
SCHEDULE "C"				
OTHER - DECK				

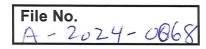
Shiza Athar

Reviewed by Zoning

2024/02/27

Date

Zoning Non-compliance Checklist



Applicant: Alana + Kelly Design Co Ltd Address: 10 Hazelwood Dr Zoning: Mature Neighborhood, R1A (2) By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #	
USE				
LOT DIMENSIONS AREA / DEPTH / WIDTH				
BUILDING SIDE SETBACK	To permit an interior side yard setback of 2.63m to a proposed ground floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)	
BUILDING FRONT SETBACK	To permit a front yard setback of 3.625m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)	
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)	
COVERAGE	To permit a lot coverage of 36.6%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)	
BELOW GRADE ENTRANCE				
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)	
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)	
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)	
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)	
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)	
LANDSCAPED OPEN SPACE				
SCHEDULE "C"				
OTHER – DECK				

Shiza Athar

Reviewed by Zoning

2024/09/13

Date

Received / Revised

JUL 17 2024

Committeee of Adjustment

Flower City



(to be inserte	For Office Use Only ed by the Secretary-Treasurer	
	plication is deemed complete)	2068
in An and the second second		

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

Killing (Construction)		APPLICATI	ON			
		Minor Variance or Spe		ssion		
		(Please read Inst	uctions)			
NOTE:	It is require accompani	ed that this application be filed with the Secre ed by the applicable fee.	tary-Treasurer of	f the Committee of	Adjustment and be	
1.	the Plannin	signed hereby applies to the Committee of A ag Act, 1990, for relief as described in this ag BAUCH GRAIEB wner(s) (Bailigh and Nora Graleb	djustment for the plication from By	City of Brampton ι -Law 270-2004 .	under section 45 of	
	Address	10 Hazelwood Drive, Brampton, Ontario	. 65	183		
	Phone # Email	416-858-8078 billy2020@rogers.com	Fax #			
2.	Name of A Address	gent Alana + Kelly Design Co. Ltd. 16 Mountainview Road South, Unit 305 Georgetown, Ontario	4K1			
	Phone # Email	905-873-4993 alana@alanakellydeisgn.ca	Fax #			
3.	Nature and extent of relief applied for (variances requested): To allow for a front yard landscape open space area of 40% whereas the minimum landscape open space area is 70%. To reduce the front setback to an addition from the minimum 9.0m to permit a front yard setback of 1.6m. To increase the total floor area of all accessory structures from the maximum 50.94 square metres to permit a floor area of 71.34 square metres. To increase the allowable lot coverage of the detached dwelling from the maximum 25% to 39%.					
4.	Why is it not possible to comply with the provisions of the by-law? Due to physical limitations of the an occupant of the home, we require a garage space adjacent to the bedroom area on the ground floor, resulting in the need for a reduced front yard setback. The garage must be at this size to accommodate a barrier free vehicle with an accessory fold down ramp					
5.	Lot Number Plan Number	cription of the subject land: er 10 ber/Concession Number 717 Address 10 Hazelwood Drive, Brampton, Ontario				
6	Dimensior Frontage Depth Area	n of subject land (<u>in metric units</u>) 34.51m 43m 1207.74m2				
7.	Provincial Municipal	the subject land is by: Highway ☐ Road Maintained All Year ☑ ght-of-Way ☐		nal Road Public Road		

8. Particulars of all buildings and structures on or proposed for the subject land: (specify <u>in metric units</u> ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land:

See Attached

 Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in <u>metric units</u>)

	EXISTING		
	Front yard setback	10.67m	
	Rear yard setback	15.54m	
	Side yard setback	2.63m	
	Side yard setback	2.49m	
	PROPOSED		
	Front yard setback	1.61m	
	Rear yard setback	17.40m	
	Side yard setback	2.63m	
	Side yard setback	1.99m	
10.	Date of Acquisition of	of subject land:	Unknown
			Existing Single Detached Dwellings
11.	Existing uses of sub	ect property:	
40			
12.	Proposed uses of su	ibject property:	Single Detached Dwellings
13.	Existing uses of abu	tting proportios:	Residential
15.	Existing uses of and	iting properties.	
14.	Date of construction	of all buildings & stru	ictures on subject land: Unknown
14.	Date of construction	i oi an bununigs a siru	clures on subject land.
15.	Length of time the e	xisting uses of the sub	pject property have been continued: Unknown
	.		
16. (a)	What water supply is	s existing/proposed?	
	Municipal]	Other (specify)
	Well]	
(b)	What sewage dispos	sal is/will be provided?	2
	Municipal 🗹] .	Other (specify)
	Septic]	
	-		
(c)	What storm drainage	e system is existing/pr	oposed?
	Sewers 🗹]	
	Ditches]	Other (specify)
	Swales]	

