



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2025-0040

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** BRILLIANT BIG DATA SERVICES INC.  
**Address** 15 TYSONVILLE CIRCLE, BRAMPTON ON  


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**Phone #** 469-309-7070 **Fax #** \_\_\_\_\_  
**Email** anjireddy45@gmail.com

2. **Name of Agent** Aakanksha Sharma  
**Address** 11 Grovewood Dr, Brampton ON L7A 3V3  


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**Phone #** 416-949-4795 **Fax #** \_\_\_\_\_  
**Email** thepermitspace@gmail.com

3. **Nature and extent of relief applied for (variances requested):**  

To permit an interior side yard setback of 1.09 metres to a proposed exterior stairway leading to a below grade entrance, whereas the by-law requires a minimum interior side yard setback of 1.2 metres.

4. **Why is it not possible to comply with the provisions of the by-law?**  

The below grade stairs do not meet the minimum interior side yard setback requirements of 1.20 metres.

5. **Legal Description of the subject land:**  
**Lot Number** 83  
**Plan Number/Concession Number** 43M-1991  
**Municipal Address** 30 Abercrombie Cres., Brampton ON L7A 4N1

6. **Dimension of subject land (in metric units)**  
**Frontage** 10.25  
**Depth** 28.10  
**Area** 398.18 SQ.M

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground floor area=142.91 SQ.M  
 2 story building  
 width = 9.72 M  
 length=17.68 M  
 height= 9.0 M

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

Proposed second unit in basement with below grade entrance in the side yard setback.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 4.43  
 Rear yard setback 6  
 Side yard setback 0.64  
 Side yard setback 1.20

**PROPOSED**

Front yard setback 4.43  
 Rear yard setback 6  
 Side yard setback 0.64  
 Side yard setback 1.09

10. Date of Acquisition of subject land: no
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2023
15. Length of time the existing uses of the subject property have been continued: 2

16. (a) What water supply is existing/proposed?  
 Municipal  Other (specify) \_\_\_\_\_  
 Well
- (b) What sewage disposal is/will be provided?  
 Municipal  Other (specify) \_\_\_\_\_  
 Septic
- (c) What storm drainage system is existing/proposed?  
 Sewers  Other (specify) \_\_\_\_\_  
 Ditches   
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

*Aakanksha Sharma*

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 9<sup>th</sup> DAY OF APRIL, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Aakanksha Sharma, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 09 DAY OF

April, 2025.

*Aakanksha Sharma*

Signature of Applicant or Authorized Agent

Mercelyn Osayamen Osaze  
a Commissioner, etc.,  
Province of Ontario,  
in the Corporation of the  
City of Brampton.  
Expires June 20, 2025.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED April 09, 2025

Date Application Deemed Complete by the Municipality Mercelyn

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 30 ABERCROMBIE CRES , BRAMPTON ON L7A 4N1

I/We, ANJI REDDY BOTHA  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

AAKANKSHA SHARMA  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 11 day of DECEMBER, 2024.

*Anji Reddy*

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 30 ABERCROMBIE CRE ,BRAMPTON ON L7A 4N1

I/We, ANJI REDDY BOTHA  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 11 day of DECEMBER, 20<sup>24</sup>.

*Anji Reddy*

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



11 Grovewood Dr,  
Brampton ON L7A 3V3  
C- 416-949-4795  
thepermitspace@gmail.com

To  
The Secretary-Treasurer  
Committee of Adjustment City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

**COVERING LETTER**

**Subject: Minor Variance application 30 Abercrombie Cres., Brampton L7a 4N1**

Sir/ Madam,

We hope this letter finds you well. Please accept our minor variance application for our client 30 Abercrombie Cres., Brampton L7A 4N1.

We have a proposal as follows:

1. To permit an existing 1.09 M side yard entrance for second dwelling unit whereas a 1.2M unobstructed way is required.

We, hereby, request you to kindly consider our application for minor variance.

We appreciate your cooperation in this matter.

Thank You.

