

FILE NUMBER: A-2025-0039

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

TK

1. Name of Owner(s) Thilak Krishna Moorthy/ Nirmala Thilak /Thilak Krishamoorthy  
Address 20 Fern St.,Brampton, ON L6Y 1X2

Phone # 778 881 1132 Fax # \_\_\_\_\_  
Email k.Thilak1984@gmail.com

2. Name of Agent Valiuddin Mohammed/Mechways Inc.  
Address 6 Ripon St., Mississauga, ON L4T 1E2

Phone # 416 627 4100 Fax # \_\_\_\_\_  
Email info@mechways.com

3. Nature and extent of relief applied for (variances requested):

1. To seek relief from Zoning by law to allow the minimum front setback of 6m to a proposed two storey addition.
2. To seek relief from the zoning by law to allow the maximum lot coverage of 35.79%, whereas permitted is 30%

4. Why is it not possible to comply with the provisions of the by-law?  
1.According to zoning by law, no part of any dwelling or accessory building shall be erected or placed at a distance less than 8m from any lot line abutting a street.  
2. According to zoning by law, the maximum permitted lot coverage is 30%, however proposed is 35.79%  
Hence seeking the relief for the difference.

5. Legal Description of the subject land: LOT 52  
Lot Number \_\_\_\_\_  
Plan Number/Concession Number PLAN 354  
Municipal Address 20 Fern St.,Brampton, ON L6Y 1X2

6. Dimension of subject land (in metric units)  
Frontage 19.18m  
Depth 34.14m  
Area 654.81 sqm

7. Access to the subject land is by:  
Provincial Highway \_\_\_\_\_  
Municipal Road Maintained All Year ☒  
Private Right-of-Way \_\_\_\_\_  
Seasonal Road \_\_\_\_\_  
Other Public Road \_\_\_\_\_  
Water \_\_\_\_\_

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land:

Ground Floor Area -	83.11Sqm
Gross Floor Area-	83.11 Sqm
No of storeys-	1

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

Ground Floor Area -	180.81 Sqm
Gross Floor Area-	387.18 Sqm
No of storeys-	2

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	5.37m
Rear yard setback	9.72m
Side yard setback	1.27m
Side yard setback	3.03m

**PROPOSED**

Front yard setback	5.37m
Rear yard setback	9.72m
Side yard setback	0.91m
Side yard setback	3.03m

0. Date of Acquisition of subject land: Jan 2024
1. Existing uses of subject property: Residential
2. Proposed uses of subject property: Residential
3. Existing uses of abutting properties: Residential
4. Date of construction of all buildings & structures on subject land: ~1975
5. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify)
- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify)
- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No ✓

If answer is yes, provide details: File # Status

18. Has a pre-consultation application been filed?

Yes No ✓

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown ✓

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

*[Signature]*

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Toronto  
THIS 24<sup>th</sup> DAY OF Feb, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE City Mississauga  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
city OF Toronto  
IN THE Province OF  
Ontario THIS 24th DAY OF  
February, 2025.

*[Signature]*

A Commissioner etc.

Rameshbhai Somabhai Patel  
Ramesh Patel & Associates Lawyers  
Professional Corporation  
127 Westmore Dr. Unit # 101,  
Toronto, ON, M9V 3Y6  
Tel: 416-742-2999 Fax: 416-742-3888  
mail@rplawoffice.net



Digitally signed by Valiuddin Mohammed  
DN: cn=Valiuddin Mohammed,  
o=CA, o=Mechways Inc.,  
email=info@mechways.com  
Date: 2025.02.24 15:24:38 -05'00'

Valiuddin Mohammed

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: R1B-3057 & Mature Neighbourhood

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar Zoning Officer April 08, 2025 Date

DATE RECEIVED April 09, 2025  
Mercelyn

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

20 Fern St., Brampton, ON, L6Y1X2

LOCATION OF THE SUBJECT LAND:

I/We, Thilale Krishnamoorthy, Nirmala Thilale  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize  
Valiuddin Mohammed/Mechways Inc.

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application  
for **minor variance** with respect to the subject land.

Dated this 24 day of Feb, 2025

K. [Signature] [Signature]  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 20 Fern St., Brampton, ON, L6Y1X2

I/We, Thilak Krishnamoorthy, Normale Thilak  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 24 day of Feb, 20 25  
D. Singh myself  
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



8. Committee of Adjustment		
Residential Minor Variance Applications		
Above/Below Grade Variance (Door/Window)	\$11,949	Per Application
Driveway Variance	\$11,949	Per Application
Parking Variance	\$11,949	Per Application
Variances to Section 10.16 (Garden Suites) of the Zoning By-Law	\$11,949	Per Application
All Other Variances	\$2,990	Per Variance
Maximum Fee	\$11,949	Per Application
Institutional, Commercial or Industrial (ICI) Minor Variance Applications		
Minor Variance Application	11,949	Per Application
"After the Fact" Variance (Residential or ICI) Variance application resulting from a registered complaint, construction inspection, building order or enforcement action.	\$11,949	Per Application
Consent Applications		
Consent Application – Lot Creation	\$10,157	Per Application
Consent Application – All Other (in accordance with Planning Act S.57, 50(18), or 53(23))	\$5,078	Per Application
Committee of Adjustment Application Re-Circulated Pursuant to A Request by The Applicant to Defer an Application	\$5,000	Per Notice
Consent Certificate	\$2,127	Per Certificate
Replacement Notice Sign	\$75	Per Sign
<b>Committee of Adjustment Application Refunds:</b> <ul style="list-style-type: none"> <li>• \$400 refund if withdrawn prior to internal circulation (By-law 231-2007).</li> <li>• \$300 refund if withdrawn prior to circulation of public notice of a hearing (By-law 231-2007).</li> <li>• No refund if withdrawn once the circulation of the public notice of a hearing has occurred (By-law 231-2007).</li> </ul>		

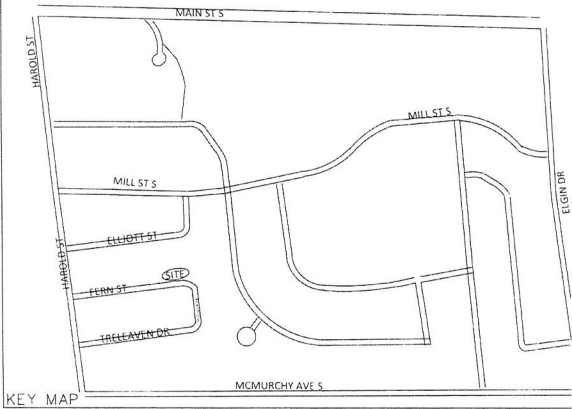
NOTES

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

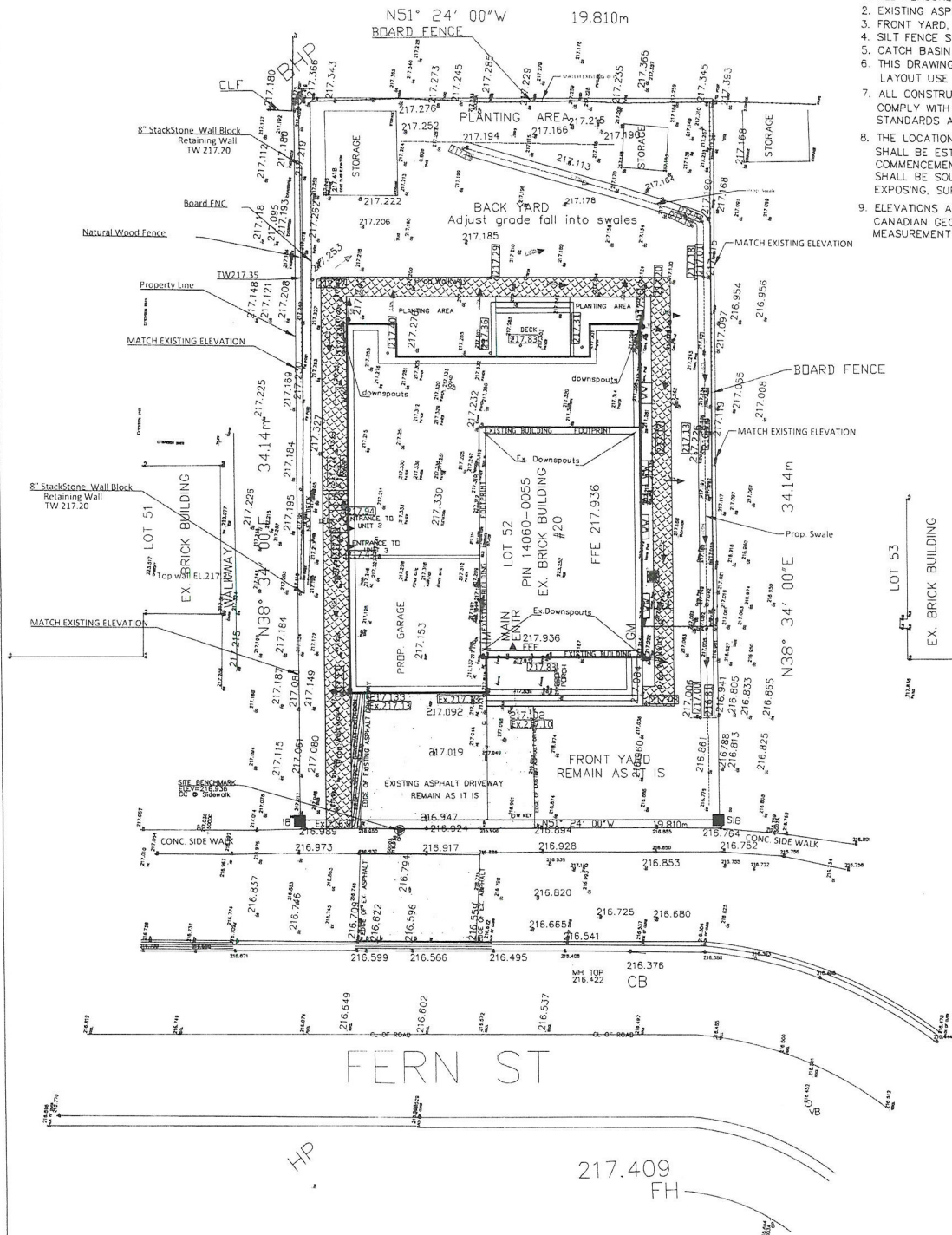
DISTANCES ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE AVERAGE COMBINED SCALE FACTOR OF 0.9988090357.

