

FILE NUMBER: A-2025-0040

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** BRILLIANT BIG DATA SERVICES INC.
Address 15 TYSONVILLE CIRCLE , BRAMPTON ON

Phone # 469-309-7070 **Fax #**
Email anjireddy45@gmail.com

2. **Name of Agent** Aakanksha Sharma
Address 11 Grovewood Dr, Brampton ON L7A 3V3

Phone # 416-949-4795 **Fax #**
Email thepermitspace@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
To permit an interior side yard setback of 1.09 metres to a proposed exterior stairway leading to a below grade entrance, whereas the by-law requires a minimum interior side yard setback of 1.2 metres.

4. **Why is it not possible to comply with the provisions of the by-law?**
The below grade stairs do not meet the minimum interior side yard setback requirements of 1.20 metres.

5. **Legal Description of the subject land:**
Lot Number 83
Plan Number/Concession Number 43M-1991
Municipal Address 30 Abercrombie Cres., Brampton ON L7A 4N1

6. **Dimension of subject land (in metric units)**
Frontage 10.25
Depth 28.10
Area 398.18 SQ.M

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground floor area=142.91 SQ.M
2 story building
width = 9.72 M
length=17.68 M
height= 9.0 M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed second unit in basement with below grade entrance in the side yard setback.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.43
Rear yard setback	6
Side yard setback	0.64
Side yard setback	1.20

PROPOSED

Front yard setback	4.43
Rear yard setback	6
Side yard setback	0.64
Side yard setback	1.09

10. Date of Acquisition of subject land: no
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2023
15. Length of time the existing uses of the subject property have been continued: 2

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Aakanksha Sharma
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 9th DAY OF APRIL, 20 25.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Aakanksha Sharma, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 09 DAY OF

April, 20 25.

Mercelyn Osayamen Osaze
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 20, 2025.

Aakanksha Sharma
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED April 09, 2025

Date Application Deemed
Complete by the Municipality

Mercelyn

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 30 ABERCROMBIE CRES , BRAMPTON ON L7A 4N1

I/We, ANJI REDDY BOTHA
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

AAKANKSHA SHARMA
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 11 day of DECEMBER, 2024.

Anji Reddy
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 30 ABERCROMBIE CRE ,BRAMPTON ON L7A 4N1

I/We, ANJI REDDY BOTHA
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

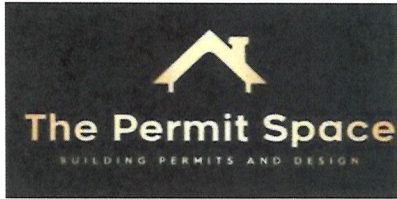
Dated this 11 day of DECEMBER, 2024.

AnjiReddy
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



11 Grovewood Dr,
Brampton ON L7A 3V3
C- 416-949-4795
thepermitspace@gmail.com

To
The Secretary-Treasurer
Committee of Adjustment City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

COVERING LETTER

Subject: Minor Variance application 30 Abercrombie Cres., Brampton L7a 4N1

Sir/ Madam,

We hope this letter finds you well. Please accept our minor variance application for our client 30 Abercrombie Cres., Brampton L7A 4N1.

We have a proposal as follows:

1. To permit an existing 1.09 M side yard entrance for second dwelling unit whereas a 1.2M unobstructed way is required.

We, hereby, request you to kindly consider our application for minor variance.

We appreciate your cooperation in this matter.

Thank You.

