

# HERITAGE IMPACT ASSESSMENT ADDENDUM

48 and 52 Main Street North, City of Brampton, ON



## FINAL REPORT

Date: 29 May 2025

Project #: LHC0437

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**LHC**  
HERITAGE PLANNING  
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## **REPORT LIMITATIONS**

The qualifications of the heritage consultants who authored this report are provided in Appendix A. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

All comments regarding the condition of any buildings on the Properties are based on a superficial visual inspection and are not structural engineering assessments unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.



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## EXECUTIVE SUMMARY

*The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results, as well as limitations.*

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 5 March 2025 by the Corporation of the City of Brampton (the '**Municipality**') to prepare a Heritage Impact Assessment Addendum (HIA Addendum) to incorporate the Properties at 48 Main Street North and 52 Main Street North (the '**Properties**') into the previously completed Heritage Impact Assessment dated 24 June 2024 prepared for the properties at 30-46 and 54-60 Main Street North in the City of Brampton (the '**City**'), Ontario. The Properties are *Listed* on the City's *Municipal Register of Cultural Heritage Resources* under Section 27 Part IV of the *Ontario Heritage Act* (**OHA**). This HIA Addendum also updates references to provincial and local policies and guidelines, revises the evaluation of the properties at 42 and 46 Main Street North, revises the description of the proposed development, and provides an updated list of proposed alternatives and mitigation and next steps applicable to the 24 June 2024 HIA.

In LHC's professional opinion, the Properties at 48 Main Street North and 52 Main Street North **meet** criteria 4, 7, and 8 of *Ontario Regulation 9/06* for their historical value or associative value and contextual value. The Properties meet two or more criteria; therefore, they are eligible for designation under Section 29 Part IV of the *OHA*. However, it is not required that the properties be designated.

City council approved the demolition of the properties on 30-46 Main Street North and 54-60 Main Street North on 21 February 2024. The properties at 48 Main Street North and 52 Main Street North were not owned by the City when the demolition approval was made. It is expected that the City will move to demolish and approve the demolition of the buildings on the properties at 48 Main Street North and 52 Main Street North. The proposed demolition will result in the destruction of all heritage attributes identified for the properties.

Four options were explored for the Properties which included do nothing, first storey design mitigation and second storey façade retention, demolition and construction of new buildings that are sympathetic to the past and surrounding buildings, demolition and construction of new buildings that are not sympathetic to the past and surrounding buildings. Based on the analysis of these options, LHC finds that first storey design mitigation and second storey façade retention and demolition and construction of new buildings that are sympathetic to the past and surrounding buildings is the preferable option because it allows for the retention of the Properties heritage attributes while also allowing for future development.

If any option aside from do nothing is selected, it is recommended that a Conservation Plan be prepared to detail how the heritage resources will be conserved through the selected site

alteration, to provide guidance on the design of new buildings, and to provide guidance to ensure adjacent and nearby heritage properties are protected (where applicable).

A Documentation and Salvage Plan is being prepared by LHC under separate cover for the properties at 30-60 Main Street North. Commemoration – through the City’s plaque program – should also be considered.

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## 1 INTRODUCTION

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 5 March 2025 by the Corporation of the City of Brampton (the '**Municipality**') to prepare a Heritage Impact Assessment Addendum (HIA Addendum) to incorporate the Properties at 48 Main Street North and 52 Main Street North (the '**Properties**') into the previously completed Heritage Impact Assessment dated 24 June 2024 prepared for the properties at 30-46 and 54-60 Main Street North in the City of Brampton (the '**City**'), Ontario. The Properties are *Listed* on the City's *Municipal Register of Cultural Heritage Resources* under Section 27 Part IV of the *Ontario Heritage Act* (**OHA**). This HIA Addendum also updates references to provincial and local policies and guidelines, revises the evaluation of the properties at 42 and 46 Main Street North, revises the description of the proposed development, and provides an updated list of proposed alternatives and mitigation and next steps applicable to the 24 June 2024 HIA.

This HIA Addendum has been prepared in based on the City's *Heritage Impact Assessment Terms of Reference* and recommended methodology outlined in the *Ontario Heritage Tool Kit*.

### 1.1 LOCATION OF THE PROPERTIES

The Properties are in Downtown Brampton to the northwest of the intersection of Main Street North (Hurontario Street) and Queen Street. They are located on the northeast side of Main Street North between Vivian Lane/Chess Park to the northwest and Queen Street East to the southeast. The Properties are bound by Main Street North to the southwest and Garden Square to the northeast. The Property at 48 Main Street North is also bound by the commercial properties at 52 Main Street North (northwest) and 46 Main Street North (southeast), and the Property at 52 Main Street North is also bound by the commercial properties at 54 Main Street North (northwest) and 48 Main Street North (southeast) (Figure 1).

### 1.2 DESCRIPTION OF THE PROPERTIES

The Property at 48 Main Street North is a rectangular lot of approximately 120 square metres. It is occupied by a rectangular two-storey commercial building with stucco and metal sheet cladding that comprises part of a row of attached commercial buildings.

The Property at 52 Main Street North is an irregularly shaped lot of approximately 155 square metres. It is occupied by a rectangular two-storey commercial building with brick and metal sheet cladding that comprises part of a row of attached commercial buildings (Figure 2).

### **1.3 HERITAGE STATUS OF THE PROPERTIES**

The Properties are *Listed* on the City's *Municipal Register of Cultural Heritage Resources* under Part IV Section 27 of the *OHA*.

