

**Application for Minor Variance**Section 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

**Application Number:** A-2025-0048  
**Property Address:** 740 Steeles Avenue W.  
**Legal Description:** Con 2, WHS, Part Lot 1, RP 43R11346, Part 2, Ward 4  
**Agent:** Area, Architects Rasch Eckler Associates Ltd.  
**Owner(s):** Country Fruit & Farm Market,  
c/o O Iannace (Peter Iannace & Maria Iannace)  
**Other applications:** nil  
**under the *Planning Act***

**Meeting Date and Time:** Tuesday, May 27, 2025, at 9:30 am  
**Meeting Location:** Hybrid in-person and virtual meeting – Council Chambers,  
4<sup>th</sup> Floor Brampton City Hall, 2 Wellington Street West

**Purpose of the Application:**

1. To permit a day nursery and private school, whereas the by-law does not permit the uses.
2. To permit a front yard setback of 11.01 metres, whereas the by-law requires a minimum front yard setback of 15.0 metres;
3. To permit a parking aisle providing access to a parallel parking space to have a width of 3.5 metres, whereas the by-law requires a parking aisle providing access to a parallel parking space to have a minimum width of minimum 4.0 metres; and
4. To permit 42 parking spaces, whereas the by-law requires a minimum of 61 parking spaces.

**Participate in the Meeting:**

- Send an email with your written comments to [coa@brampton.ca](mailto:coa@brampton.ca). Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, May 22, 2025**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing [coa@brampton.ca](mailto:coa@brampton.ca) and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, May 22, 2025**, by emailing [coa@brampton.ca](mailto:coa@brampton.ca), and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

**Note:** Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

**Viewing Application Materials:** The application and related materials are available online at [www.brampton.ca/en/city-hall/meetings-agendas](http://www.brampton.ca/en/city-hall/meetings-agendas) and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at [www.brampton.ca](http://www.brampton.ca).

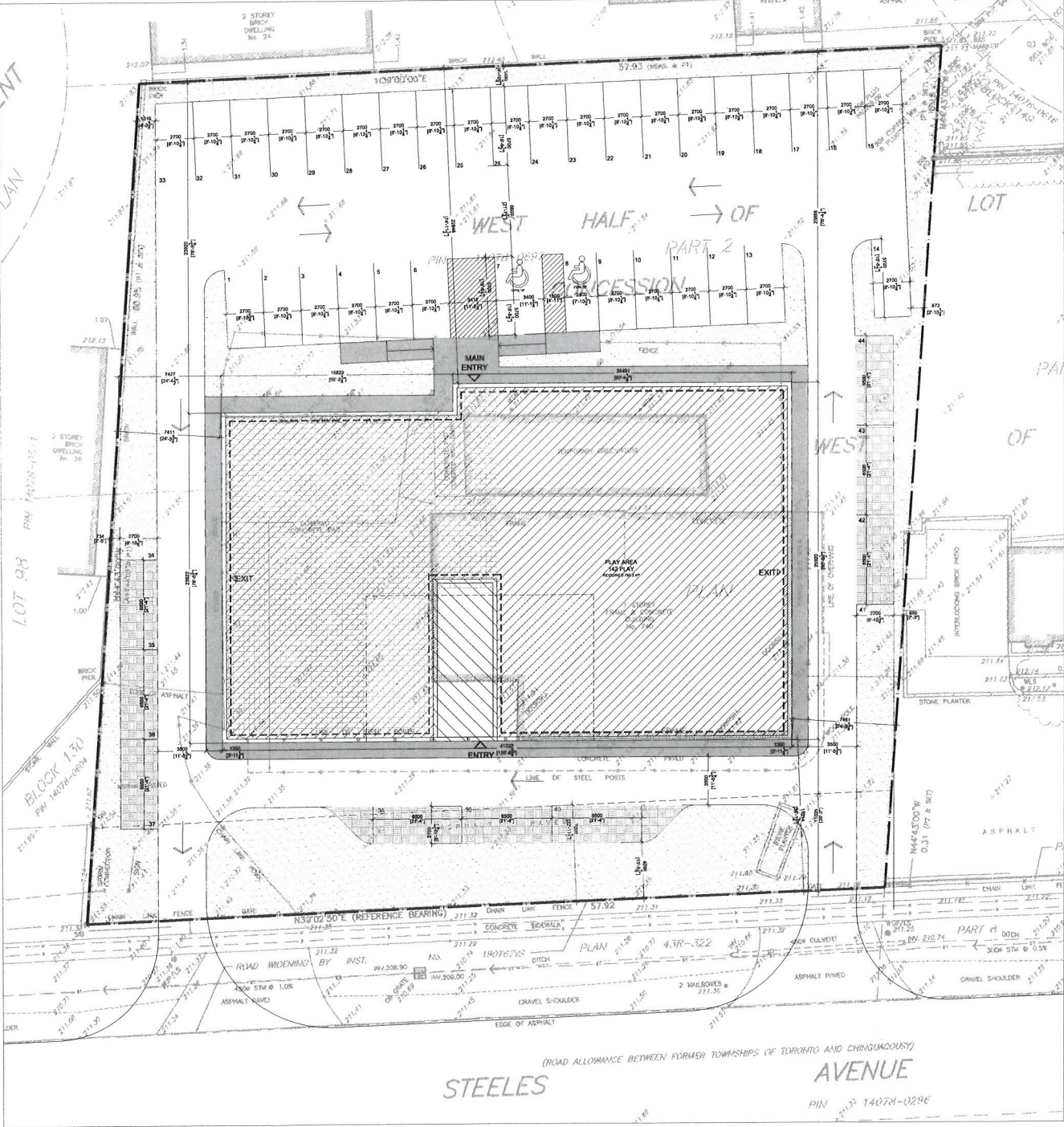
**Appeal Process:** If you wish to be notified of the decision of Committee, you must submit a written request to [coa@brampton.ca](mailto:coa@brampton.ca). This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting [olt.clo@ontario.ca](mailto:olt.clo@ontario.ca).