Sincere Regards,

Aakanksha Sharma

BCIN Designer

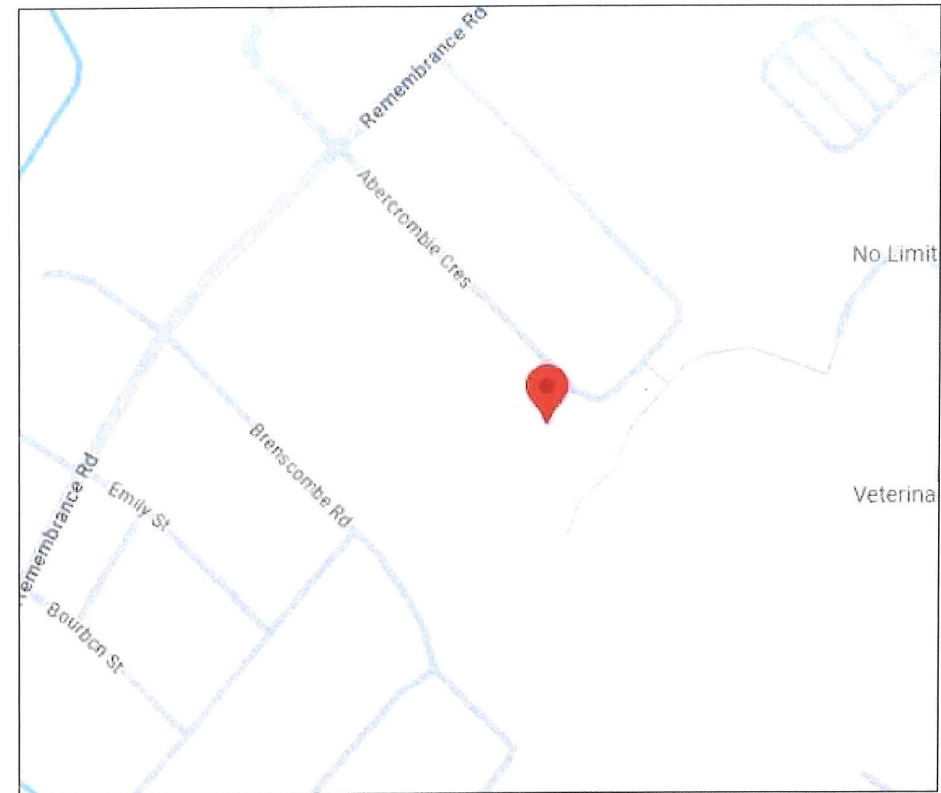
The Permit Space

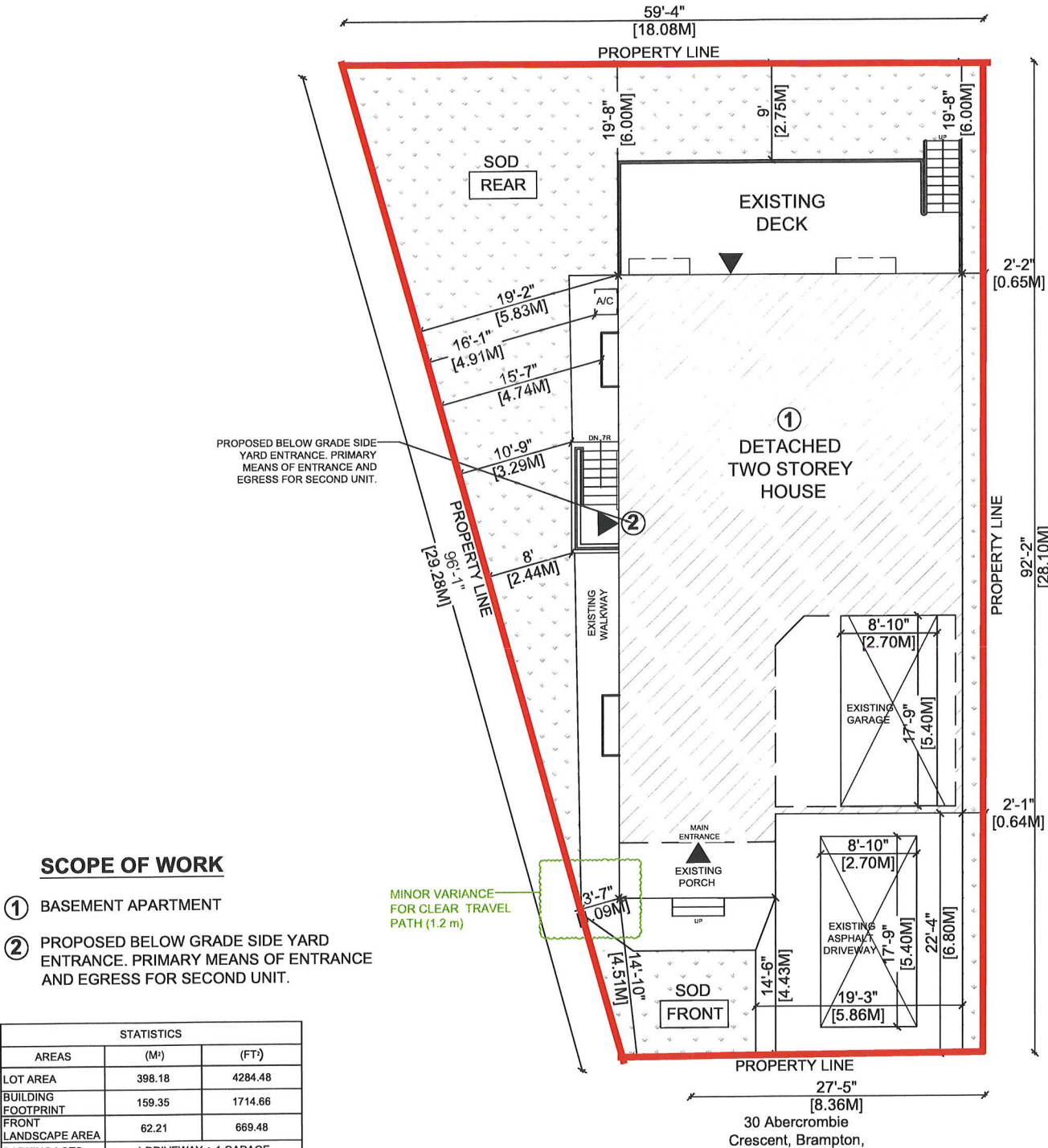
PROPOSED SECOND UNIT BASEMENT APARTMENT

30 Abercrombie Cres, Brampton, ON
L7A 4N1

DRAWING LIST

A000 - COVER SHEET
A101 - SITE PLAN
A102 - PROPOSED BASEMENT PLAN
A103 - EXISTING MAIN FLOOR PLAN
A104 - EXISTING SECOND FLOOR PLAN
A105 - LEFT SIDE ELEVATION
A106 - DETAILS
A107 - STAIR DETAILS





SCOPE OF WORK

- ① BASEMENT APARTMENT
- ② PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

