



FILE NUMBER: A-2025-0039

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

**APPLICATION**

**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

TK

1. Name of Owner(s) Thilak Krishna Moorthy/ Nirmala Thilak / Thilak Krishamoorthy  
Address 20 Fern St., Brampton, ON L6Y 1X2

Phone # 778 881 1132 Fax # \_\_\_\_\_  
Email k.Thilak1984@gmail.com

2. Name of Agent Valiuddin Mohammed/Mechways Inc.  
Address 6 Ripon St., Mississauga, ON L4T 1E2

Phone # 416 627 4100 Fax # \_\_\_\_\_  
Email info@mechways.com

3. Nature and extent of relief applied for (variances requested):

1. To seek relief from Zoning by law to allow the minimum front setback of 6m to a proposed two storey addition.
2. To seek relief from the zoning by law to allow the maximum lot coverage of 35.79%, whereas permitted is 30%

4. Why is it not possible to comply with the provisions of the by-law?

1. According to zoning by law, no part of any dwelling or accessory building shall be erected or placed at a distance less than 8m from any lot line abutting a street.
2. According to zoning by law, the maximum permitted lot coverage is 30%, however proposed is 35.79%  
Hence seeking the relief for the difference.

5. Legal Description of the subject land: LOT 52  
Lot Number \_\_\_\_\_  
Plan Number/Concession Number PLAN 354  
Municipal Address 20 Fern St., Brampton, ON L6Y 1X2

6. Dimension of subject land (in metric units)  
Frontage \_\_\_\_\_ 19.18m  
Depth \_\_\_\_\_ 34.14m  
Area \_\_\_\_\_ 654.81 sqm

7. Access to the subject land is by:  
Provincial Highway \_\_\_\_\_  
Municipal Road Maintained All Year   
Private Right-of-Way \_\_\_\_\_  
Seasonal Road \_\_\_\_\_  
Other Public Road \_\_\_\_\_  
Water \_\_\_\_\_

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area - 83.11Sqm
Gross Floor Area- 83.11 Sqm
No of storeys- 1

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area -180.81 Sqm
Gross Floor Area- 387.18 Sqm
No of storeys- 2

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.37m
Rear yard setback	9.72m
Side yard setback	1.27m
Side yard setback	3.03m

PROPOSED

Front yard setback	5.37m
Rear yard setback	9.72m
Side yard setback	0.91m
Side yard setback	3.03m

- 0. Date of Acquisition of subject land: Jan 2024
- 1. Existing uses of subject property: Residential
- 2. Proposed uses of subject property: Residential
- 3. Existing uses of abutting properties: Residential
- 4. Date of construction of all buildings & structures on subject land: ~1975
- 5. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?

Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?

Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?

Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

*[Handwritten Signature]*

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Toronto  
THIS 24<sup>th</sup> DAY OF Feb, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE City OF Mississauga

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city OF Toronto

IN THE Province OF

Ontario THIS 24th DAY OF

February, 2025.

*[Handwritten Signature]*

A Commissioner etc.

Digitally signed by Valiuddin Mohammed  
DN: cn=Valiuddin Mohammed, o=CA, ou=Mechways Inc., email=info@mechways.com  
Date: 2025.02.24 15:24:38 -0500

Valiuddin Mohammed

Signature of Applicant or Authorized Agent



Rameshbhai Somabhai Patel  
Professional Corporation  
127 Westmore Dr. Unit # 101,  
Toronto, ON, M9V 3Y6  
Tel: 416-742-2999 Fax: 416-742-3888  
mail@rplawoffice.net

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1B-3057 & Mature Neighbourhood

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar  
Zoning Officer

April 08, 2025  
Date

DATE RECEIVED April 09, 2025

*[Handwritten Signature]*

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

20 Fern St., Brampton, ON, L6Y1X2

LOCATION OF THE SUBJECT LAND: \_\_\_\_\_

I/We, Thilal Krishnaoorthy, Nirmala Thilal  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize  
Valiuddin Mohammed/Mechways Inc.

\_\_\_\_\_

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 24 day of Feb, 2025

[Signature] [Signature]  
\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 20 Fern St., Brampton, ON, L6Y1X2

I/We, Thilak Krishnamoorthy, Normale Thilak  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 24 day of Feb, 20 25

[Signature] [Signature]  
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

## 8. Committee of Adjustment

<b>Residential Minor Variance Applications</b>		
Above/Below Grade Variance (Door/Window)	<b>\$11,949</b>	Per Application
Driveway Variance	<b>\$11,949</b>	Per Application
Parking Variance	<b>\$11,949</b>	Per Application
Variances to Section 10.16 (Garden Suites) of the Zoning By-Law	<b>\$11,949</b>	Per Application
All Other Variances	<b>\$2,990</b>	Per Variance
Maximum Fee	<b>\$11,949</b>	Per Application
<b>Institutional, Commercial or Industrial (ICI) Minor Variance Applications</b>		
Minor Variance Application	<b>11,949</b>	Per Application
"After the Fact" Variance (Residential or ICI) Variance application resulting from a registered complaint, construction inspection, building order or enforcement action.	<b>\$11,949</b>	Per Application
<b>Consent Applications</b>		
Consent Application – Lot Creation	<b>\$10,157</b>	Per Application
Consent Application – All Other (in accordance with Planning Act S.57, 50(18), or 53(23))	<b>\$5,078</b>	Per Application
Committee of Adjustment Application Re-Circulated Pursuant to A Request by The Applicant to Defer an Application	<b>\$5,000</b>	Per Notice
Consent Certificate	<b>\$2,127</b>	Per Certificate
Replacement Notice Sign	<b>\$75</b>	Per Sign
<p><b>Committee of Adjustment Application Refunds:</b></p> <ul style="list-style-type: none"> <li>• \$400 refund if withdrawn prior to internal circulation (By-law 231-2007).</li> <li>• \$300 refund if withdrawn prior to circulation of public notice of a hearing (By-law 231-2007).</li> <li>• No refund if withdrawn once the circulation of the public notice of a hearing has occurred (By-law 231-2007).</li> </ul>		

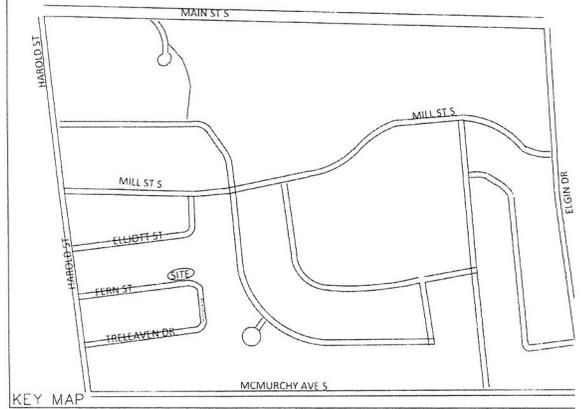
**NOTES**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCES ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE AVERAGE COMBINED SCALE FACTOR OF 0.9988090357.

