

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

Application Number: A-2025-0039
Property Address: 20 Fern Street
Legal Description: Plan 354, Lot 52, Ward 3
Agent: Valiuddin Mohammed/Mechways Inc.
Owner(s): Thilak Krishnamoorthy, Nirmala Thilak
Other applications: nil
under the *Planning Act*

Meeting Date and Time: Tuesday, May 27, 2025, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit a front yard setback of 6.01 metres to a proposed two storey addition, whereas the by-law requires no part of any dwelling or accessory building be erected or placed at a distance less than 8 metres from any lot line abutting a street; and
2. To permit a lot coverage of 35.3%, whereas the by-law permits a maximum lot coverage of 30%.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, May 22, 2025**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, May 22, 2025**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

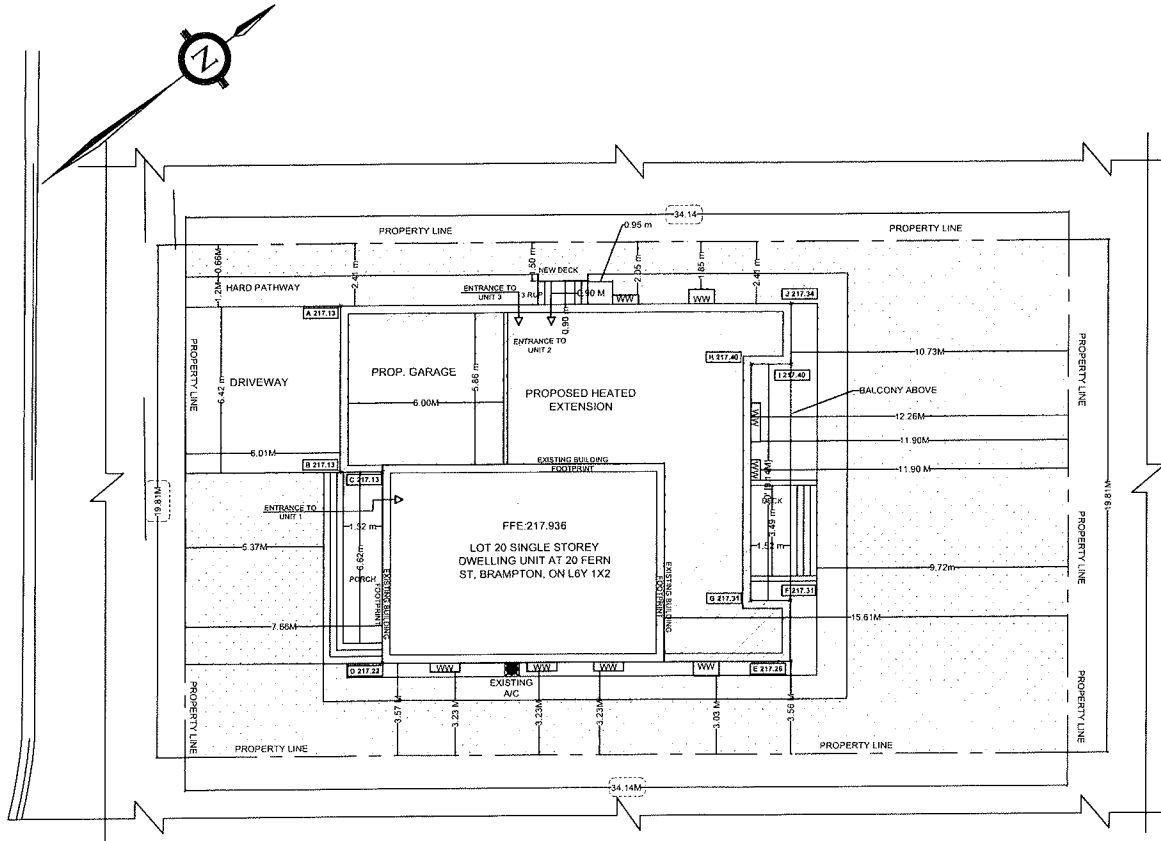
Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 12th day of May 2025