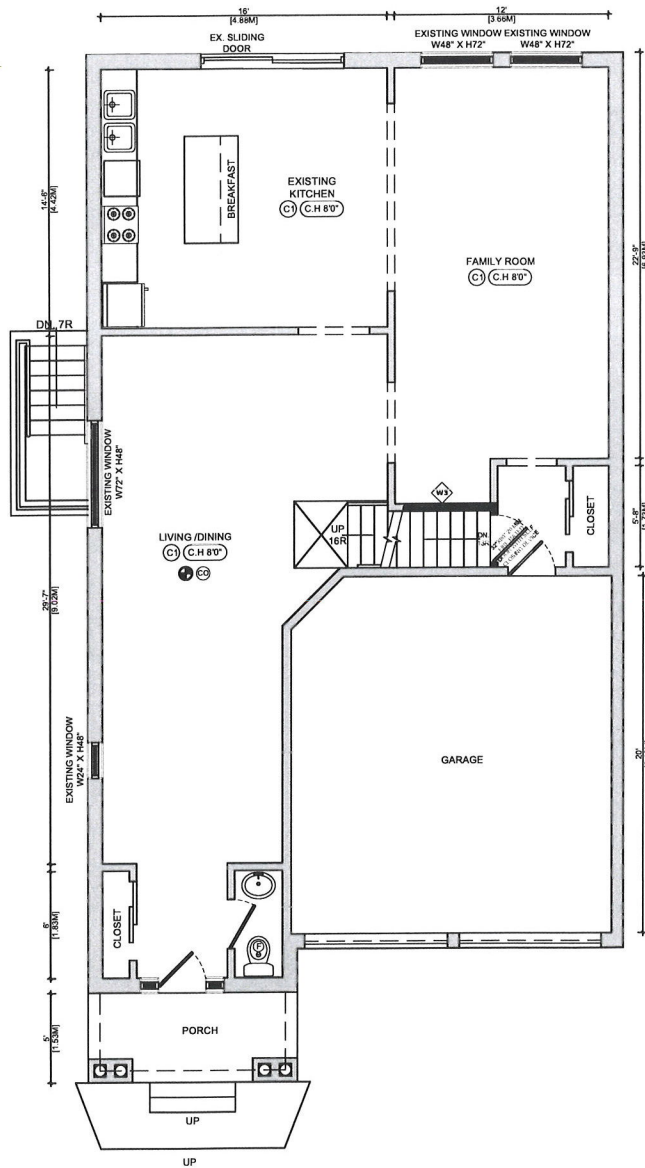
STATISTICS		
AREAS	(M²)	(FT²)
LOT AREA	398.18	4284.48
BUILDING FOOTPRINT	159.35	1714.66
FRONT LANDSCAPE AREA	62.21	669.48
PARKING LOTS	1 DRIVEWAY + 1 GARAGE	

- NOTES:**
- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS
 - 2- REPORT ANY DISCREPANCIES TO THE CONSULTANT
 - 3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC

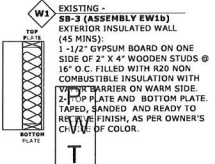
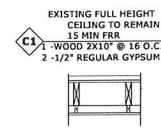
LEGEND:

SYMBOL	DESCRIPTION
	INTERCONNECTED SMOKE ALARM WITH A VISUAL SIGNAL
	WALL MOUNTED LIGHT SWITCH AND CEILING FIXTURE. MAX. 160cm² PERMITTED OPENINGS IN FIRE SEPARATIONS.
	WARM-AIR SUPPLY OUTLET. MAX. PERMITTED OPENING IN CEILING FIRE SEPARATIONS: 0.025m² (277 s.f.)
	RETURN-AIR GRILLE. PROVIDED IN ALL FIRE COMPARTMENTS SHALL NOT BE INSTALLED WITHIN FIRE SEPARATIONS.
	EXHAUST FAN VENTED DIRECTLY TO EXTERIOR.
	EXISTING WALL TO REMAIN.
	PROPOSED WALL DESIGNER TO PROVIDE ALL REQUIRED DETAILS TO DEMONSTRATE CONSTRUCTION.
	FIRE SEPARATION. PROVIDE CONSTRUCTION LABEL ALL REQUIRED SEPARATIONS WITH MINUTE RATINGS.
	CEILING HEIGHT TAG.
	WALL TYPE TAG. PROVIDE CONSTRUCTION DETAILS FOR ALL APPLICABLE WALLS.
	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET
	SPRINKLES AS PER BUILDING CODE
	A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.
	PORTABLE WATER TANK

		11 Grovewood Dr, Brampton, ON (416) 949-4795	
ADDRESS: 30 Abercrombie Cres, Brampton, ON L7A 0A9			
PROJECT NAME: PROPOSED SECOND UNIT BASEMENT APARTMENT			
		CLIENT APPROVAL DATE: 07-11-2024	ORIGINAL DATE: 07-11-2024
		REV. 1 DATE:	REV. 2 DATE:
		REV. 3 DATE:	REV. 4 DATE:
		REV. 5 DATE:	REV. 6 DATE:
DRAWN BY: AS	REV. 7 DATE:	REV. 8 DATE:	
CHECKED BY: AS	REV. 9 DATE:	REV. 10 DATE:	
DRAWING NAME: DRG. SCALE: 3/32"=1'-0"		DRAWING NO: A101	
SITE PLAN		SHEET SIZE: 17" x 11"	



WALL AND CEILING LEGENDS



NOTES:

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3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC

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	REV. 3 DATE:	REV. 4 DATE:
	REV. 5 DATE:	REV. 6 DATE:
	REV. 7 DATE:	REV. 8 DATE:
DRAWN BY: AS	REV. 9 DATE:	REV. 10 DATE:

CHECKED BY: AS	REV. 9 DATE:	REV. 10 DATE:
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DRAWING NAME: EXISTING MAIN FLOOR PLAN	DRG. SCALE 1/8"=1'-0"	DRAWING NO: A103
		SHEET SIZE: 17" x 11"



11 Grovewood Dr,
Brampton, ON
(416) 949-4795

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of Div.C. of the building code

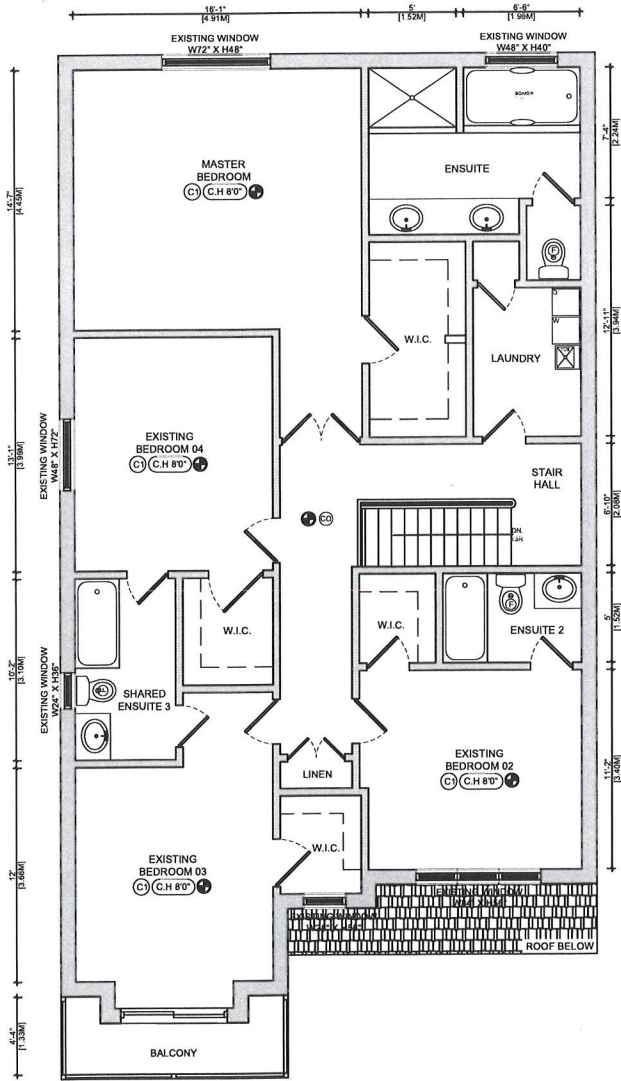
AAKANKSHA SHARMA 114882
Name BCIN
Signature Date
2024-08-18

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5. of Div. C. of the building code