	i.	-3-
17.	Is the subject property the subject of an a subdivision or consent?	 pplication under the Planning Act, for approval of a plan of
	Yes No	
	Execution Contraction Contraction	Status
18.		
10.	Has a pre-consultation application been file	ea ?
10	Yes No	
19.	Has the subject property ever been the sub	
	Yes 🗹 No 🗖	Unknown
	If answer is yes, provide details:	-
	File # A17-024 Decision Approved File # Decision File # Decision	2 Relief Relief
	File # Decision	Relief
		Signature of Applicant(s) or Authorized Agent
DAT	ED AT THE TOWN OF Halton HIIS	Region of Haston
THI	ED AT THE TOWN OF Halton Hills s DAY OF JULY	, 20 24
		DLICITOR OR ANY PERSON OTHER THAN THE OWNER OF
THE SUE	JECT LANDS, WRITTEN AUTHORIZATION C	F THE OWNER MUST ACCOMPANY THE APPLICATION. IF ICATION SHALL BE SIGNED BY AN OFFICER OF THE
CORPOR	ATION AND THE CORPORATION'S SEAL SH	IALL BE AFFIXED.
	Alana Nieken	OF THE TOWN OF HOADAHIK
IN TH	= Prain of Halton	, OF THE TOWN OF HARDON HILLS
		MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVIN OATH,	NG IT TO BE TRUE AND KNOWING THAT IT	IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER
	ED BEFORE ME AT THE	
Tour	OF Hay Oton HILLS	
juuri		
	Kegion of	
TIQUE	THIS HERE	
Jul	U AMISSIONED	Signature of Applicant or Authorized Agent
\bigcirc	C CURTIS	
\sim	A Commissioner etc.	
Procession (1997)	LICENSED PARALEGAL	
	ACE OF ON A	ICE USE ONLY
	Present Official Plan Resignation:	
	Present Zoning By-law Classification:	
		pect to the variances required and the results of the ed on the attached checklist.
	Zoning Officer	Date
L		
	DATE RECEIVED	Received / Revised Revised 2022/02/17
	Date Application Deemed Complete by the Municipality	
		JUL 1 7 2024

Committeee of Adjustment



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For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete),

FILE NUMBER: <u>A - 25 24 - 006 8</u>

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

	APPLICATION				
	Minor Variance or Special Permission				
			e read Instructions		
NOTE:		d that this application be filed ad by the applicable fee.	with the Secretary-Tre	asurer of the Committee of /	Adjustment and be
1.	the <u>Planning</u>	igned hereby applies to the Co <u>g Act</u> , 1990, for relief as descr Q(Q)CD wner(s) Baligh and Nora G 10 Hazelwood Drive, Brampto	ribed in this application B G araieb		nder section 45 of
	-	416-858-8078 aligra@rogers.com		Fax #	
2.		gent Alana + Kelly Desi 16 Mountainview Road South Georgetown, Ontario			
		905-873-4993 alana@alanakellydesign.ca		Fax #	
3.	To allow f landscape To reduce setback o To increas metres to	extent of relief applied for (for a front yard landscape e open space area is 70% the front setback to an a f 0.855m. se the total floor area of a permit a floor area of 71, se the allowable lot cover	e open space area %. addition from the m all accessory struct .24 square metres.	of 40% whereas the mininimum 9.0m to permit tures from the maximun	a front yard n 50.94 square
4.	Due to ph adjacent t yard setb	ot possible to comply with t hysical limitations of the a to the bedroom area on t ack. The garage must be sory fold down ramp.	n occupant of the he ground floor, re	home, we require a gara sulting in the need for a	reduced front
5.	Lot Number	cription of the subject land: er 10 per/Concession Number Address <u>10 Hazelwood Drive</u>	717 e, Brampton, Ontario		
6.	Frontage Depth	a of subject land (<u>in metric u</u> 34.51m 43m 1207.74m2	nits)		
7.	Provincial Municipal	the subject land is by: Highway Road Maintained All Year ght-of-Way		Seasonal Road Other Public Road Water	