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca

FERN ST



LANDSCAPED OPEN AREA CALCULATION (FRONT YARD)	
GROSS AREA OF FRONT YARD	1476.34 m ² / 157.15 m ²
PROPOSED DRIVEWAY	418.27 m ² / 38.55 m ² 28.12%
FRONT YARD PORCH INCLUDING STEPS	181.87 m ² / 18.89 m ² 12.31%
FRONT YARD HARD LANDSCAPED AREA	111.78 m ² / 10.38 m ²
HARD LANDSCAPED AREA %	7.57%
FRONT YARD SOFT LANDSCAPED AREA	767.42 m ² / 71.30 m ²
SOFT LANDSCAPED AREA %	51.99%

UNIT 1 G.F.A.	= 314.72 m ²
UNIT 2 G.F.A.	= 56.02 m ²
UNIT 3 G.F.A.	= 169.31 m ²

SITE STATISTICS	
PROJECT ADDRESS:	20 Fern St, Brampton, ON L6Y 1X2
LEGAL DESCRIPTION:	LOT 52 PLAN 354 INST. 24449 (BRAM)
ZONING INFORMATION:	BYLAW IN EFFECT: ZONE: R1B
LOT INFORMATION:	LOT AREA: 676.61 m ² LOT FRONTAGE: 19.81m (EXIST TO REMAIN) BUILDING HEIGHT: MAXIMUM 19.6 m PROPOSED: 8.1 m

SITE STATISTICS	
REQUIRED FRONT YARD	MIN 6.6 m PROP. 6.01m
REQUIRED EXTERIOR SIDE YARD	1.8 m PROP. 3.59 m, 1.83 m
MIN REAR YARD	7.5 m PROP. 10.73 m
LOT COVERAGE:	576.61 m ²
EXIST. BUILDING FOOTPRINT:	(83.11 m ²)
PROP. HEATED EXTENSION:	(137.96 m ²)
INCLUDING GARAGE/PORCH	
PROP. BALCONY:	(17.83 m ²)
PROPOSED LOT COVERAGE:	238.90 m ² (35.30 %)

ESTABLISHED GRADE CALCULATION				
LENGTH NO.	BEGIN ELE.	END ELE.	LENGTH (M)	(EL.1+EL.2)/2 x L
A-B	217.13	217.13	6.42	1393.97
B-C	217.13	217.13	1.65	358.26
C-D	217.13	217.22	7.39	1604.82
D-E	217.22	217.26	15.75	3421.53
E-F	217.26	217.31	2.34	508.45
F-G	217.31	217.31	1.52	330.31
G-H	217.31	217.40	9.14	1986.62
H-I	217.40	217.40	1.52	330.45
I-J	217.40	217.34	2.34	508.65
J-A	217.34	217.13	17.40	3779.89
TOTAL			65.47	14223.05
ESTABLISHED GRADE				217.25

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SCALED.
CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE
FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE
DESIGNER BEFORE COMMENCING THE
WORK. THE DRAWINGS AND
DOCUMENTS PROVIDED HERE WITHIN
ARE THE EXCLUSIVE PROPERTY OF
MECHWAYS INC. REPRODUCTION OF
THE DOCUMENTS PROVIDED IS
PROHIBITED WITHOUT THE CONSENT
OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION
DOCUMENTATION ARE FINAL UNLESS
REVISED BY THE DESIGNER. IF ANY
DISCREPANCIES ARE DISCOVERED
HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:



4	REVISION	MAR 22 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS: 1000 SHEPPARD AVE. E. SUITE 100, SCARBOROUGH, ONTARIO M1S 1T7
CONTACT: 416-291-1234
WEBSITE: WWW.MECHWAYS.COM

PROJECT:

20 FERN ST, BRAMPTON,
ON L6Y 1X2

SHEET TITLE:

SITE PLAN

CHECKED: SS

DRAWN: MA

SCALE: 1:200

DATE: JAN 02 2025

DRAWING:

AD.1