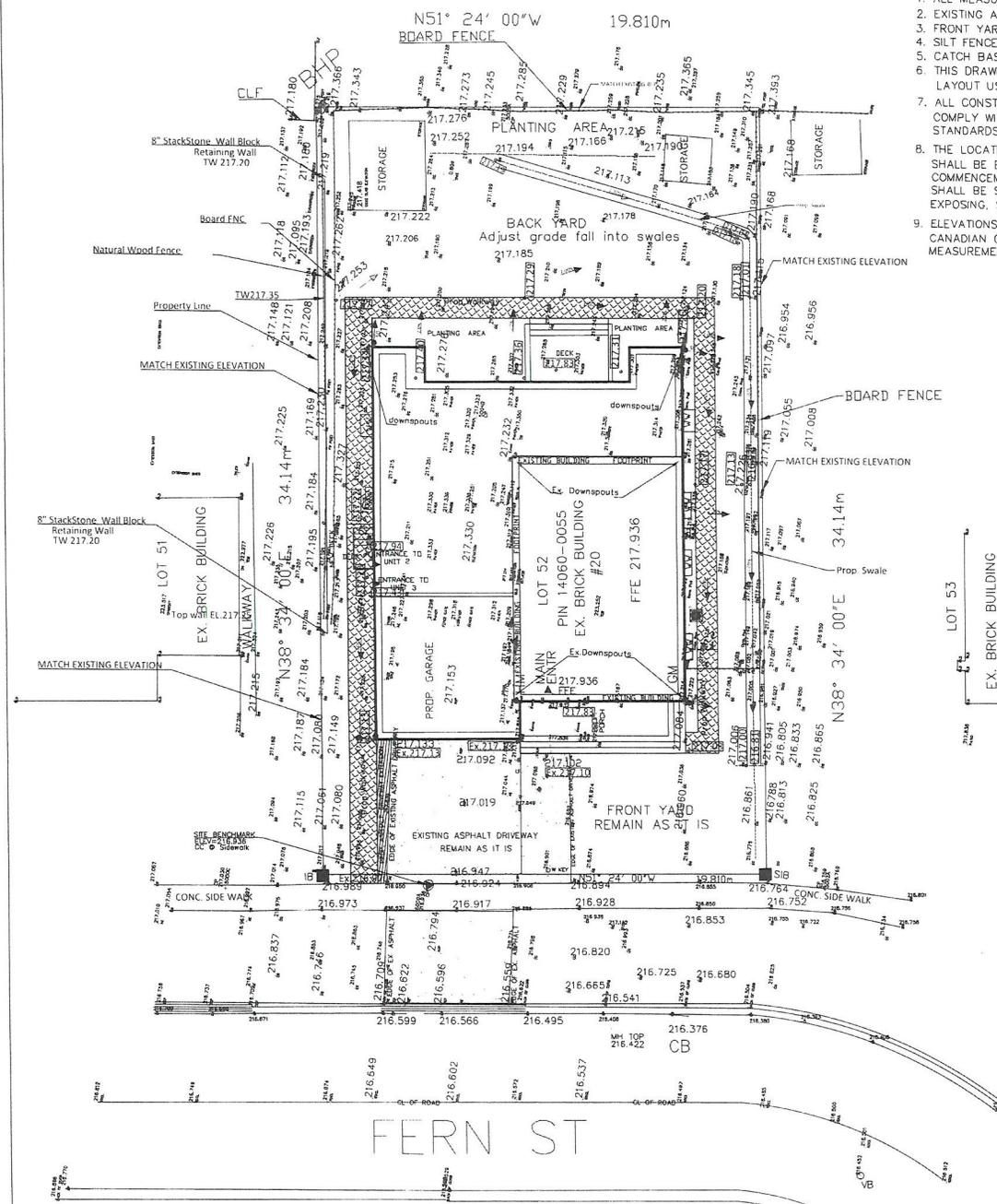
**SITE BENCH MARK**

BENCHMARK NO.00B19728392  
 LARGE METAL CLAD AND RED BRICK BUILDING (OWNED BY ONTARIO SEED CLEANERS AND DEALERS LTD) ON NORTH SIDE OF BRAMPTON SIDEROAD 15,  
 1.3 KM SOUTH OF JCT OF HWY 10 AND PEEL REG RD 14 IN THE HAMLET OF SNELGROVE, 3.1 KM NORTH OF NORTH JCT OF HWYS 7 AND 10 AT BRAMPTON,  
 0.6 KM WEST OF HWY 10 AND 50 M NORTH OF CENTRELINE OF BRAMPTON SIDEROAD 15. TABLET IS SET HORIZONTALLY IN EAST FACE OF CONCRETE FOUNDATION, 25.39 M NORTH OF S.E. CORNER AND 85 CM BELOW METAL SIDING.



**NOTES**

1. ALL MEASUREMENTS AND ELEVATIONS ARE IN METRIC
2. EXISTING ASPHALT DRIVEWAY REMAIN AS IT IS
3. FRONT YARD, REMAIN AS IT IS
4. SILT FENCE SHALL BE INSTALLED AS PER OPSD 2019.11C
5. CATCH BASIN SEDIMENT TRAPS SHALL BE INSTALLED.
6. THIS DRAWING RELATED TO THE SITE GRADING WORK, FO LAYOUT USE THE ARCHITECTURAL SITE PLAN
7. ALL CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE CITY, REGION, AND PROVINCIAL STANDARDS AND SPECIFICATIONS.
8. THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD SHALL BE ESTABLISHED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR ALL LOCATION, EXPOSING, SUPPORTING AND PROTECTING OF ALL.
9. ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD28) BY DIRECT MEASUREMENT TO A REAL TIME NETWORK (TOPNET).



**LEGEND**

- HCM HCM, HCP, BM
- SIB SURVEY MONUMENT FOUND
- SSB STANDARD IRON BAR
- SSB SHORT STANDARD IRON BAR
- IB IRON BAR
- CP CP Point
- CUT CROSS
- CB CATCH BASIN
- MH MANHOLE
- DB CATCH BASIN
- HP HYDRO POLE
- GV GAS VALVE
- WV WATER VALVE
- FHCT FIRE HYDRANT
- LS LIGHT STANDARD
- UP UTILITY POLE
- TS TRAFFIC SIGNAL
- TSCB TRAFFIC SIGNAL CP BOX
- HPLS HYDRO POLE LIGHT STANDARD
- CSP CORRUGATED STEEL PIPE
- GW WIRE
- Tree
- Vegetable / Bush
- TW TOP WALL
- BC B CURVE
- EP EDGE OF PAVEMENT
- EA EDGE ASPHALT
- DEP DEPRESS CURB
- TS TOP SLOPE
- BS BOTTOM SLOPE
- CL CENTERLINE
- DI DITCH
- SV SIDE WALK
- DG ORIGINAL GROUND
- EG EXISTING GRADE
- Asp ASPHALT
- EX Asp EXISTING ASPHALT
- + 217.000 EXISTING ELEVATION
- 217.000 PROPOSED ELEVATION

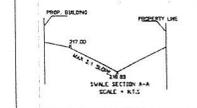
Description	Date	Submit B
2nd Submission	20-03-2025	---

**BR Surveyin**  
 E-mail: info@brsurveyin.com  
 Phone no: +1 416993.6400 Fax: +1 647948

LEGAL DESCRIPTION:  
 LT 52, PL 534, PIN 14060-0055  
 CITY OF BRAMPTON

Project Name:  
 20 FERN ST  
 BRAMPTON

DATE: 2025/03/26	SCALE: Q	CHECKED BY: [Signature]	REFERENCE NO: 2025100
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SITE BENCHMARK SHOWN HEREON IS THE X-CUT ON THE SIDEWALK NUMBER 5001A, HAVING AN ELEVATION OF 216.936m

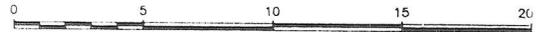
SURVEYOR'S REAL PROPERTY REPORT  
 PART 1  
 PLAN OF

# LOT 52, REGISTERED PL

FORMERLY IN THE TOWN OF BRAMPTON, COUNTY OF PEEL, NOW IN  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL

B.J. STASSEN, O.L.S., 1994

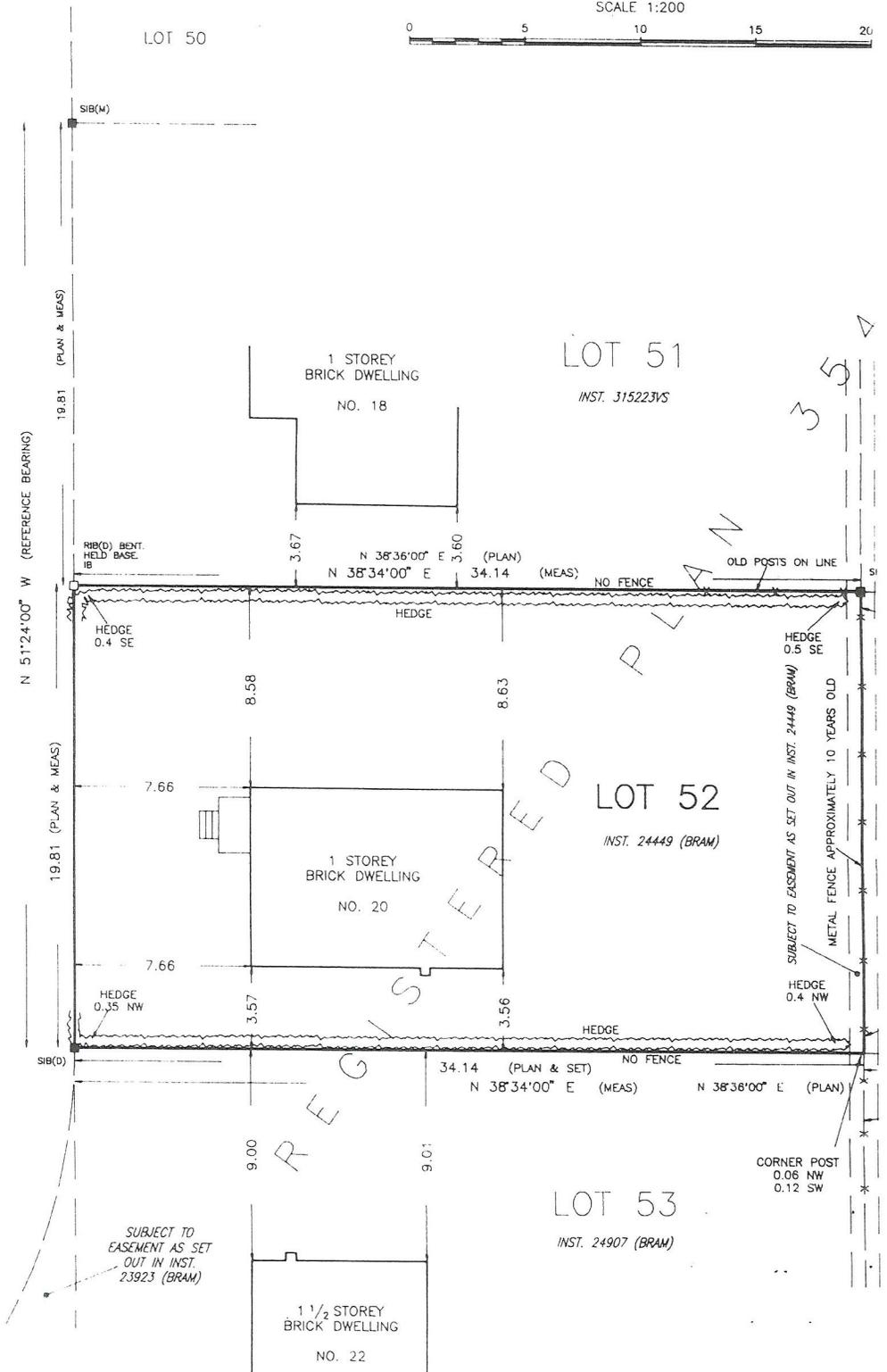
SCALE 1:200



DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56  
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

