

MAY 12 2025

Committee of Adjustment

1

**ARCHITECTS RASCH ECKLER ASSOCIATES LTD.**

59 St. Edmunds Drive • Toronto • Canada • M4N 2P8  
Tel • 416 696-1969 e-mail • [mail@areaarchitects.ca](mailto:mail@areaarchitects.ca)

May 12, 2025

Committee of Adjustment (CoA)  
City of Brampton  
2 Wellington Street West  
Brampton, ON L6Y 4R2

**Attn: Clara Vani, Secretary-Treasurer****Re: Committee of Adjustment Application for Minor Variances, File #A2025-0048  
740 Steeles Ave. W., Brampton, EBA Daycare, BD-24-2419**

Further to our conversation today, this letter outlines the revisions and updates to the Minor Variances as shown in the latest version of the drawing A0.1b Site Plan Option B for this CoA application, attached.

The initial Minor Variances (MV) from the Zoning By-law (ZBL) in the original application commissioned 2025-04-30 were as follows:

1. Use is proposed as Day Nursery instead of the as-of-right Grocery/Convenience Store or Fruit/Vegetable Market permitted by ZBL.
2. Minimum Front Yard Depth is 11.01m instead of 15m required by ZBL.
3. Minimum Landscaped Open Space is 16.5% instead of 20% required by ZBL.
4. Parking Spaces are 33 instead of 61 required by ZBL.

Changes to those Minor Variances (MV) are as follows (underlines added to indicate changes to previous MV items):

- (a) Use is proposed as Day Nursery and Private School in addition to the existing Grocery/Convenience Store or Fruit/Vegetable Market permitted by ZBL.
- (b) Minimum Landscaped Open Space is no longer deficient and is not a MV and is above 20% required by ZBL.
- (c) Drive aisle leading to parallel parking spaces (angle of parking up to 50 degrees) is 3.5m instead of 4m required by ZBL.
- (d) Parking Spaces are 42 instead of 61 required by ZBL.

The final Minor Variances (MV) from the Zoning By-law (ZBL) will be as follows (underlines added to indicate changes to previous MV items):

1. Use is proposed to include Day Nursery and Private School in addition to the existing Grocery/Convenience Store or Fruit/Vegetable Market permitted by ZBL.
2. Minimum Front Yard Depth is 11.01m instead of 15m required by ZBL.
3. Drive aisle leading to parallel parking spaces (angle of parking up to 50 degrees) is 3.5m instead of 4m required by ZBL.
4. Parking Spaces are 42 instead of 61 required by ZBL.

**740 Steeles Ave. W., Brampton, CoA Application, File #A2025-0048** May 12, 2025



Other possible Minor Variances (MV) that we have not researched may relate to landscape buffer strips at the front, side and rear yards. It was requested in the prior emails to Ellis Lewis, Planner for this file, 2025-05-06 and 2025-05-08 for the references relating to landscape strip/buffers. Reference documents specifying this landscape strip/buffer might be in a Secondary Plan or Urban Design Guidelines or a different section of the ZBL. Ellis will request the City's Zoning examiner to identify any other possible variances, including the landscape strip/buffer(s), if they are applicable. The landscape strip/buffer requirement was not found in AREA's review of the ZBL in Sections 6 General Provisions, 20 General Provisions for Commercial Zones, 21.1 Commercial One – C1 or the Site Specific 318.

Our clients are intent to move ahead with the CoA application for this round and NOT defer until a later date. They are still seeking to maintain this Minor Variances application on the agenda of the May 27, 2025, CoA Hearing date. This timeline is needed for the Canada-Wide Early Learning and Child Care (CWELCC) grant funding and the associated review through the Ministry of Education (MEDU) Child Care Licensing System (CCLS) which have timing requirements for implementation. As previously explained and as can be referenced in the prior correspondence (which incorporates the fulsome arguments), Brampton, like most of the GTA, is desperately in need of daycare spaces and both Brampton Council and Peel Region identify childcare facilities as being a priority.

Trusting that the attached drawing and comments above are clear and assist in explaining the proposed project and the CoA application.

Should you have any further questions or comments, please contact me. To reach me by phone, please use my cell #416-418-3828. All correspondence should please be copied to the other architectural staff in our office and the other relevant participants copied here.

Sincerely,

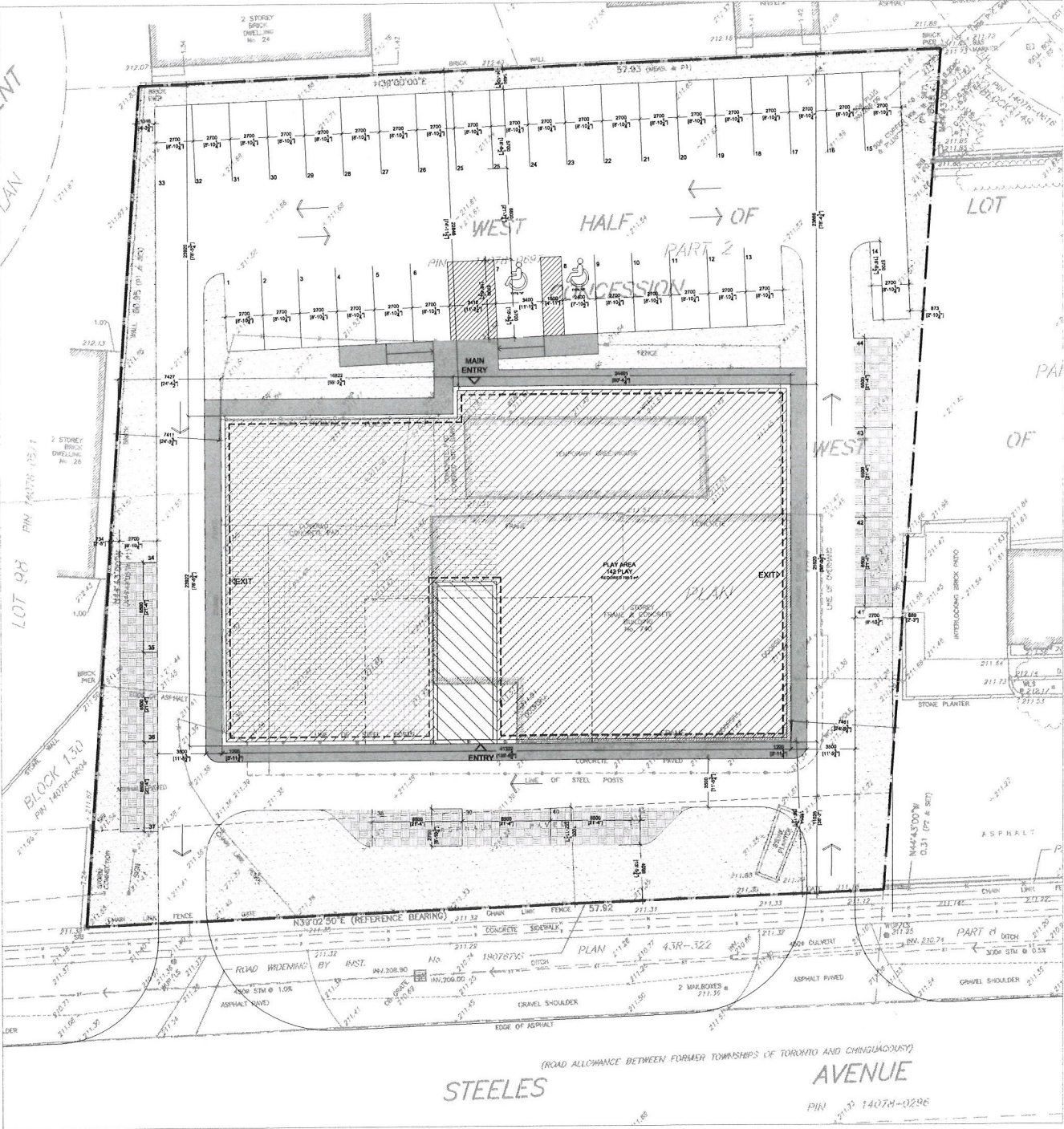
A handwritten signature in black ink, appearing to read "David Eckler".