^{8.} Particulars of all buildings and structures on or proposed for the subject land: (specify <u>in metric units</u> ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) See Attached

PROPOSED BUILDINGS/STRUCTURES on the subject land: See Attached

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in <u>metric units</u>)

	EXISTING		
	Front yard setback	10.67m	
	Rear yard setback	15.54m	
	Side yard setback	2.63m	
	Side yard setback	2.49	n na
	PROPOSED Front yard setback Rear yard setback Side yard setback Side yard setback	0.855m 15.54m 2.63m 2.63m	
10.	Date of Acquisition of	of subject land:	Unknown
11.	Existing uses of sub	oject property:	Existing Single Detached Dwellings
12.	Proposed uses of su	ubject property:	Single Detached Dwellings
13.	Existing uses of abu	itting properties:	Residential
14.	Date of construction	of all buildings & stru	ictures on subject land: Unknown
15.	Length of time the e	xisting uses of the sub	ject property have been continued: Unknown
16. (a)	What water supply is Municipal Well	s existing/proposed?]]	Other (specify)
(b)	What sewage dispo Municipal 🖌 Septic	sal is/will be provided?]]	? Other (specify)
(c)	What storm drainag Sewers Ditches Swales	e system is existing/pr]]]	oposed? Other (specify)

	subdivision or consent?				
	Yes No 🗸				
	If answer is yes, provide details: File #	Status			
18.	Has a pre-consultation application been filed?				
	Yes 🔲 No 🗹				
19.	Has the subject property ever been the subject of an applie	cation for minor variance?			
	Yes 🔽 No 🗔 Unknown 🗖	2			
	If answer is yes, provide details:				
	File # A17-024 Decision Approved File # Decision File # Decision	Relief Carport/Accessory Structures Relief Relief			
	· ··· ·· <u></u> ===============================				
		CH			
	Signat	ure of Applicant(s) or Authorized Agent			
DAT	EDAT THE TOWN of Halton HIPOF The Regic	n of thatton			
THIS	ED AT THE TOWN OF Halton HILLS OF The Regic s_9H_ DAY OF FEDRUCKY, 2024.				
IF THIS A	APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR A	NY PERSON OTHER THAN THE OWNER OF			
	JECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER PLICANT IS A CORPORATION, THE APPLICATION SHAL				
	ATION AND THE CORPORATION'S SEAL SHALL BE AFFIXE				
	1, <u>Alana Nielsen</u> , of the Taun of Halton Hills				
IN THE REGION OF Halton solemnly declare that:					
	ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY				
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.					
	ED BEFORE ME AT THE				
Town	_ of <u>Haltonfills</u>				
IN THE	ROGIONOF				
Halton		CIN			
Febri	<u>O(()</u> , 20 <u>24</u> Signa	ature of Applicant or Authorized Agent			
CHANNISSION CAL					
A Commissioner MileLSEN					
	WHILE BEING A				
	FOR OFFICE USE ONLY				
Present Official Plan Designation:					
	Present Zoning By-law Classification:	Mature Neighborhood, R1A(2)			
	This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.				
	Shiza Athar	2024/02/27			
	Zoning Officer	Date			
L	DATE RECEIVED MAR. 4	2024			

VL

Date Application Deemed Complete by the Municipality

Revised 2022/02/17

-3-

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of



Owner Authorization

Alana + Kelly Design Co. Alana Nielsen 905-873-4993 alana@alanakellydesign.ca

I/We the owner(s) of the land being subject to this request/application, do hereby authorize and appoint Alana + Kelly Design Co. – Alana Nielsen as my/our agent to make this request/application on/our behalf, and to conduct all communications on my/our behalf.