FERN STREET

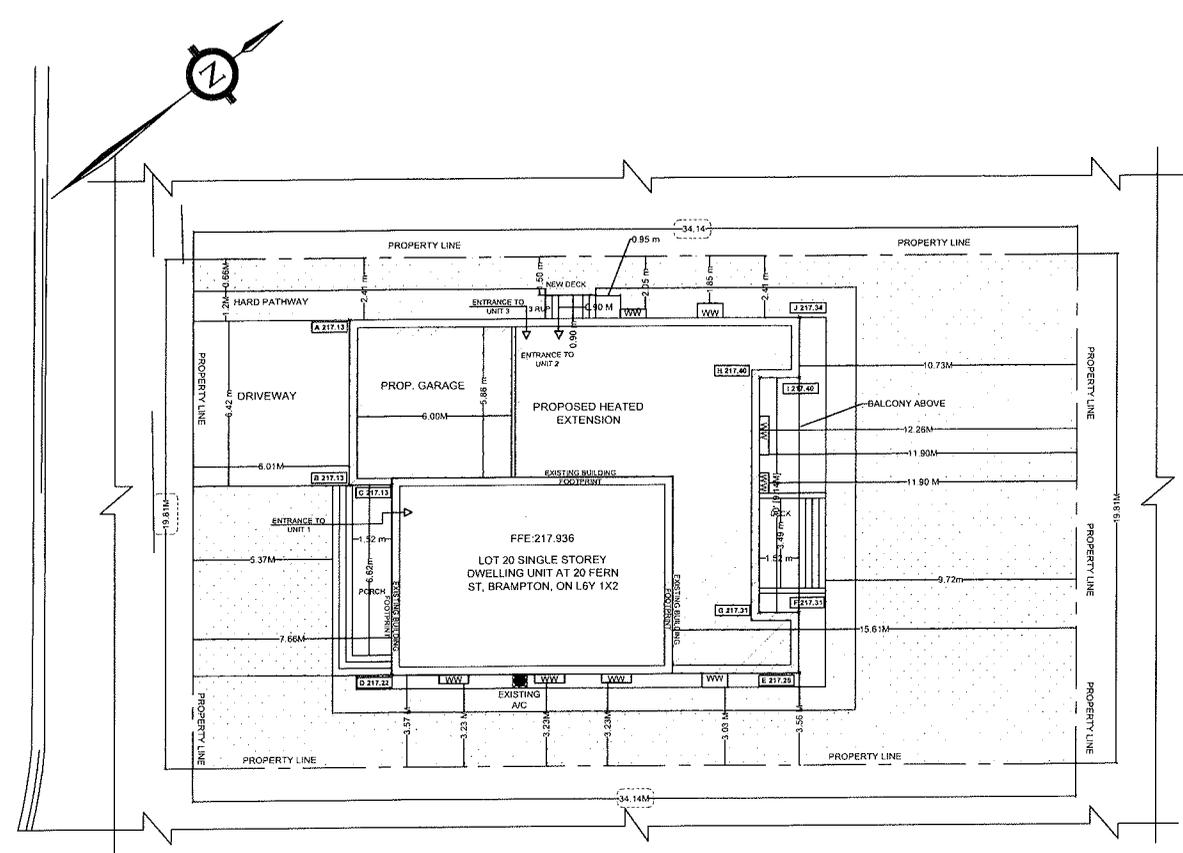
(DEDICATED BY REGISTERED PLAN 354)



PART 2  
 MUST BE READ IN  
 WITH REPORTING LETTER  
 FEBRUARY 17, 1994.

L.S., 1994.  
 duce, distribute or alter this plan in whole  
 in permission of B.J. Stassen, O.L.S.

FERN ST



LANDSCAPED OPEN AREA CALCULATION (FRONT YARD)	
GROSS AREA OF FRONT YARD	1478.34 m <sup>2</sup> / 137.15 m <sup>2</sup>
PROPOSED DRIVEWAY	412.27 m <sup>2</sup> / 38.56 m <sup>2</sup> 28.13%
FRONT YARD PORCH INCLUDING STEPS	181.87 m <sup>2</sup> / 16.68 m <sup>2</sup> 12.31%
FRONT YARD HARD LANDSCAPED AREA	151.78 m <sup>2</sup> / 10.38 m <sup>2</sup>
HARD LANDSCAPED AREA %	7.57%
FRONT YARD SOFT LANDSCAPED AREA	767.42 m <sup>2</sup> / 71.30 m <sup>2</sup>
SOFT LANDSCAPED AREA %	51.89%

UNIT 1 G.F.A.	= 314.72 m <sup>2</sup>
UNIT 2 G.F.A.	= 56.02 m <sup>2</sup>
UNIT 3 G.F.A.	= 169.31 m <sup>2</sup>

SITE STATISTICS	
PROJECT ADDRESS:	20 Fern St, Brampton, ON L6Y 1X2
LEGAL DESCRIPTION:	LOT 52 PLAN 354 INST. 24448 (BRAM)
ZONING INFORMATION:	BY-LAW IN EFFECT: ZONE: R1B
LOT INFORMATION:	LOT AREA: 676.61 m <sup>2</sup> LOT FRONTAGE: 19.81m (EXIST. TO REMAIN) BUILDING HEIGHT: MAXIMUM: 10.6 m PROPOSED: 8.1 m

SITE STATISTICS	
REQUIRED FRONT YARD	PROP: MIN 6.0 m
REQUIRED EXTERIOR	PROP: 6.0m
REQUIRED SIDE YARD	PROP: 1.8 m
MIN REAR YARD	PROP: 3.59 m, 1.83 m
PROP:	7.5 m
PROP:	10.73 m
LOT COVERAGE: 576.61 m <sup>2</sup>	
EXIST. BUILDING FOOTPRINT: (83.11 m <sup>2</sup> )	
PROP. HEATED EXTENSION: (137.96 m <sup>2</sup> )	
INCLUDING GARAGE PORCH:	
PROP. BALCONY: (17.83 m <sup>2</sup> )	
PROPOSED LOT COVERAGE: 238.90 m <sup>2</sup> (35.30 %)	

ESTABLISHED GRADE CALCULATION					
LENGTH NO.	BEGIN ELE.	END ELE.	LENGTH (M)	(EL.1+EL.2)/2 X L	
A-B	217.13	217.13	6.42	1393.97	
B-C	217.13	217.13	1.65	358.26	
C-D	217.13	217.22	7.39	1604.92	
D-E	217.22	217.26	15.75	3421.53	
E-F	217.26	217.31	2.34	508.45	
F-G	217.31	217.31	1.52	330.31	
G-H	217.31	217.40	9.14	1986.62	
H-I	217.40	217.40	1.52	330.45	
I-J	217.40	217.34	2.34	508.65	
J-A	217.34	217.13	17.40	3779.89	
TOTAL			65.47	14223.05	
ESTABLISHED GRADE				217.25	

**GENERAL NOTES:**  
DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
4	REVISION	MAR 22 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

**Mechways Inc.**

1000 SHEPPARD AVENUE EAST  
SUITE 100  
SCARBOROUGH, ONTARIO M1S 1T7  
CANADA  
TEL: (416) 291-8888  
WWW.MECHWAYS.COM

PROJECT:  
20 FERN ST, BRAMPTON,  
ON L6Y 1X2

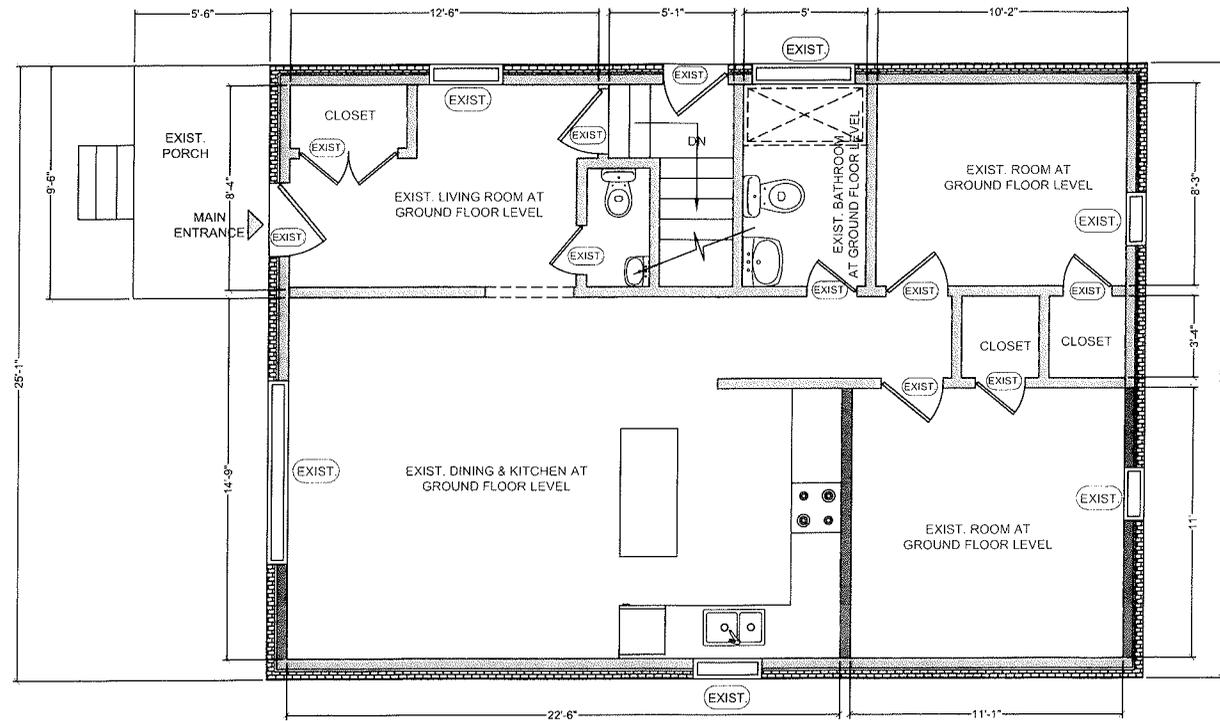
SHEET TITLE:  
SITE PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1:200  
DATE: JAN 02 2025