### **1.4 CONTEXT OF THE PROPERTIES**

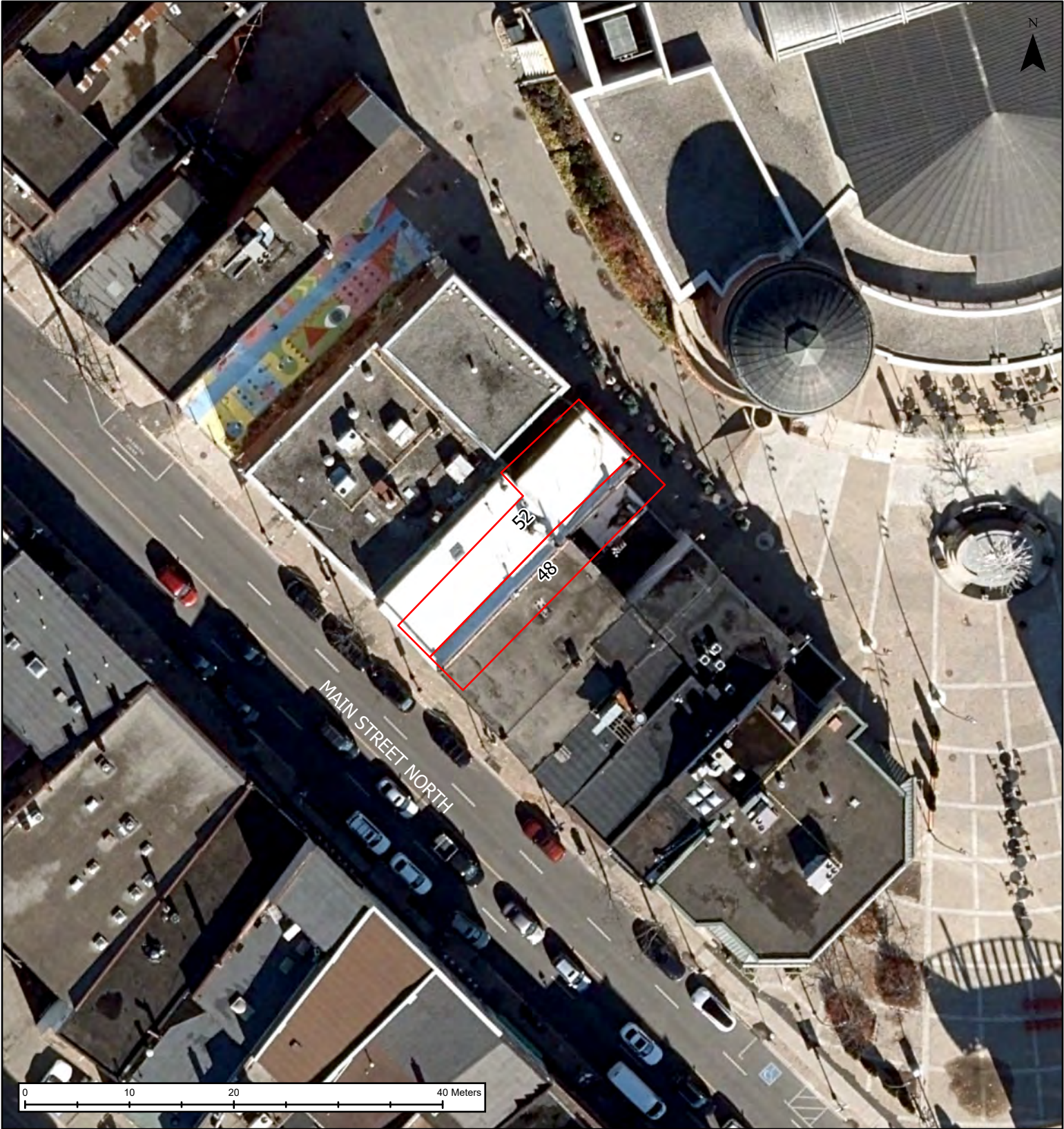
The surrounding area is mostly composed of attached rows of commercial buildings. Commercial buildings in the vicinity typically range from two to three storeys. Most buildings that front onto Main Street North are setback approximately 4.5 metres from the edge of the street. A range of materials are present on nearby commercial buildings including brick, stucco, concrete, clapboard siding, brick veneer, stone veneer, and wood. The first storey of most buildings is extensively covered in glass. There is not a dominant architectural style present; most buildings are vernacular commercial buildings.

### **1.5 PHYSICAL CONDITION, SECURITY, PHYSICAL MAINTENANCE CONCERNS, AND INTEGRITY**

The Properties' physical condition was assessed based on observations from LHC's site visit. No readily apparent concerns related to the building's exterior or interior physical condition, physical maintenance, or integrity were observed.








**Legend**

Properties

NOTE(S) 1. All locations are approximate.  
REFERENCE(S)  
City of Brampton. 2024. 2024 Fall Orthophoto.  
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|  |                          |
|--|--------------------------|
| TITLE<br>Current Conditions of the Properties  |                          |
| CLIENT<br>City of Brampton   |                          |
| PROJECT<br>Heritage Impact Assessment Addendum, 48 and 52 Main Street North,<br>City of Brampton, ON |                          |
| PROJECT NO. LHC0437  |                          |
|                   | YYYY-MM-DD<br>2025-05-01 |
|  | FIGURE #<br>2            |

## 2 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning, and intervening guidance from the Canada's Historic Places' *Standards and Guidelines for the Conservation of Historic Places in Canada* and the *Ontario Heritage Tool Kit*.<sup>1</sup> Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation, and evaluation—when necessary.
- Understanding the setting, context, and condition of the cultural heritage resource through research, site visit, and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

This HIA Addendum has been prepared in accordance with the City's *Heritage Impact Assessment Terms of Reference* and recommended methodology outlined in the *Ontario Heritage Tool Kit*.

### 2.1 LEGISLATION AND POLICY REVIEW

This HIA Addendum includes a review of provincial legislation, plans, and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Properties.

### 2.2 HISTORICAL RESEARCH

This HIA Addendum uses historical research from LHC's Heritage Impact Assessment dated 24 June 2024 prepared for the properties at 30-46 and 54-60 Main Street North, where relevant. Supplemental research has been conducted, where necessary.

Historical research for this HIA included local history research. LHC consulted primary and secondary research sources, including:

- Local histories;
- Historic maps;
- Aerial photographs; and,
- Online sources about local history.

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<sup>1</sup> Canada's Historic Places, "Standards and Guidelines for the Conservation of Historic Places in Canada", 2010, accessed 29 April 2025, <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>, 3.; Ministry of Citizenship and Multiculturalism (MCM), "Heritage Property Evaluation, Ontario Heritage Tool Kit," 9 May 2025, accessed 22 May 2025.



Online sources consulted included (but was not limited to):

- Archives of Ontario;
- City of Toronto Archives;
- Internet Archive;
- Library and Archives Canada;
- Ontario Council of University Libraries, Historical Topographic Map Digitization Project;
- Toronto Public Library; and
- University of Toronto Library.

A list of sources consulted in the preparation of this HIA Addendum is in Section 12.

## 2.3 SITE VISIT AND DESCRIPTION OF EXISTING CONDITIONS

Site visits were conducted on 3 April 2025 and 16 May 2025 by Intermediate Heritage Planner, Ben Daub. The purpose of the site visits was to document the current conditions of the Properties and their surrounding context. Unless otherwise attributed, all photographs in this HIA were taken during these site visits. A selection of photographs from the site visits that document the Properties are included in Section 5.

## 2.4 UNDERSTANDING OF CULTURAL HERITAGE VALUE OR INTEREST

This HIA Addendum evaluates the Properties against the criteria described in *Ontario Regulation 9/06 (O. Reg. 9/06)* under the *OHA*. *O. Reg. 9/06* has nine criteria. They are:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.

6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.<sup>2</sup>

## 2.5 DESCRIPTION OF THE PROPOSED DEVELOPMENT

A description of the alterations made to the Property is provided in Section 7 of this HIA Addendum.

## 2.6 IMPACT ASSESSMENT

This HIA Addendum is based on guidance from the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, Information Sheet #5: Heritage Impact Assessments and Conservation Plans*.<sup>3</sup> *Information Sheet #5* outlines seven potential adverse impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

1. **Destruction** of any part of any significant heritage attribute or features;
2. **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
3. **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
4. **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
5. **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
6. **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and,

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<sup>2</sup> Province of Ontario, "Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest," last modified 1 January 2023, accessed 29 April 2025, <https://www.ontario.ca/laws/regulation/060009>.

<sup>3</sup> MCM "Heritage Impact Assessments and Conservation Plans, Info Sheet #5," published 2006, accessed 29 April 2025, [https://www.cambridge.ca/en/learn-about/resources/East-Galt-HCD/Heritage\\_Tool\\_Kit\\_Heritage\\_PPS\\_infosheet.pdf](https://www.cambridge.ca/en/learn-about/resources/East-Galt-HCD/Heritage_Tool_Kit_Heritage_PPS_infosheet.pdf).

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7. **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.<sup>4</sup>

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<sup>4</sup> MCM, "Heritage Impact Assessments and Conservation Plans, Info Sheet #5," 3.