David Eckler  
BES, B.Arch., OAA, MRAIC  
Principal, AREA, Architects Rasch Eckler Associates Ltd.

Attachment:  
Drawing A0.1b Site Plan Option B, May 12, 2025

Copies:  
Ellis Lewis, Planner, Planning, Building and Growth Management, City of Brampton  
Nishant Sharma & Rubal Kundra, 740 Steeles Holdings Ltd., Everbright Academy Inc.  
Hamid Rafinejad, Aliya Adnan, AREA





1 PROPOSED SITE PLAN/ GROUND FLOOR PLAN LAYOUT  
A0-1 SCALE: 1/150

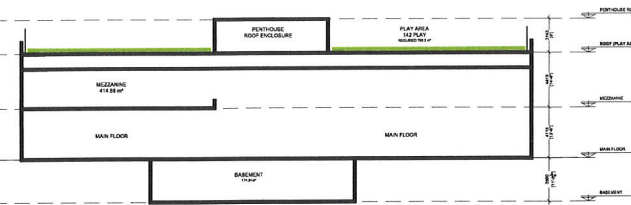
LEGEND

- PROPOSED ONE STOREY BLDG. WITH PARTIAL BASEMENT FOR DAYCARE
- PENTHOUSE ROOF ENCLOSURE \*\*
- BELOW GRADE STOREY \*
- MEZZANINE \*\*\*
- CHILDREN PLAY AREA
- SIDE WALK
- SOFT LANDSCAPE
- PERMEABLE PAVING (INTERLOCK)

\* Basement layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 174.4 m<sup>2</sup> as indicated in the Site Statistics table.  
\*\* Penthouse layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 54.51 m<sup>2</sup> as indicated in the Site Statistics table.  
\*\*\* Mezzanine layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 414.88 m<sup>2</sup> as indicated in the Site Statistics table.



2 KEY PLAN  
A0-1 N.T.S.



3 SCHEMATIC SECTION  
A0-1 N.T.S.

SITE STATISTICS  
740 STEELES AVE. WEST-BRAMPTON, ON  
ADDING USES OF Day Nursery+ Private School (from as-of-right Grocery/Convenience Store or Fruit/Vegetable Market)

DESCRIPTION	EXISTING	PROPOSED	COMMERCIAL ONE (C-1) SPECIAL SECTION 319	VARIANCE
MIN LOT WIDTH	57.82 m	EXISTING NO CHANGE	38 m	
MIN LOT AREA	3527 m <sup>2</sup>	EXISTING NO CHANGE	NA	
MAX BUILDING HEIGHT (STOREYS)	1	1	1	
GFA	1,037.23 m <sup>2</sup>	1,037,231.72 (4,474,897.54 SF)	1,081.03 m <sup>2</sup>	
MIN. FRONT YARD	11.01 m	EXISTING NO CHANGE	15.0 m	-3.99 m
MIN. SIDE YARD	7.41 m	EXISTING NO CHANGE	6.0 m	
MIN. REAR YARD	22.85 m	EXISTING NO CHANGE	9.0 m	
MIN. LANDSCAPING AREA	0%	25.5%	20%	+5.5%
REQUIRED PARKING SPACE	28	42	23+38= 61	-19

OCCUPANCY FOR CHILDREN & STAFF  
740 STEELES AVE. WEST- BRAMPTON, ON

GROUND FLOOR									
INFANTS	CHILDREN	STAFF	TODDLERS	CHILDREN	STAFF	PRESCHOOLERS	CHILDREN	STAFF	
INFANT-1	10	3	TODDLER-1	15	3	PRESCHOOLER-1	16	2	
			TODDLER-2	15	3	PRESCHOOLER-2	24	3	
			TODDLER-3	15	3	PRESCHOOLER-3	24	3	
			TODDLER-4	15	3	PRESCHOOLER-4	24	3	
			TODDLER-5	15	3	PRESCHOOLER-5	24	3	
			TODDLER-6	15	3				
			TODDLER-7	15	3				
SUBTOTAL	10	3		105	21		112	14	
TOTAL CHILDREN	227								
TOTAL STAFF	38								
CHILDREN TOILETS	23								

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED BY THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.

THESE DRAWINGS MUST NOT BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY ARCHITECT.

THE ELECTRONIC FILES FOR THIS PROJECT ARE ISSUED FOR REFERENCE ONLY AND MAY NOT BE ALTERED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF AREA ARCHITECT LTD. EXCEPT WHERE WRITTEN. PERMISSION IS GIVEN BY AREA ARCHITECT LTD. A HARD COPY OF THIS ELECTRONIC FILE EXISTS IN OUR OFFICE AS A REFERENCE DOCUMENT.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

11			
10			
9			
8			
7	REISSUED TO COA	MAY 12, 2025	HR
6	REISSUED TO COA	MAY 11, 2025	HR
5	REISSUED TO COA	MAY 8, 2025	HR
4	REISSUED TO COA	MAY 7, 2025	HR
3	ISSUED TO COA	APRIL 20, 2025	HR
2	ISSUED TO CLIENT	DEC. 31, 2024	HR
1	ISSUED TO CLIENT	DEC. 23, 2024	HR
NA	REVISIONS / ISSUES	DATE	BY

AREA

ARCHITECTS RASCH ECKLER  
ASSOCIATES LTD.

15 LOLA ROAD TEL: (416) 696-1969  
TORONTO, ONTARIO, M5P 1E5 FAX: (416) 696-1966

PROJECT TITLE

DAYCARE

740 STEELES AVE. WEST  
BRAMPTON, ON

DRAWING TITLE

SITE PLAN/  
PROPOSED PLAN LAYOUT  
OPTION "B"

DRAWN BY

SCALE

CHECKED BY

DATE

SET NO.

PROJECT NORTH

TOTAL DWG NO

DRAWING NO.