Sincere Regards,

**Aakanksha Sharma**

**BCIN Designer**

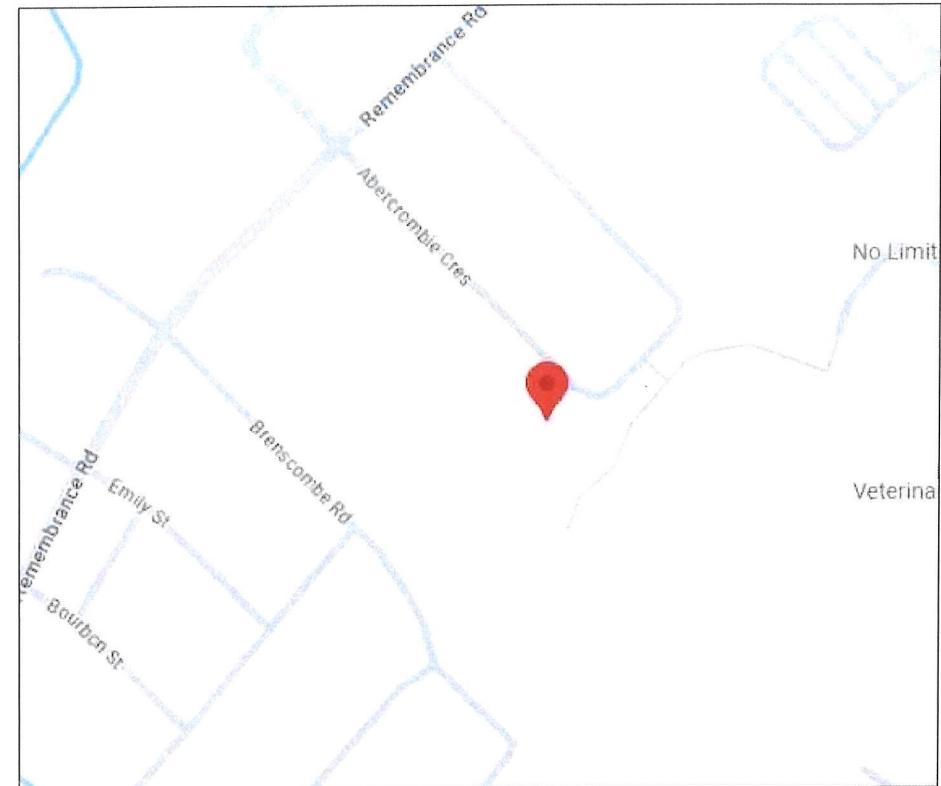
**The Permit Space**

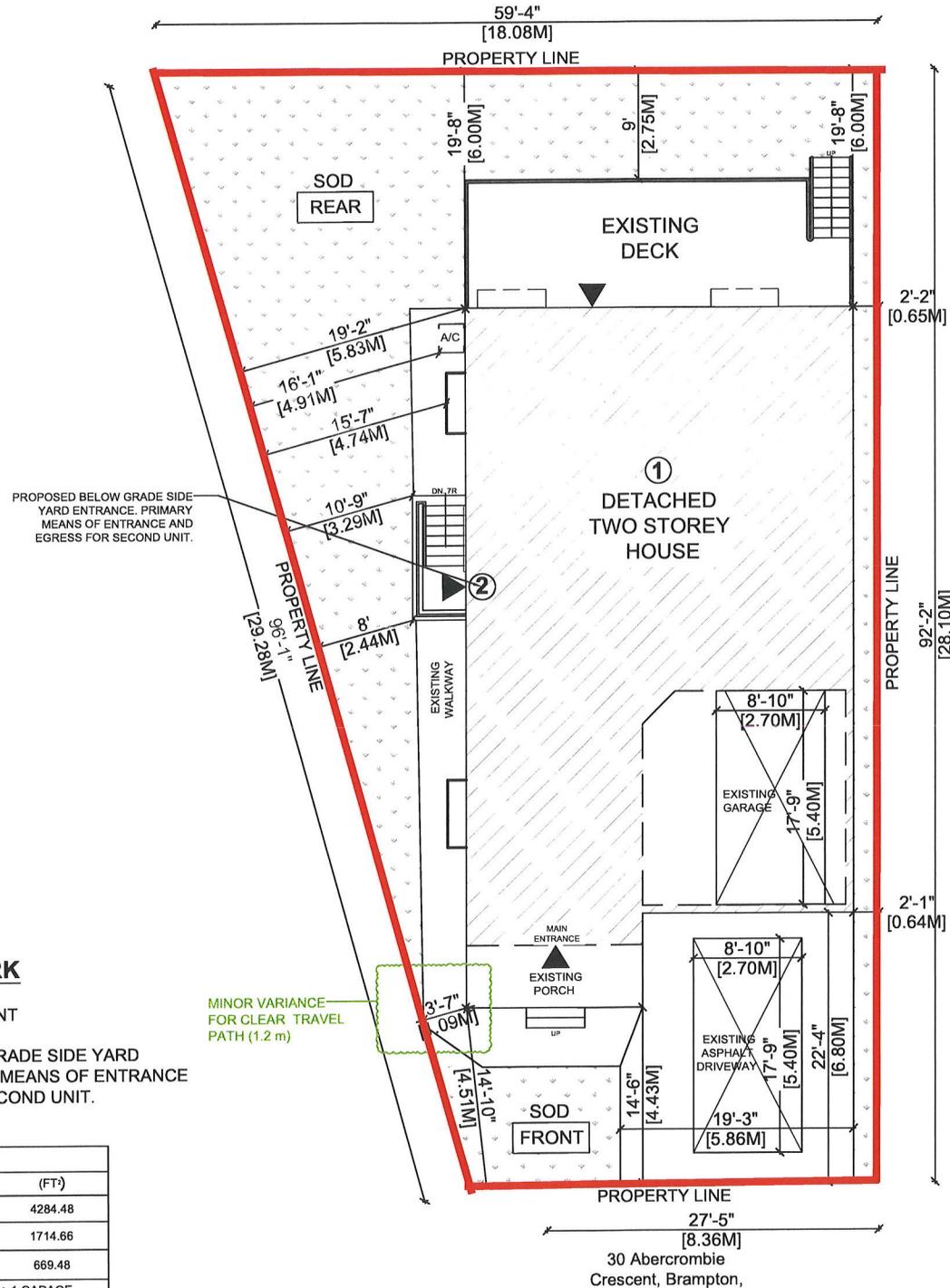
# PROPOSED SECOND UNIT BASEMENT APARTMENT