## 3 POLICY AND LEGISLATION CONTEXT

### 3.1 PROVINCIAL CONTEXT

In Ontario, cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Policies, priorities, and programs for the conservation, protection, and preservation of Ontario's heritage are administered from the *OHA*. Cultural heritage is established as a key provincial interest directly through the *Planning Act* with direction for land use planning and development in the *Provincial Planning Statement (PPS)*. Other provincial legislation applies to cultural heritage indirectly or in specific cases. The *Environmental Assessment Act* and *Environmental Protection Act* use a definition of "environment" that includes cultural heritage resources, and the *Funeral, Burial and Cremation Services Act* addresses historic cemeteries and processes for identifying graves that may be prehistoric or historic. The *Places to Grow Act*, *Greenbelt Act*, *Oak Ridges Moraine Conservation Act*, and *Niagara Escarpment Planning and Development Act* enact provincial plans that include intentions and policy to protect and/or conserve cultural heritage. These various acts and the policies and plans under these acts indicate broad support for the protection of cultural heritage by the Province.

#### 3.1.1 PLANNING ACT, R.S.O. 1990, C. P.13

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was most recently revised on 31 March 2025. This *Act* sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.<sup>5</sup>

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *Provincial Planning Statement*, which is used under the authority of Section 3.

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<sup>5</sup> Province of Ontario, "Planning Act R.S.O. 1990, c. P.13," last revised 31 March 2025, accessed 22 May 2025, <https://www.ontario.ca/laws/statute/90p13>, Part 1, Section 2 (d).

### 3.1.2 PROVINCIAL PLANNING STATEMENT (2024)

The *Provincial Planning Statement (PPS)* provides further direction for municipalities regarding provincial requirements. Section 4.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. Policies relevant to this HIA are:

- 4.6.1. Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.
- 4.6.3. Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.<sup>6</sup>

Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The *PPS* makes the consideration of cultural heritage equal to all other considerations in relation to planning and development within the province.

A HIA may be required by a municipality in response to Section 4.6.1 and 4.6.3 of the *PPS*. Conservation may be achieved by the implementation of recommendations set out in a HIA that has been approved, accepted, or adopted by the relevant planning authority and/or decision maker. A HIA can include mitigative measures and/or alternative development approaches.

### 3.1.3 ONTARIO HERITAGE ACT, R.S.O. 1990, C. O.18

The *OHA* (revised on 4 December 2024) enables the provincial government and municipalities with powers to conserve, protect, and preserve the heritage of Ontario. The *OHA* gives municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.<sup>7</sup> It also requires municipalities to keep a register of properties in the municipality that are of cultural heritage value or interest (Municipal Heritage Register). There are two types of heritage properties under the *OHA*, *Designated* properties and *Listed* properties. Conditions surrounding *Listed* properties are relevant to this HIA.

Properties can be *Listed* on a Municipal Heritage Register. *Listing* applies to real property. The *OHA* requires a municipality to *Designate* a *Listed* property under Section 29 or remove it from the Municipal Heritage Register within a period of two years of listing, or by 1 January 2027 for

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<sup>6</sup> Province of Ontario, "Provincial Planning Statement," last revised 23 October 2024, accessed 29 April 2025, <https://www.ontario.ca/files/2024-10/mmah-provincial-planning-statement-en-2024-10-23.pdf>, 28.

<sup>7</sup> Province of Ontario, "Ontario Heritage Act, R.S.O. 199, c. O.18.," last revised 4 December 2024, 29 April, <https://www.ontario.ca/laws/statute/90o18>.

properties on the Register on 31 December 2022. *Designation* would require the municipality to demonstrate that the Property meets at least two criteria from *O. Reg. 9/06*.

If a property is determined to meet two or more criteria from *O. Reg. 9/06*, City council may, by by-law, Designate the property under Section 29 Part IV of the *OHA*. City council may also choose not to Designate a property that meets two or more criteria.

Property owners are allowed to make changes to a *Listed* property – generally – without obtaining written consent from Municipal Council with one exception. Section 27(9) prohibits an owner of a *Listed* property from demolishing or removing a building or structure or permitting the removal or demolition of a building or structure from the property unless they give municipal council at least 60 days’ notice in writing of their intention to demolish or remove, or permit the demolition or removal of, a building or structure from the property.

## 3.2 LOCAL CONTEXT

### 3.2.1 REGION OF PEEL OFFICIAL PLAN (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 through By-law 20-2022 and was approved by the Minister of Municipal Affairs and Housing on 4 November 2022 (with modifications). Policies pertaining to cultural heritage are in Section 3.6 of the *ROP*.<sup>8</sup> In general, the management of cultural heritage resources is the responsibility of local area municipalities.

### 3.2.2 BRAMPTON PLAN (2024)

The *Brampton Plan* is the City’s current *Official Plan (OP)*. The *OP* was adopted by City Council in November 2023 and Peel Region on 16 May 2024 (with modifications). The *OP* took effect on 6 June 2024 except for sections that may be subject to appeal. Policies pertaining to cultural heritage are in Section 3.6.3 of the *OP*. Relevant policies are in Table 1.

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<sup>8</sup> Region of Peel, “Region of Peel Official Plan,” April 2022, accessed 29 April 2025, <https://peelregion.ca/sites/default/files/2024-07/official-plan-review-consolidation-clean%20%281%29.pdf>.

Table 1. Relevant *Brampton Plan* Policies

| Policy Number   | Policy Text   |
|-----------------|---|
| <b>3.6.3.5</b>  | Retention, integration, and adaptive reuse of heritage resources will be the overriding objectives in cultural heritage resource planning while insensitive alteration, removal and demolition will be avoided.   |
| <b>3.6.3.8</b>  | Where development occurs on properties determined to have cultural heritage value or interest, whether listed or designated under the Ontario Heritage Act, intensification targets and minimum density requirements are encouraged to be met through context-sensitive infill that conserves cultural heritage attributes wherever possible.   |
| <b>3.6.3.9</b>  | When a City-owned property on the Cultural Heritage Resource Register is no longer required for its current use, the City will explore opportunities for the adaptive re-use of the property to achieve the housing objectives of this Plan.  |
| <b>3.6.3.20</b> | Listed properties are subject to restrictions on demolition and will require avoidance and/or mitigation of impacts to their heritage character and/or attributes.  |
| <b>3.6.3.26</b> | Alteration, removal or demolition of heritage attributes on designated or listed heritage properties will be avoided. Any proposal involving such works on a designated property will require a heritage permit application to be submitted for the approval of the City. The City may require a Heritage Impact Assessment to be submitted in support of the Heritage Permit Application at its own discretion.  |
| <b>3.6.3.33</b> | The requirements for a Heritage Impact Assessment are described in the City's Heritage Impact Assessment Terms of Reference. A Heritage Impact Assessment must be prepared by qualified heritage conservation professional who is a professional member in good standing with the Canadian Association of Heritage Professionals (CAHP) and is required for the following circumstances:<br>Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the Ontario Heritage Act that is facing possible demolition. |

| Policy Number   | Policy Text  |
|-----------------|--|
| <b>3.6.3.36</b> | <p>Within a Heritage Impact Assessment, in consideration of alternative interventions, options for on-site retention of properties of cultural heritage significance will be exhausted before resorting to relocation. The following alternatives will be given due consideration in order of priority:</p> <ul style="list-style-type: none"> <li>a. Retention in-situ of existing resource with no major modifications undertaken;</li> <li>b. Restoration in-situ of missing or deteriorated elements where physical or documentary evidence (e.g., photographs or drawings) exists for their design;</li> <li>c. Retention in-situ of existing resource with sympathetic modification;</li> <li>d. Retention in-situ of existing resource with sympathetically designed new structure in proximity;</li> <li>e. Retention in-situ of existing resource no longer in use for its original purposes but adapted for a new use;</li> <li>f. Relocation of the resource within the site or to an appropriate new site for continued use or adaptive re-use;</li> <li>g. Retention of all or some of the resource as a heritage monument for viewing or public art purposes; and,</li> <li>h. Resource removal and replacement with a sympathetically designed structure and appropriate commemorative features; <ul style="list-style-type: none"> <li>I. Where possible, salvage elements/members of the resource for incorporation into the new structure or for future conservation and/or commemoration work and/or displays; and,</li> <li>II. Undertake full recording and documentation of existing structure.</li> </ul> </li> </ul> |
| <b>3.6.3.37</b> | <p>The above alternatives are arranged according to level or degree of intervention from minimum to maximum. They will be applied in rank order such that Option 1 must be shown to be non-viable, before Option 2 can be considered.</p>  |
| <b>3.6.3.46</b> | <p>In addressing impacts and mitigation strategies for heritage properties, the proponent must demonstrate that all mitigation options have been thoroughly considered, in accordance with the policies in this Plan.</p>  |

| Policy Number   | Policy Text  |
|-----------------|--|
| <b>3.6.3.47</b> | In the event that relocation, dismantling and salvage, or demolition is the only available option, thorough documentation and other mitigation measures will be undertaken. This will include the preparation of a Heritage Documentation Report and/or a Heritage Salvage Report. |