1

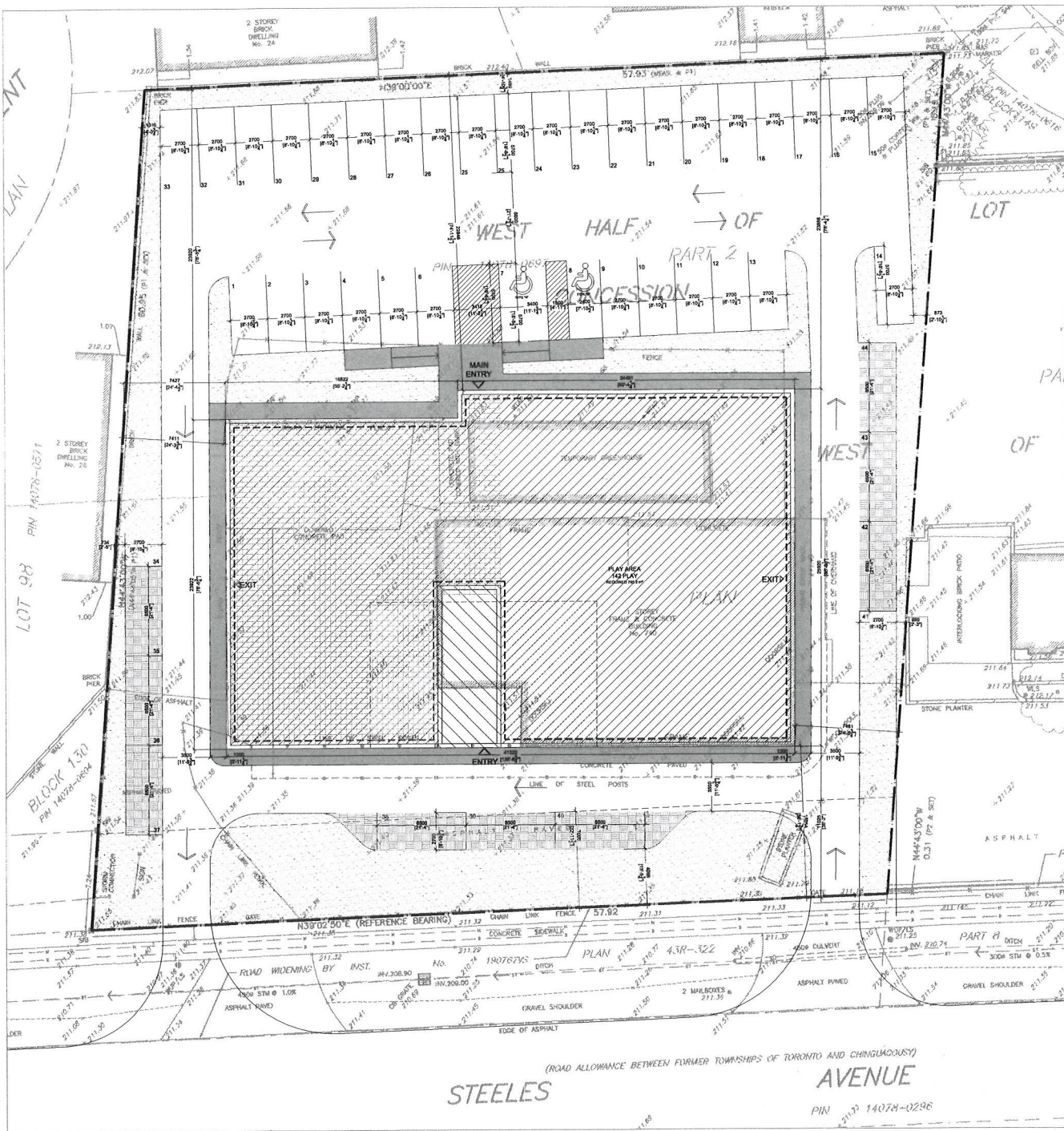
A0.1b

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PROJECT NO

BD-24-2419





1 PROPOSED SITE PLAN/ GROUND FLOOR PLAN LAYOUT  
AD-1 SCALE: 1/150

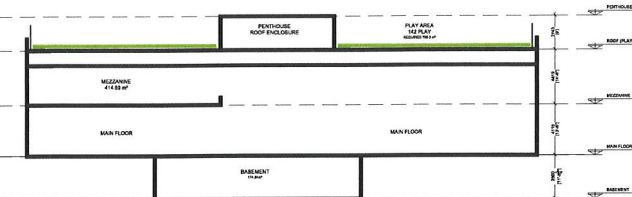
#### LEGEND

- PROPOSED ONE STOREY BLDG. WITH PARTIAL BASEMENT FOR DAYCARE
- PENTHOUSE ROOF ENCLOSURE \*\*
- BELOW GRADE STOREY \*
- MEZZANINE \*\*\*
- CHILDREN PLAY AREA
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2 KEY PLAN  
AD-1 N.T.S.



3 SCHEMATIC SECTION  
AD-1 N.T.S.

#### SITE STATISTICS 740 STEELES AVE. WEST- BRAMPTON, ON ADDING USES OF Day Nursery+ Private School (from as-of-right Grocery/Convenience Store or Fruit/Vegetable Market)

DESCRIPTION	EXISTING	PROPOSED	COMMERCIAL ONE (C-1) SPECIAL SECTION 518	VARIANCE
MIN LOT WIDTH	57.92 m	EXISTING NO CHANGE	38 m	
MIN LOT AREA	3527 m <sup>2</sup>	EXISTING NO CHANGE	N/A	
MAX BUILDING HEIGHT (STOREYS)	1	1	1	
GFA	1,037.23 m <sup>2</sup>	1037.23+174.4+414.88+54.51=1,681.03 m <sup>2</sup>	N/A	
MIN. FRONT YARD	11.01 m	EXISTING NO CHANGE	15.0 m	-3.99 m
MIN. SIDE YARD	7.41 m	EXISTING NO CHANGE	8.0 m	
MIN. REAR YARD	22.85 m	EXISTING NO CHANGE	9.0 m	
MIN. LANDSCAPING AREA	0%	25.5%	20%	+5.5%
REQUIRED PARKING SPACE	28	42	23+38= 61	-19

#### OCCUPANCY FOR CHILDREN & STAFF 740 STEELES AVE. WEST- BRAMPTON, ON

GROUND FLOOR						
INFANTS	CHILDREN	STAFF	TODDLERS	CHILDREN	STAFF	PRESCHOOLERS
INFANT-1	10	3	TODDLER-1	15	3	PRESCHOOLER-1
			TODDLER-2	15	3	PRESCHOOLER-2
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SUBTOTAL	10	3		105	21	112
TOTAL CHILDREN	227					
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ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAW AND ZONING HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.  
THREE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE ARCHITECT'S WRITTEN AUTHORITY.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY ARCHITECT.  
THE ELECTRONIC FILES FOR THIS PROJECT ARE ISSUED FOR REFERENCE ONLY AND MAY NOT BE ALTERED IN ANY WAY WHATSOEVER BY ANYONE ELSE EXCEPT AREA ARCHITECT LTD. EXCEPT WHERE WRITTEN PERMISSION IS GIVEN BY AREA ARCHITECTS LTD. A HARD COPY OF THIS ELECTRONIC FILE EXISTS IN OUR OFFICE AS A REFERENCE DOCUMENT.  
SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

Received / Revised  
MAY 12 2025  
Committee of Adjustment

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2	ISSUED TO CLIENT	DEC. 31, 2024	HR
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N/A	REVISIONS / ISSUES	DATE	BY:

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ASSOCIATES LTD.  
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TORONTO, ONTARIO, M5P 1E5 FAX: (416) 696-1966

PROJECT TITLE

DAYCARE

740 STEELES AVE. WEST  
BRAMPTON, ON

DRAWING TITLE

SITE PLAN/  
PROPOSED PLAN LAYOUT  
OPTION "B"

DRAWN BY  
HR

SCALE  
1:150

CHECKED BY  
DE

DATE  
DECEMBER 23, 2024

SET NO.

PROJECT NORTH

DRAWING NO.

TOTAL DWG. NO.

PROJECT NO.

BD-24-2419



Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2025-0048

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Country Fruit & Farm Market c/o O Iannace (Peter Iannace & Maria Iannace)  
**Address** 740 Steeles Ave W. Brampton, Ontario L6Y 0B1

**Phone #** 416-318-6005 **Fax #** \_\_\_\_\_  
**Email** tgpbrampton@hotmail.com

2. **Name of Agent** AREA, Architects Rasch Eckler Associates Ltd. (David Eckler or other staff)  
**Address** 59 St. Edmunds Drive, Toronto, ON. M4N 2P8

**Phone #** 416-418-3828 **Fax #** \_\_\_\_\_  
**Email** deckler@areaarchitects.ca

3. **Nature and extent of relief applied for (variances requested):**  
Relief is sought for the Minor Variances (MV) from the Zoning By-law (ZBL) as follows:  
1. Use is proposed as Day Nursery instead of the as-of-right Grocery/Convenience Store or Fruit/Vegetable Market permitted by ZBL.  
2. Minimum Front Yard Depth is 11.01m instead of 15m required by ZBL.  
3. Minimum Landscaped Open Space is 16.5% instead of 20% required by ZBL.  
4. Parking Spaces are 33 instead of 61 required by ZBL.