SITE BENCH MARK

BENCHMARK NO.00819728392  
LARGE METAL CLAD AND RED BRICK BUILDING (OWNED BY ONTARIO SEED CLEANERS AND DEALERS LTD) ON NORTH SIDE OF BRAMPTON SIDEROAD 15,  
1.3 KM SOUTH OF JCT OF HWY 10 AND PEEL REG RD 14 IN THE HAMLET OF SNELGROVE, 3.1 KM NORTH OF NORTH JCT OF HWYS 7 AND 10 AT BRAMPTON,  
0.6 KM WEST OF HWY 10 AND 50 M NORTH OF CENTRELINE OF BRAMPTON SIDEROAD 15. TABLET IS SET HORIZONTALLY IN EAST FACE OF CONCRETE FOUNDATION, 25.39 M NORTH OF S.E. CORNER AND 85 CM BELOW METAL SIDING.



- NOTES
1. ALL MEASUREMENTS AND ELEVATIONS ARE IN METRIC
  2. EXISTING ASPHALT DRIVEWAY REMAIN AS IT IS
  3. FRONT YARD, REMAIN AS IT IS
  4. SILT FENCE SHALL BE INSTALLED AS PER OPSD 2019.11C
  5. CATCH BASIN SEDIMENT TRAPS SHALL BE INSTALLED.
  6. THIS DRAWING RELATED TO THE SITE GRADING WORK, FO LAYOUT USE THE ARCHITECTURAL SITE PLAN
  7. ALL CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE CITY, REGION, AND PROVINCIAL STANDARDS AND SPECIFICATIONS.
  8. THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD SHALL BE ESTABLISHED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR ALL LOCATION, EXPOSING, SUPPORTING AND PROTECTING OF ALL.
  9. ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD28) BY DIREC MEASUREMENT TO A REAL TIME NETWORK (TOPNET).

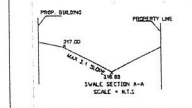


North arrow pointing towards the top right.

Professional Engineer Seal: M. G. YAZDANI, 100532689, MAR 22 2025, PROVINCE OF ONTARIO.

LEGEND

HC	HCM, HCP, BM
SSIB	SURVEY MONUMENT FOUND
SSIB	STANDARD IRON BAR
IS	SHORT STANDARD IRON BAR
CP	IRON BAR
CP	CP Point
CP	CUT CROSS
CB	CATCH BASIN
MH	MANHOLE
CB	CATCH BASIN
HP	HYDRO POLE
GV	GAS VALVE
WV	WATER VALVE
FH	FIRE HYDRANT
US	UTILITY POLE
TS	TRAFFIC SIGNAL
TSCB	TRAFFIC SIGNAL CP BOX
HP/L	HYDRO POLE LIGHT STANDARD
CSP	CORRUGATED STEEL PIPE
W	WIRE
TV	Vegetable / Bush
BC	TOP WALL
BC	B CURVE
EP	EDGE OF PAVEMENT
EA	EDGE ASPHALT
CU	DEPRESS CURB
TS	TOP SLOPE
BS	BOTTOM SLOPE
CL	CENTERLINE
DI	DITCH
SV	SIDE WALK
DG	ORIGINAL GROUND
EG	EXISTING GRADE
Asp	Asphalt
EX Asp	EXISTING ASPHALT
+ 217.000	EXISTING ELEVATION
217.000	PROPOSED ELEVATION



SITE BENCHMARK SHOWN HEREON IS THE X-CUT ON THE SIDEWALK NUMBER 5001A, HAVING AN ELEVATION OF 216.936m

Description	Date	Submit B
2nd Submission	20-03-2025	---

BRsurveyin  
E-mail: info@brsurveyin.com  
Phone no: +1 416993.6400 Fax: +1 647993.6400

LEGAL DESCRIPTION:  
LT 52, PL 534, PIN 14060-0055  
CITY OF BRAMPTON

Project Name:  
20 FERN ST  
BRAMPTON

DATE: 2025/05/06	SCALE: 1:150
DRAWN BY: Q	CHECKED BY: [Signature]
REFERENCE NO: 20231001	DATED: 20 May 2025

DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56  
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS

SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN OF

LOT 52, REGISTERED PL

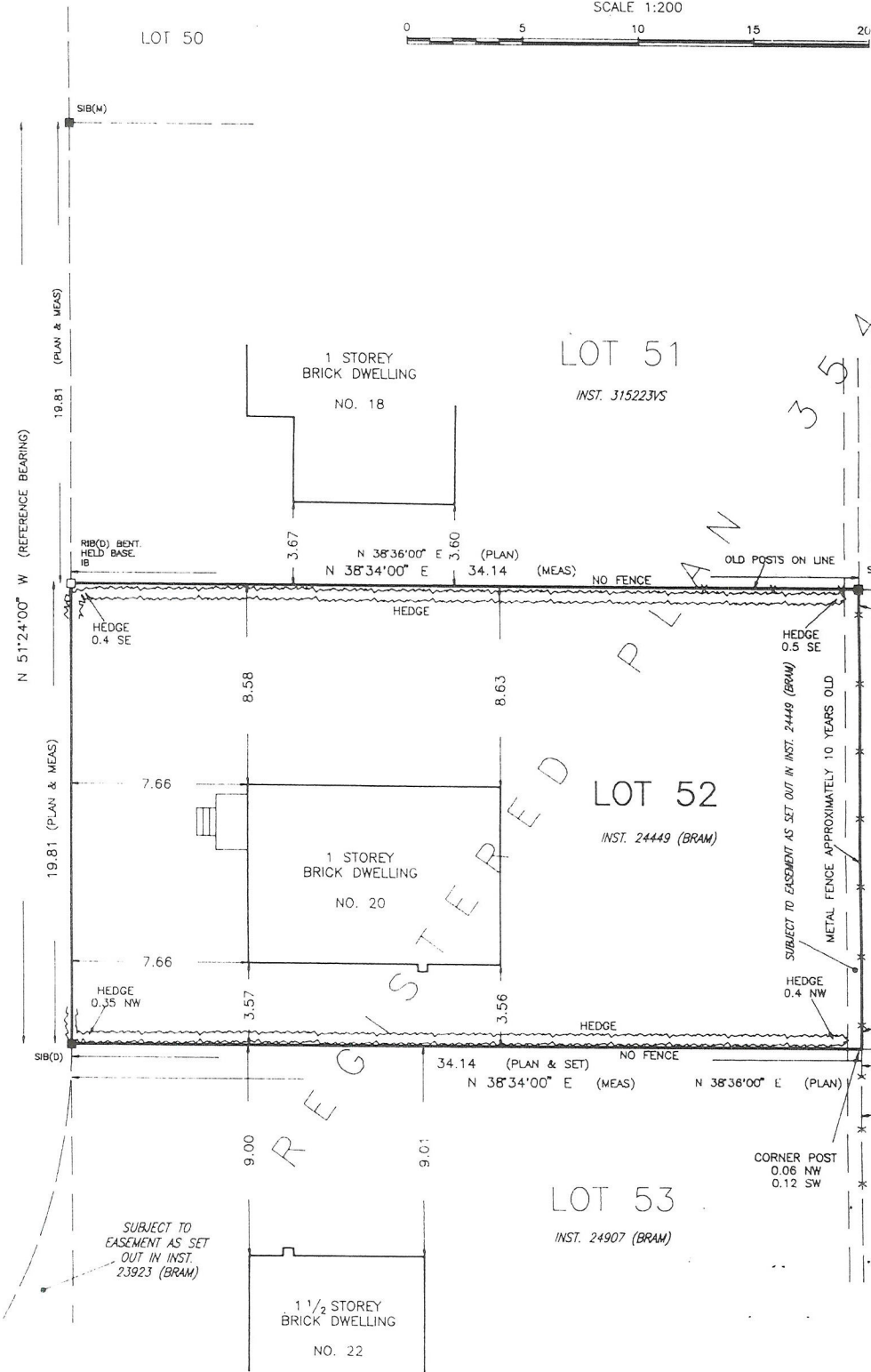
FORMERLY IN THE TOWN OF BRAMPTON, COUNTY OF PEEL, NOW IN  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

B.J. STASSEN, O.L.S., 1994

SCALE 1:200

FERN STREET

(DEDICATED BY REGISTERED PLAN 354)