### 3.2.3 DOWNTOWN BRAMPTON SECONDARY PLAN

The Properties are in the boundary of the *Downtown Brampton Secondary Plan (DBSP)*. The *DBSP* is based on Official Plan Amendment OP93-63 approved by Council on 2 April 1997 and the Region of Peel on 9 November 1998. The *DBSP* was most recently updated in October 2024. The *DBSP* provides a land use framework for the existing residential neighbourhoods and local commercial uses in the secondary plan area.<sup>9</sup> General objectives of the *DBSP* are “to allow for intensification of use in commercial areas and selected residential areas in a manner that is sympathetic to the historic character of Downtown Brampton” and “to provide for the identification, preservation and protection of heritage resources.”<sup>10</sup> General cultural heritage policies are in Section 8.5 of the *DBSP*, and other relevant policies to this HIA Addendum are interspersed throughout. Relevant policies are in Table 2.

Table 2. Relevant *Downtown Brampton Secondary Plan* Policies

| Policy Number             | Policy Text   |
|---------------------------|---|
| <b>5.6.3.3 (c) (viii)</b> | <p>The following broad design principles shall be the basis for further site specific design briefs, or other area design guidelines:</p> <p>Character</p> <ul style="list-style-type: none"> <li>Will evolve into a heritage, art, culture and entertainment centre, to reinforce the Downtown’s role as a destination and a creative place for entertainment and leisure activities.</li> </ul> <p>Built Form</p> <ul style="list-style-type: none"> <li>Preserve and enhance the existing heritage in compatible, pedestrian-</li> </ul> |

<sup>9</sup> City of Brampton, “Downtown Brampton Secondary Plan,” October 2024, accessed 21 April 2025, <https://www.brampton.ca/EN/Business/planning-development/Plans-and-Policies/secondary%20plans/SPA7%20Downtown%20Brampton.pdf>.

<sup>10</sup> City of Brampton, “Downtown Brampton Secondary Plan,” 3-4.

| Policy Number | Policy Text   |
|---------------|---|
|               | <p>scale development with strong urban character.</p> <ul style="list-style-type: none"> <li>• Preserve existing significant historical built form in accordance with policies of this Secondary Plan.</li> </ul>   |
| <b>8.2.3</b>  | <p>In this Secondary Plan Area, the City shall promote development which reinforces the district character principles of: pedestrian orientation, human scale massing, mixed-use projects, heritage conservation, urban forest protection and enhancement, transit accessibility and the ceremonial functions associated with City Hall.</p>  |
| <b>8.2.4</b>  | <p>The primary node in the Downtown Secondary Plan will be “The Four Corners.” This primary node will provide opportunities for enhanced pedestrian and visual amenities within the Secondary Plan Area and the enhancement of the numerous existing landmark buildings and the landscapes within the district.</p>   |
| <b>8.5.1</b>  | <p>Heritage resource management activities within the Downtown Brampton Secondary Plan Area shall be undertaken in accordance with the policies of the Brampton Official Plan and in consultation with the Brampton Heritage Board, which is a Council appointed committee whose mandate is to advise on all matters pertaining to heritage.</p>  |
| <b>8.5.2</b>  | <p>For the purposes of this Plan, heritage resources shall include structures, sites, environments and artifacts which are of historical, architectural and/or archaeological value, significance or interest.</p>  |
| <b>8.5.3</b>  | <p>Proponents of development/redevelopment are encouraged to retain and conserve buildings of architectural and/or historic merit on their original sites and to promote the integration of these resources into any plans which may be prepared for such development.</p>  |
| <b>8.5.4</b>  | <p>When a development proposal may impact a heritage resource, the City may request the preparation of a cultural heritage resource assessment. This assessment should provide information and present recommendations about how to mitigate the development impacts on identified heritage resources, and will be prepared to the satisfaction of the City, the Brampton Heritage Board and other appropriate authorities having jurisdiction.</p> |

### 3.2.4 BRAMPTON URBAN DESIGN GUIDELINES (APRIL 2025 DRAFT)

The *Brampton Urban Design Guidelines (BUDG)* are currently being developed in draft form by the City of Brampton. The second draft was produced in April 2025 and is expected to be approved by Council in 2025. The purpose of the *BUDG* is to clearly articulate the City's expectations with respect to street and block pattern, the location of community focal points, the interface with natural heritage, the development of parks and open space, and the development of the public realm.<sup>11</sup> Sections 2.6 and 2.7 contain cultural heritage guidelines which are relevant to the proposed alterations of the Property. Relevant guidelines are in Table 3.

Table 3. Relevant *Brampton Urban Design Guidelines*

| Guideline Number | Guideline Text   |
|------------------|--|
| 2.6.5            | Where relocation, disassembly/reassembly or retention are not viable options, consider incorporating architectural cues and significant attributes of the heritage building into the new development so that the unique features of former structure are still legible.  |
| 2.6.8            | Consider the rehabilitation and utilization of City-owned heritage resources as creative public space.   |
| 2.6.9            | Promote, commemorate and celebrate cultural heritage via landscaping design, urban amenities, signage, plaques, public installations, etc.   |
| 2.6.12           | The design of high-rise buildings in heritage districts or adjacent to heritage buildings should consider views to the developed lot on adjacent streets. The high-rise portion should be integrated and transitioned to the heritage buildings, so that they are not dominant from the perspectives of pedestrians. This may involve providing greater building setbacks, stepbacks above the podium, etc. Refer to sections C2.7 Built Heritage Context and C5 High-Rise Developments. |
| 2.6.13           | Where development is proposed adjacent to or as part of a site that includes built heritage structures, it is important that any new building maintains and enhances the defining characteristics of these heritage buildings and ensures that the heritage attributes are not adversely affected.   |

<sup>11</sup> City of Brampton, "Brampton Urban Design Guidelines Part B: Sustainable Community Design," April 2025 Draft, accessed 22 May 2022, <https://letsconnect.brampton.ca/40833/widgets/202733/documents/151105>.



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### 3.2.5 CITY OF BRAMPTON – DECISION REGARDING THE PROPERTIES

City Council approved recommendations from the City’s Committee of Council for the demolition of the vacant, City owned properties at 30-46 Main Street North and 54-60 Main Street North on 13 February 2024. At the time, the Properties at 48 Main Street North and 52 Main Street North remained under private Ownership.<sup>12</sup>

City Council delegated authority to the City’s Chief Administrative Officer to acquire the Properties at 48 Main Street North and 52 Main Street North on 5 February 2025.<sup>13</sup> It is expected that the City will approve the demolition of the buildings on the properties at 48 Main Street North and 52 Main Street North.