4. **Why is it not possible to comply with the provisions of the by-law?**  
The Minor Variances (MV) are the result generally of technical reasons because of the existing non-conforming built form conditions of the present structures which were constructed before the ZBL. Specific explanations about the MV items are as follows:  
1. Day Nursery use does not comply with ZBL and is not permitted in Zone C1 Commercial One & Site Specific Section 318 (C1-318). However, in Brampton Flowertown Secondary

5. **Legal Description of the subject land:**  
**Lot Number** PT, LT, CON 2 WEST OF HURONTARIO ST CHINGUACOUSY, PART 2, 43R11346: BRAMPTON  
**Plan Number/Concession Number** Part of the West Half of Lot 1, Concession 2, West of Hurontario St. City of Brampton  
**Municipal Address** 740 Steeles Ave. West

6. **Dimension of subject land (in metric units)**  
**Frontage** 57.92 M  
**Depth** 60.95 M  
**Area** 3520 SM

7. **Access to the subject land is by:**  
**Provincial Highway** ☐ **Seasonal Road** ☐  
**Municipal Road Maintained All Year** ☒ **Other Public Road** ☐  
**Private Right-of-Way** ☐ **Water** ☐



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

The existing 1-storey agglomeration of structures is approx. 1037.2 SM comprising both indoor and outdoor covered structures for plant display, greenhouse, storage, walk-in cooler, refrigerator, retail store, etc. The combination of structures measures overall approx. 43.7 M wide by 26.1 M deep with several notches.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

The proposed 1-storey building with partial Basement comprises approx. 1037.2 SM GFA on Ground Floor and approx. 174.4 SM GFA in Basement for a total GFA of approx. 1211.63 SM. The proposed 1-storey building footprint measures overall approx. 41.32 M wide by 25.9 M deep with a jog.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	11.01 M
Rear yard setback	22.85 M
Side yard setback	7.41 M (west)
Side yard setback	7.46 M (east)

**PROPOSED**

Front yard setback	11.01 M
Rear yard setback	22.85 M
Side yard setback	7.41 M (west)
Side yard setback	7.46 M (east)

10. Date of Acquisition of subject land: November 1987
11. Existing uses of subject property: nursery / garden centre
12. Proposed uses of subject property: daycare
13. Existing uses of abutting properties: residential
14. Date of construction of all buildings & structures on subject land: mid-1950s, first building; structures added in later years
15. Length of time the existing uses of the subject property have been continued: 38 years

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File #

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

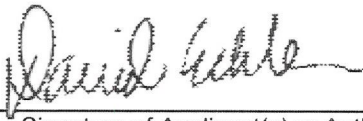
Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A00-002 Decision Approval  
File # A02-009 Decision Approval  
File # \_\_\_\_\_ Decision \_\_\_\_\_

Relief outdoor storage for retail purposes of garden centre  
Relief outdoor storage for retail purposes of garden centre  
Relief \_\_\_\_\_

Status  
Pre-consultation has been done, not through the formal PAC, but through Planning -- Mana Zavalat, , Manager, & Yin Xiao, Principal Planner/ Supervisor, Development Services -- and through Building Division -- Lesley Barbuto, Plans Examiner, Zoning Services -- all of whom are supportive and have recommended approval for the proposed daycare use.



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Toronto

THIS 25th DAY OF April, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, David Eckler, OF THE City OF Toronto

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 30<sup>th</sup> DAY OF

April, 2025.

Kiran Basra,  
a Commissioner, etc.,

Province of Ontario,

for the Corporation of the

City of Brampton.

Expires December 6, 2027.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

April 30/2025

Date Application Deemed  
Complete by the Municipality





APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 740 Steeles Ave. West

I/We, Country Fruit & Farm Market c/o O Iannace (Peter Iannace & Maria Iannace)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

AREA, Architects Rasch Eckler Associates Ltd. (David Eckler or other staff)  
please print/type the full name of the agent(s)

to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.

Dated this 26 day of April, 2025.

Authentisign

Peter Iannace

04/26/25

Authentisign

Maria Iannace

04/27/25

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Peter Iannace & Maria Iannace  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.



## PERMISSION TO ENTER

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 740 Steeles Ave. West

I/We, Country Fruit & Farm Market c/o O Iannace (Peter Iannace & Maria Iannace)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 26 day of April, **20**25.

AuthentiSIGN  
Peter Iannace

04/26/25

AuthentiSIGN  
Marie Jarvace

04/27/25

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Peter Iannace & Maria Iannace

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

PLAN OF TOPOGRAPHY OF  
PART OF THE WEST HALF OF  
LOT 1, CONCESSION 2  
WEST OF HURONTARIO STREET  
CITY OF BRAMPTON  
(GEOGRAPHIC TOWNSHIP OF CHINGACOUSY)  
REGIONAL MUNICIPALITY OF PEEI

SCALE 1 : 200

TARASICK, McMILLAN LIMITED  
ONTARIO LAND SURVEYORS

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UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE. THE UNDERSIGNED COMPANY AND EACH UTILITY ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ON-SITE LOCATE PRIOR TO ANY EXCAVATION.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CITY OF BRAMPTON GEODETIC DATUM AND WERE DERIVED FROM CITY OF BRAMPTON BENCHMARK NO. TT 259, HAVING A PUBLISHED ELEVATION OF 212.259 METRES.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH-WESTERLY LIMIT OF PART 9 AS SHOWN ON PLAN 43R-322, HAVING A BEARING OF N39°02'50"E.

LEGEND

- |     |         |                         |
|-----|---------|-------------------------|
| ■   | DENOTES | SURVEY MONUMENT FOUND   |
| □   | DENOTES | SURVEY MONUMENT PLANTED |
| BB  | DENOTES | IRON BAR                |
| SB  | DENOTES | STANDARD IRON BAR       |
| BB  | DENOTES | BELL BOX                |
| CB  | DENOTES | CATCH BASIN             |
| MB  | DENOTES | MANHOLE                 |
| GW  | DENOTES | GWY ANCHOR WIRE         |
| WT  | DENOTES | WATER TAP               |
| WUP | DENOTES | WOOD UTILITY POLE       |
| LS  | DENOTES | LIGHT STANDARD          |
| TC  | DENOTES | TOP OF CURB             |
| BC  | DENOTES | BOTTOM OF CURB          |
| CCT | DENOTES | CURB CUT                |
| P1  | DENOTES | REGISTERED PLAN 43M-881 |
| P2  | DENOTES | PLAN 43R-12739          |
| P3  | DENOTES | PLAN 43R-11346          |

0.20R DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20C DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1. THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON APRIL 1, 2004.

