

**Application for Minor Variance**Section 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note: You are receiving this notice as you are within 60 meters of the subject property.**

**Application Number:** A-2025-0039  
**Property Address:** 20 Fern Street  
**Legal Description:** Plan 354, Lot 52, Ward 3  
**Agent:** Valiuddin Mohammed/Mechways Inc.  
**Owner(s):** Thilak Krishnamoorthy, Nirmala Thilak  
**Other applications:** nil  
**under the *Planning Act***

**Meeting Date and Time:** Tuesday, May 27, 2025, at 9:30 am  
**Meeting Location:** Hybrid in-person and virtual meeting – Council Chambers,  
4<sup>th</sup> Floor Brampton City Hall, 2 Wellington Street West

**Purpose of the Application:**

1. To permit a front yard setback of 6.01 metres to a proposed two storey addition, whereas the by-law requires no part of any dwelling or accessory building be erected or placed at a distance less than 8 metres from any lot line abutting a street; and
2. To permit a lot coverage of 35.3%, whereas the by-law permits a maximum lot coverage of 30%.

**Participate in the Meeting:**

- Send an email with your written comments to [coa@brampton.ca](mailto:coa@brampton.ca). Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, May 22, 2025**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing [coa@brampton.ca](mailto:coa@brampton.ca) and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, May 22, 2025**, by emailing [coa@brampton.ca](mailto:coa@brampton.ca), and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

**Note:** Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

**Viewing Application Materials:** The application and related materials are available online at [www.brampton.ca/en/city-hall/meetings-agendas](http://www.brampton.ca/en/city-hall/meetings-agendas) and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at [www.brampton.ca](http://www.brampton.ca).

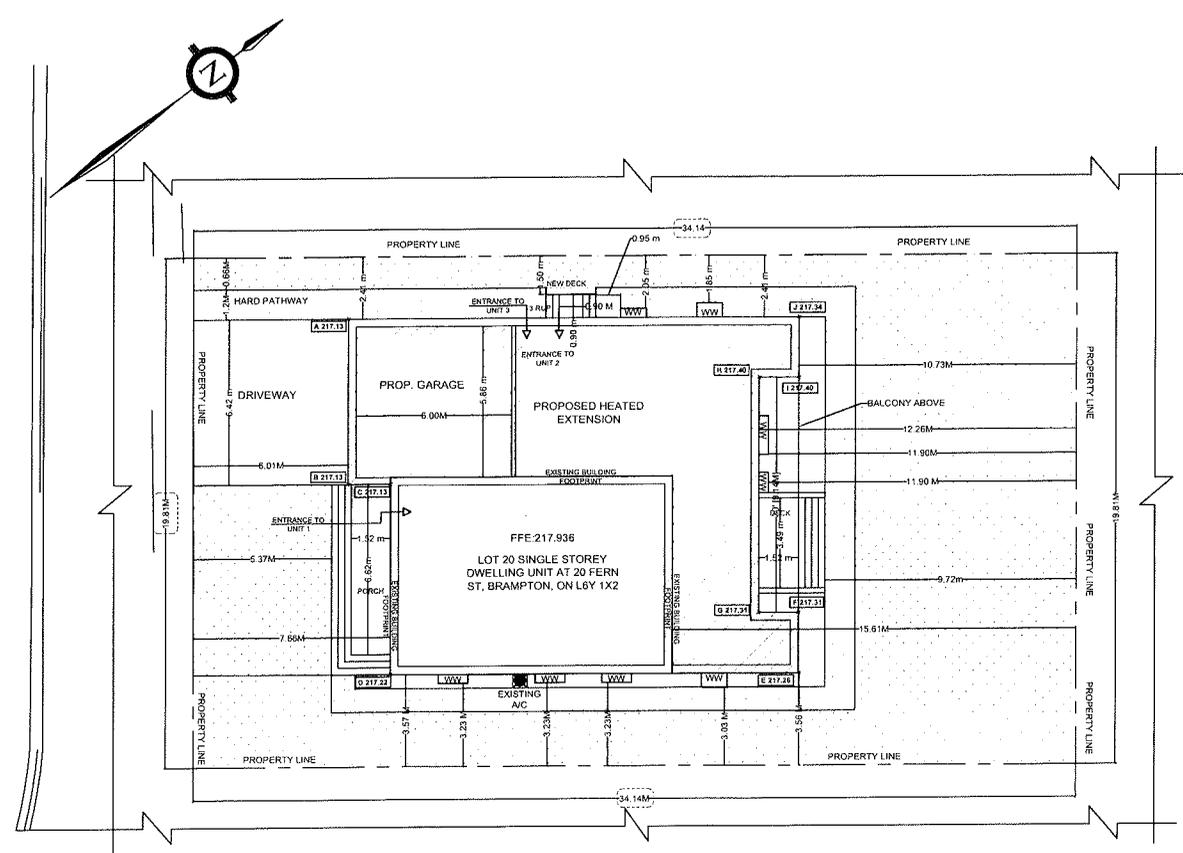
**Appeal Process:** If you wish to be notified of the decision of Committee, you must submit a written request to [coa@brampton.ca](mailto:coa@brampton.ca). This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting [olt.clo@ontario.ca](mailto:olt.clo@ontario.ca).