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<sup>12</sup> City of Brampton, “Budget Amendment and Request to Begin Procurement for the Demolition of Downtown City Properties – Ward 1,” Report Number: Public Works & Engineering-2024-124, 13 February 2024, <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=105824>.

<sup>13</sup> City of Brampton, “City Council Meeting Agenda,” 5 February 2025, <https://pub-brampton.escribemeetings.com/FileStream.ashx?DocumentId=135481>.

## 4 HISTORIC CONTEXT

This section includes a history of the Properties in their present configuration. For early Indigenous history, seventeenth- to eighteenth-century history, early Euro-Canadian settlement history, Chinguacousy Township and Peel County history, and City of Brampton history refer to LHC's Heritage Impact Assessment dated 24 June 2024.

The Properties are located on Lot 6 Concession 1 East Hurontario Street (EHS) in the historic Township of Chinguacousy.

### 4.1 LOT 6 CONCESSION 1 EAST HURONTARIO STREET

The Crown Patent for Lot 6 Concession 1 EHS – a 200-acre parcel – was issued to Kings College on 3 January 1828.<sup>14</sup> Kings College owned the property until 8 July 1847, when it was sold to John Scott.<sup>15</sup> Scott began subdividing the property almost immediately. The subdivided lots were small, ranging from one quarter acre to two acres. Among the lots sold by Scott was a one-acre parcel in the west half of the property which he sold to John Vodden for £50 on 24 July 1847 (registered on 4 August 1847).<sup>16</sup> Vodden was born in England c. 1814, worked as a wagon maker, and was married to Hannah Snell.<sup>17</sup>

Vodden's one-acre parcel was included in a plan of subdivision – Plan BR-2 – which included Lot 5 and Lot 6 Concession 1 EHS. Vodden's property comprised Lot 42 through Lot 45 in Plan BR-2.<sup>18</sup> Land registry abstracts identify that no instruments were registered against Vodden's lots in Plan BR-2. A map of the Township of Chinguacousy from 1851 shows that Lot 6 Concession 1 EHS was owned by Kings College and leased to John Scott (Figure 3). This does not align with the land registry abstracts.

On 18 April 1856, Vodden had his property subdivided into twelve lots of equal size by John Stoughton Dennis, P.L.S. The plan was called the 'Vodden Block' and it was registered as Plan 10 (BR-10).<sup>19</sup> Lots 1, 3, 5, 7, 9, and 11 of BR-10 fronted onto Main Street and Lots 2, 4, 6, 8, 10,

<sup>14</sup> Peel County Land Registry Office (LRO 43), "PEEL COUNTY (43), CHINGUACOUSY, Book A EAST HURONTARIO STREET; CONCESSION 1 TO 6; WEST HURONTARIO STREET; CONCESSION 1 TO 2," n.d., accessed 30 April 2025, <https://www.onland.ca/ui/43/books/501865/viewer/539011073?page=1>, Instrument No. Patent.

<sup>15</sup> LRO 43, Book A, Illegible Instrument No.

<sup>16</sup> LRO 43, Book A, Unknown/Illegible Instrument Number.

<sup>17</sup> Library and Archives Canada, "Census of 1851," n.d., accessed 30 April 2025, Item ID Number: 23639039. <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=23639039&ecopy=e002365624>.

<sup>18</sup> LRO 43, "Plan 2," n.d., accessed 30 April 2025, <https://www.onland.ca/ui/43/books/41397/viewer/570599457?page=1>.

<sup>19</sup> LRO 43, "Plan 10," n.d., accessed 30 April 2025, <https://www.onland.ca/ui/43/books/41418/viewer/539011330?page=1>.

and 12 fronted onto Hannah Street, a short street that ran parallel with Main Street North to the rear of Lots 1, 3, 5, 7, 9, and 11. A 1857 map of Brampton shows that only Plan BR-10 Lot 2 was developed at the time. The lots along Main Street North were undeveloped, and the Etobicoke Creek passed through them. The remainder of Main Street North between Nelson Street and Queen Street had been densely developed (Figure 3).

Shortly after BR-10's registration, Vodden died. A will instrument between Vodden and an unidentified grantee dated 11 June 1857 and registered 25 March 1858 is in the land registry documentation.<sup>20</sup> Following this instrument, Vodden no longer appears on any other land registry instruments for Concession 1 EHS Lot 6, BR-2, or BR-10. Vodden is also no longer listed on the 1861 census, and Hannah Snell is identified as a widow.<sup>21</sup> Because Vodden is no longer present on land registry documents and no grantee of his will is identified, a window of unclarity exists for each property between the creation of BR-10 and the first instrument to appear for each property in BR-10.

## 4.2 PLAN BR-10

### 4.2.1 48 MAIN STREET NORTH (PLAN BR-10, LOT 7 NORTHWEST PART)

The first instrument registered against BR-10 Lot 7 was a bargain and sale agreement that transferred the entire lot from Alexander Broddy to Thomas Wilson, a marble cutter born in England, on 22 November 1871 for \$900.00.<sup>22</sup> It is likely that the building on the property was developed by the time this sale took place (circa 1870).

Broddy is identified in several additional land registry instruments, including an assignment of mortgage between him and Catherine Guest worth \$599.50 dated 22 January 1872 and a V.O. instrument between him and Maria L. Galbraith dated 27 June 1872.<sup>23</sup> Wilson's ownership ended on 29 April 1873, when he sold the property to Robert Hunter, a hotel keeper, for \$1,000.00.<sup>24</sup> Hunter's ownership lasted until 19 October 1877, when he sold the property to

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<sup>20</sup> LRO 43, Book A, Unknown/Illegible Instrument Number.

<sup>21</sup> Library and Archives Canada, "Census of 1861," n.d., accessed 30 April 2025, Item ID Number: 44066839, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=44066839&ecopy=4108162\\_00257](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=44066839&ecopy=4108162_00257).

<sup>22</sup> Library and Archives Canada, "Census of Canada, 1871," n.d., accessed 30 April 2025, Item ID Number: 40976840, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=40976840&ecopy=4396752\\_00297](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=40976840&ecopy=4396752_00297); LRO 43, "Plan 10," instrument No. 654.

<sup>23</sup> LRO 43, Plan 10, Instrument No. 696; 781.

<sup>24</sup> Library and Archives Canada, "Census of Canada, 1871," n.d., accessed 30 April 2025, Item ID Number: 41505538, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=41505538&ecopy=4396752\\_00368](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=41505538&ecopy=4396752_00368); LRO 43, Plan 10, Instrument No. 1010.

George Hunter, a farmer born in Ireland, for an unidentified amount.<sup>25</sup> A map of the Town of Brampton from 1877 shows Plan BR-10 Lot 7 and a map of Chinguacousy Township identifies that the area bounded by the Grand Trunk Railway, Queen Street, and Main Street had been developed (Figure 3). The map of Brampton shows a cut in the Etobicoke Creek's course to the northeast of the lots in Plan BR-10 (Figure 3). This map data suggests that the Etobicoke Creek was channeled and the properties in Plan BR-10 along Main Street North had been developed over top of the channel.