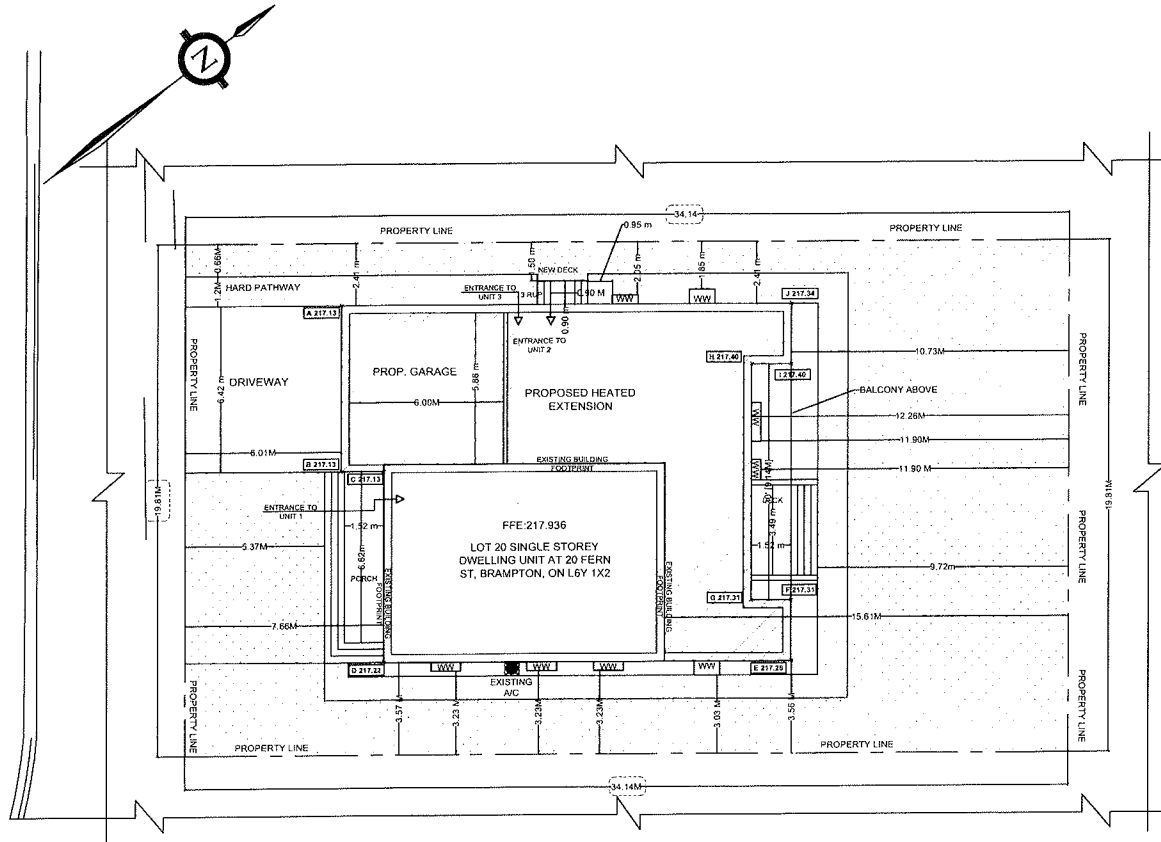


PART 2  
MUST BE READ IN  
WITH REPORTING LETTER  
FEBRUARY 17, 1994.

L.S., 1994.  
duce, distribute or alter this plan in whole  
in permission of B.J. Stassen, O.L.S.



FERN ST



LANDSCAPED OPEN AREA CALCULATION (FRONT YARD)	
GROSS AREA OF FRONT YARD	1476.34 m² / 157.15 m²
PROPOSED DRIVEWAY	415.27 m² / 38.56 m² 28.13%
FRONT YARD PORCH INCLUDING STEPS	181.87 m² / 16.69 m² 12.31%
FRONT YARD HARD LANDSCAPED AREA	111.78 m² / 10.38 m²
HARD LANDSCAPED AREA %	7.57%
FRONT YARD SOFT LANDSCAPED AREA	767.42 m² / 71.30 m²
SOFT LANDSCAPED AREA %	51.99%

UNIT 1 G.F.A.	= 314.72 m²
UNIT 2 G.F.A.	= 56.02 m²
UNIT 3 G.F.A.	= 169.31 m²

SITE STATISTICS	
PROJECT ADDRESS:	20 Fern St, Brampton, ON L6Y 1X2
LEGAL DESCRIPTION:	LOT 52 PLAN 354 INST. 24449 (BRAM)
ZONING INFORMATION:	BY-LAW IN EFFECT: ZONE: R1B
LOT INFORMATION:	LOT AREA: 676.61 m² LOT FRONTAGE: 19.81m (EXIST. TO REMAIN) BUILDING HEIGHT: MAXIMUM 10.6 m PROPOSED: 8.1 m

SITE STATISTICS	
REQUIRED FRONT YARD	MIN 6.0 m PROP. 6.01m
REQUIRED EXTERIOR	1.8 m
SIDE YARD	PROP. 3.59 m, 1.83 m
MIN REAR YARD	7.5 m PROP. 10.73 m
LOT COVERAGE:	676.61 m²
EXIST. BUILDING FOOTPRINT:	(83.11 m²)
PROP. HEATED EXTENSION:	(137.96 m²)
INCLUDING GARAGE/PORCH	
PROP. BALCONY:	(17.83 m²)
PROPOSED LOT COVERAGE:	238.90 m² (35.30 %)

ESTABLISHED GRADE CALCULATION					
LENGTH NO.	BEGIN ELE.	END ELE.	LENGTH (M)	(EL.1+EL.2)/2 x L	
A-B	217.13	217.13	6.42	1393.97	
B-C	217.13	217.13	1.65	358.26	
C-D	217.13	217.22	7.39	1604.92	
D-E	217.22	217.26	15.75	3421.53	
E-F	217.26	217.31	2.34	508.45	
F-G	217.31	217.31	1.52	330.31	
G-H	217.31	217.40	9.14	1986.62	
H-I	217.40	217.40	1.52	330.45	
I-J	217.40	217.34	2.34	508.65	
J-A	217.34	217.13	17.40	3779.89	
TOTAL			65.47	14223.05	
ESTABLISHED GRADE				217.25	

#### GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	REVISION	DATE
4	REVISION	MAR 22 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

Mechways Inc.

ADDRESS: 20 FERN ST, BRAMPTON, ON L6Y 1X2  
CONTACT: V. MOHAMMEDI  
PHONE: 905.874.2211  
WWW: WWW.MECHWAYS.COM

PROJECT:

20 FERN ST, BRAMPTON, ON L6Y 1X2

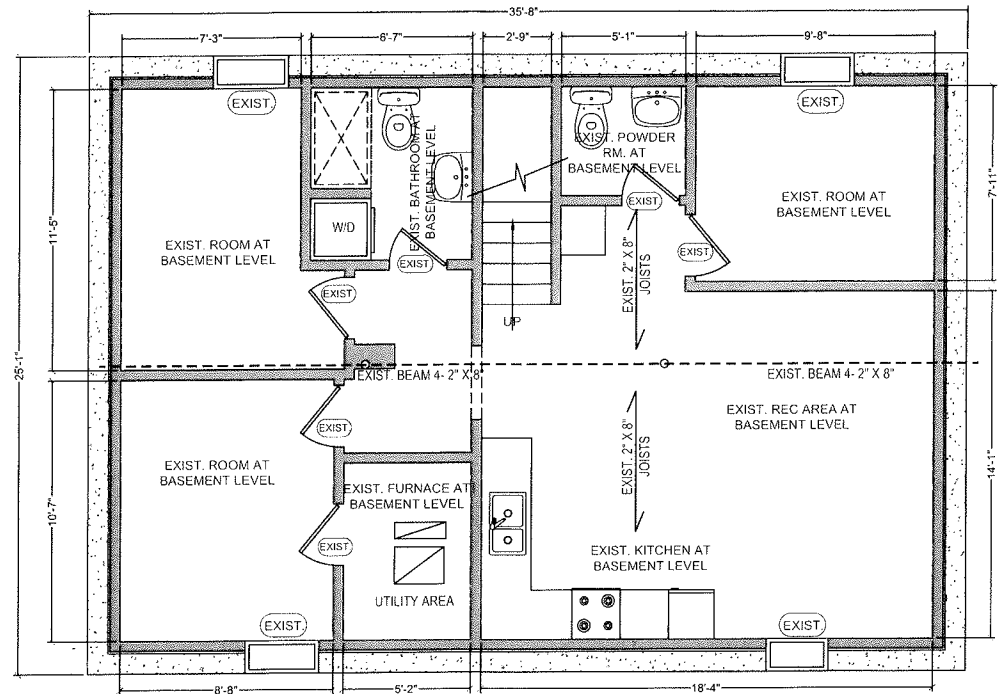
SHEET TITLE:

SITE PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1:200  
DATE: JAN 02 2025

DRAWING:

AD.1



**EXIST. BASEMENT FLOOR PLAN**

DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW

**GENERAL NOTES:**

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
---	----------------------------	-------------

NO.	DESCRIPTION	DATE
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ENGINEER:

**Mechways Inc.**

ADDRESS: 1000 WILSON AVENUE, SUITE 100, BRAMPTON, ON L6Y 1X2  
TEL: 905.874.1234  
WWW.MECHWAYS.COM

PROJECT:

20 FERN ST., BRAMPTON, ON L6Y 1X2

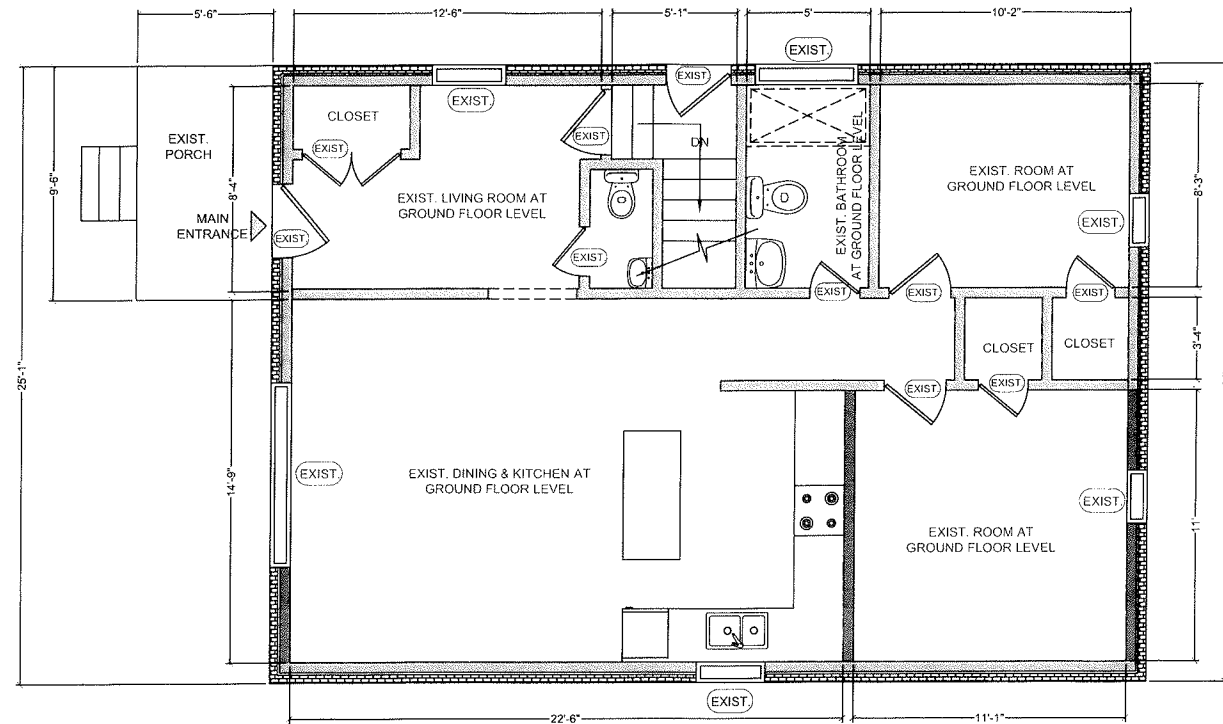
SHEET TITLE:

EXIST. BASEMENT PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'-0"  
DATE: JAN 02 2025

DRAWING:

A1.1



**EXIST. GROUND FLOOR PLAN**  
GROUND FLOOR G.F.A = 894.63 ft<sup>2</sup> / 83.11 m<sup>2</sup>

DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW


GENERAL NOTES:  
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HERE WITHIN, THE DESIGNER SHALL  
BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

 **Mechways Inc.**

1000 KENNEDY RD. UNIT 10  
SCARBOROUGH, ONTARIO M1T 3B4  
CANADA  
TEL: (416) 291-1000  
WWW.MECHWAYS.COM

PROJECT:

20 FERN ST, BRAMPTON,  
ON L6Y 1X2

SHEET TITLE:

EXIST. GROUND  
FLOOR

CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A1.2

Floor plan of the existing building showing rooms to remain, rooms to be demolished, and areas to be removed. The plan includes dimensions and labels for various areas.

**Rooms to Remain:**

- EXIST. ROOM TO REMAIN AS IS (Top Left)
- EXIST. BATHROOM TO REMAIN AS IS (Top Center)
- EXIST. ROOM TO REMAIN AS IS (Bottom Left)
- EXIST. FURNACE TO REMAIN AS IS (Bottom Center)
- UTILITY AREA (Bottom Center)

**Rooms to Be Demolished:**

- EXIST. POWDER RM. TO BE DEMOLISHED (Top Right)
- EXIST. ROOM TO BE DEMOLISHED (Middle Right)
- EXIST. KITCHEN TO BE DEMOLISHED AND FIXTURES TO BE RELOCATED (Bottom Right)

**Areas to Be Removed:**

- EXISTING FOUNDATION WALL TO BE REMOVED (Top Left)
- EXISTING WINDOW TO BE REMOVED (Top Right)
- EXISTING FOUNDATION WALL TO BE REMOVED (Bottom Right)




**Other Labels:**

- W/D (Washing Machine/Dryer)
- UP (Staircase)
- EXIST. (Existing)
- 2'-9" (Dimension)
- 7'-3" (Dimension)
- 6'-7" (Dimension)
- 18'-4" (Dimension)
- 11'-5" (Dimension)
- 25'-1" (Dimension)
- 10'-7" (Dimension)
- 8'-7" (Dimension)
- 5'-2" (Dimension)
- 18'-4" (Dimension)

DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW

LEGENDS	
----	EXISTING WALL TO BE DEMOLISHED
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO BE REMOVED

DRAWINGS ARE TO BE READ NOT  
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HERE WITHIN, THE DESIGNER SHALL  
BE NOTIFIED.

1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE



Mechways Inc.

1. 凡在本市行政区域内从事生产、经营活动的单位（以下统称企业）均须依法取得《企业法人营业执照》。

20 FERN ST, BRAMPTON.  
DN 16Y 1X2

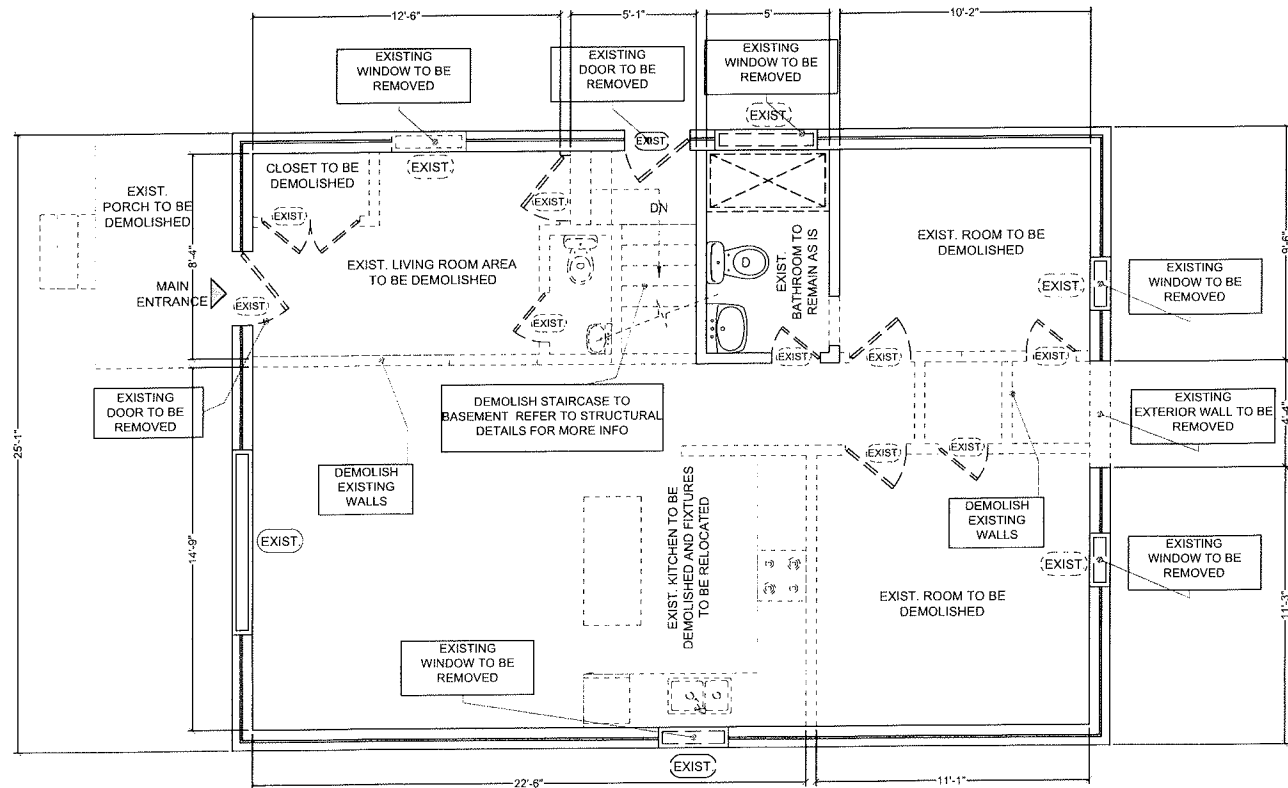
SHEET TITLE:  
BASEMENT  
DEMOLITION PLAN

CHECKED: SS  
DRAWN: MA  
SCALE:  $\frac{3}{16}'' = 1'$   
DATE: JAN 02 2025

DRAWING:

A 1.3





**GROUND FLOOR  
DEMOLITION PLAN**

DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW

LEGENDS	
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO BE REMOVED

GENERAL NOTES:  
DRAWINGS ARE TO BE READ NOT  
SCALED.  
CONTRACTOR MUST VERIFY ALL  
DIMENSIONS AND BE RESPONSIBLE  
FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE  
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DISCREPANCIES ARE DISCOVERED  
HERE WITHIN, THE DESIGNER SHALL  
BE NOTIFIED.

SEAL:



1 ISSUED FOR BUILDING PERMIT JAN 02 2025

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.

1000 SHEPPARD AVE. E. SUITE 100  
SCARBOROUGH, ONTARIO M1S 1T5  
TEL: (416) 291-1111  
WWW.MECHWAYS.COM

PROJECT:

20 FERN ST., BRAMPTON,  
ON L6Y 1X2

SHEET TITLE:

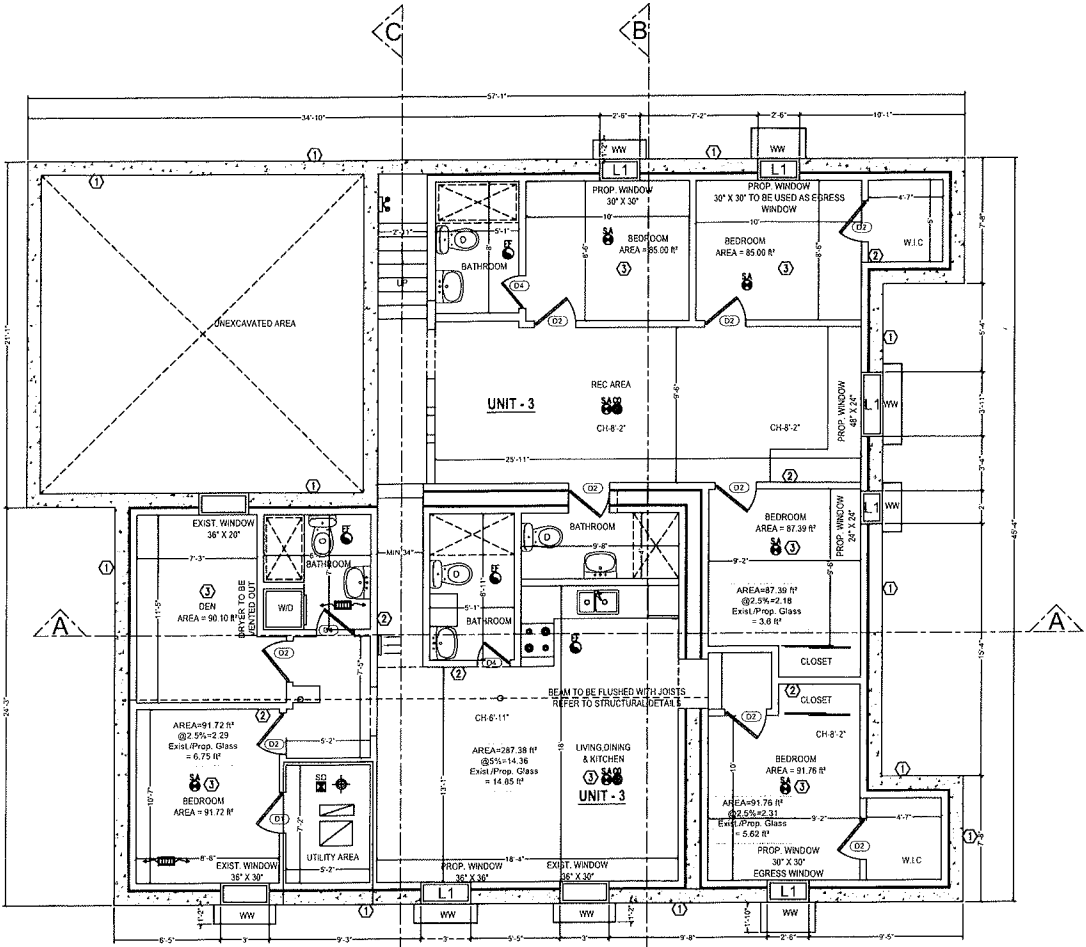
GROUND FLOOR  
DEMOLITION PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JAN 02 2025

DRAWING:

A1.4

①	EXISTING FOUNDATION WALL (8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXIST. INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED)
②	DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWB ON BATHROOM WALLS)
	PROVIDE 30 MINUTE F.R.R. (SBS WIC 38 x 89 mm WOOD STUDS @ 810 mm O.C. W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION) TO NEW EXISTING WALL
SD	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
SA	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
CO	CARBON MONO OXIDE ALARM
SPR	SPRINKLER
③	PROVIDE 30 MIN F.R.R. EX. JOISTS W/ 5/8" TYPE X GYPSUM BOARD WITH MIN. 75 mm INSULATION AS PER SB-2 TABLE 2.3.12
EF	EXHAUST FAN (50 CFM IN WASHROOM & 100 CFM IN KITCHEN)
EL	EMERGENCY LIGHT
SAR	SAR (SUPPLY AIR REGISTER) 10" x 4"
RAG	RAG (RETURN AIR GRILLE) 12" x 6"
CB	PROVIDE 30 MINUTE F.R.R. (2 x 4" THICK TYPE "K" BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
L	LIGHT
L1	2-2"x8" WOOD LINTEL & 1-3/4"x3-5/8"x20" STEEL LINTEL MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE, MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE
SP	STEEL POST
FRD	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF-CLOSING DEVICE



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" x 80"
D2	30" x 80"
D3(SD)	130" x 80"
D4	24" x 80"
D5	60" x 80"
D6(SD)	60" x 80"
D7	60" x 108"

**PROPOSED BASEMENT PLAN**  
BASEMENT G.F.A = 1822.41 m<sup>2</sup> / 169.31 m<sup>2</sup>  
CEILING HEIGHT = 7'-1"  
• CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS  
• CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

**GENERAL NOTES:**  
DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
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NO.	REVISION	DATE
3	REVISION	MAR 22 2025
2	REVISION	FEB 03 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

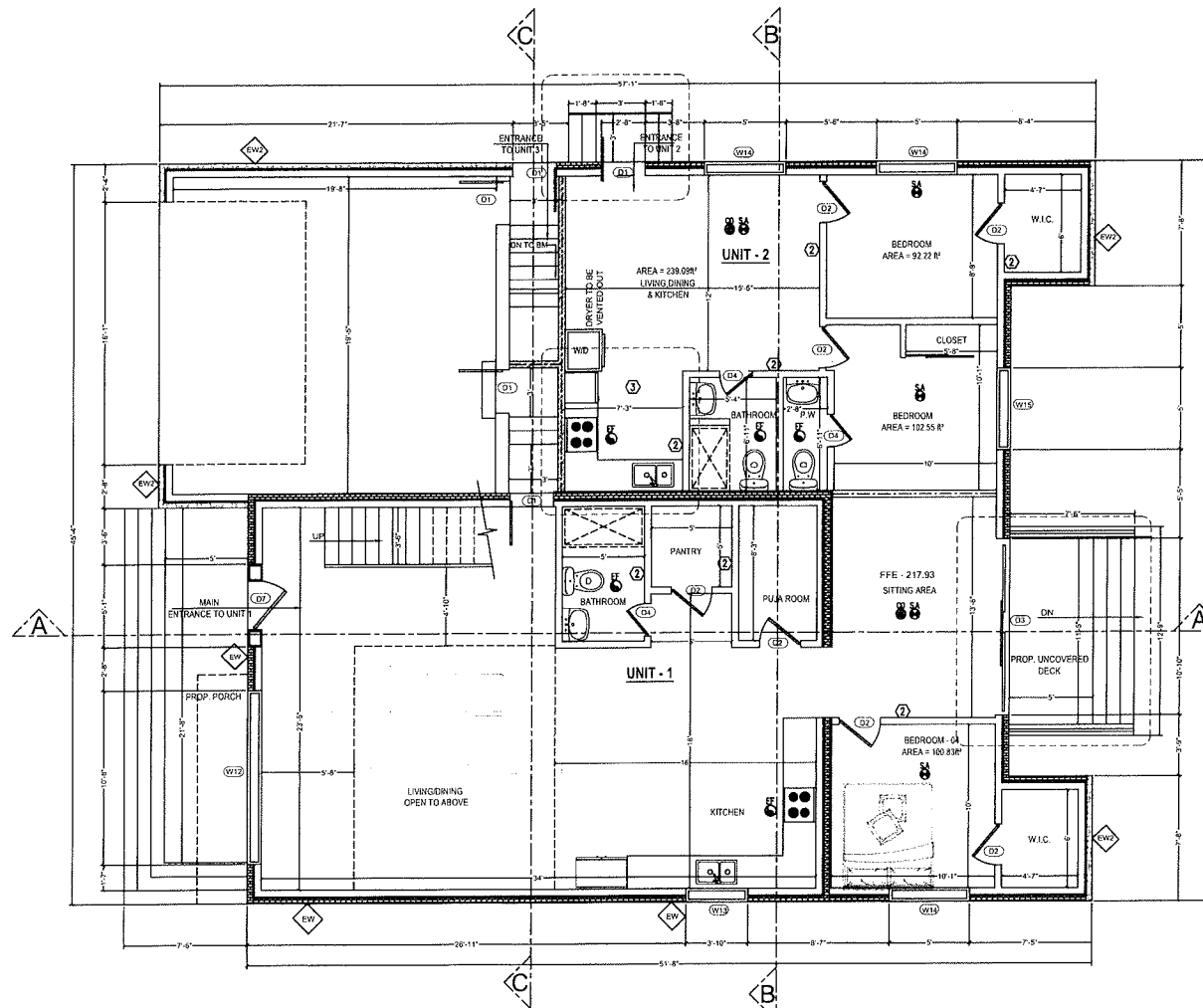
**ENGINEER:**  
  
APPROVED: [Signature]  
DATE: MAR 22 2025  
C.O.B.E. NO. 100216807  
WWW.MECHWAYS.COM

**PROJECT:**  
20 FERN ST., BRAMPTON,  
ON L6Y 1X2

**SHEET TITLE:**  
PROPOSED BASEMENT

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JAN 02 2025

**DRAWING:**  
A1.5



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" x 80"
D2	30" x 80"
D3(SD)	130" x 80"
D4	24" x 80"
D5	60" x 80"
D6(SD)	60" x 80"
D7	60" x 108"

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W11	36" x 38"
W12	130" x 90"
W13	48" x 72"
W14	60" x 72"
W15	60" x 84"

**PROP. GROUND FLOOR PLAN**  
GROUND FLOOR G.F.A. = 1869.17 ft<sup>2</sup> / 173.65 m<sup>2</sup>  
UNIT 1 G.F.A. = 1266.13 ft<sup>2</sup> / 117.63 m<sup>2</sup>  
UNIT 2 G.F.A. = 603.04 ft<sup>2</sup> / 56.02 m<sup>2</sup>

**GENERAL NOTES:**  
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NO.	DESCRIPTION	DATE
4	REVISION	MAR 22 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