THE PERMIT SPACE 132183
Firm Name BCIN

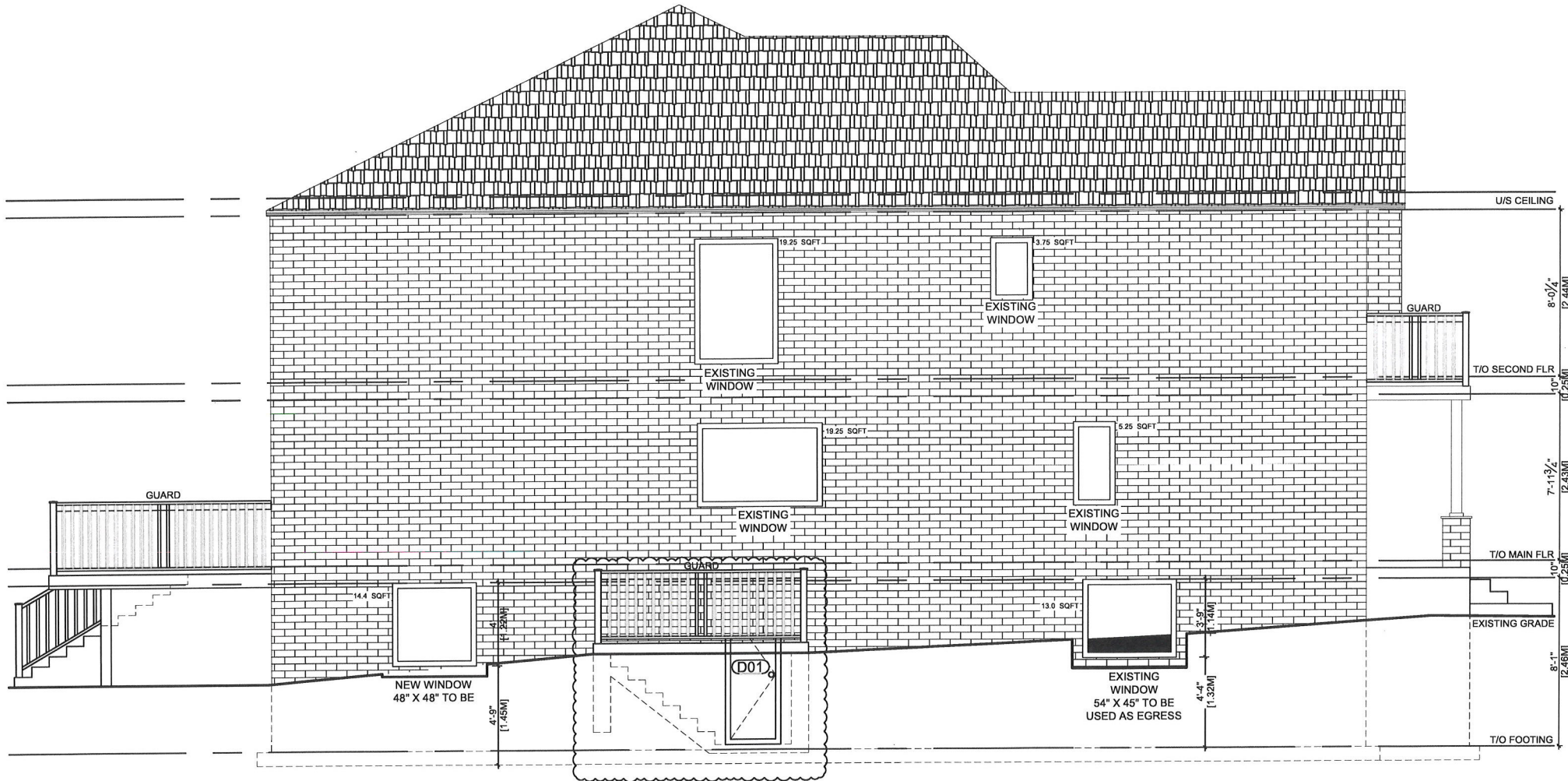
NO WORK IS PROPOSED AT THIS LEVEL



- NOTES:**
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LEGEND:	
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	PORTABLE WATER TANK

	11 Grovewood Dr, Brampton, ON (416) 949-4795	ADDRESS: 30 Abercrombie Cres, Brampton, ON L7A 0A9	
		PROJECT NAME: PROPOSED SECOND UNIT BASEMENT APARTMENT	
	CLIENT APPROVAL DATE: 07-11-2024	ORIGINAL DATE: 07-11-2024	
		REV. 1 DATE: REV. 2 DATE:	
DRAWN BY: AS	REV. 3 DATE:	REV. 4 DATE:	
	REV. 5 DATE:	REV. 6 DATE:	
CHECKED BY: AS	REV. 7 DATE:	REV. 8 DATE:	
	REV. 9 DATE:	REV. 10 DATE:	
DRAWING NAME: EXISTING SECOND FLOOR PLAN		DWG. SCALE: 1/8"=1'-0" DRAWING NO: A104	
		SHEET SIZE: 17" x 11"	



PROPOSED BELOW GRADE SIDE
YARD ENTRANCE. PRIMARY
MEANS OF ENTRANCE AND
EGRESS FOR SECOND UNIT.

ALLOWABLE UNPROTECTED OPENINGS:
LIMITING DISTANCE: 19'-2" FT (5.83 M)
MAX PERCENTAGE: 12%
BUILDING FACE AREA: 1102.53 SF (102.46 SQM)
ALLOWED GLAZED OPENINGS AREA
(AS PER TABLE 9.10.15.4):
7.70% OF THE BLDG FACE AREA: 84.9 SF (7.89 SQM)
TOTAL PROPOSED WINDOW AREA: 24.4 SF (0.92 SQM)



11 Grovewood Dr,
Brampton, ON
(416) 949-4795

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and has the Qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div.C. of the building code
Name: AAKANKSHA SHARMA
BCIN: 114882
Date: 2024-08-18
Signature: [Signature]
Date: [Blank]

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C. of the building code
THE PERMIT SPACE
Firm Name: BCIN: 132183

NOTES:
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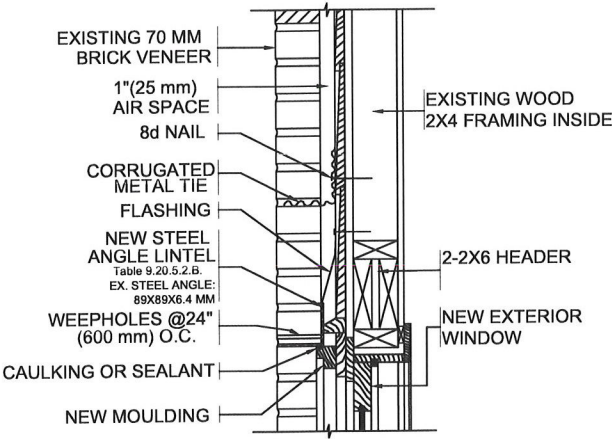
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	PORTABLE WATER TANK