Although unclear how or when from land registry documentation, the property came under the ownership of William S. Williamson, a cattle salesman.<sup>26</sup> Williamson owned the property until 23 June 1884, when he sold it to George Armstrong, who also worked as a cattle salesman, for \$2,500.00.<sup>27</sup> The land included in this transfer is described as 'undivided half'. Armstrong owned the property until 18 October 1886, when he sold it to Alfred I. Bell, a fruiterer, for \$1,200.00.<sup>28</sup> Bell then sold the property to Agnes F. Hutton on 30 November for \$1,465.78.<sup>29</sup>

On 29 June 1899, a *lis pendens* instrument was registered between Hutton (plaintiff) and B.F. Justin, John R. Barber, and John McMurchy (defendants).<sup>30</sup> The nature of this legal action is unknown. The legal action was resolved on 27 February 1902 and apparently resulted in John McMurchy's ownership of the property. The same day, McMurchy sold the property to William E. Milner for \$6,000.00.<sup>31</sup>

A photograph and postcard from the early 1900s are the first clear depictions of the property (Figure 4 and Figure 5). At the time, the building on the southeast half of BR-10 Lot 7 shared an identical architectural configuration to the building on the southeast part of BR-10 Lot 7 (46

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<sup>25</sup> Library and Archives Canada, "Census of Canada, 1881," n.d., accessed 30 April 2025, Item ID Number: 19750216, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=19750216&ecopy=e008186808>; LRO 43, Plan 10, Instrument No. 2069.

<sup>26</sup> Library and Archives Canada, "Census of Canada, 1891," n.d., accessed 30 April 2025, Item ID Number: 26279233, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26279233&ecopy=30953\\_148163-00433](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26279233&ecopy=30953_148163-00433).

<sup>27</sup> Library and Archives Canada, "Census of Canada, 1891," n.d., accessed 30 April 2025, Item ID Number: 26278947, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26278947&ecopy=30953\\_148163-00427](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26278947&ecopy=30953_148163-00427); LRO 43, Plan 10, Instrument No. 3539.

<sup>28</sup> Library and Archives Canada, "Census of Canada, 1891," n.d., accessed 30 April 2025, Item ID Number: 26279401, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26279401&ecopy=30953\\_148163-00437](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26279401&ecopy=30953_148163-00437); LRO 43, Plan 10, Instrument No. 4077.

<sup>29</sup> LRO 43, Plan 10, Instrument No. 4543.

<sup>30</sup> LRO 43, Plan 10, Instrument No. 6123.

<sup>31</sup> LRO 43, Plan 10, Instrument No. 6506.

Main Street North), the building on the northwest part or BR-10 Lot 9 (42 Main Street North), and the building on the southeast part of BR-10 Lot 9 (northeast half of 36-40 Main Street North).

On 10 September 1909, Milner sold the property to John Hodgson for \$8,000.00.<sup>32</sup> A topographic map from 1909 shows a stone or brick building in the approximate location of the property, suggesting that it had been developed (Figure 6). A fire insurance plan from 1911 shows a two-storey brick building on the Property. A one storey rear wing addition with a frame structure is also shown. The northwest part (48 Main Street North) of the two-storey part of the building was occupied by a jeweler. No use is identified for the rear wing addition. The Etobicoke Creek channel is also present. Its outer, northeast wall passes below the southwest section of the building. No changes to the building or its use are identified on the 1917 fire insurance plan (Figure 7).

Hodgson owned the property until 1 October 1919, when he sold it as two parts. The northwest part (48 Main Street North) was sold to John S. Beck, and the southeast part (46 Main Street North) was sold to Charles R. Magee. Both halves sold for \$3,750.00.<sup>33</sup>

A 1924 fire insurance plan identifies that a new one storey brick rear wing addition had been built. This fire insurance plan does not specify a use for the northwest part of the building. No additional changes are shown on a 1940 fire insurance plan (Figure 7). An air photo from 1946 corroborates the property's configuration (Figure 8).

Beck owned the property until 3 June 1952, when he sold it to Leonard A. Keuleman for \$12,000.00.<sup>34</sup> No changes to the property are depicted on an air photo from the mid- to late-20<sup>th</sup> century or a fire insurance plan from 1971 (Figure 7 and Figure 8). On 29 February 1996, the estate of Leonard Anothony Keuleman transferred the property to Stephen Kiss, Andrew Kiss, Paul Kiss, and Vytas Kiss for \$160,000.00.

Early 21<sup>st</sup> century air photos show that the general configuration of the building has remained largely unchanged since the 1924 addition (Figure 9). A report prepared in 2004 identifies several changes to the property since its development, including painting of the brick on the façade and a configuration change to the façade's first storey. The property is currently occupied by a personal service clinic.

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<sup>32</sup> LRO 43, Plan 10, Instrument No. 8113.

<sup>33</sup> LRO 43, Plan 10, Instrument No. 13253; 13255.

<sup>34</sup> LRO 43, Plan 10, Instrument No. 26217.

#### 4.2.2 52 MAIN STREET NORTH (PLAN BR-10, LOT 5 SOUTHEAST PART)

The first instrument registered against BR-10 Lot 5 was a bargain and sale (by way of mortgage) that transferred the entire lot from William Mahaffy *et ux* to John Greydon, a bricklayer/builder born in Ireland, on 14 February 1870 for \$400.00.<sup>35</sup> On April 1870, two land registry instruments, a quit claim deed and a bargain and sale, were registered. The quit claim deed was from Sarah Rofsten to William Mahaffy and was worth 5 shillings and the bargain and sale was from Robert Rofsten *et ux* to William Mahaffy for 5 shillings.<sup>36</sup> It is likely that the building on the property was developed by the time this sale took place (circa 1870). A map of the Town of Brampton from 1877 shows Plan BR-10 Lot 5 and a map of Chinguacousy Township identifies that the area bounded by the Grand Trunk Railway, Queen Street, and Main Street had been developed (Figure 3). The map of Brampton shows a cut in the Etobicoke Creek's course to the northeast of the lots in Plan BR-10 (Figure 3). This map data suggests that the Etobicoke Creek was channeled and the properties in Plan BR-10 along Main Street North had been developed over top of the channel.

Mahaffy owned the property until 16 January 1878, when he sold it to John Haggert for \$1,470.00.<sup>37</sup> On 6 October 1888, Haggert sold the property to Jeremiah Ryan, a teamster born in Ireland, for \$910.00 and provided him with a \$610.00 mortgage.<sup>38</sup> That same day, Jeremiah Ryan assigned the mortgage to Darius McClure.<sup>39</sup> Shortly thereafter, on 3 November 1888, a \$600.00 mortgage from Ryan to Mary McClure was registered.<sup>40</sup> Ryan owned the property until 8 April 1891, when he sold it to Martin Sitzler, a farmer, for \$4,000.00 and provided Sitzler with a \$1,200.00 mortgage.<sup>41</sup>

Three mortgages were assigned to George Sheard, including one from Jeremiah Ryan worth \$1,372.00 on 13 April 1891, one from Darius McClure worth \$656.39 on 9 November 1891, and

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<sup>35</sup> LRO 43, Plan 10, Instrument No. 275.; Library and Archives Canada, "Census of Canada, 1871," n.d., accessed 30 April 2025, Item ID Number: 40386936, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=40386936&ecopy=4396299\\_00501](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=40386936&ecopy=4396299_00501).

<sup>36</sup> LRO 43, Plan 10, Instrument No. 301; 302.

<sup>37</sup> LRO 43, Plan 10, Instrument No. 2153.

<sup>38</sup> Library and Archives Canada, "Census of Canada, 1881," n.d., accessed 30 April 2025, Item ID Number: 19746492, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=19746492&ecopy=e008186728>; LRO 43, Plan 10, Instrument No. 4504; 4505.

<sup>39</sup> LRO 43, Plan 10, Instrument No. 4506.

<sup>40</sup> LRO 43, Plan 10, Instrument No. 4523.