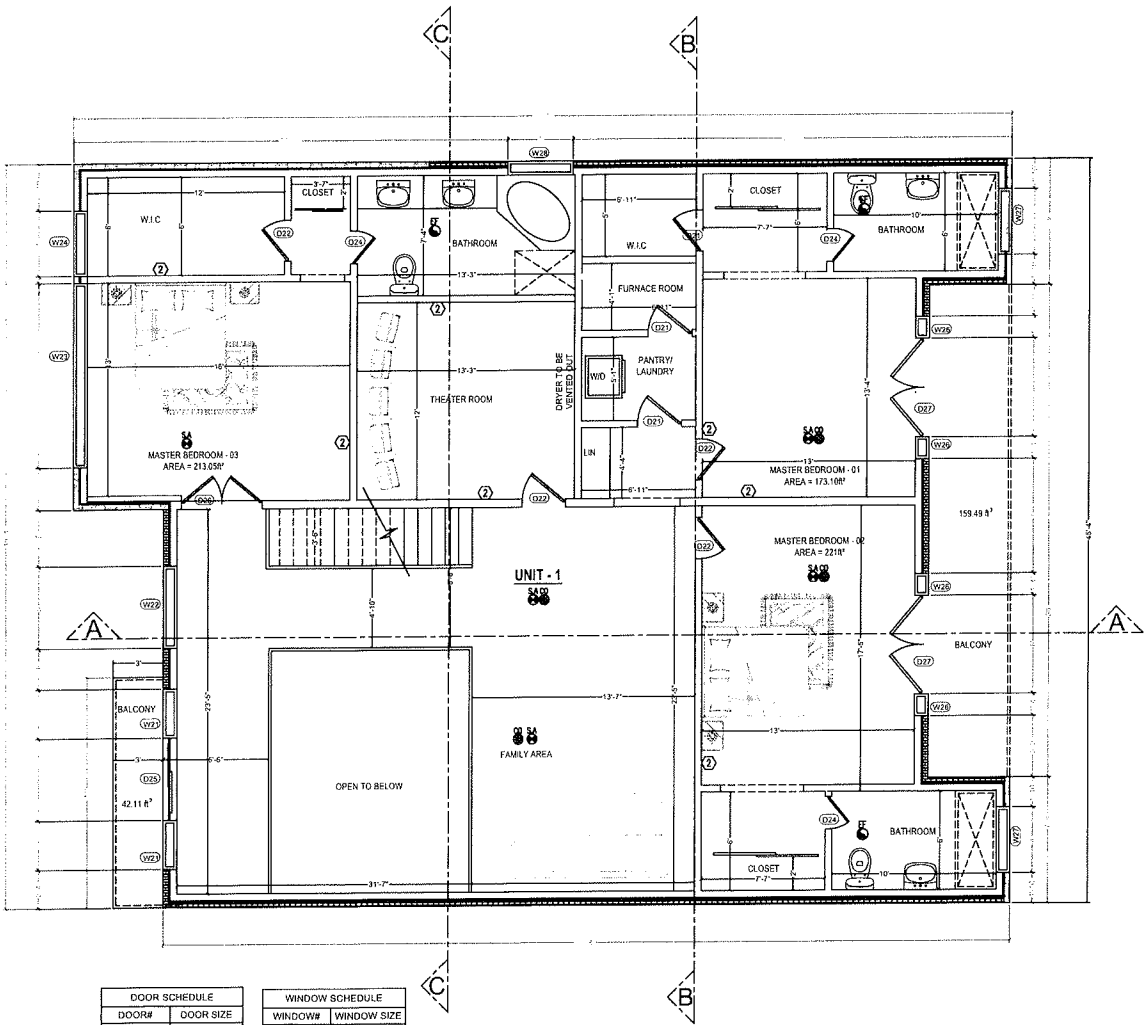
**ENGINEER:**  
 **Mechways Inc.**  
REGISTERED PROFESSIONAL ENGINEER  
PROVINCE OF ONTARIO  
100216807  
2000 KENNEDY ROAD  
SCARBOROUGH, ONTARIO M1T 3Z5  
TEL: 416-291-1111  
WWW.MECHWAYS.COM

**PROJECT:**  
20 FERN ST, BRAMPTON,  
ON L6Y 1X2

**SHEET TITLE:**  
PROPOSED GROUND  
FLOOR

**CHECKED:** SS  
**DRAWN:** MA  
**SCALE:** 1/8" = 1'  
**DATE:** JAN 02 2025

**DRAWING:**  
A1.6



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D21	32" x 80"
D22	30" x 80"
D23	130" x 80"
D24	24" x 80"
D25	60" x 98"
D26	60" x 80"
D27	72" x 98"

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W21	36" x 98"
W22	60" x 98"
W23	150" x 98"
W24	48" x 98"
W25	60" x 84"
W26	16" x 98"
W27	48" x 12"
W28	48" x 48"

**PROP. SECOND FLOOR PLAN**  
SECOND FLOOR G.F.A = 2305.51 ft² / 214.18 m²  
OPEN TO BELOW = 183.97 ft² / 17.09 m²  
NET GFA = 2121.54 ft² / 197.09 m²

**GENERAL NOTES:**  
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SEAL:



2	REVISION	MAR 22 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

20 Fern St., Brampton, ON L6Y 1X2  
Tel: 905.874.1111  
Fax: 905.874.1112  
www.mechways.com

PROJECT:

20 FERN ST., BRAMPTON, ON L6Y 1X2

SHEET TITLE:

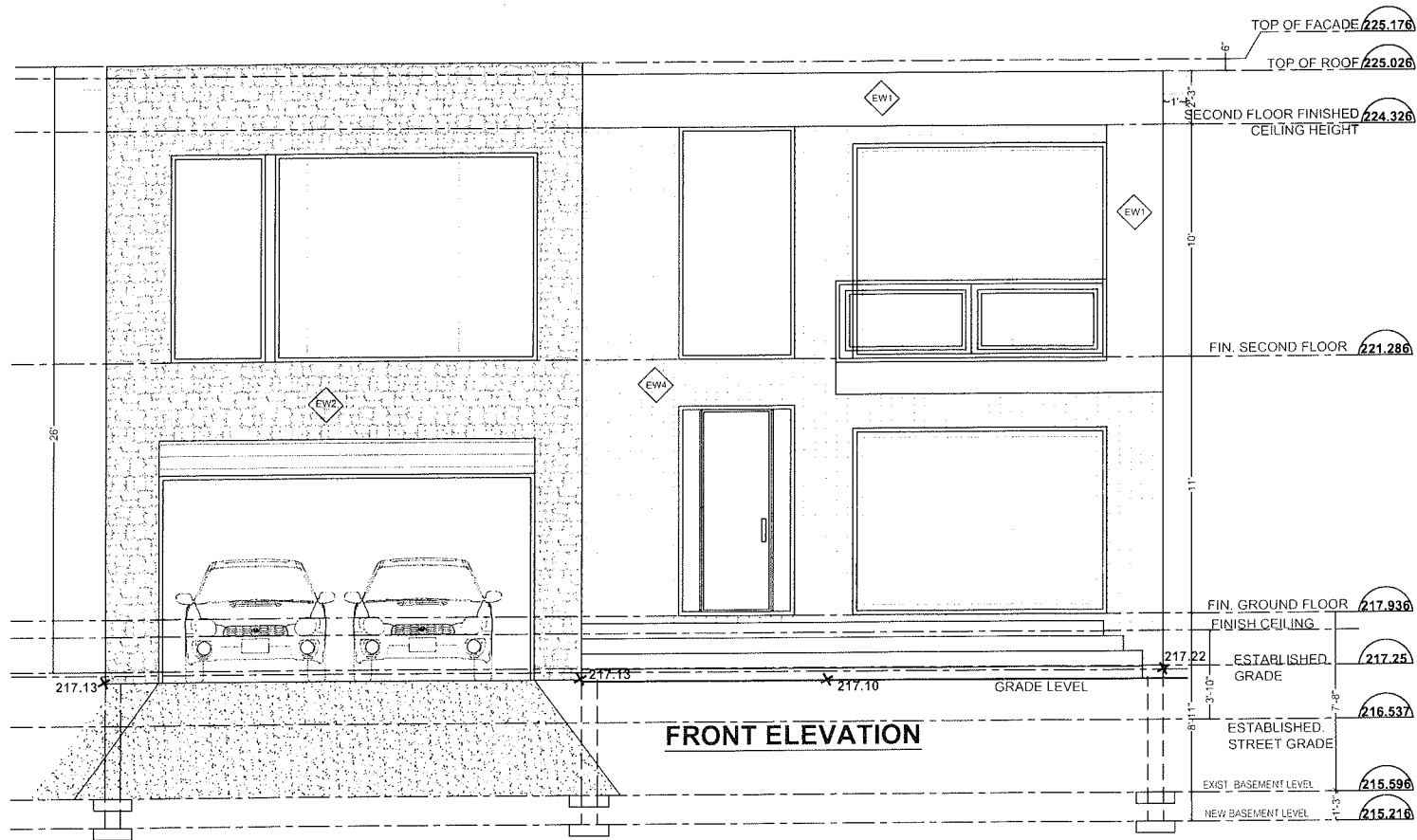
PROPOSED SECOND FLOOR

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JAN 02 2025

DRAWING:

A1.7





**GENERAL NOTES:**  
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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	MAR 22 2025
2	REVISION	MAR 10 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

Mechways Inc.