APRIL 26, 2004  
DATE

BORIS KUBICKI  
ONTARIO LAND SURVEYOR

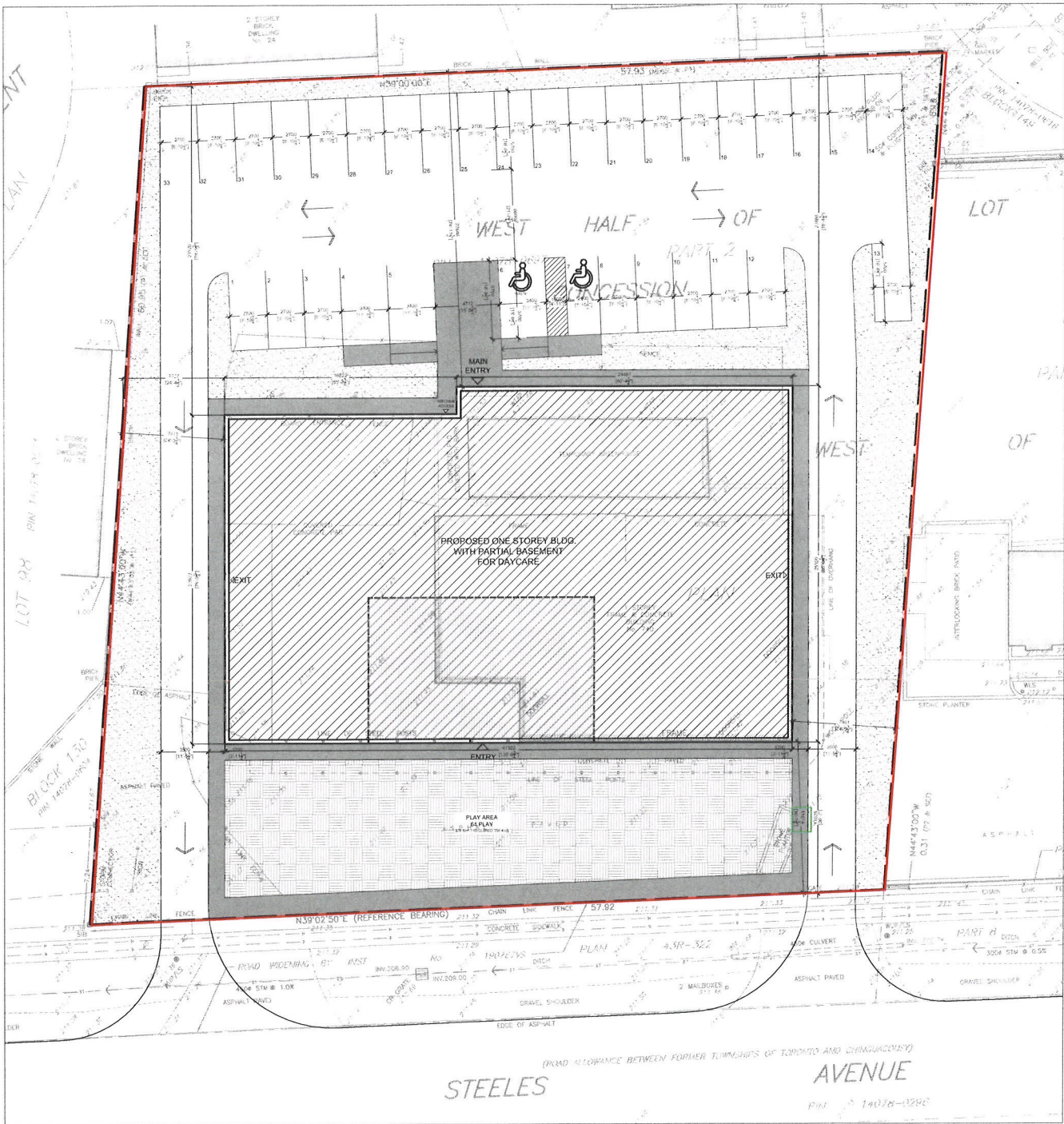
TARASICK, McMILLAN LIMITED  
ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42  
MISSISSAUGA, ONTARIO L5L 5R2  
TEL: (905) 569-8844  
FAX: (905) 569-3160  
E-MAIL: tmm@tmmlltd.ca

DRAWN BY: P. N.

FILE No. 4172



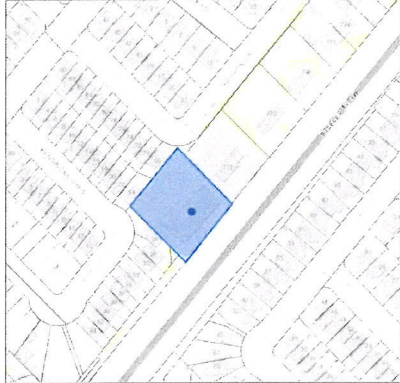


1 PROPOSED SITE PLAN/ GROUND FLOOR PLAN LAYOUT  
A0-1 SCALE: 1/150

LEGEND

- PROPOSED ONE STOREY BLDG. WITH PARTIAL BASEMENT FOR DAYCARE
- BELOW GRADE STOREY \*
- SIDE WALK
- SOFT LANDSCAPE
- CHILDREN PLAY AREA

\* Basement layout and plan outlines may differ from the perimeter indicated in the drawing but will not exceed the 174.4 m<sup>2</sup> as identified in the Site Statistics table.



2 KEY PLAN  
A0-1 N.T.S.

740 STEELES AVE. WEST- BRAMPTON , ON

CHANGING USE TO Day Nursery (from as-of-right Grocery/Convenience Store or Fruit/Vegetable Market)

DESCRIPTION	EXISTING	PROPOSED	COMMERCIAL ONE (C-1) SPECIAL SECTION: 316	VARIANCE
MIN.LOT WIDTH	57.92 m	EXISTING NO CHANGE	38 m	
MIN. LOT AREA	3527 m <sup>2</sup>	EXISTING NO CHANGE	N/A	
MAX.BUILDING HEIGHT(STOREYS)	1	1	1	
GFA	1,037.23 m <sup>2</sup>	1037.23+174.4= 1,481.63 m <sup>2</sup>	N/A	
MIN. FRONT YARD	11.01 m	EXISTING NO CHANGE	15.0 m	-3.99 m
MIN. SIDE YARD	7.41 m	EXISTING NO CHANGE	6.0 m	
MIN. REAR YARD	22.85 m	EXISTING NO CHANGE	9.0 m	
MIN. LANDSCAPING AREA	0%	16.5%	20%	-3.5%
REQUIRED PARKING SPACE	28	33	23+38= 61	-28

OCCUPANCY FOR CHILDREN & STAFF

740 STEELES AVE. WEST- BRAMPTON , ON

GROUND FLOOR								
INFANTS	CHILDREN	STAFF	TODDLERS	CHILDREN	STAFF	PRESCHOOLERS	CHILDREN	STAFF
INFANT-1	10	3	TODDLER-1	15	3	PRESCHOOLER-1	16	2
			TODDLER-2	15	3	PRESCHOOLER-2	24	3
			TODDLER-3	15	3	PRESCHOOLER-3	24	3
			TODDLER-4	15	3	PRESCHOOLER-4	24	3
			TODDLER-5	15	3	PRESCHOOLER-5	24	3
			TODDLER-6	15	3			
			TODDLER-7	15	3			
SUBTOTAL	10	3		105	21		112	14
TOTAL CHILDREN				227				
TOTAL STAFF				38				
CHILDREN TOILETS				23				

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE (LOCATION, ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

11			
10			
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4			
3	ISSUED TO COA	APRIL 20, 2025	HR
2	ISSUED TO CLIENT	DEC. 31, 2024	HR
1	ISSUED TO CLIENT	DEC. 23, 2024	HR
NR	REVISIONS / ISSUES	DATE	BY

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD TEL: (416) 696-1999  
TORONTO, ONTARIO, M5P 1E5 FAX: (416) 696-1995