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 13th day of May 2025

Secretary Treasurer  
Committee of Adjustment, City Clerk's Office  
2 Wellington Street West, Brampton, L6Y 4R2  
E: [coa@brampton.ca](mailto:coa@brampton.ca)



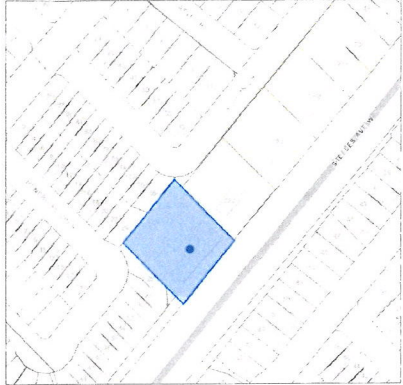


1 PROPOSED SITE PLAN/ GROUND FLOOR PLAN LAYOUT  
SCALE: 1/150

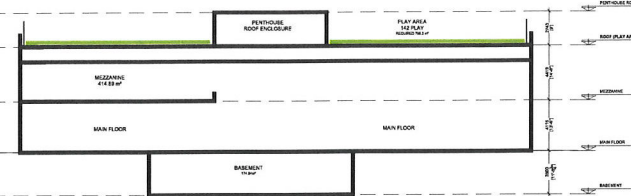
LEGEND

- PROPOSED ONE STOREY BLDG. WITH PARTIAL BASEMENT FOR DAYCARE
- PENTHOUSE ROOF ENCLOSURE \*\*
- BELOW GRADE STOREY \*
- MEZZANINE \*\*\*
- CHILDREN PLAY AREA
- SIDE WALK
- SOFT LANDSCAPE
- PERMEABLE PAVING (INTERLOCK)

\* Basement layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 174.4 m<sup>2</sup> as identified in the Site Statistics table  
\*\* Penthouse layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 54.51 m<sup>2</sup> as identified in the Site Statistics table  
\*\*\* Mezzanine layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 416.88 m<sup>2</sup> as identified in the Site Statistics table