Address: 10 Hazelwood drive

Municipality: Brampton

billy Graieb Signature: billy Graieb Print name: billy Graieb Date: Jun 25, 2023 Phone: 4168588078 Email : aligra@rogers.com

billy Graieb Signature: billy Graieb Print name: billy Graieb Date: Jun 25, 2023 Phone: 4168588078 Email : aligra@rogers.com

PERMISSION TO ENTER

To: The Secretary-Treasurer Committee of Adjustment City of Brampton 2 Wellington Street West Brampton, Ontario L6Y 4R2 coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 10 HAZGLWOOD DRIVE , BRAMPTON

I/We,	NORD &	BALIGH	GRAIEB	
	0	please	e print/type the full name of	the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 4th day of	March	, 20 <u>Zi</u> f	
Amarand	NORA	GRAIEB	
(signature of the owner[s], or w	where the owner is a firm o	or corporation, the signature of an officer of the owner.)	
<u>pal</u>	BALIGH	GRAIEB	
(where the owner is a fir	m or corporation, please p	print or type the full name of the person signing.)	
A			

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

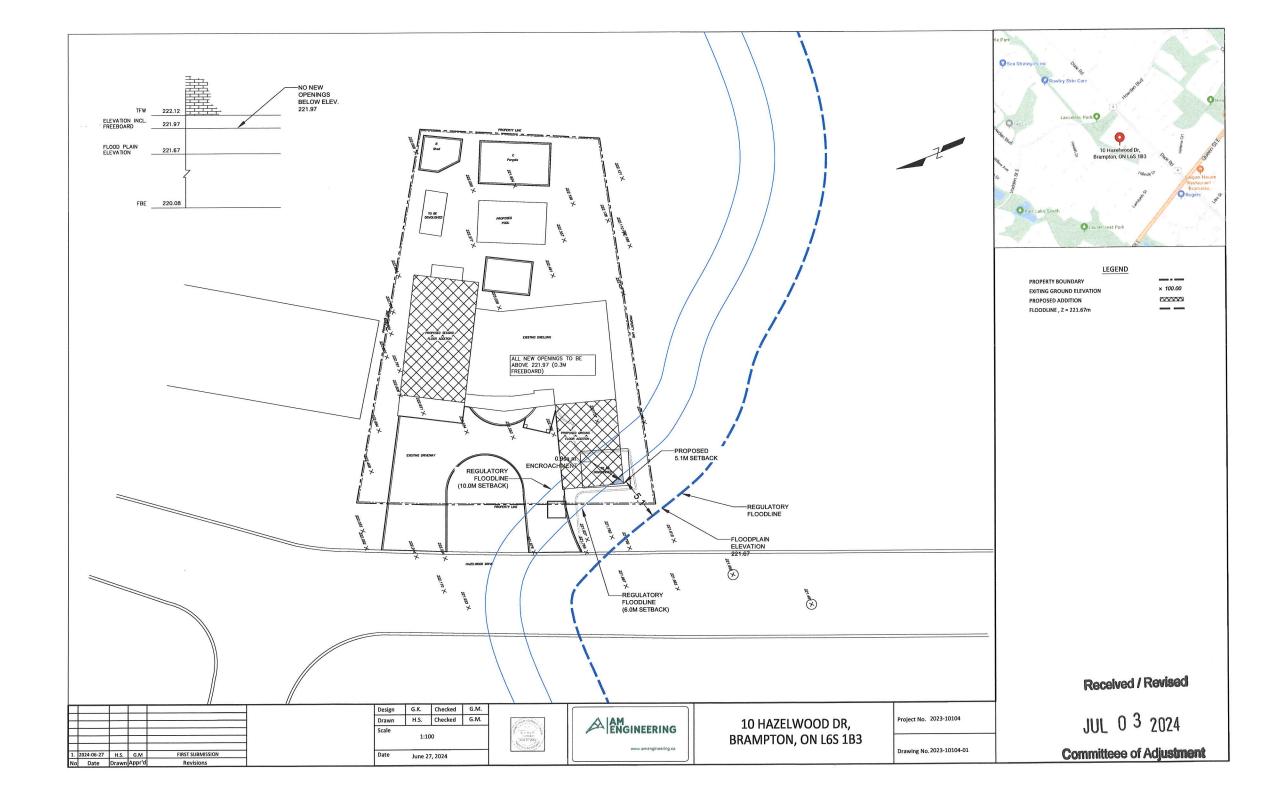
NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