DRAWING:

AO.1





**EXIST. GROUND FLOOR PLAN**  
 GROUND FLOOR G.F.A = 894.63 ft<sup>2</sup> / 83.11 m<sup>2</sup>

DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW

**GENERAL NOTES:**  
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:  
**Mechways Inc.**  
 20 Fern St, Brampton, ON L6Y 1X2  
 TEL: 905.874.1111  
 WWW.MECHWAYS.COM

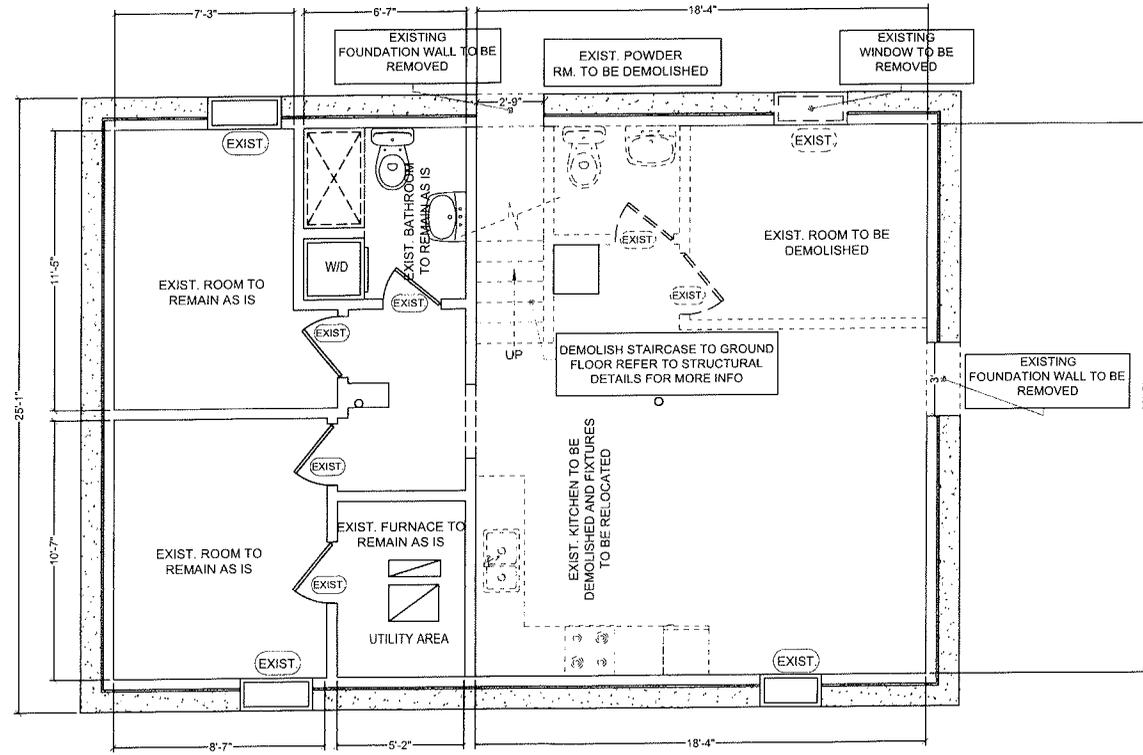
PROJECT:  
 20 FERN ST, BRAMPTON, ON L6Y 1X2

SHEET TITLE:  
 EXIST. GROUND FLOOR

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JAN 02 2025

DRAWING:  
 A1.2

# BASEMENT DEMOLITION PLAN



DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW

LEGENDS	
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO BE REMOVED

**GENERAL NOTES:**  
 DRAWINGS ARE TO BE READ NOT SCALED.  
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

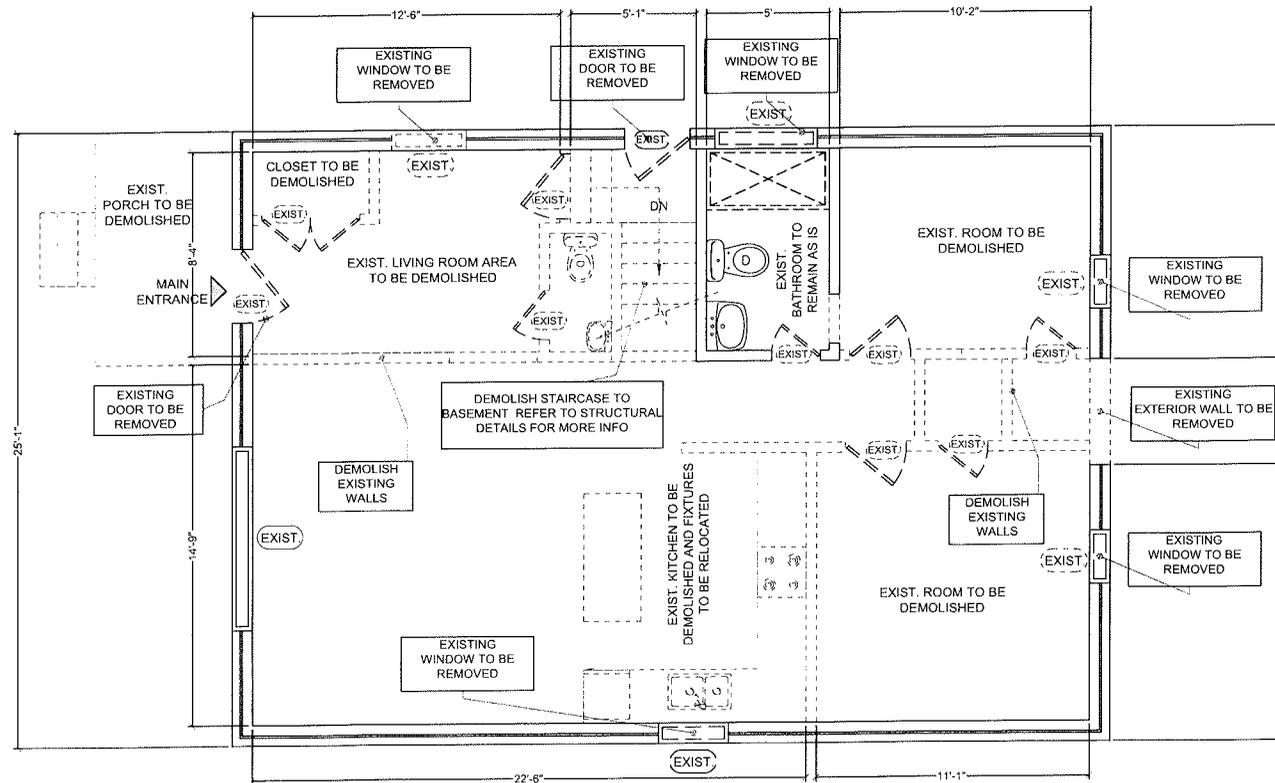
ENGINEER:  
  
 20 FERN ST. BRAMPTON, ON L6Y 1X2  
 TEL: (905) 874-1111  
 WWW.MECHWAYS.COM

PROJECT:  
 20 FERN ST. BRAMPTON, ON L6Y 1X2

SHEET TITLE:  
 BASEMENT DEMOLITION PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JAN 02 2025

DRAWING:  
 A1.3



## GROUND FLOOR DEMOLITION PLAN

DOOR SCHEDULE - BASEMENT LEVEL 1	
DOOR	SIZE
EXIST.	EXIST. DOOR

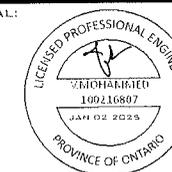
WINDOW SCHEDULE - BASEMENT LEVEL 1	
WINDOW	SIZE
EXIST.	EXIST. WINDOW

LEGENDS	
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO BE REMOVED

### GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
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NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

20 Fern St., Brampton, ON L6Y 1X2  
 TEL: 905.874.1111  
 FAX: 905.874.1112  
 WWW: WWW.MECHWAYS.COM

PROJECT:

20 FERN ST., BRAMPTON, ON L6Y 1X2

SHEET TITLE:

GROUND FLOOR  
DEMOLITION PLAN

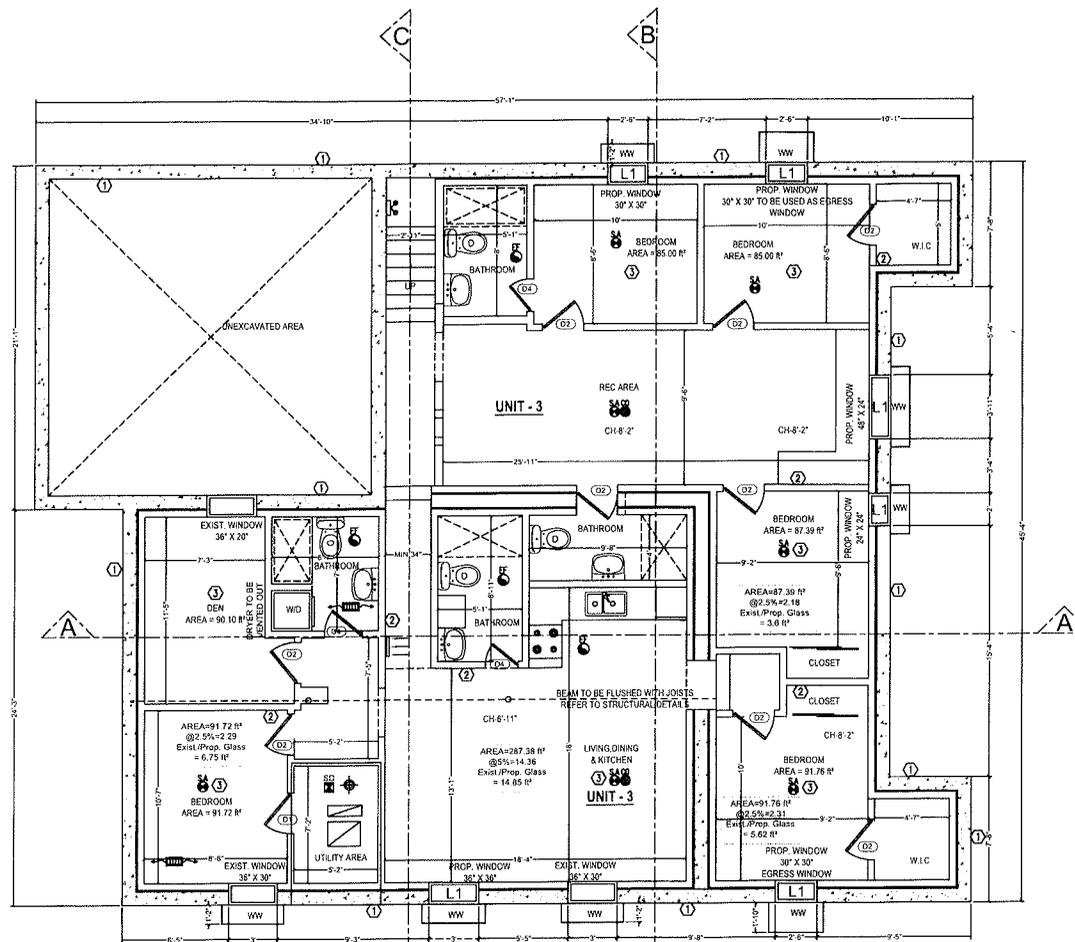
CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JAN 02 2025

DRAWING:

A1.4

	EXISTING FOUNDATION WALL (6" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXIST. INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED)
	DRY WALL WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWB ON BATHROOMS WALLS.)
	PROVIDE 30 MINUTE F.R.R. (SBS W/IC 3/8 x 89 mm WOOD STUDS @ 810 mm O.C. W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION) TO NEW EXISTING WALL
	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONOXIDE ALARM
	SPRINKLER
	PROVIDE 30 MIN F.R.R. EX. JOISTS W/ 5/8" TYPE X GYPSUM BOARD WITH MIN. 75 mm INSULATION AS PER SB-2 TABLE 2.3.12
	EXHAUST FAN (50 CFM IN WASHROOM & 100 CFM IN KITCHEN)
	EMERGENCY LIGHT
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	PROVIDE 30 MINUTE F.R.R. (2 x 4" THICK TYPE "K" BOARD) UNDER THE STAIR, SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
	LIGHT
	2-2"x8" WOOD LINTEL & 1-3/4"x3/4"x20" STEEL LINTEL MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE, MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE
	STEEL POST
	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF-CLOSING DEVICE

DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" x 80"
D2	30" x 80"
D3(SD)	130" x 80"
D4	24" x 80"
D5	60" x 80"
D6(SD)	60" x 80"
D7	60" x 108"



**PROPOSED BASEMENT PLAN**  
 BASEMENT G.F.A = 1822.41 m<sup>2</sup> / 169.31 m<sup>2</sup>  
 CEILING HEIGHT = 7'-1"  
 • CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS  
 • CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

**GENERAL NOTES:**  
 DRAWINGS ARE TO BE READ NOT SCALED.  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
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NO.	DESCRIPTION	DATE
3	REVISION	MAR 22 2025
2	REVISION	FEB 03 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

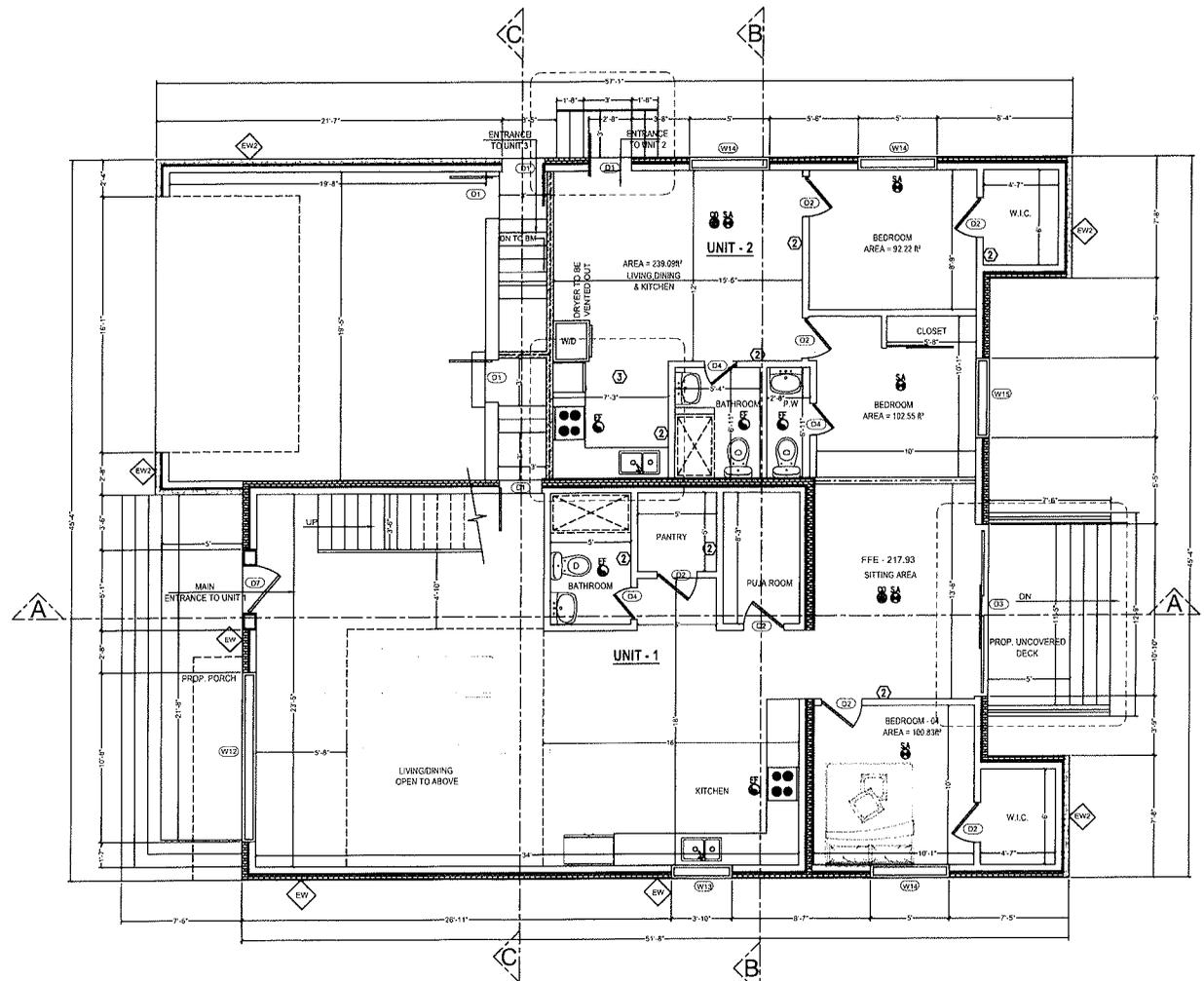
ENGINEER:  
 Mechways Inc.

PROJECT:  
 20 FERN ST., BRAMPTON, ON L6Y 1X2

SHEET TITLE:  
 PROPOSED BASEMENT

CHECKED: SB  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JAN 02 2025

DRAWING:  
 A1.5



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" x 80"
D2	30" x 80"
D3(SD)	130" x 80"
D4	24" x 80"
D5	60" x 80"
D6(SD)	60" x 80"
D7	60" x 108"

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W11	36" x 38"
W12	130" x 96"
W13	48" x 72"
W14	60" x 72"
W15	60" x 84"

**PROP. GROUND FLOOR PLAN**  
 GROUND FLOOR G.F.A. = 1869.17 ft<sup>2</sup> / 173.65 m<sup>2</sup>  
 UNIT 1 G.F.A. = 1266.13 ft<sup>2</sup> / 117.63 m<sup>2</sup>  
 UNIT 2 G.F.A. = 603.04 ft<sup>2</sup> / 56.02 m<sup>2</sup>

**GENERAL NOTES:**  
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NO.	DESCRIPTION	DATE
4	REVISION	MAR 22 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