<sup>41</sup> Library and Archives Canada, "Census of 1851," n.d., accessed 30 April 2025, Item ID Number: 23710787, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=23710787&ecopy=e002365783>; LRO 43, Plan 10, Instrument No. 5034; 5035.

one from Mary McClure worth \$636.73 also on 9 November 1891.<sup>42</sup> Sitzer sold the property to Sheard, a farmer, on 2 December 1893 for \$3,000.00.<sup>43</sup> Sheard owned the property until 24 November 1903 when he sold it to Robert Patterson, an expressman, for \$2,675.00.<sup>44</sup>

A photograph and postcard from the early 1900s are the first clear depictions of the property (Figure 4 and Figure 5). A topographic map from 1909 shows a stone or brick building in the approximate location of the property, suggesting that it had been developed (Figure 6). A fire insurance plan from 1911 shows a two-storey brick building on the Property. A one storey rear wing addition with a frame structure clad in a brick veneer is also shown. The southeast part (52 Main Street North) of the two-storey part of the building was a barber and tobacco store, and the rear wing addition was a billiards hall. The Etobicoke Creek channel is also present. Its outer, northeast wall passes below the southwest section of the building. No changes to the building or its use are identified on the 1917 fire insurance plan. The 1917 fire insurance plan shows that the building was a tobacco store and billiards hall (Figure 7).

On 1 October 1919, Patterson sold the property to Wilbur (Wilbert) C. Bartlett, a laster and boot merchant, for \$8,200.00.<sup>45</sup> Bartlett's ownership lasted until 5 December 1919, when he sold the property to Norman J. Altman (Alteman), a jeweller, for 1.00.<sup>46</sup> The Property was divided into two sections by Altman. On 26 March 1920, he sold the southeast section – the Property at 52 Main Street North – to Samuel Caruso, a fruit merchant born in Italy, for \$6,500.00 and on 21 November, he granted the northwest section (54 Main Street North) to Margaret Worthy and Norman J. Altman.<sup>47</sup>

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<sup>42</sup> LRO 43, Plan 10, Instrument No. 5040; 5133; 5134.

<sup>43</sup> Library and Archives Canada, "Census of Canada, 1891," n.d., accessed 30 April 2025, Item ID Number: 26293830, [https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26293830&ecopy=30953\\_148164-00013](https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26293830&ecopy=30953_148164-00013); LRO 43, Plan 10, Instrument No. 5432.

<sup>44</sup> Library and Archives Canada, "Census of Canada, 1881," n.d., 2025, Item ID Number: 19747440, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=19747440&ecopy=e008186748>; LRO 43, Plan 10, Instrument No. 6794.

<sup>45</sup> Library and Archives Canada, "Census of Canada, 1921," n.d., accessed 30 April 2025, Item ID Number: 64713505, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=64713505&ecopy=e003027133>; LRO 43, Plan 10, Instrument No. 13260.

<sup>46</sup> Library and Archives Canada, "Census of Canada, 1921," n.d., accessed 30 April 2025, Item ID Number: 64731388, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=64731388&ecopy=e003027082>; LRO 43, Plan 10, Instrument No. 13370.

<sup>47</sup> Library and Archives Canada, "Census of Canada, 1931," n.d., accessed 30 April 2025, Item ID Number: 81214387, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=81214387&ecopy=e011670044>; LRO 43, Plan 10, Instrument No. 13507; 26767.

No physical changes to the building on the Property are shown on a 1924 fire insurance plan. Specific uses of the building are also no longer identified. The 1940 fire insurance plan identifies that either a second storey had been built on the first addition, or a new, two-storey addition had been constructed on the building's northeast (rear) elevation (Figure 7). An air photo from 1946 corroborates this configuration (Figure 8).

On 13 September 1973, Enrico Caruso, the executor of Salvatore (Sam) Caruso's estate, granted the property to Leonardo Caruso, Enrico Caruso, Salvatora Caruso, and Salvatore A. Caruso for \$1.00.<sup>48</sup> No changes to the property are depicted on air photos from the mid- to late-20<sup>th</sup> century or a fire insurance plan from 1971 (Figure 7 and Figure 8).