2 KEY PLAN  
N.T.S.



3 SCHEMATIC SECTION  
A0-1 N.T.S.

SITE STATISTICS				
740 STEELES AVE. WEST-BRAMPTON, ON				
ADDING USES OF Day Nursery+ Private School (from as-of-right Grocery/Convenience Store or Fruit/Vegetable Market)				
DESCRIPTION	EXISTING	PROPOSED	COMMERCIAL ONE (C-1) SPECIAL SECTION 118	VARIANCE
MIN LOT WIDTH	57.92 m	EXISTING NO CHANGE	38 m	
MIN LOT AREA	3527 m <sup>2</sup>	EXISTING NO CHANGE	N/A	
MAX BUILDING HEIGHT(S) (STOREYS)	1	1	1	
GFA	1,027.23 m <sup>2</sup>	1,037.23174 41414.89/54.51+ 1,081.03 m <sup>2</sup>	N/A	
MIN. FRONT YARD	11.01 m	EXISTING NO CHANGE	15.0 m	-3.89 m
MIN. SIDE YARD	7.41 m	EXISTING NO CHANGE	6.0 m	
MIN. REAR YARD	22.85 m	EXISTING NO CHANGE	9.0 m	
MIN. LANDSCAPING AREA	0%	25.5%	20%	+5.5%
REQUIRED PARKING SPACE	28	42	23+38= 61	-19

OCCUPANCY FOR CHILDREN & STAFF  
740 STEELES AVE. WEST- BRAMPTON, ON

GROUND FLOOR									
INFANTS	CHILDREN	STAFF	TODDLERS	CHILDREN	STAFF	PRESCHOOLERS	CHILDREN	STAFF	
INFANT-1	10	3	TODDLER-1	15	3	PRESCHOOLER-1	16	2	
			TODDLER-2	15	3	PRESCHOOLER-2	24	3	
			TODDLER-3	15	3	PRESCHOOLER-3	24	3	
			TODDLER-4	15	3	PRESCHOOLER-4	24	3	
			TODDLER-5	15	3	PRESCHOOLER-5	24	3	
			TODDLER-6	15	3				
			TODDLER-7	15	3				
SUBTOTAL	10	3		105	21		112	14	
TOTAL CHILDREN		227							
TOTAL STAFF		38							
CHILDREN TOILETS		23							

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.

THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE ARCHITECT'S WRITTEN AUTHORITY.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY ARCHITECT.

THE ELECTRONIC FILES FOR THIS PROJECT ARE ISSUED FOR REFERENCE ONLY AND MAY NOT BE ALTERED IN ANY WAY WHATSOEVER BY ANYONE ELSE EXCEPT AREA ARCHITECT LTD. EXCEPT WHERE WRITTEN PERMISSION IS GIVEN BY AREA ARCHITECTS LTD. A HARD COPY OF THIS ELECTRONIC FILE EXISTS IN OUR OFFICE AS A REFERENCE DOCUMENT.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

11			
10			
9			
8			
7	REISSUED TO COA	MAY 12, 2025	HR
6	REISSUED TO COA	MAY 11, 2025	HR
5	REISSUED TO COA	MAY 8, 2025	HR
4	REISSUED TO COA	MAY 7, 2025	HR
3	ISSUED TO COA	APRIL 20, 2025	HR
2	ISSUED TO CLIENT	DEC. 31, 2024	HR
1	ISSUED TO CLIENT	DEC. 23, 2024	HR
N/A	REVISIONS / ISSUES	DATE	BY

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
15 LOLA ROAD TORONTO, ONTARIO, M5P 1E5 TEL: (416) 696-1969 FAX: (416) 696-1966

PROJECT TITLE

DAYCARE

740 STEELES AVE. WEST  
BRAMPTON, ON

DRAWING TITLE

SITE PLAN/  
PROPOSED PLAN LAYOUT  
OPTION "B"

DRAWN BY HR	SCALE 1:150
CHECKED BY DE	DATE DECEMBER 23, 2024
SET NO 1	PROJECT NORTH DRAWING NO. A0.1b
TOTAL DWG NO 1	PROJECT NO BD-24-2419