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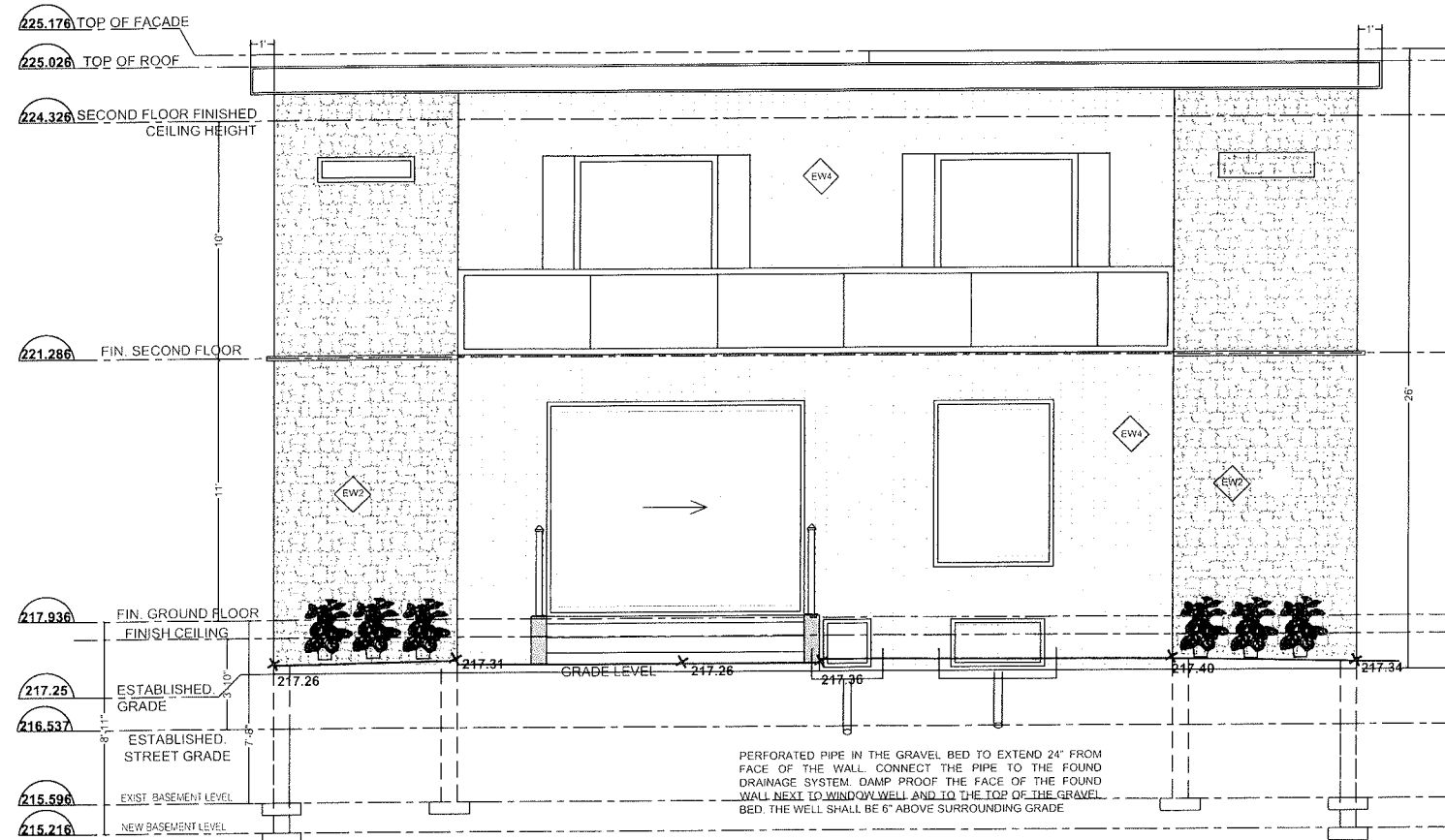
**PROJECT:**  
20 FERN ST. BRAMPTON,  
ON L6Y 1X2

**SHEET TITLE:**  
FRONT ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JAN 02 2025

DRAWING:

A2.1



REAR ELEVATION

GENERAL NOTES:  
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SEAL:



3	REVISION	MAR 22 2025
2	REVISION	MAR 10 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

1000 SHEPPARD AVENUE EAST, SUITE 100  
SCARBOROUGH, ONTARIO M1S 1T5  
CANADA  
TEL: 416-291-1000  
FAX: 416-291-1001  
WWW.MECHWAYS.COM

PROJECT:

20 FERN ST, BRAMPTON,  
ON L6Y 1X2

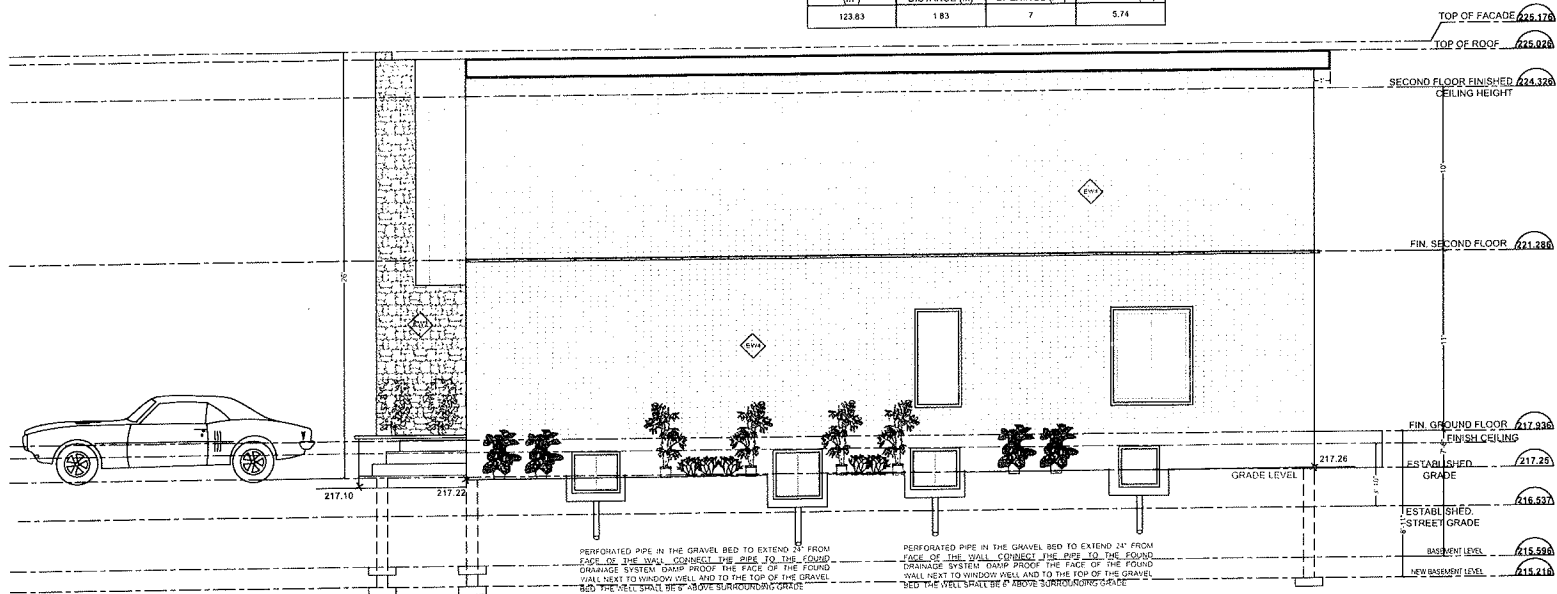
SHEET TITLE:  
REAR ELEVATION

CHECKED: SB  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A2.2

MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES ABOVE GRADE (UNPROTECTED OPENINGS) (OBC 9.10.15.4)			
TOTAL WALL AREA (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWABLE TOTAL OPENINGS OPENINGS (m <sup>2</sup> )	TOTAL OPENINGS PROVIDED (m <sup>2</sup> )
123.83	1.83	7	5.74



RIGHT SIDE ELEVATION

GENERAL NOTES:  
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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	MAR 10 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

Mechways Inc.

20 FERN ST. BRAMPTON, ON L6Y 1X2  
TEL: 905.874.1111  
WWW.MECHWAYS.COM

PROJECT:

20 FERN ST. BRAMPTON,  
ON L6Y 1X2

SHEET TITLE:

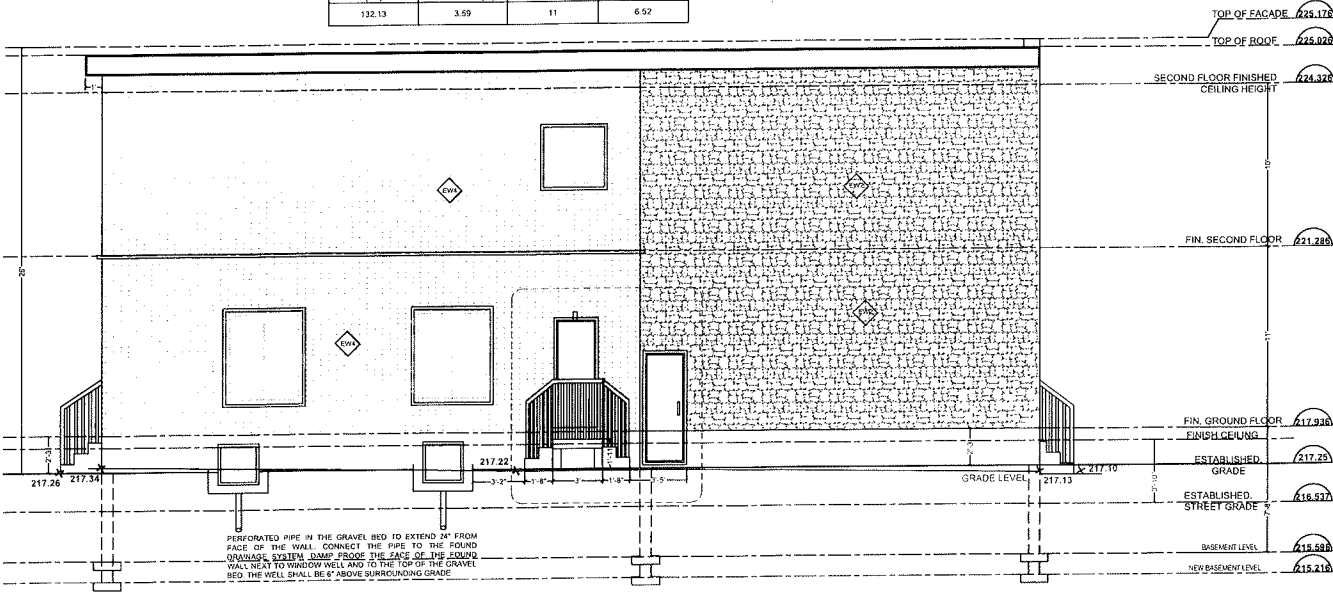
RIGHT SIDE ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A2.3

MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES ABOVE GRADE (UNPROTECTED OPENINGS) (OBC 9.10.15.4)			
TOTAL WALL AREA (m²)	LIMITING DISTANCE (m)	MAX ALLOWABLE OPENINGS (m²)	TOTAL OPENINGS PROVIDED (m²)
132.13	3.59	11	6.52



LEFT SIDE ELEVATION

GENERAL NOTES:  
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SEAL:



NO.	REVISION	DATE
4	REVISION	MAR 10 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:  
 Mechways Inc.