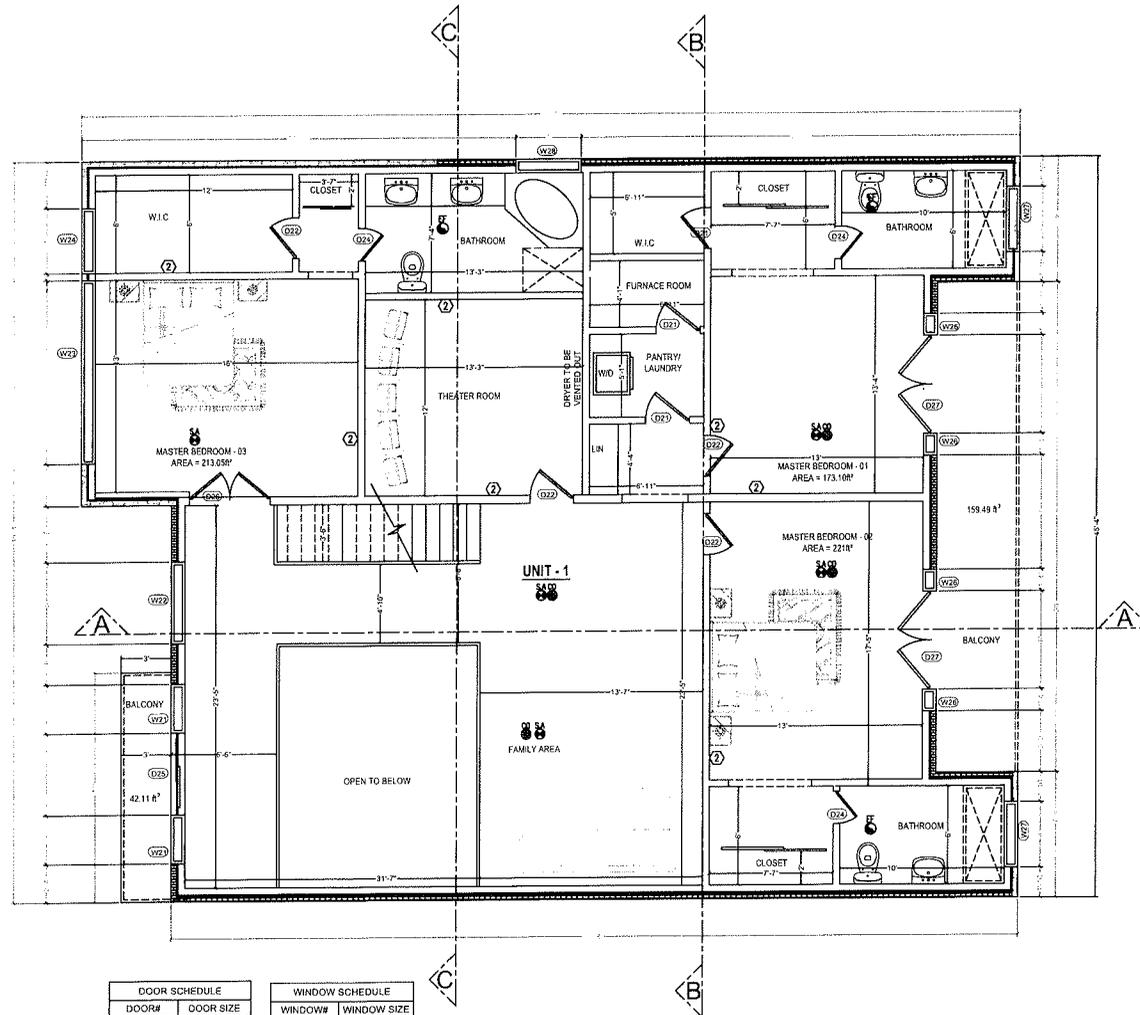
ENGINEER:  
**Mechways Inc.**  
 20 Fern St. Brampton, ON L5Y 1X2

PROJECT:  
 20 FERN ST. BRAMPTON, ON L5Y 1X2

SHEET TITLE:  
 PROPOSED GROUND FLOOR

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JAN 02 2025

DRAWING:  
**A1.6**



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D21	32" x 80"
D22	30" x 80"
D23	130" x 80"
D24	24" x 80"
D25	60" x 98"
D26	60" x 80"
D27	72" x 98"

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W21	36" x 98"
W22	60" x 96"
W23	150" x 96"
W24	48" x 96"
W25	60" x 84"
W26	16" x 88"
W27	48" x 12"
W28	48" x 48"

**PROP. SECOND FLOOR PLAN**  
 SECOND FLOOR G.F.A = 2305.51 ft<sup>2</sup> / 214.18 m<sup>2</sup>  
 OPEN TO BELOW = 183.97 ft<sup>2</sup> / 17.09 m<sup>2</sup>  
 NET GFA = 2121.54 ft<sup>2</sup> / 197.09 m<sup>2</sup>

**GENERAL NOTES:**

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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	MAR 22 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

**Mechways Inc.**

20 Fern St. Brampton, ON L6Y 1X2  
 Tel: 905.874.1111  
 Fax: 905.874.1112  
 Website: www.mechways.com

PROJECT:

20 FERN ST. BRAMPTON, ON L6Y 1X2

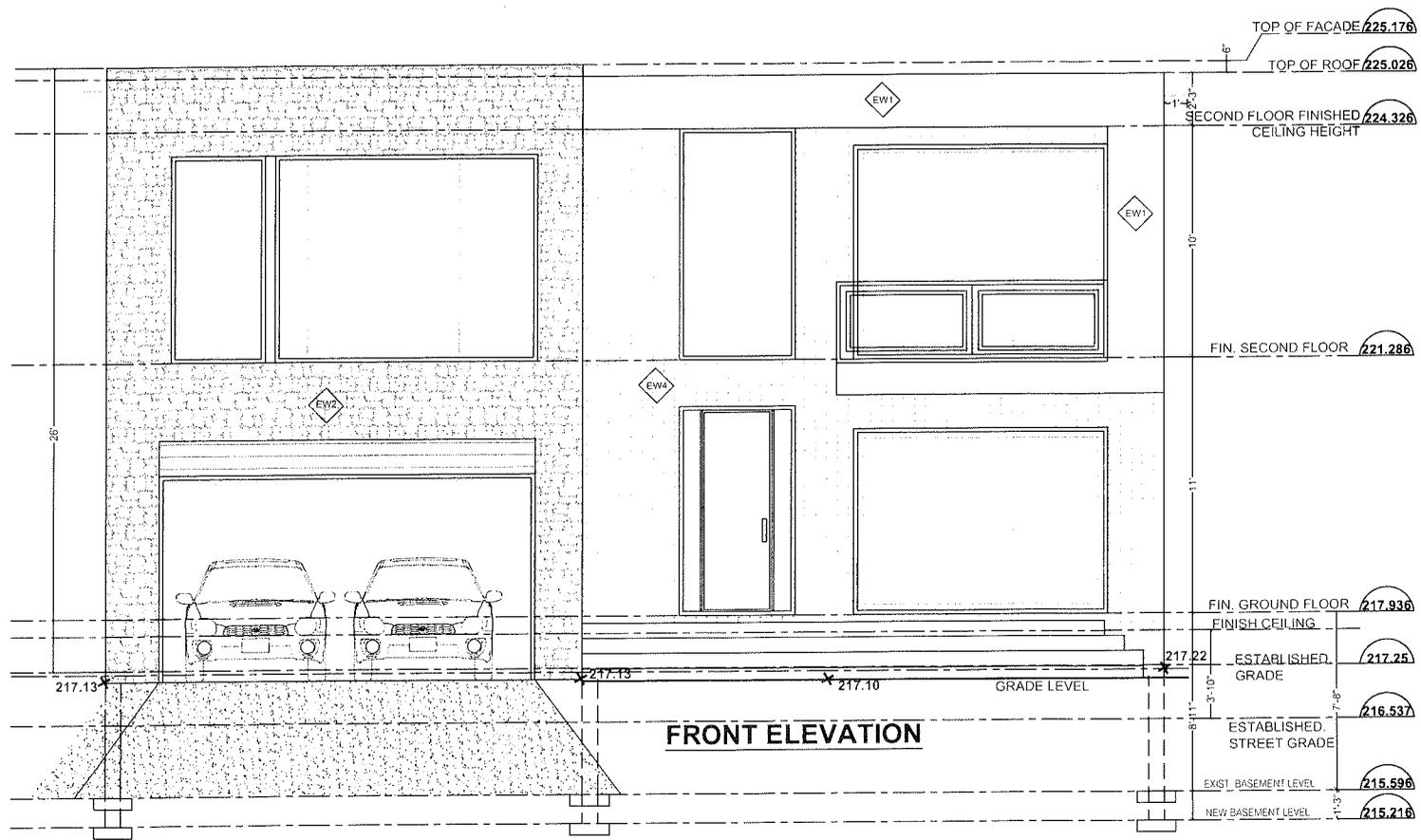
SHEET TITLE:

PROPOSED SECOND FLOOR

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JAN 02 2025

DRAWING:

A1.7



**GENERAL NOTES:**  
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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	MAR 22 2025
2	REVISION	MAR 10 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