30 Abercrombie Cres, Brampton, ON  
L7A 4N1

## DRAWING LIST

- A000 - COVER SHEET
- A101 - SITE PLAN
- A102 - PROPOSED BASEMENT PLAN
- A103 - EXISTING MAIN FLOOR PLAN
- A104 - EXISTING SECOND FLOOR PLAN
- A105 - LEFT SIDE ELEVATION
- A106 - DETAILS
- A107 - STAIR DETAILS





**NOTES:**  
 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS  
 2- REPORT ANY DISCREPANCIES TO THE CONSULTANT  
 3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC

**LEGEND:**

SYMBOL	DESCRIPTION
	INTERCONNECTED SMOKE ALARM WITH A VISUAL SIGNAL
	WALL MOUNTED LIGHT SWITCH AND CEILING FIXTURE. MAX. 160cm <sup>2</sup> PERMITTED OPENINGS IN FIRE SEPARATIONS.
	WARM-AIR SUPPLY OUTLET. MAX. PERMITTED OPENING IN CEILING FIRE SEPARATIONS: 0.025m <sup>2</sup> ( 277 s.f.)
	RETURN-AIR GRILLE. PROVIDED IN ALL FIRE COMPARTMENTS SHALL NOT BE INSTALLED WITHIN FIRE SEPARATIONS.
	EXHAUST FAN VENTED DIRECTLY TO EXTERIOR.
	EXISTING WALL TO REMAIN.
	PROPOSED WALL DESIGNER TO PROVIDE ALL REQUIRED DETAILS TO DEMONSTRATE CONSTRUCTION
	FIRE SEPARATION. PROVIDE CONSTRUCTION LABEL ALL REQUIRED SEPARATIONS WITH MINUTE RATINGS.
	CEILING HEIGHT TAG.
	WALL TYPE TAG. PROVIDE CONSTRUCTION DETAILS FOR ALL APPLICABLE WALLS.
	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET
	SPRINKLES AS PER BUILDING CODE
	A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.
	PORTABLE WATER TANK

**ADDRESS:**  
 30 Abercrombie Cres, Brampton, ON L7A 0A9

**PROJECT NAME:** PROPOSED SECOND UNIT BASEMENT APARTMENT

	<b>CLIENT APPROVAL DATE:</b>	<b>ORIGINAL DATE:</b> 07-11-2024
	<b>REV. 1 DATE:</b>	<b>REV. 2 DATE:</b>
<b>DRAWN BY:</b> AS	<b>REV. 3 DATE:</b>	<b>REV. 4 DATE:</b>
	<b>REV. 5 DATE:</b>	<b>REV. 6 DATE:</b>
<b>CHECKED BY:</b> AS	<b>REV. 7 DATE:</b>	<b>REV. 8 DATE:</b>
	<b>REV. 9 DATE:</b>	<b>REV. 10 DATE:</b>
<b>DRAWING NAME:</b> SITE PLAN	<b>DRG. SCALE:</b> 3/32"=1'-0"	<b>DRAWING NO.:</b> A101
		<b>SHEET SIZE:</b> 17" x 11"

**The Permit Space**  
BUILDING PERMIT CONSULTANTS

11 Greenwood Dr,  
 Brampton, ON  
 (416) 949-4795

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.5 of Div.C, of the building code

AAKANKSHA SHARMA	114882
<i>(Signature)</i>	BCIN
_____ Signature	_____ Date
_____ Date	2024-08-18