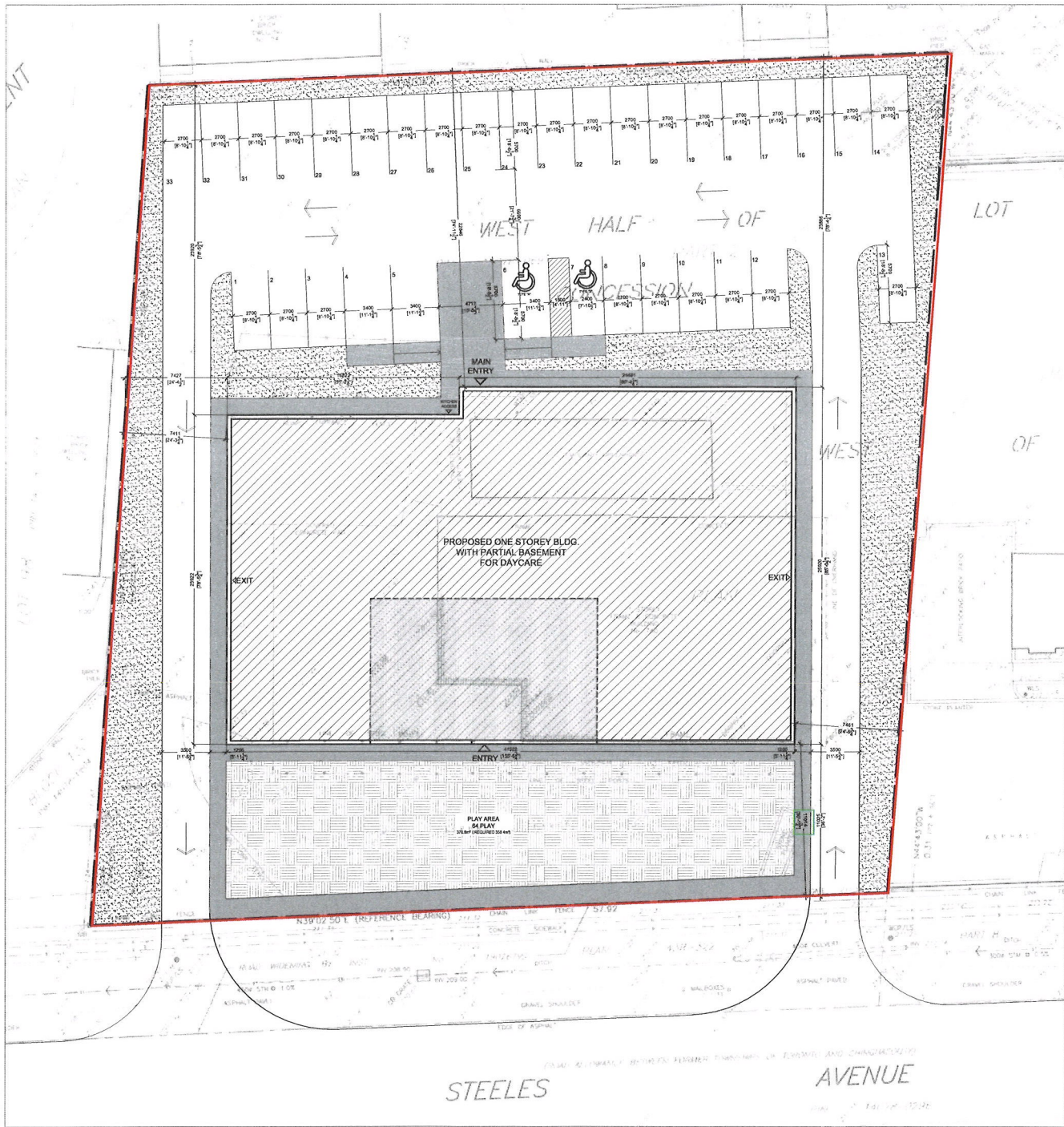
PROJECT TITLE  
DAYCARE

740 STEELS AVE.WEST  
BRAMPTON, ON

DRAWING TITLE  
SITE PLAN/  
PROPOSED PLAN LAYOUT

DRAWN BY HR	SCALE 1:150
CHECKED BY GC	DATE DECEMBER 23, 2024
SET. NO. 1	PROJECT NORTH DRAWING NO. A0.1
TOTAL DWG. NO. 1	PROJECT NO. BD-24-2419





1  
A0-1 PROPOSED SITE PLAN/ GROUND FLOOR PLAN LAYOUT  
SCALE: 1/150

LEGEND

- PROPOSED ONE STOREY BLDG. WITH PARTIAL BASEMENT FOR DAYCARE
- BELOW GRADE STOREY
- SIDE WALK
- SOFT LANDSCAPE
- CHILDREN PLAY AREA

\* Basement layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 174.4 m<sup>2</sup> as identified in the Site Statistics table.



2  
A0-1 KEY PLAN  
N.T.S.

740 STEELES AVE. WEST- BRAMPTON , ON

CHANGING USE TO Day Nursery (from as-of-right Grocery/Convenience Store or Fruit/Vegetable Market)

DESCRIPTION	EXISTING	PROPOSED	COMMERCIAL ONE (C-1) SPECIAL SECTION: 318	VARIANCE
MIN. LOT WIDTH	57.92 m	EXISTING NO CHANGE	38 m	
MIN. LOT AREA	3527 m <sup>2</sup>	EXISTING NO CHANGE	N/A	
MAX. BUILDING HEIGHT (STOREYS)	1	1	1	
GFA	1,037.23 m <sup>2</sup>	1037.23+174.4= 1,481.63 m <sup>2</sup>	N/A	
MIN. FRONT YARD	11.01 m	EXISTING NO CHANGE	15.0 m	-3.99 m
MIN. SIDE YARD	7.41 m	EXISTING NO CHANGE	6.0 m	
MIN. REAR YARD	22.85 m	EXISTING NO CHANGE	9.0 m	
MIN. LANDSCAPING AREA	0%	16.5%	20%	-3.5%
REQUIRED PARKING SPACE	28	33	23+38= 61	-28

OCCUPANCY FOR CHILDREN & STAFF

740 STEELES AVE. WEST- BRAMPTON , ON

GROUND FLOOR

INFANTS	CHILDREN	STAFF	TODDLERS	CHILDREN	STAFF	PRESCHOOLERS	CHILDREN	STAFF
INFANT-1	10	3	TODDLER-1	15	3	PRESCHOOLER-1	16	2
			TODDLER-2	15	3	PRESCHOOLER-2	24	3
			TODDLER-3	15	3	PRESCHOOLER-3	24	3
			TODDLER-4	15	3	PRESCHOOLER-4	24	3
			TODDLER-5	15	3	PRESCHOOLER-5	24	3
			TODDLER-6	15	3			
			TODDLER-7	15	3			
SUBTOTAL	10	3		105	21		112	14
TOTAL CHILDREN	227							
TOTAL STAFF	38							
CHILDREN TOILETS	23							

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

11			
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3	ISSUED TO COA	APRIL 20, 2025	HR
2	ISSUED TO CLIENT	DEC. 31, 2024	HR
1	ISSUED TO CLIENT	DEC. 23, 2024	HR
REV	REVISIONS / ISSUES	DATE	BY

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD TEL: (416) 696-1969  
TORONTO, ONTARIO, M5P 1E5 FAX: (416) 696-1966

PROJECT TITLE

DAYCARE

740 STEELES AVE. WEST  
BRAMPTON, ON

DRAWING TITLE

SITE PLAN/  
PROPOSED PLAN LAYOUT

DRAWN BY JR	SCALE 1/150
CHECKED BY DE	DATE DECEMBER 23, 2024
SET. NO. 1	PROJECT NORTH DRAWING NO. A0.1
TOTAL DWG. NO 1	PROJECT NO. BD-24-2419