ADDRESS:
30 Abercrombie Cres, Brampton, ON L7A 4N1

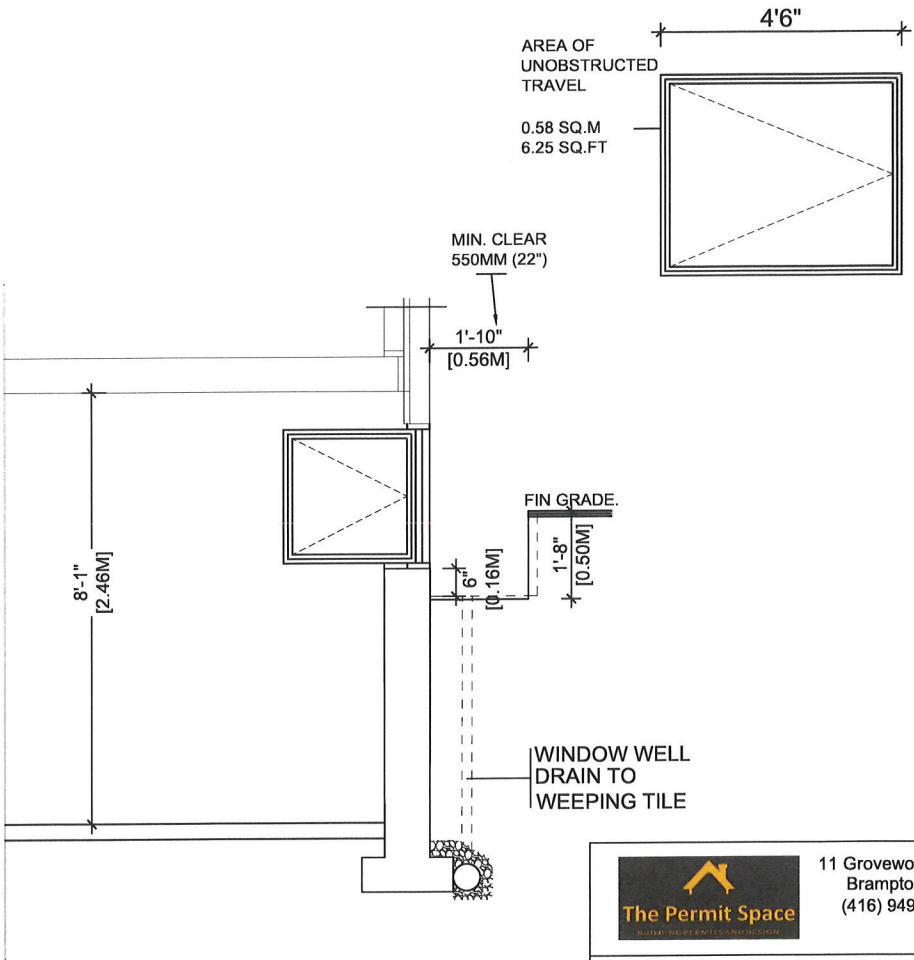
PROJECT NAME: PROPOSED SECOND UNIT
BASEMENT APARTMENT

	CLIENT APPROVAL DATE:	ORIGINAL DATE: 07-11-2024
	REV. 1 DATE:	REV. 2 DATE:
	REV. 3 DATE:	REV. 4 DATE:
	REV. 5 DATE:	REV. 6 DATE:
	REV. 7 DATE:	REV. 8 DATE:
	REV. 9 DATE:	REV. 10 DATE:
DRAWN BY: AS	CHECKED BY: AS	DRAWING NAME: DRG. SCALE: 3/16"=1'-0"
LEFT SIDE ELEVATION		DRAWING NO: A105 SHEET SIZE: 17" x 11"

WINDOW LINTEL DETAIL
A106-A



EGRESS WINDOW A106-B



NOTES: 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS 2- REPORT ANY DISCREPANCIES TO THE CONSULTANT 3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC	
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REV. 5 DATE:	REV. 6 DATE:
REV. 7 DATE:	REV. 8 DATE:
REV. 9 DATE:	REV. 10 DATE:
DRAWN BY: AS	
CHECKED BY: AS	
DRAWING NAME:	DRG. SCALE: NTS
DRAWING NO:	A106
DETAILS	SHEET SIZE: 17" x 11"

11 Grovewood Dr,
Brampton, ON
(416) 949-4795

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5. of Div.C. of the building code

AAKANKSHA SHARMA 114882 BCIN
Ndgng 2024-08-18
Signature Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5. of Div. C. of the building code

THE PERMIT SPACE 132183
Firm Name BCIN

NOTES:

1. GENERAL

- A) BACKFILL HEIGHTS OF GREATER THAN 7'-0" REQUIRED A PROFESSIONAL ENGINEER DESIGN.
B) POURED CONCRETE WALLS ONLY, NOT CONCRETE BLOCK

POURED CONCRETE STEPS.

2. CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF 25 MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.

3. FOOTING

- 16" X 6" POURED CONCRETE FOOTING c/w 2- 15M BARS. FOOTING SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.

4. RETAINING WALL

- 8" POURED CONC. WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 3'11".
- PROVIDE 15M REBAR @ 16" O.C. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 3'11".
- AN ENGINEER'S DESIGN IS REQUIRED FOR HEIGHTS EXCEEDING 7'-0".

5. STAIRS

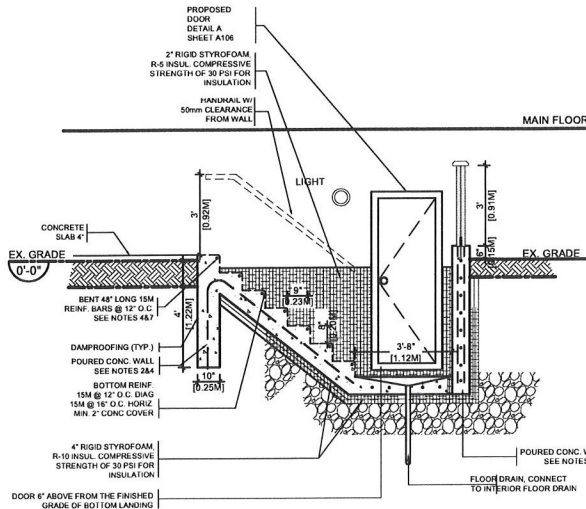
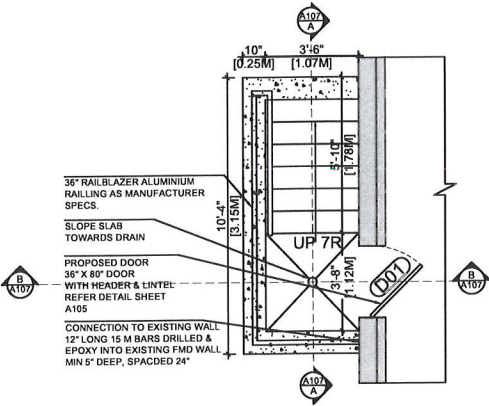
- RISE - 7 1/4" MAX TRADE -8 1/4". (ALL RISERS & TREADS SHALL BE UNIFORM)