8. Existing Buildings **Existing Detached Dwelling:** Ground Floor Area - 242.71 sqm Gross Floor Area - 292.57 (Ground) + 252.46 (Basement) Number of Storeys 1 Width : 24.076 m Length: 13.586m Accessory Building A Ground Floor Area: 18.95 sqm Number of Storeys: 1 Width: 5.13m Length: 3.66m **Accessory Building B** Ground Floor Area: 14.86 sqm Number of Storeys: 1 Width: 4.27m Length: 3.76m **Accessory Building C** Ground Floor Area: 37.35 sqm Number of Storeys: 1 Width: 7.95m Length: 4.69m **Proposed Building Proposed Detatched Dwelling** Ground Floor Area - 347.96 sqm Gross Floor Area: 139.41 sqm (Second) + 399.91sqm (Ground) + 270.02sqm (Basement) Total: 890.34 sqm

Number of Storeys: 2

Width : 24.076 m

Length: 26.42m



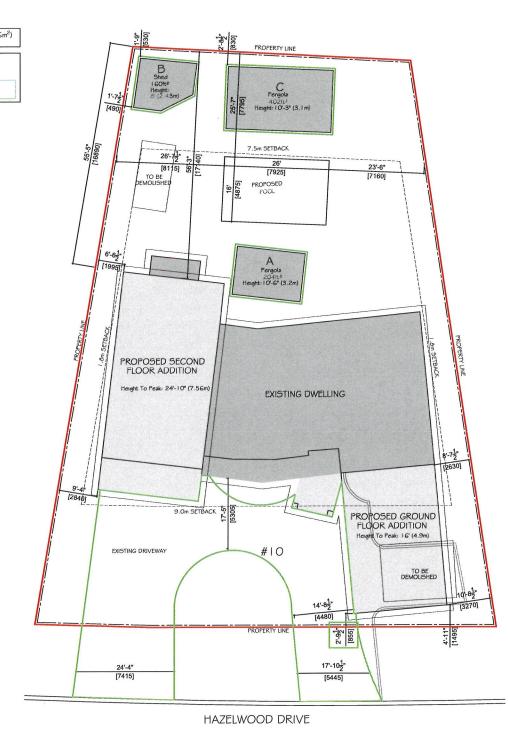
LANDSCAPE OP	EN SPACE
FRONT YARD AF	$REA = 2589 \text{ft}^2 (240.53 \text{m}^2)$ $A = 1548 \text{ft}^2 (143.80 \text{m}^2)$
DRIVEWAY AREA	$= 1546 \text{ft}^{-} (143.00 \text{m}^{-})$
PROPOSED	$= 40\% = 104 \text{lft}^2 (96.73 \text{m}^2)$
LANDSCAPE %	
SITE STATISTIC	
ZONING	RIA(2)
LOT SIZE	13,000ft ² (1,207.74m ²)
	- DETACHED DWELLING
ALLOWABLE%	25%= 3,250ft ² (301.94m ²)
	24.7% = 3,205ft ² (297.75m ²)
	$17\% = 2,267 \text{ft}^2 (210.6 \text{m}^2)$
TOTAL	$42\% = 5,472\text{tt}^2 (508.35\text{m}^2)$
LOT COVERAGE	- ACCESSORY STRUCTURES
ALLOWABLE	= 548.42ft ² (50.94m ²)
	$= 204 \text{ft}^2 (18.95 \text{m}^2)$
	$= 160 \text{ft}^2 (14.86 \text{m}^2)$
EXISTING -B	