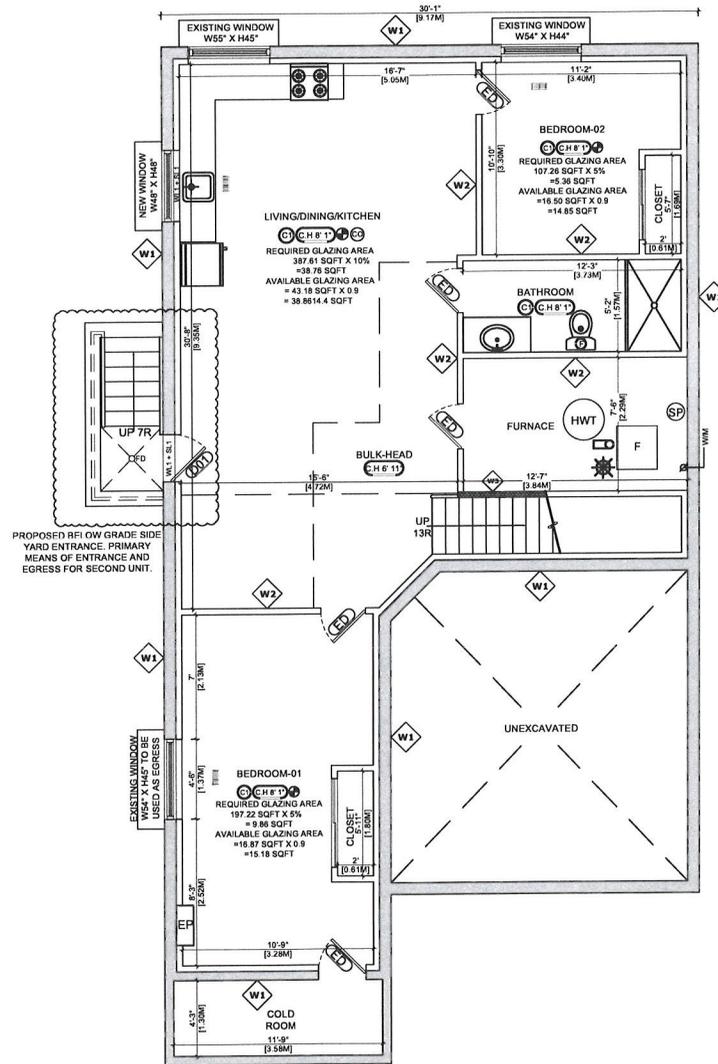
**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.5. of Div. C, of the building code

THE PERMIT SPACE	132183
_____ Firm Name	_____ BCIN

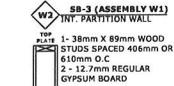
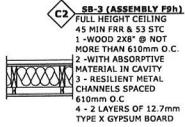
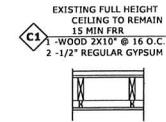
- SCOPE OF WORK**
- ① BASEMENT APARTMENT
  - ② PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

STATISTICS		
AREAS	(M <sup>2</sup> )	(FT <sup>2</sup> )
LOT AREA	398.18	4284.48
BUILDING FOOTPRINT	159.35	1714.66
FRONT LANDSCAPE AREA	62.21	669.48
PARKING LOTS	1 DRIVEWAY + 1 GARAGE	

BASEMENT STATISTICS		
AREAS	(M <sup>2</sup> )	(FT <sup>2</sup> )
BASEMENT TOTAL AREA	110.47	1188.75



**WALL AND CEILING LEGENDS**



**NOTES:**

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	PORTABLE WATER TANK



11 Grovewood Dr,  
Brampton, ON  
(416) 949-4795

**ADDRESS:**  
30 Abercrombie Cres, Brampton, ON L7A 0A9

**PROJECT NAME:** PROPOSED SECOND UNIT BASEMENT APARTMENT

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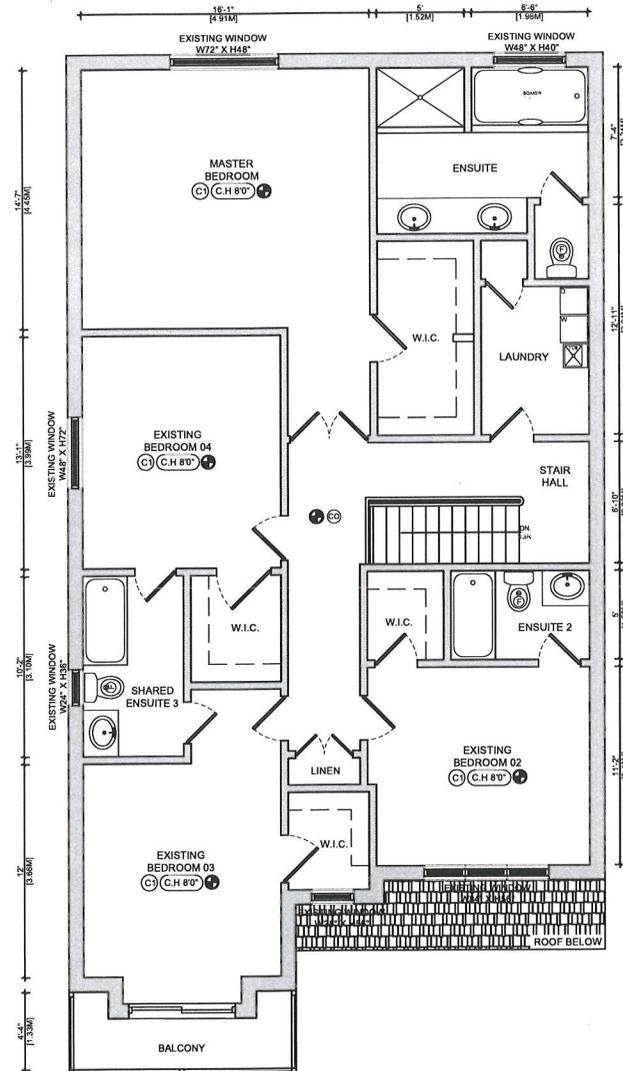
QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div.C. of the building code  
AAKANKSHA SHARMA 114882 BCIN  
2024-08-18  
Signature Date