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 12th day of May 2025

Secretary Treasurer  
Committee of Adjustment, City Clerk's Office  
2 Wellington Street West, Brampton, L6Y 4R2  
E: [coa@brampton.ca](mailto:coa@brampton.ca)

FERN ST



|                                  |   |
|----------------------------------|---|
| GROSS AREA OF FRONT YARD         | 1476.34 m <sup>2</sup> / 157,15 m <sup>2</sup>        |
| PROPOSED DRIVEWAY                | 419.27 m <sup>2</sup> / 45,35 m <sup>2</sup> (28.12%) |
| FRONT YARD PORCH INCLUDING STEPS | 181.87 m <sup>2</sup> / 19,69 m <sup>2</sup> (12.31%) |
| FRONT YARD HARD LANDSCAPED AREA  | 111.78 m <sup>2</sup> / 12,08 m <sup>2</sup>          |
| HARD LANDSCAPED AREA %           | 7.57%   |
| FRONT YARD SOFT LANDSCAPED AREA  | 767.42 m <sup>2</sup> / 82,70 m <sup>2</sup>          |
| SOFT LANDSCAPED AREA %           | 51.99%  |

|               |                         |
|---------------|-------------------------|
| UNIT 1 G.F.A. | = 314.72 m <sup>2</sup> |
| UNIT 2 G.F.A. | = 56.02 m <sup>2</sup>  |
| UNIT 3 G.F.A. | = 189.31 m <sup>2</sup> |

|                     |   |
|---------------------|---|
| PROJECT ADDRESS:    | 20 Fern St, Brampton, ON L6Y 1X2  |
| LEGAL DESCRIPTION:  | LOT 52 PLAN 354 INST. 24449 (BRAM)  |
| ZONING INFORMATION: | BYLAW IN EFFECT: ZONE: R1B  |
| LOT INFORMATION:    | LOT AREA: 676.91 m <sup>2</sup><br>LOT FRONTAGE: 19.81m (EXIST. TO REMAIN)<br>BUILDING HEIGHT: MAXIMUM 19.6 m PROPOSED: 8.1 m |

|  |                                |
|--|--------------------------------|
| REQUIRED FRONT YARD PROP.                      | :MIN 6.0 m                     |
| REQUIRED EXTERIOR SIDE YARD PROP.              | :1.0 m                         |
| MIN REAR YARD PROP.                            | :7.5 m                         |
| MIN REAR YARD PROP.                            | :10.73 m                       |
| LOT COVERAGE:                                  | 576.61 m <sup>2</sup>          |
| EXIST. BUILDING FOOTPRINT:                     | (83.11 m <sup>2</sup> )        |
| PROP. HEATED EXTENSION INCLUDING GARAGE/PORCH: | (137.96 m <sup>2</sup> )       |
| PROP. BALCONY:                                 | (17.83 m <sup>2</sup> )        |
| PROPOSED LOT COVERAGE:                         | 238.90 m <sup>2</sup> (35.30%) |

| LENGTH NO.        | BEGIN ELE. | END ELE. | LENGTH (M) | (EL.1+EL.2)/2 x L |
|-------------------|------------|----------|------------|-------------------|
| A-B               | 217.13     | 217.13   | 6.42       | 1393.97           |
| B-C               | 217.13     | 217.13   | 1.65       | 356.26            |
| C-D               | 217.13     | 217.22   | 7.39       | 1804.82           |
| D-E               | 217.22     | 217.26   | 15.75      | 3421.53           |
| E-F               | 217.26     | 217.31   | 2.34       | 508.45            |
| F-G               | 217.31     | 217.31   | 1.52       | 330.31            |
| G-H               | 217.31     | 217.40   | 9.14       | 1986.62           |
| H-I               | 217.40     | 217.40   | 1.52       | 330.45            |
| I-J               | 217.40     | 217.34   | 2.34       | 508.65            |
| J-A               | 217.34     | 217.13   | 17.40      | 3779.89           |
| TOTAL             |            |          | 65.47      | 14223.05          |
| ESTABLISHED GRADE |            |          | 217.25     |                   |

**GENERAL NOTES:**  
DRAWINGS ARE TO BE READ NOT SEALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
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|   |                            |             |
|---|----------------------------|-------------|
| 4 | REVISION                   | MAR 22 2025 |
| 3 | REVISION                   | FEB 24 2025 |
| 2 | REVISION                   | FEB 14 2025 |
| 1 | ISSUED FOR BUILDING PERMIT | JAN 02 2025 |

ENGINEER:  
**Mechways Inc.**  
ADDRESS: 1000 SHEPPARD AVE. E. UNIT 101, SCARBOROUGH, ONT. M1B 4Y1  
CONTACT: 416-291-8888  
WWW.MECHWAYS.COM

PROJECT:  
20 FERN ST, BRAMPTON, ON L6Y 1X2

SHEET TITLE:  
SITE PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1:200  
DATE: JAN 02 2025

DRAWING:  
A0.1