6. GUARDS

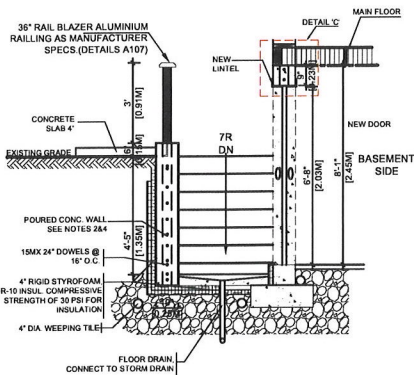
- GUARDS SHALL BE MIN. 35" HIGH (42" IF > 71" FROM TO OF THE STAIRS TO BOTTOM OF STAIRS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH OPENINGS, BE DESIGN TO PREVENT CLIMBING AND DESIGNED TO WITHSTAND THE LOADING IN TABLE 9.8.8.2 PROVIDE GUARD DETAILS TO INSPECTOR ON SITE, PRIOR TO INSTALLATION OF GUARD.

7. INSPECTIONS

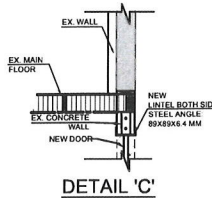
- AN INSPECTION OF ALL REBAR IS REQUIRED PRIOR TO POURING CONCRETE.



SECTION A-A



SECTION B-B



11 Grovewood Dr,
Brampton, ON
(416) 949-4795

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5. of Div.C. of the building code
Name: AAKANKSHA SHARMA
BCIN: 114882
Signature: [Signature]
Date: 2024-08-18

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5. of Div. C. of the building code
THE PERMIT SPACE
Firm Name: BCIN: 132183

NOTES:

- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS
2- REPORT ANY DISCREPANCIES TO THE CONSULTANT
3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC


LEGEND:

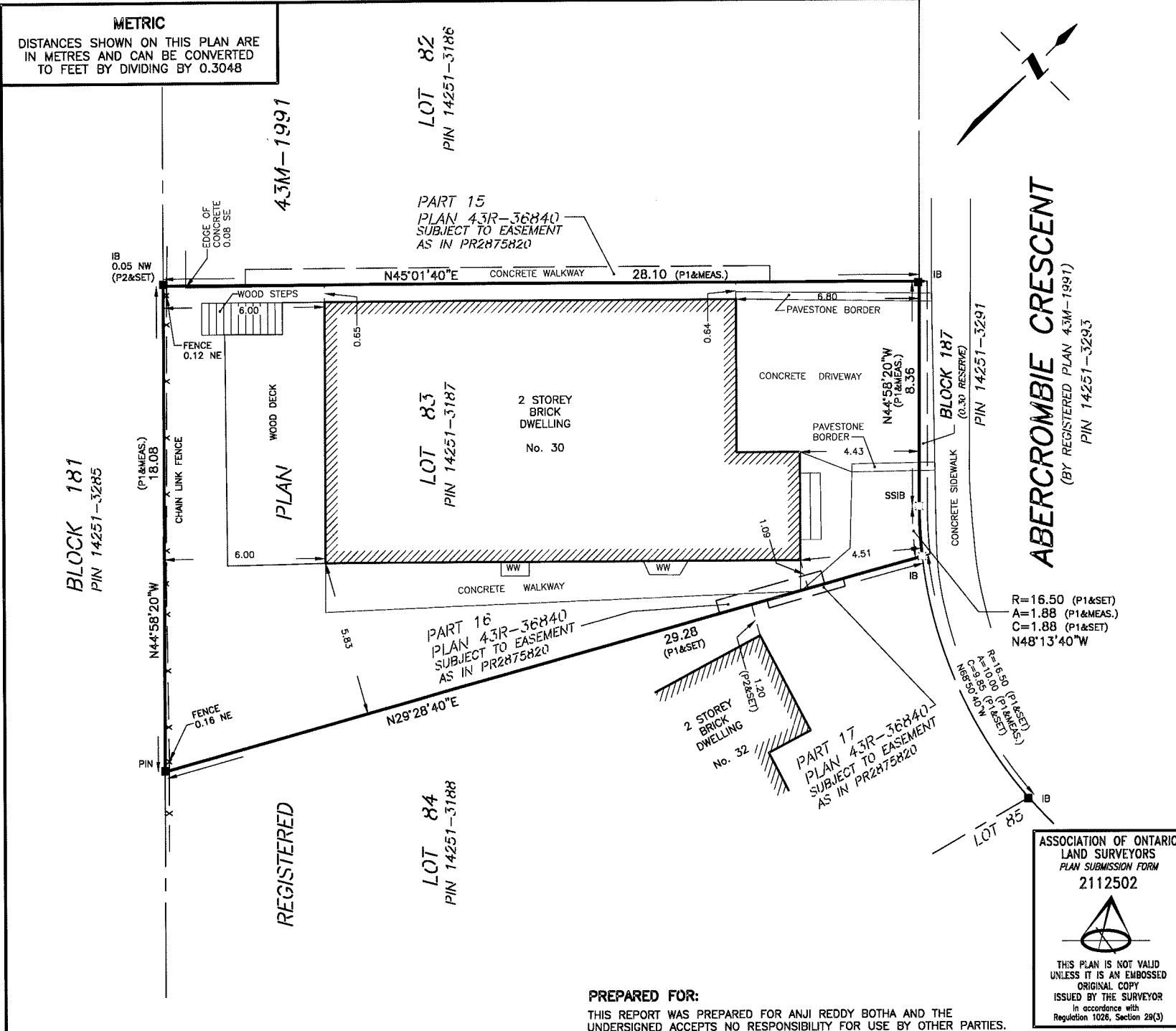
SYMBOL	DESCRIPTION
	INTERCONNECTED SMOKE ALARM WITH A VISUAL SIGNAL
	WALL MOUNTED LIGHT SWITCH AND CEILING FIXTURE. MAX. 160cm2 PERMITTED OPENINGS IN FIRE SEPARATIONS.
	WARM-AIR SUPPLY OUTLET. MAX. PERMITTED OPENING IN CEILING FIRE SEPARATIONS: 0.025m2 (277 sq. in.)
	RETURN-AIR GRILLE. PROVIDED IN ALL FIRE COMPARTMENTS SHALL NOT BE INSTALLED WITHIN FIRE SEPARATIONS.
	EXHAUST FAN VENTED DIRECTLY TO EXTERIOR.
	EXISTING WALL TO REMAIN.
	PROPOSED WALL DESIGNER TO PROVIDE ALL REQUIRED DETAILS TO DEMONSTRATE CONSTRUCTION
	FIRE SEPARATION. PROVIDE CONSTRUCTION LABEL ALL REQUIRED SEPARATIONS WITH MINUTE RATINGS.
	CEILING HEIGHT TAG.
	WALL TYPE TAG. PROVIDE CONSTRUCTION DETAILS FOR ALL APPLICABLE WALLS.
	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET
	SPRINKLES AS PER BUILDING CODE
	A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.
	PORTABLE WATER TANK