PROJECT:  
20 FERN ST, BRAMPTON,  
ON L6Y 1X2

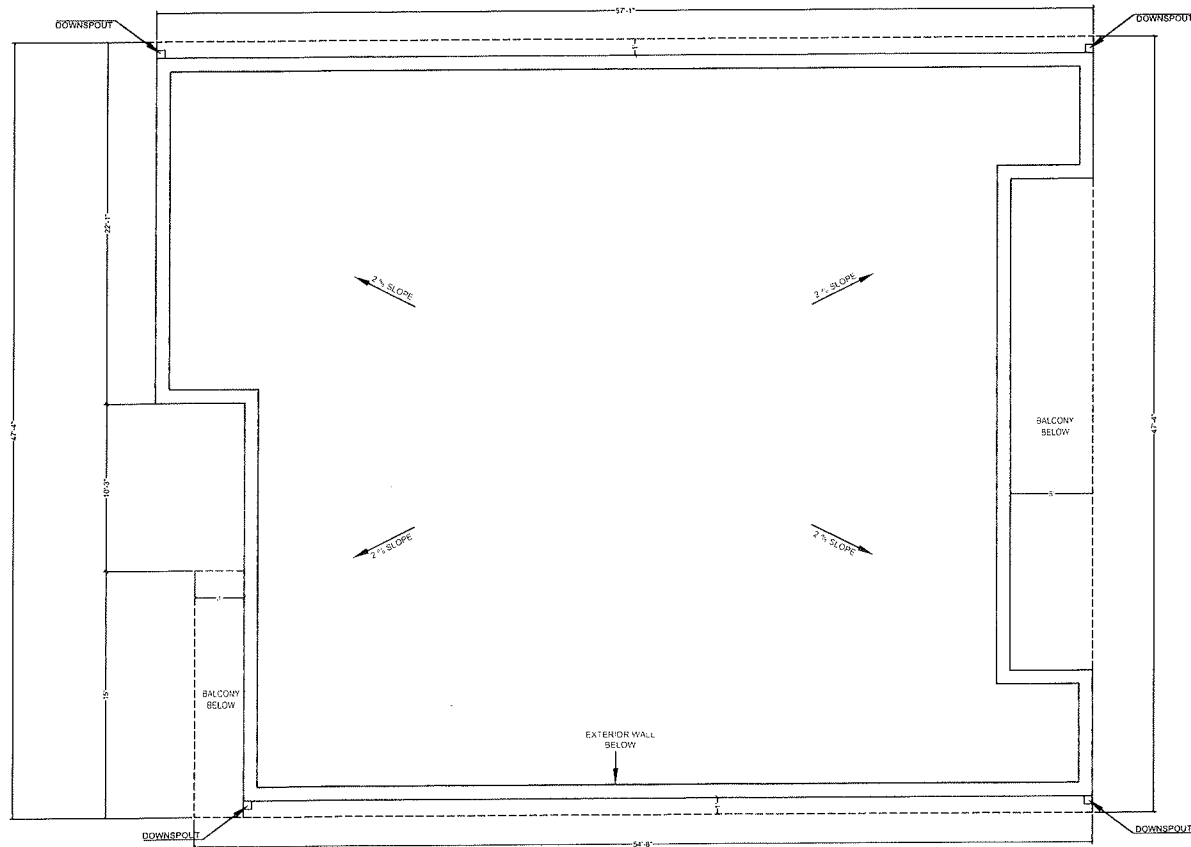
SHEET TITLE:  
LEFT SIDE ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A2.4





**PROPOSED FLAT ROOF PLAN**

**GENERAL NOTES:**  
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SEAL:



2	REVISION	MAR 22 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

PROJECT:

20 FERN ST. BRAMPTON, ON L6Y 1X2

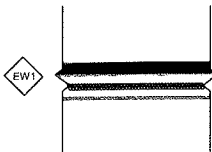
SHEET TITLE:

ROOF PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JAN 02 2025

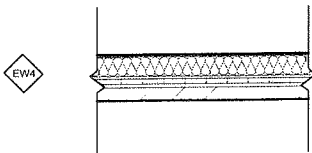
DRAWING:

A3.4



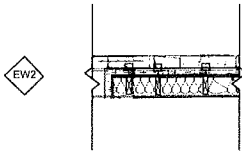
SIDING WALL CONSTRUCTION

- PREP SIDING VENEER AS PER MANUFACTURER
- TYVEK AIR BARRIER OR APPROVED EQUAL ( SHEATHING PAPER)
- 13MM (21") EXTERIOR GRADE PLYWOOD SHEATHING 38 MM X 120MM (121" X 5-21") WOOD STUDS @ 406MM (1'-4") O.C. W/RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS
- 6MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL
- 13MM(21") GYPSUM WALL BOARD INTERIOR FINISH



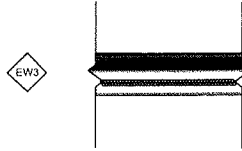
EW-1 - EXTERIOR STUD WALL - MASONRY VENEER

- 90mm BRICK VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- AIR VAPOUR BARRIER
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22)FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



EW- 2 - EXTERIOR STUD WALL - STONE VENEER

- 76 - 92mm STONE VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- SHEET TYPE AVB
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22)FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



EW- 3 - EXTERIOR WALL W/ STUCCO

- 7/8" MIN THICK THREE COAT CEMENT PLASTER
- 2" DEEP 'Z' CLIP @16 O.C HORIZONTALLY
- 3.4 LBS SELF-FURRING METAL LATH ATTACHED TO 'Z' CLIP
- 2 LAYER OF GRADE 'D' BUILDING PAPER OR 1 LAYER OF DUPONT TYVEK STUCCO WRAP UNDER CEMENT PLASTER TYP.
- 1" THICK POLY-ISO RIGID INSULATION AND 1" THICK EPS SHEATHING, TYPICAL
- PLYWOOD SHEATHING ON EXTERIOR SIDE
- 2ND LAYER OF PLYWOOD SHEATHING WHERE OCCURS
- WOOD STUD FRAMING PER STRUCTURAL WITH R22 INSULATION
- 5/8" TYPE 'X' GYPSUM BOARD FINISH FACE TEXTURED & PAINTED AS SCHEDULED

GENERAL NOTES:


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SEAL:



1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:

 **Mechways Inc.**

100216807  
JAN 02 2025  
PROJECT: 20 FERN ST. BRAMPTON, ON L6Y 1X2  
DESIGNED: MA  
DRAWN: MA  
CHECKED: SS  
DATE: JAN 02 2025

PROJECT:

20 FERN ST. BRAMPTON, ON L6Y 1X2

SHEET TITLE:

ASSEMBLY DETAILS

CHECKED: SS  
DRAWN: MA  
SCALE: NTS  
DATE: JAN 02 2025

DRAWING:

A4.1

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH		
REC ROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT		
BEDROOMS	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT		
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT		
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYPSUM BD.			

DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
2. EGRESS DOOR - PROP. ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- 1 EXISTING 8" CONC. FOUNDATION WALL MOISTURE BARRIER  
2X4 SPF#2 STUDS @ 16" O.C WALL W/6MIL POLY WITH EXIST. R 20 CI INSULATION 6MIL POLY VAPOR BARRIER 1/2" GYPSUM BOARD
- 2 NEW/ EXISTING DRYWALL - 1/2" GYPSUM BOARD, ON BOTH SIDES  
2"x4" STUDS @16" OC
- 3 PROPOSED CEILING  
PROVIDE 30 MIN F.R.R: EX. JOISTS W/ 5/8" TYPE X GYPSUM BOARD WITH MIN. 75 mm INSULATION AS PER SB-2 TABLE 2.3.12
- 5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- 6 MECHANICAL VENTILATION  
24 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- 7 IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- 8 PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- 9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

- \$

3 WAY SWITCH  
INSTALL AT 3'-3" AFF  
3 DENOTES 3-WAY SWITCH  
SPECIFICATION GRADE WHITE,  
WITH WHITE COVER PLATE  
SHALL BE INSTALLED AT THE  
ENDS OF EACH STAIRWAYS
- GF

WP

15A, 120V DUPLEX RECEPTACLE  
SPECIFICATION GRADE WHITE,  
C/W WHITE COVER PLATE  
GFI - GROUND FAULT TYPE  
WP -WEATHERPROOF COVER  
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V,  
STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT  
SCALED.  
CONTRACTOR MUST VERIFY ALL  
DIMENSIONS AND BE RESPONSIBLE  
FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE  
DESIGNER BEFORE COMMENCING THE  
WORK. THE DRAWINGS AND  
DOCUMENTS PROVIDED HERE WITHIN  
ARE THE EXCLUSIVE PROPERTY OF  
MECHWAYS INC. REPRODUCTION OF  
THE DOCUMENTS PROVIDED IS  
PROHIBITED WITHOUT THE CONSENT  
OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION  
DOCUMENTATION ARE FINAL UNLESS  
REVISED BY THE DESIGNER. IF ANY  
DISCREPANCIES ARE DISCOVERED  
HERE WITHIN, THE DESIGNER SHALL  
BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

Mechways Inc.

PROJECT:

20 Fern St. Brampton  
ON L6Y 1X2

SHEET TITLE:

GENERAL NOTES

CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A5.1

# Zoning Non-compliance Checklist

File No.  
A-2025-0039

Owner: Thilak Krishna Moorthy/ Nirmala Thilak  
Address: 20 FERN ST  
Zoning: R1B-3057 & Mature Neighbourhood  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a front yard setback of 6.01m to a proposed two storey addition	whereas the by-law requires no part of any dwelling or accessory building be erected or placed at a distance less than 8 metres from any lot line abutting a street	3057.2 (4)
COVEREAGE	To permit a lot coverage of 35.3%,	whereas the by-law permits a maximum lot coverage of 30%.	10.27 (c)
BUILDING HEIGHT			
GFA			
BELOW GRADE ENTRANCE			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			

Philip Gaspar

Reviewed by Zoning

April 8, 2025

Date