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code  
THE PERMIT SPACE 132183 BCIN  
Firm Name

	<b>CLIENT APPROVAL DATE:</b> 07-11-2024	<b>ORIGINAL DATE:</b> 07-11-2024
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<b>DRAWN BY:</b> AS	<b>REV. 7 DATE:</b>	<b>REV. 8 DATE:</b>
<b>CHECKED BY:</b> AS	<b>REV. 9 DATE:</b>	<b>REV. 10 DATE:</b>
<b>DRAWING NAME:</b> PROPOSED BASEMENT PLAN	<b>DRG. SCALE:</b> 1/8"=1'-0"	<b>DRAWING NO:</b> A102
	<b>SHEET SIZE:</b> 17" x 11"	



# NO WORK IS PROPOSED AT THIS LEVEL



**NOTES:**  
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**ADDRESS:**  
 30 Abercrombie Cres, Brampton, ON L7A 0A9

**PROJECT NAME:** PROPOSED SECOND UNIT BASEMENT APARTMENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.5 of Div.C, of the building code

AAKANKSHA SHARMA	114882	BCIN
<i>Signature</i>	2024-08-18	Date

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.5. of Div. C, of the building code

THE PERMIT SPACE	132183	BCIN
Firm Name	BCIN	

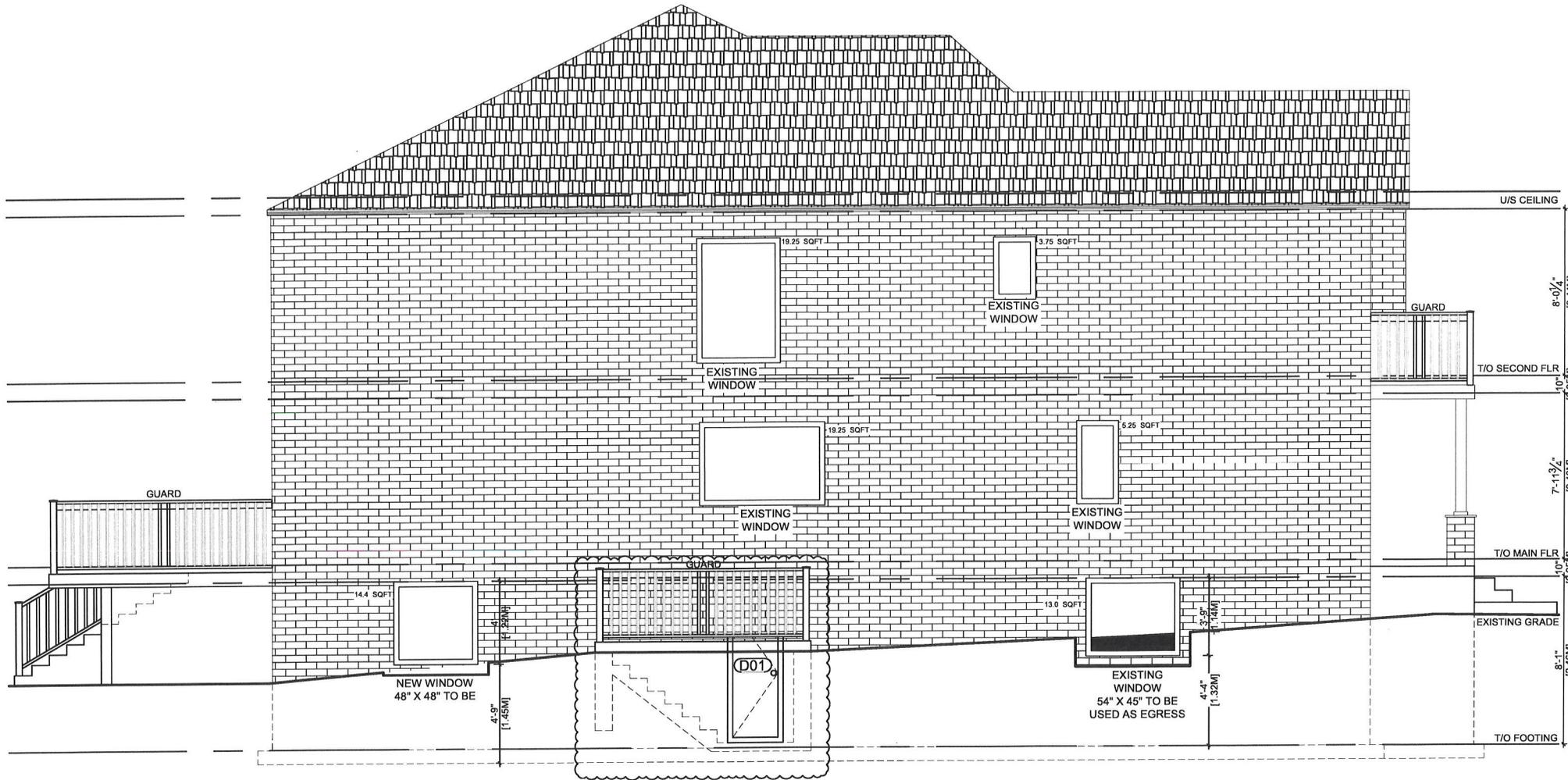
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	REV. 1 DATE:	REV. 2 DATE:
	REV. 3 DATE:	REV. 4 DATE:
	REV. 5 DATE:	REV. 6 DATE:
<b>DRAWN BY:</b> AS	REV. 7 DATE:	REV. 8 DATE:
<b>CHECKED BY:</b> AS	REV. 9 DATE:	REV.10 DATE:

**DRAWING NAME:** EXISTING SECOND FLOOR PLAN

**DRG. SCALE:** 1/8"=1'-0"

**DRAWING NO:** A104

**SHEET SIZE:** 17" x 11"



PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

**ALLOWABLE UNPROTECTED OPENINGS:**  
 LIMITING DISTANCE: 19'-2" FT (5.83 M)  
 MAX PERCENTAGE: 12%  
 BUILDING FACE AREA: 1102.53 SF (102.46 SQM)  
 ALLOWED GLAZED OPENINGS AREA (AS PER TABLE 9.10.15.4):  
 7.70% OF THE BLDG FACE AREA: 84.9 SF (7.89 SQM)  
 TOTAL PROPOSED WINDOW AREA: 24.4 SF (0.92 SQM)

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**PROJECT NAME:** PROPOSED SECOND UNIT BASEMENT APARTMENT

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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.5 of Div.C. of the building code

AAKANKSHA SHARMA 114882  
 Name BCIN  
 2024-08-18  
 Signature Date

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.5. of Div. C. of the building code

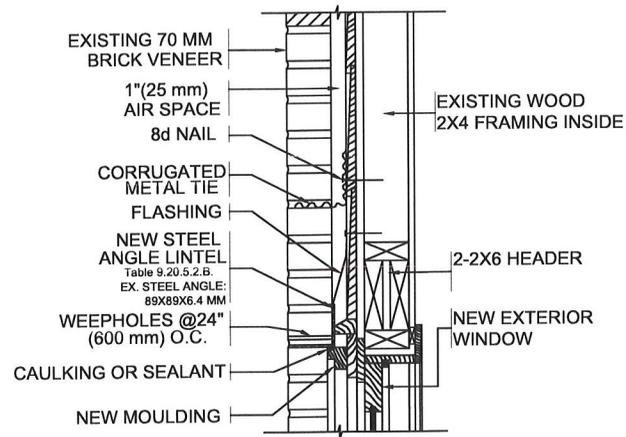
THE PERMIT SPACE 132183  
 Firm Name BCIN

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<b>REV. 9 DATE:</b>	<b>REV. 10 DATE:</b>

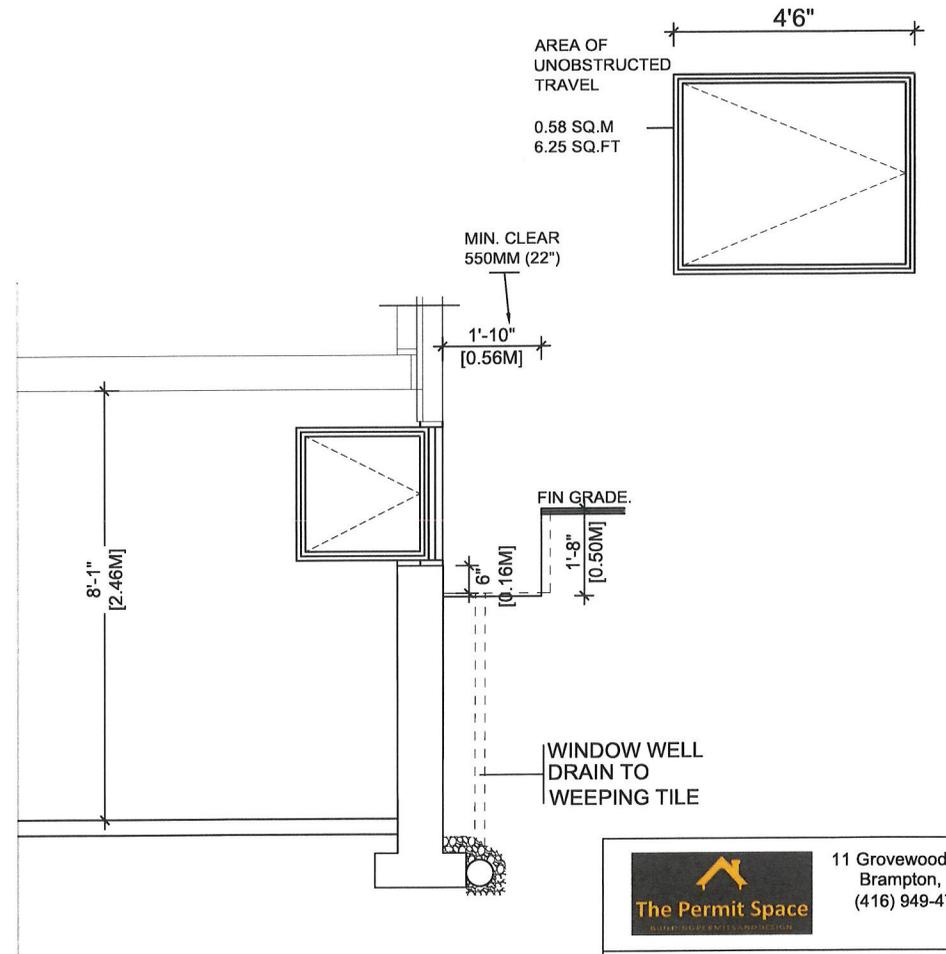
**DRAWN BY:** AS  
**CHECKED BY:** AS  
**DRAWING NAME:** DRG. SCALE: 3/16"=1'-0"  
**DRAWING NO:** A105  
**SHEET SIZE:** 17" x 11"