# Zoning Non-compliance Checklist

File No.  
A-2025-0048

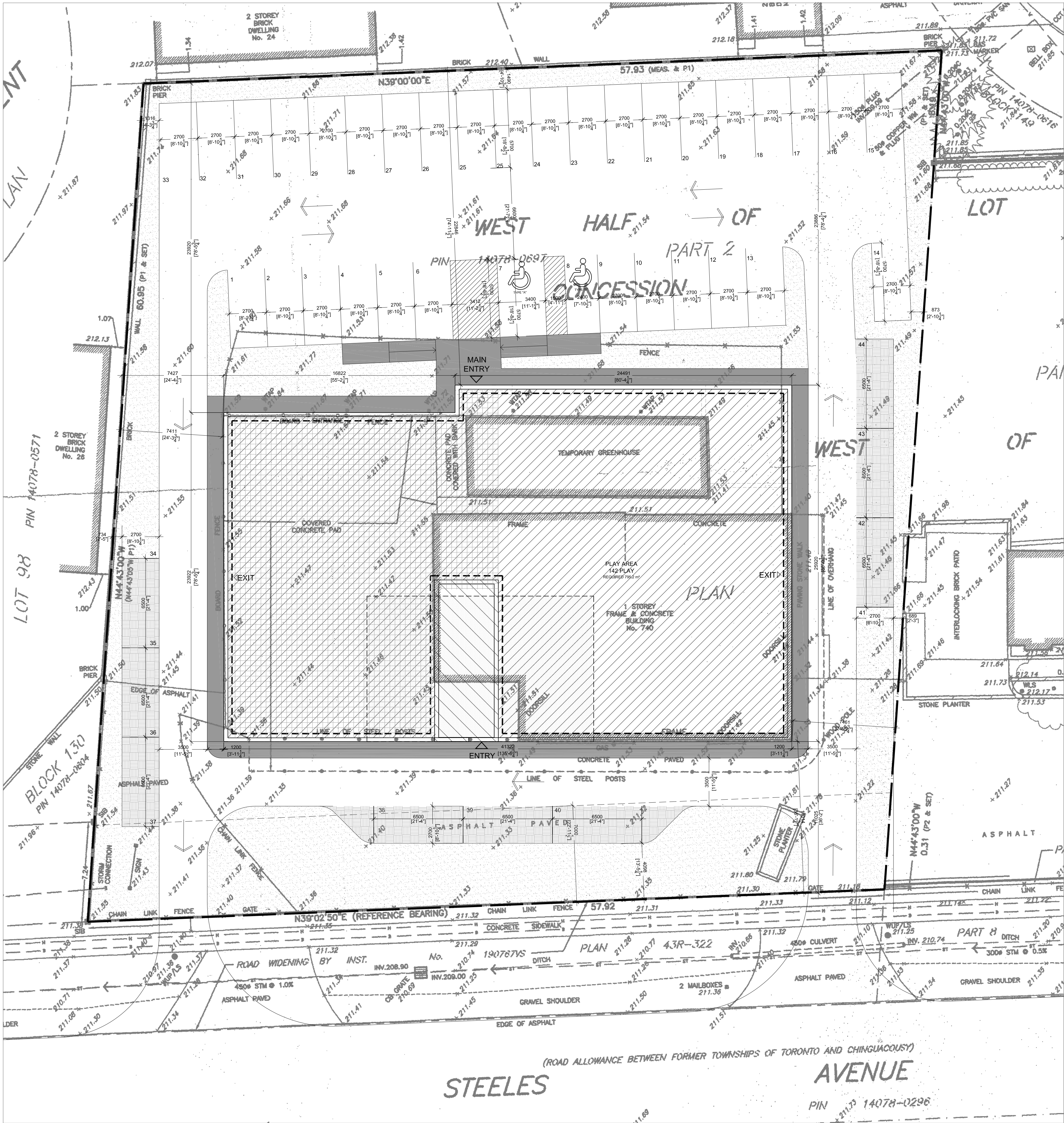
Applicant: Iannace Investments Inc, (Peter Iannace & Maria Iannace)  
Address: 740 Steeles Ave. West  
Zoning: C1-318  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE	To permit a day nursery	Whereas the By-law doesn't permit the proposed use	318.1
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To provide a front yard setback of 11.01m	Whereas the By-law requires a minimum front yard setback of 15m	21.1.2(b)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE	To provide 16.5% of the lot are as landscaped open space	Whereas the By-law requires a minimum of 20% of the lot be landscaped open space	318.2(c)
ENCROACHMENTS			
PARKING	To provide 33 parking spaces	Whereas the By-law requires 61 parking spaces (227 children, 38 staff)	20.3
SCHEDULE "C"			