ADDRESS:

30 Abercrombie Cres, Brampton, ON L7A 4N1

PROJECT NAME: PROPOSED SECOND UNIT BASEMENT APARTMENT

 <i>ZZ</i>	CLIENT APPROVAL DATE:		ORIGINAL DATE: 07-11-2024
	REV. 1 DATE:		REV. 2 DATE:
	REV. 3 DATE:		REV. 4 DATE:
	REV. 5 DATE:		REV. 6 DATE:
	REV. 7 DATE:		REV. 8 DATE:
DRAWN BY: AS	REV. 9 DATE:		REV.10 DATE:
CHECKED BY: AS	REV. 9 DATE:		REV.10 DATE:
DRAWING NAME:	DRG. SCALE: 3/16"=1'-0"	DRAWING NO: A107	
STAIRS DETAILS		SHEET SIZE: 17" x 11"	



SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY OF

LOT 83

REGISTERED PLAN 43M-1991

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 150

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REPORT SUMMARY

PROPERTY DESCRIPTION: 30 ABERCROMBIE CRESCENT, BEING LOT 83, REGISTERED PLAN 43M-1991, CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL, PIN 14251-3187.

EASEMENTS/RIGHTS-OF-WAY:
SUBJECT TO EASEMENT OVER PART 16, PLAN 43R-36840 IN FAVOUR OF LOT 84 AS IN PR2875820.
TOGETHER WITH EASEMENT OVER PARTS 15 AND 17, PLAN 43R-36840 AS IN PR2875820

COMMENTS: NOTE LOCATION OF FENCES.

NOTES

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF ABERCROMBIE CRESCENT AS SHOWN ON REGISTERED PLAN 43M-1991, HAVING A BEARING OF N44°58'20"W.

■	DENOTES	SURVEY MONUMENT FOUND
⋯	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
WW	DENOTES	WINDOW WELL
P1	DENOTES	REGISTERED PLAN 43M-1991
P2	DENOTES	TARASICK McMILLAN KUBICKI LTD., O.L.S., DEC 13, 2019

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON APRIL 16, 2024

MAY 6, 2024
DATE

Borys Kubicki
BORYS KUBICKI
ONTARIO LAND SURVEYOR

TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: M.M. FILE No. 8229-SRPR

PREPARED FOR:

THIS REPORT WAS PREPARED FOR ANJI REDDY BOTHA AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2112502

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with Regulation 1026, Section 29(3)

Zoning Non-compliance Checklist

File No.

A-2025-0040

Owner: Anji Reddy Botha
Address: 30 ABERCROMBIE CRES
Zoning: R1F-11-1099
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE	To permit a 1.09m wide pedestrian path of travel leading to the principal entrance of an additional residential unit,	whereas the by-law requires an unobstructed pedestrian path of travel having a minimum width of 1.2m leading to the principal entrance of an additional residential unit.	10.16.1 (a)
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

March 20, 2025
Date