LEFT SIDE ELEVATION

# WINDOW LINTEL DETAIL A106-A



# EGRESS WINDOW A106-B



**NOTES:**  
1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN THESE PERMIT DRAWINGS  
2- REPORT ANY DISCREPANCIES TO THE CONSULTANT  
3- ALL WORK SHALL BE CARRIED OUT AS PER LATEST SPECS AND OBC

**LEGEND:**

SYMBOL	DESCRIPTION
	INTERCONNECTED SMOKE ALARM WITH A VISUAL SIGNAL
	WALL MOUNTED LIGHT SWITCH AND CEILING FIXTURE. MAX. 160cm2 PERMITTED OPENINGS IN FIRE SEPARATIONS.
	WARM-AIR SUPPLY OUTLET. MAX. PERMITTED OPENING IN CEILING FIRE SEPARATIONS: 0.025m2 (277 sq.ft)
	RETURN-AIR GRILLE. PROVIDED IN ALL FIRE COMPARTMENTS SHALL NOT BE INSTALLED WITHIN FIRE SEPARATIONS.
	EXHAUST FAN VENTED DIRECTLY TO EXTERIOR.
	EXISTING WALL TO REMAIN.
	PROPOSED WALL DESIGNER TO PROVIDE ALL REQUIRED DETAILS TO DEMONSTRATE CONSTRUCTION
	FIRE SEPARATION. PROVIDE CONSTRUCTION LABEL. ALL REQUIRED SEPARATIONS WITH MINUTE RATINGS.
	CEILING HEIGHT TAG.
	WALL TYPE TAG. PROVIDE CONSTRUCTION DETAILS FOR ALL APPLICABLE WALLS.
	EMERGENCY LIGHTING PER OBC 2012 DIV.B 9.9.12.3
	CARBON MONOXIDE DETECTOR
	THREE WAY ELECTRIC OUTLET
	SPRINKLES AS PER BUILDING CODE
	A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.
	PORTABLE WATER TANK

**The Permit Space**  
11 Grovewood Dr,  
Brampton, ON  
(416) 949-4795

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div.C. of the building code

AAKANKSHA SHARMA 114882 BCIN  
2024-08-18  
Signature Date

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5. of Div. C. of the building code

THE PERMIT SPACE 132183  
Firm Name BCIN

**ADDRESS:**  
30 Abercrombie Cres, Brampton, ON L7A 4N1

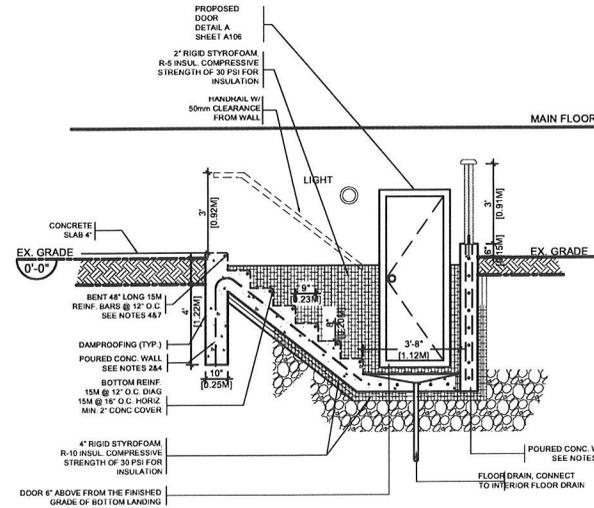
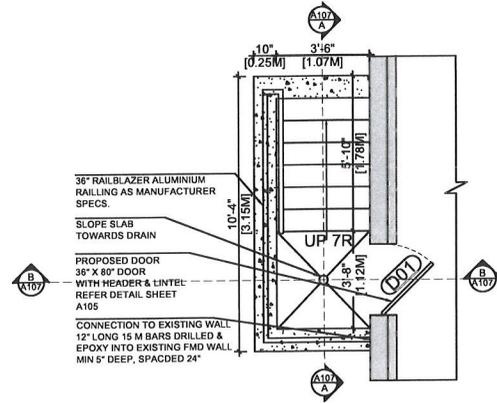
**PROJECT NAME:** PROPOSED SECOND UNIT BASEMENT APARTMENT