Reviewed by Zoning

Date



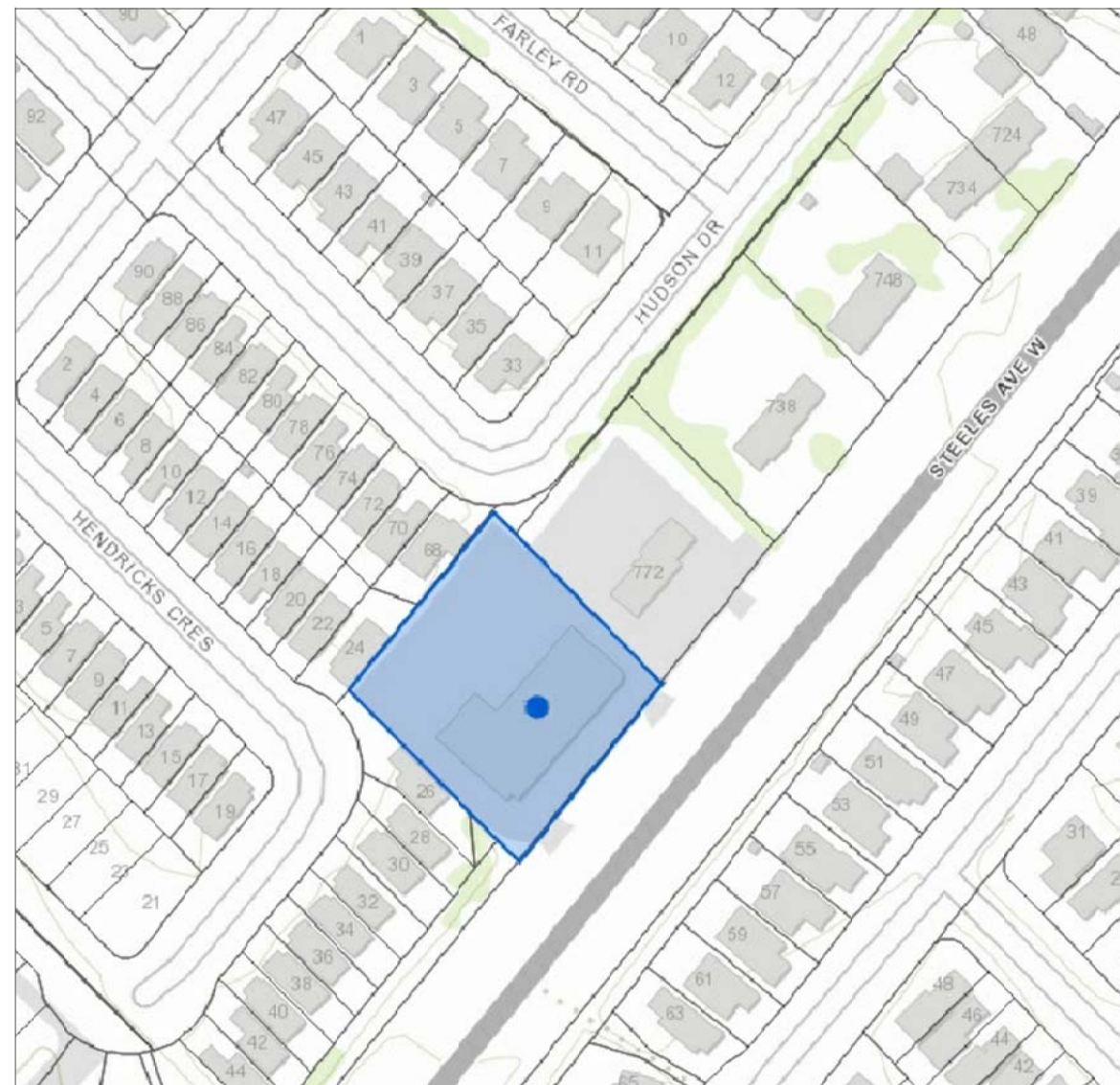


1 PROPOSED SITE PLAN/ GROUND FLOOR PLAN LAYOUT  
SCALE: 1/150

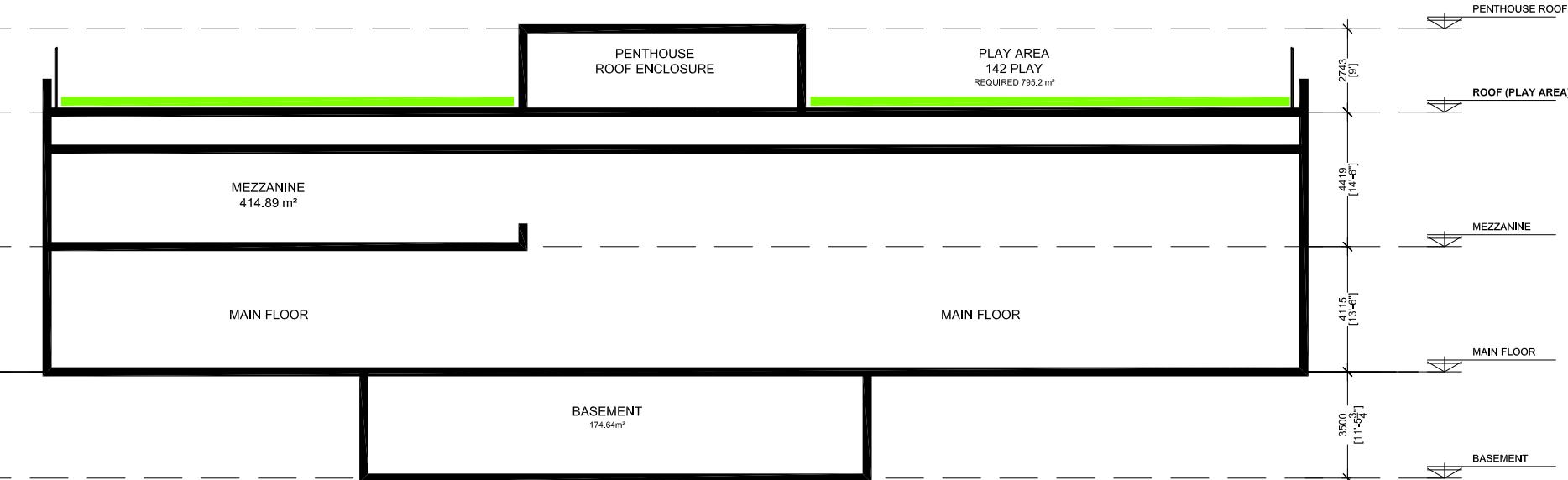
#### LEGEND

- PROPOSED ONE STOREY BLDG. WITH PARTIAL BASEMENT FOR DAYCARE
- PENTHOUSE ROOF ENCLOSURE \*\*
- BELOW GRADE STOREY \*
- MEZZANINE \*\*\*
- CHILDREN PLAY AREA
- SIDE WALK
- SOFT LANDSCAPE
- PERMEABLE PAVING (INTERLOCK)

\* Basement layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 174.4 m<sup>2</sup> as identified in the Site Statistics table.  
\*\* Penthouse layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 54.51 m<sup>2</sup> as identified in the Site Statistics table.  
\*\*\* Mezzanine layout and plan outline may differ from the perimeter indicated in the drawing but will not exceed the 414.88 m<sup>2</sup> as identified in the Site Statistics table.



2 KEY PLAN  
A0-1 N.T.S.



3 SCHEMATIC SECTION  
A0-1 N.T.S.

#### SITE STATISTICS 740 STEELES AVE. WEST- BRAMPTON , ON ADDING USES OF Day Nursery+ Private School (from as-of-right Grocery/Convenience Store or Fruit/Vegetable Market)

DESCRIPTION	EXISTING	PROPOSED	COMMERCIAL ONE (C-1) SPECIAL SECTION: 318	VARIANCE
MIN. LOT WIDTH	57.92 m	EXISTING NO CHANGE	38 m	
MIN. LOT AREA	3527 m <sup>2</sup>	EXISTING NO CHANGE	N/A	
MAX. BUILDING HEIGHT (STOREYS)	1	1	1	
GFA	1,037.23 m <sup>2</sup>	1,037.23+174.4+414.89+54.51= 1,681.03 m <sup>2</sup>	N/A	
MIN. FRONT YARD	11.01 m	EXISTING NO CHANGE	15.0 m	-3.99 m
MIN. SIDE YARD	7.41 m	EXISTING NO CHANGE	6.0 m	
MIN. REAR YARD	22.85 m	EXISTING NO CHANGE	9.0 m	
MIN. LANDSCAPING AREA	0%	25.5%	20%	+5.5%
REQUIRED PARKING SPACE	28	42	23+38= 61	-19

#### OCCUPANCY FOR CHILDREN & STAFF 740 STEELES AVE. WEST- BRAMPTON , ON

GROUND FLOOR								
INFANTS	CHILDREN	STAFF	TODDLERS	CHILDREN	STAFF	PRESCHOOLERS	CHILDREN	STAFF
INFANT-1	10	3	TODDLER-1	15	3	PRESCHOOLER-1	16	2
			TODDLER-2	15	3	PRESCHOOLER-2	24	3
			TODDLER-3	15	3	PRESCHOOLER-3	24	3
			TODDLER-4	15	3	PRESCHOOLER-4	24	3
			TODDLER-5	15	3	PRESCHOOLER-5	24	3
			TODDLER-6	15	3			
			TODDLER-7	15	3			
SUBTOTAL	10	3		105	21		112	14
TOTAL CHILDREN			227					
TOTAL STAFF			38					
CHILDREN TOILETS			23					

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

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7	REISSUED TO COA	MAY 12, 2025	HR
6	REISSUED TO COA	MAY 11, 2025	HR
5	REISSUED TO COA	MAY 8, 2025	HR
4	REISSUED TO COA	MAY 7, 2025	HR
3	ISSUED TO COA	APRIL 20, 2025	HR
2	ISSUED TO CLIENT	DEC. 31, 2024	HR
1	ISSUED TO CLIENT	DEC. 23, 2024	HR
No.	REVISIONS / ISSUES	DATE	BY.

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TORONTO, ONTARIO, M5P 1E5 FAX. (416) 696-1966

PROJECT TITLE

DAYCARE

740 STEELES AVE. WEST  
BRAMPTON, ON

DRAWING TITLE

SITE PLAN/  
PROPOSED PLAN LAYOUT  
OPTION "B"

DRAWN BY HR	SCALE 1:150
CHECKED BY DE	DATE DECEMBER 23, 2024
SET. NO. 1	PROJECT NORTH DRAWING NO. A0.1b
TOTAL DWG. NO. 1	PROJECT NO. BD-24-2419