*Mechways Inc.*

1000 SHEPPARD AVENUE EAST  
 SUITE 100  
 SCARBOROUGH, ONTARIO M1S 1T7  
 TEL: (416) 291-1111  
 WWW.MECHWAYS.COM

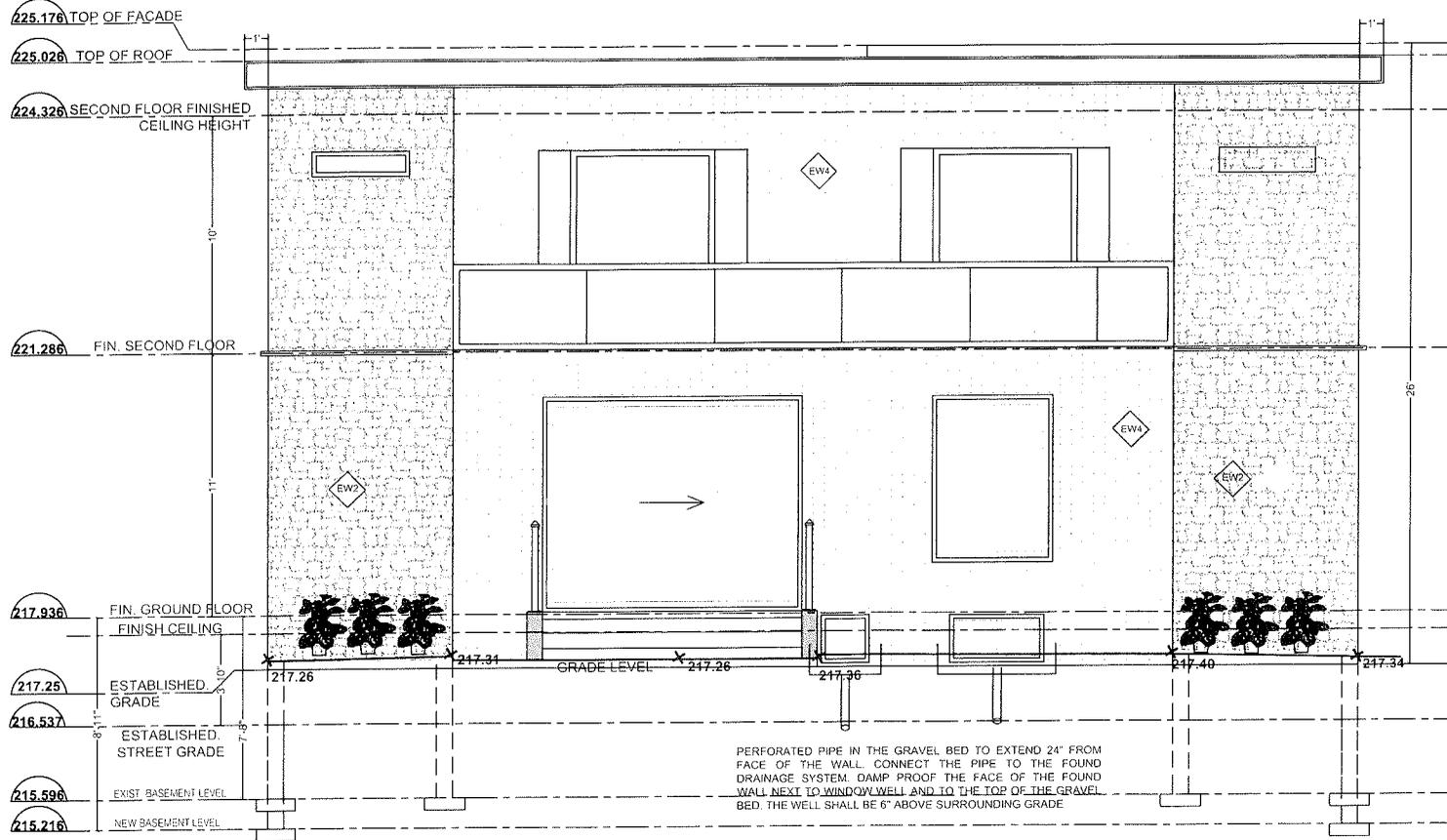
**PROJECT:**  
 20 FERN ST, BRAMPTON,  
 ON L6Y 1X2

**SHEET TITLE:**  
 FRONT ELEVATION

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JAN 02 2025

DRAWING:

A2.1



**REAR ELEVATION**

**GENERAL NOTES:**  
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3	REVISION	MAR 22 2025
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1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

*Mechways Inc.*

20 FERN ST, BRAMPTON, ON L6Y 1X2  
 TEL: 905.874.1111  
 WWW.MECHWAYS.COM

PROJECT:

20 FERN ST, BRAMPTON, ON L6Y 1X2

SHEET TITLE:

REAR ELEVATION

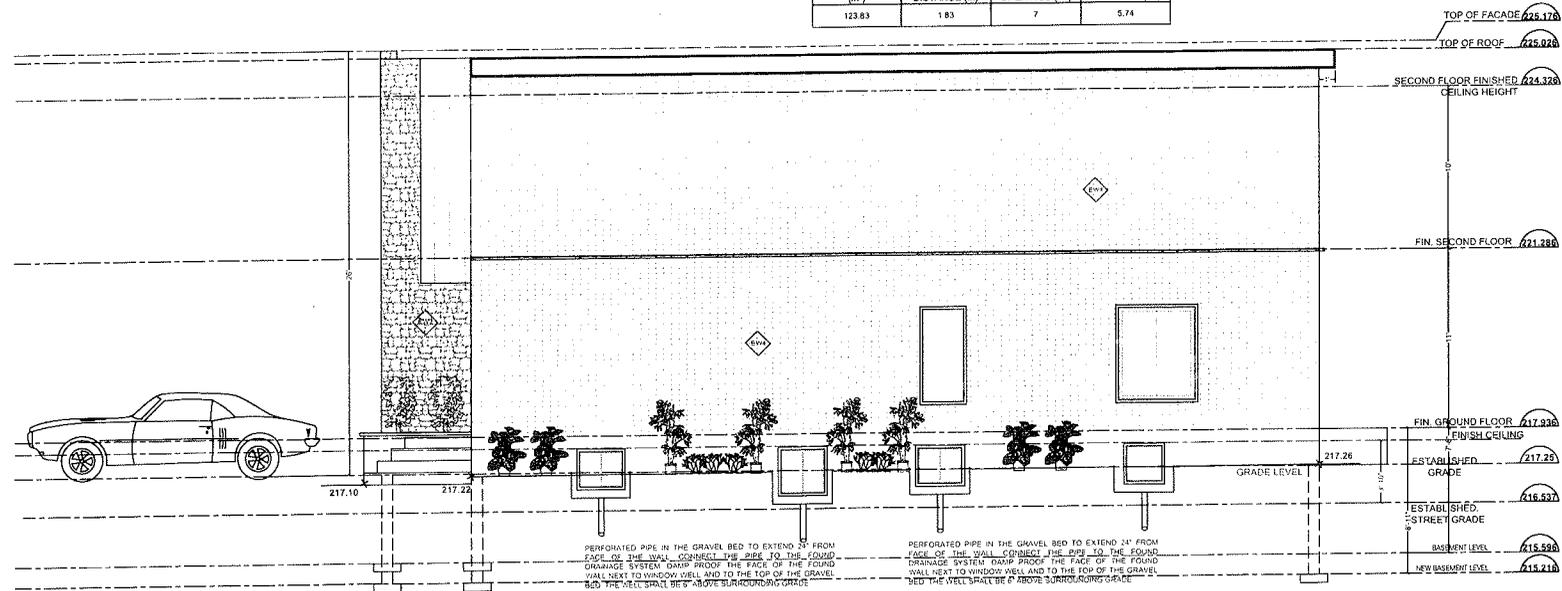
CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JAN 02 2025

DRAWING:

A2.2

MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES ABOVE GRADE (UNPROTECTED OPENINGS)  
(OBC 9.10.15.4)

TOTAL WALL AREA (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWABLE TOTAL OPENINGS (m <sup>2</sup> )	TOTAL OPENINGS PROVIDED (m <sup>2</sup> )
123.83	1.83	7	5.74



RIGHT SIDE ELEVATION

GENERAL NOTES:

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SEAL:



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1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

*Mechways Inc.*

20 FERN ST. BRAMPTON, ON L6Y 1X2

PROJECT:

20 FERN ST. BRAMPTON, ON L6Y 1X2

SHEET TITLE:

RIGHT SIDE ELEVATION

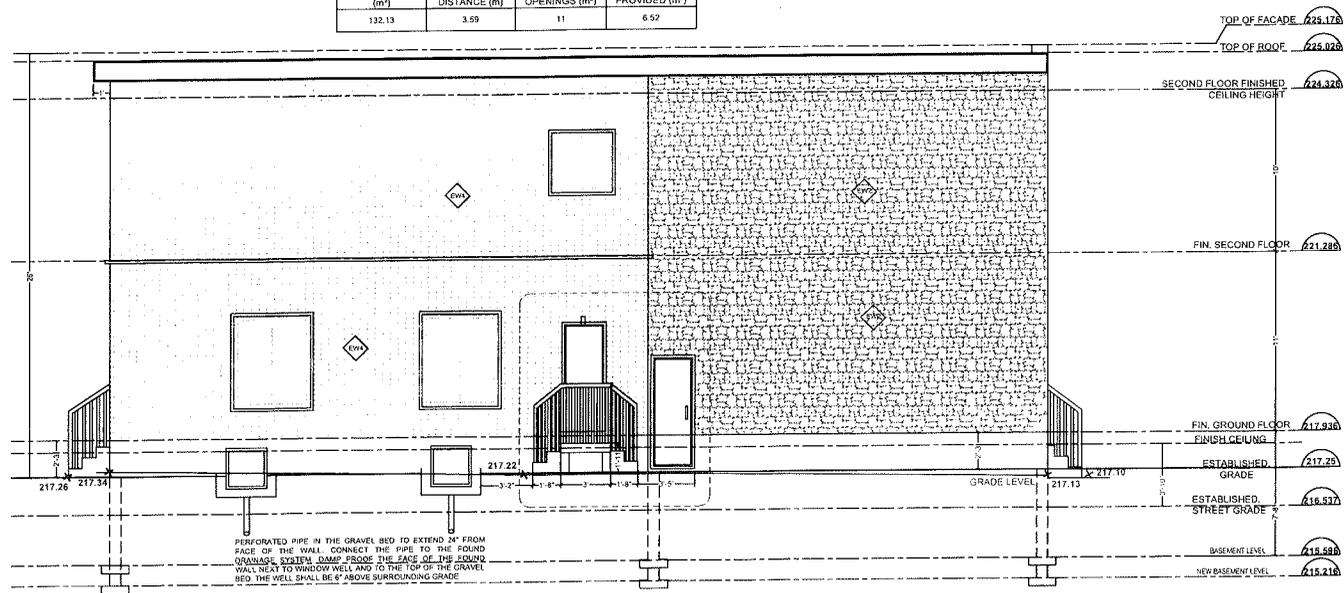
CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A2.3

MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES ABOVE GRADE (UNPROTECTED OPENINGS)  
(OBC 9.10.15.4)

TOTAL WALL AREA (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWABLE OPENINGS (m <sup>2</sup> )	TOTAL OPENINGS PROVIDED (m <sup>2</sup> )
132.13	3.59	11	6.52



LEFT SIDE ELEVATION

GENERAL NOTES:

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
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SEAL:



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4	REVISION	MAR 10 2025
3	REVISION	FEB 24 2025
2	REVISION	FEB 14 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

*Mechways Inc.*

20 FERN ST, BRAMPTON, ON L6Y 1X2

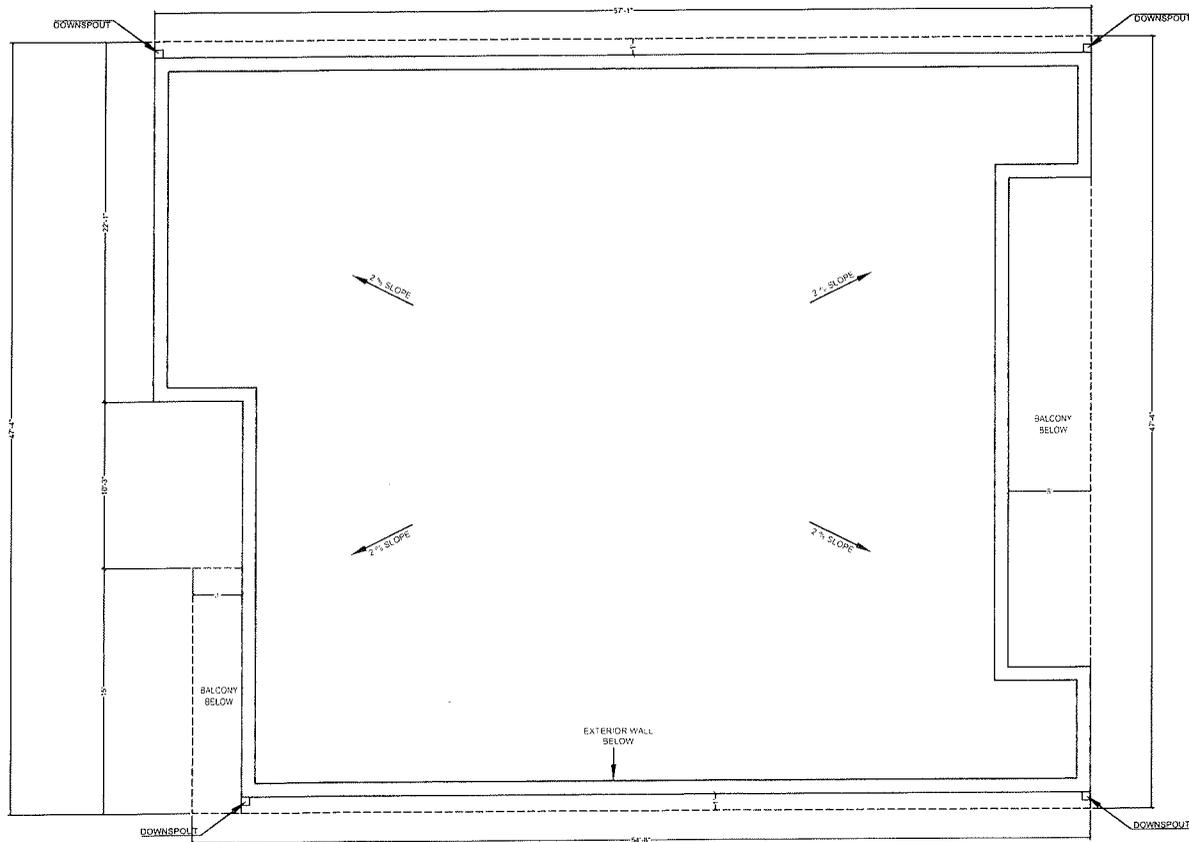
PROJECT:  
20 FERN ST, BRAMPTON, ON L6Y 1X2

SHEET TITLE:  
LEFT SIDE ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JAN 02 2025

DRAWING:

A2.4



**PROPOSED FLAT ROOF PLAN**

**GENERAL NOTES:**

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SEAL:



2	REVISION	MAR 22 2025
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025
NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

PROJECT:

20 FERN ST. BRAMPTON, ON L5Y 1X2

SHEET TITLE:

ROOF PLAN

CHECKED: SS

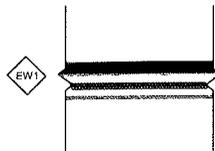
DRAWN: MA

SCALE: 1/4" = 1'

DATE: JAN 02 2025

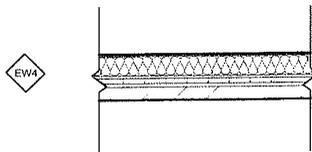
DRAWING:

A3.4



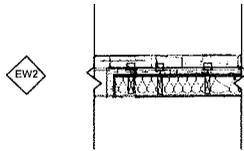
EW1 - SIDING WALL CONSTRUCTION

- PREP SIDING VENEER AS PER MANUFACTURER
- TYVEK AIR BARRIER OR APPROVED EQUAL ( SHEATHING PAPER)
- 13MM (21) EXTERIOR GRADE PLYWOOD SHEATHING 38 MM X 120MM (121" X 5-21) WOOD STUDS @ 406MM (1'-4") O.C. W/RSI 3.87 (R22) INSULATION IN VOID SPACE B/W WOOD STUDS
- 6MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL
- 13MM(21") GYPSUM WALL BOARD INTERIOR FINISH



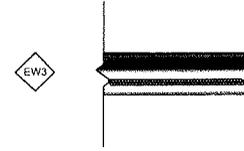
EW4 - EXTERIOR STUD WALL - MASONRY VENEER

- 90mm BRICK VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- AIR VAPOUR BARRIER
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22) FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



EW2 - EXTERIOR STUD WALL - STONE VENEER

- 76 - 92mm STONE VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- SHEET TYPE AVB
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22) FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



EW3 - EXTERIOR WALL W/ STUCCO

- 7/8" MIN THICK THREE COAT CEMENT PLASTER
- 2" DEEP 'Z' CLIP @16 O.C HORIZONTALLY
- 3.4 LBS SELF-FURRING METAL LATH ATTACHED TO 'Z' CLIP
- 2 LAYER OF GRADE 'D' BUILDING PAPER OR 1 LAYER OF DUPONT TYVEK STUCCO WRAP UNDER CEMENT PLASTER TYP.
- 1" THICK POLY-ISO RIGID INSULATION AND 1" THICK EPS SHEATHING, TYPICAL
- PLYWOOD SHEATHING ON EXTERIOR SIDE
- 2ND LAYER OF PLYWOOD SHEATHING WHERE OCCURS
- WOOD STUD FRAMING PER STRUCTURAL WITH R22 INSULATION
- 5/8" TYPE 'X' GYPSUM BOARD FINISH FACE TEXTURED & PAINTED AS SCHEDULED

**GENERAL NOTES:**

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

*Mechways Inc.*

100216807  
 100216807  
 100216807  
 100216807

PROJECT:

20 FERN ST, BRAMPTON,  
 ON L6Y 1X2

SHEET TITLE:

ASSEMBLY DETAILS

CHECKED: SS

DRAWN: MA

SCALE: NTS

DATE: JAN 02 2025

DRAWING:

A4.1

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
REC ROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT		
BEDROOMS	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT		
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT		
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYPSUM BD.			

**DOOR SCHEDULE**

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
- EGRESS DOOR - PROP. ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

**WINDOW SCHEDULE**

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m<sup>2</sup> W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

**CONSTRUCTION NOTES**

- EXISTING 8" CONC. FOUNDATION WALL MOISTURE BARRIER  
2X4 SPF#2 STUDS @ 16" O.C WALL W/6MIL POLY WITH EXIST. R 20 CI INSULATION 6MIL POLY VAPOR BARRIER 1/2" GYPSUM BOARD
- NEW/ EXISTING DRYWALL - 1/2" GYPSUM BOARD, ON BOTH SIDES  
2"x4" STUDS @16" OC
- PROPOSED CEILING  
PROVIDE 30 MIN F.R.R: EX. JOISTS W/ 5/8" TYPE X GYPSUM BOARD WITH MIN. 75 mm INSULATION AS PER SB-2 TABLE 2.3.12
- EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- MECHANICAL VENTILATION  
24 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

**GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

- § 3 WAY SWITCH  
INSTALL AT 3'-3" AFF  
3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS
- 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE WHITE, C/W WHITE COVER PLATE  
GFI - GROUND FAULT TYPE  
WP -WEATHERPROOF COVER  
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JAN 02 2025

ENGINEER:

**Mechways Inc.**

PROJECT:

20 Fern St, Brampton ON L6Y 1X2

SHEET TITLE:

GENERAL NOTES

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JAN 02 2025

DRAWING:

A5.1

# Zoning Non-compliance Checklist

File No. A-2025-0039
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Owner: Thilak Krishna Moorthy/ Nirmala Thilak  
 Address: 20 FERN ST  
 Zoning: R1B-3057 & Mature Neighbourhood  
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a front yard setback of 6.01m to a proposed two storey addition	whereas the by-law requires no part of any dwelling or accessory building be erected or placed at a distance less than 8 metres from any lot line abutting a street	3057.2 (4)
COVERAGE	To permit a lot coverage of 35.3%,	whereas the by-law permits a maximum lot coverage of 30%.	10.27 (c)
BUILDING HEIGHT			
GFA			
BELOW GRADE ENTRANCE			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			

Philip Gaspar  
 Reviewed by Zoning

April 8, 2025  
 Date