<b>CLIENT APPROVAL DATE:</b>	<b>ORIGINAL DATE:</b> 07-11-2024
REV. 1 DATE:	REV. 2 DATE:
REV. 3 DATE:	REV. 4 DATE:
REV. 5 DATE:	REV. 6 DATE:
REV. 7 DATE:	REV. 8 DATE:
REV. 9 DATE:	REV. 10 DATE:

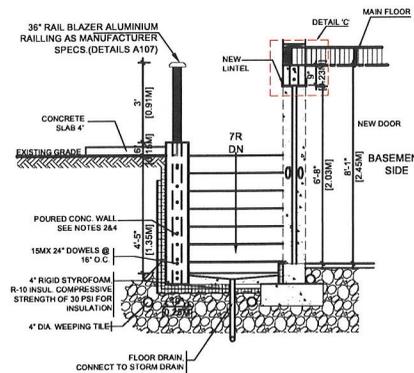
**DRAWN BY:** AS  
**CHECKED BY:** AS  
**DRAWING NAME:** NTS  
**DRG. SCALE:** NTS  
**DRAWING NO:** A106  
**SHEET SIZE:** 17" x 11"

**NOTES:**

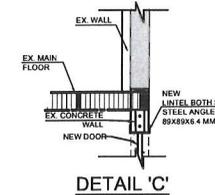
1. GENERAL
  - A) BACKFILL HEIGHTS OF GREATER THAN 7'-0" REQUIRED A PROFESSIONAL ENGINEER DESIGN.
  - B) POURED CONCRETE WALLS ONLY, NOT CONCRETE BLOCK
- POURED CONCRETE STEPS.
2. CONCRETE
  - MINIMUM COMPRESSIVE STRENGTH OF 25 MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. FOOTING
  - 16" X 6" POURED CONCRETE FOOTING c/w 2- 15M BARS. FOOTING SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
4. RETAINING WALL
  - 8" POURED CONC. WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 3'11".
  - PROVIDE 15M REBAR @ 16" O.C. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 3'11".
  - AN ENGINEER'S DESIGN IS REQUIRED FOR HEIGHTS EXCEEDING 7'-0".
5. STAIRS
  - RISE - 7 1/4" MAX TRADE -8 1/4". (ALL RISERS & TREADS SHALL BE UNIFORM)
6. GUARDS
  - GUARDS SHALL BE MIN. 35" HIGH (42" IF > 71" FROM TO OF THE STAIRS TO BOTTOM OF STAIRS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH OPENINGS, BE DESIGN TO PREVENT CLIMBING AND DESIGNED TO WITHSTAND THE LOADING IN TABLE 9.8.8.2 PROVIDE GUARD DETAILS TO INSPECTOR ON SITE, PRIOR TO INSTALLATION OF GUARD.
7. INSPECTIONS
  - AN INSPECTION OF ALL REBAR IS REQUIRED PRIOR TO POURING CONCRETE.



SECTION A-A



SECTION B-B



DETAIL 'C'

**NOTES:**

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AAKANKSHA SHARMA 114882 BCIN  
Name  
Signature  
Date 2024-08-18

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

THE PERMIT SPACE 132183 Firm Name BCIN

**ADDRESS:**  
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**PROJECT NAME:** PROPOSED SECOND UNIT BASEMENT APARTMENT

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REV. 9 DATE:	REV. 10 DATE:

**DRAWN BY:** AS  
**CHECKED BY:** AS  
**DRAWING NAME:** DRG. SCALE: 3/16"=1'-0"  
**DRAWING NO:** A107  
**SHEET SIZE:** 17" x 11"



# Zoning Non-compliance Checklist

File No. A-2025-0040
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Owner: Anji Reddy Botha  
 Address: 30 ABERCROMBIE CRES  
 Zoning: R1F-11-1099  
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE	To permit a 1.09m wide pedestrian path of travel leading to the principal entrance of an additional residential unit,	whereas the by-law requires an unobstructed pedestrian path of travel having a minimum width of 1.2m leading to the principal entrance of an additional residential unit.	10.16.1 (a)
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
SCHEDULE "C"			

Philip Gaspar  
 Reviewed by Zoning

March 20, 2025  
 Date