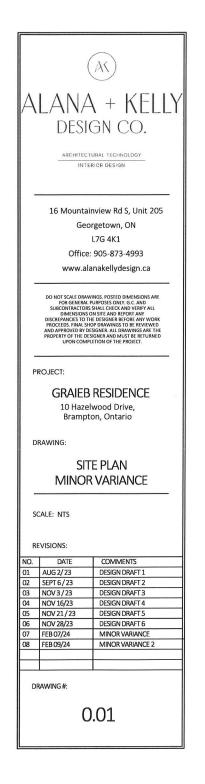
SITE PLAN

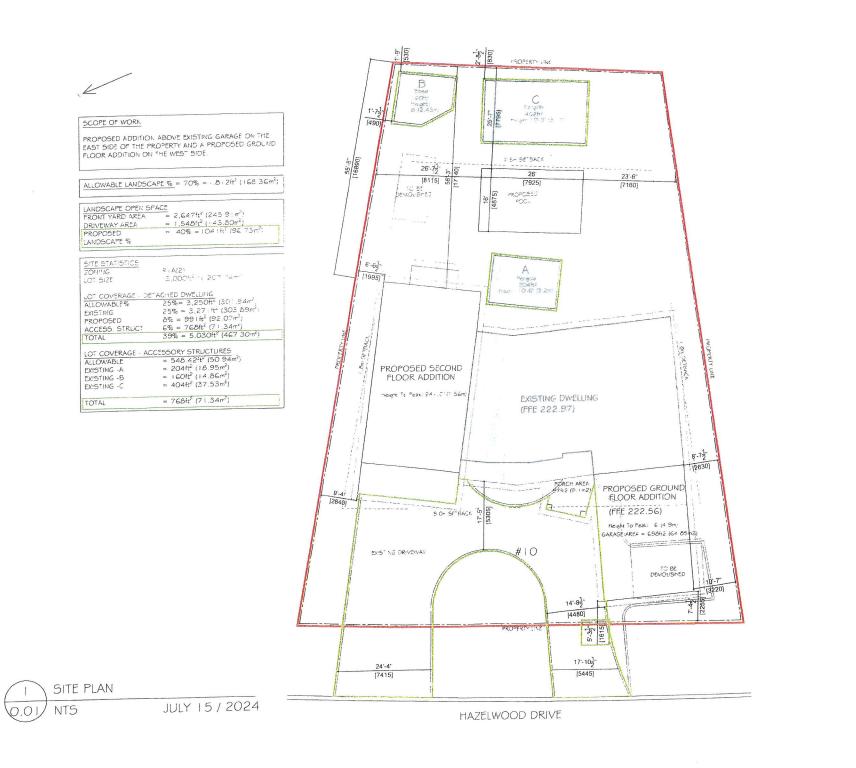
FEB 16/2024

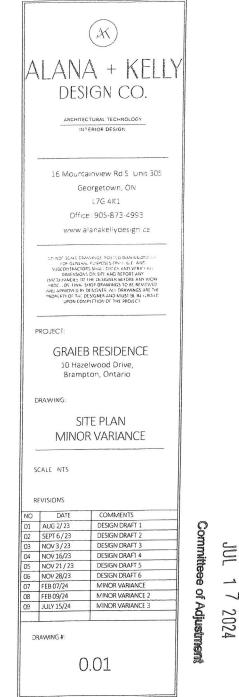
NTS

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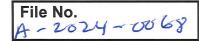
Received / Revised

~

PRELIMINARY-FOR REVIEW



Zoning Non-compliance Checklist



Applicant: Alana + Kelly Design Co Ltd Address: 10 Hazelwood Dr Zoning: Mature Neighborhood, R1A (2) By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
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BUILDING FRONT SETBACK	To permit a front yard setback of 0.855m to a proposed ground floor addition,	whereas the by-law requires a minimum front yard setback of 9.0m.	12.3.2 (d)
BUILDING SIDE SETBACK	To permit an interior side yard setback of 1.995m to a proposed second floor addition,	whereas the by-law requires a minimum interior side yard setback of 2.8m.	10.27 b) (iii)
COVERAGE	To permit a lot coverage of 42%,	whereas the by-law permits a maximum lot coverage of 25%.	12.3.2 (i)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS	To permit an accessory structure (existing shed) having a setback of 0.49m to the side lot line,	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) (ii)
ACCESSORY STRUCTURE COVERAGE	To permit an accessory structure (existing pergola) having a gross floor area of 18.95 sq. m (204 sq. ft.),	whereas the by-law permits a maximum gross floor area of 15 sq. m for an individual accessory structure.	10.3 (e) (ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.1m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (existing pergola) having a height of 3.2m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3 (h)
ACCESSORY STRUCTURE COVERAGE	To permit a combined gross floor area of 71.34 sq. m for three (3) accessory structures,	whereas the by-law permits a maximum combined gross floor area of 20 sq. m for two (2) accessory structures.	10.3 (ii)
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/02/27

Date