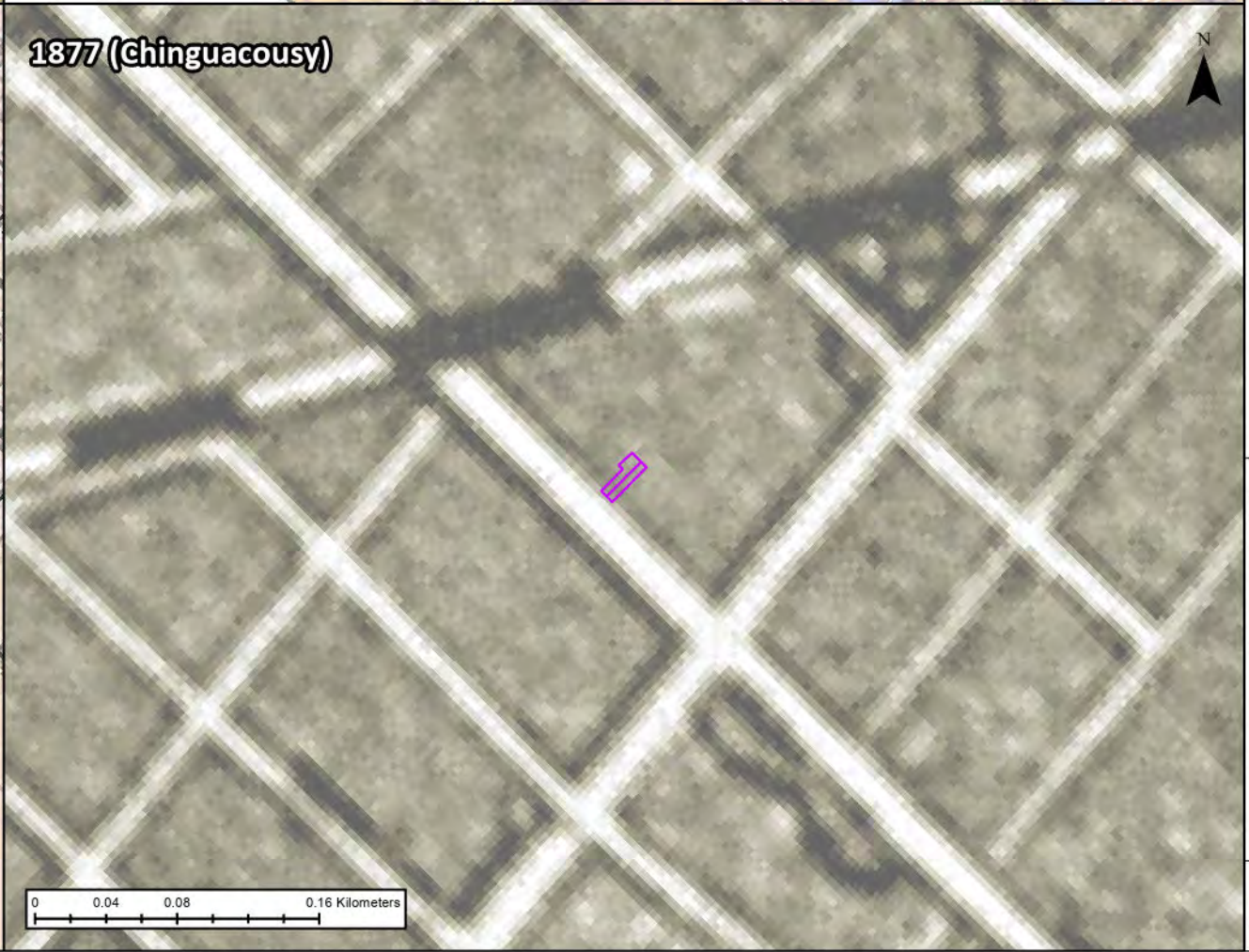
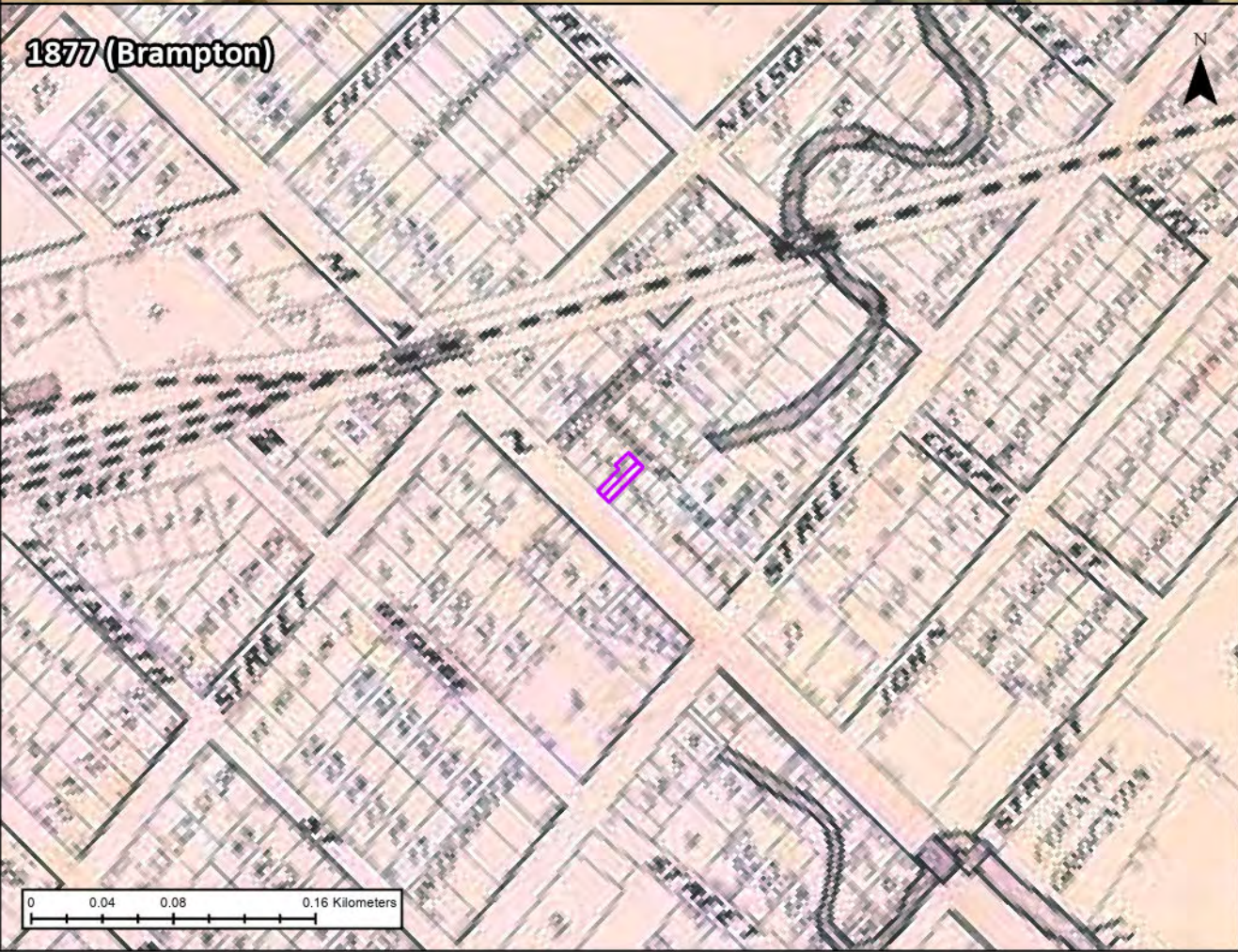
On 4 December 1986, Sammy P. Caruso, Diane M. Caruso, and Lynda C. Caruso, the executors of Salvatore Caruso's estate, granted part of the property to Girolima F. Pio for \$2.00. On 1 December 1987, Leonard Caruso *et al* granted the property to Bramnor Holdings Ltd. Bramnor Holdings Ltd. owned the property until 30 July 1996, when it was transferred to Stephen Kiss, Abdrew Kiss, and Paul Kiss for \$240,000.00.

Air photos from the early 21<sup>st</sup> century do not depict any major discernible changes to the building on the Property (Figure 9).

---

<sup>48</sup> LRO 43, Plan 10, Instrument No. 281004VS.





**TITLE**  
1851, 1857, 1877 (Chinguacousy), and 1877 (Brampton) Historic Maps Showing the Etobicoke Creek

**CLIENT**  
City of Brampton

**PROJECT**  
Heritage Impact Assessment Addendum, 48 and 52 Main Street North, City of Brampton, ON

**PROJECT NO.** LHC0437

**Legend**  
Properties

**NOTE(S)** 1. All locations are approximate.

**REFERENCE(S)**  
Archives of Ontario, 1851. Chinguacousy Township Map #51.

Briston & Fitzgerald. 1857. Plan of the Town of Brampton in the County of Peel. "1857 Map of Downtown Brampton". Digitized map. Accessed 26 May, 2025. <LINK><https://geohub.brampton.ca/documents/a7845387e7284919a1cb766d459a00d3/explore></LINK>

Pope, J.H. 1877 (Brampton). Consolidated Plan of Brampton. Accessed 28 July, 2023. <LINK><https://www.alamy.com/a-map-of-brampton-in-the-illustrated-historical-atlas-of-the-county-of-peel-ontario-1877-image470177752.html>

1877 (Chinguacousy). Southern Part of Chinguacousy. Accessed 28 July, 2023. <LINK><https://digital.library.mcgill.ca/countyatlas/searchmapframes.php></LINK>

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**LHC**  
HERITAGE PLANNING & ARCHAEOLOGY

YYYY-MM-DD 2025-05-26

FIGURE # 3





Main Street, Brampton, Ont.


Main Street, Brampton

Allan Anderson

Legend

Properties

NOTE(S) 1. All locations are approximate.  
REFERENCE(S)  
City of Brampton. n.d. "Preliminary Visual Research: 30-38 Main Street North". Provided by the Owner. Photo. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.

|   |            |                     |
|---|------------|---------------------|
| TITLE<br>Early 20th Century Photo Showing the Properties  |            |                     |
| CLIENT<br>City of Brampton  |            |                     |
| PROJECT<br>Heritage Impact Assessment Addendum, 48 and 52 Main Street North, City of Brampton, ON |            | PROJECT NO. LHC0437 |
|                | YYYY-MM-DD | 2025-05-22          |
|   | FIGURE #   | 4                   |





### Legend

Properties

NOTE(S) 1. All locations are approximate.  
REFERENCE(S)  
City of Brampton. N.d. "Bird's Eye View, Brampton, ON". Provided by the Owner. Postcard.  
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TITLE  
**Early 20th Century Postcard Showing the Properties**

CLIENT  
City of Brampton

PROJECT  
Heritage Impact Assessment Addendum, 48 and 52 Main Street North,  
City of Brampton, ON

PROJECT NO. LHC0437

**LHC**  
HERITAGE PLANNING  
& ARCHAEOLOGY

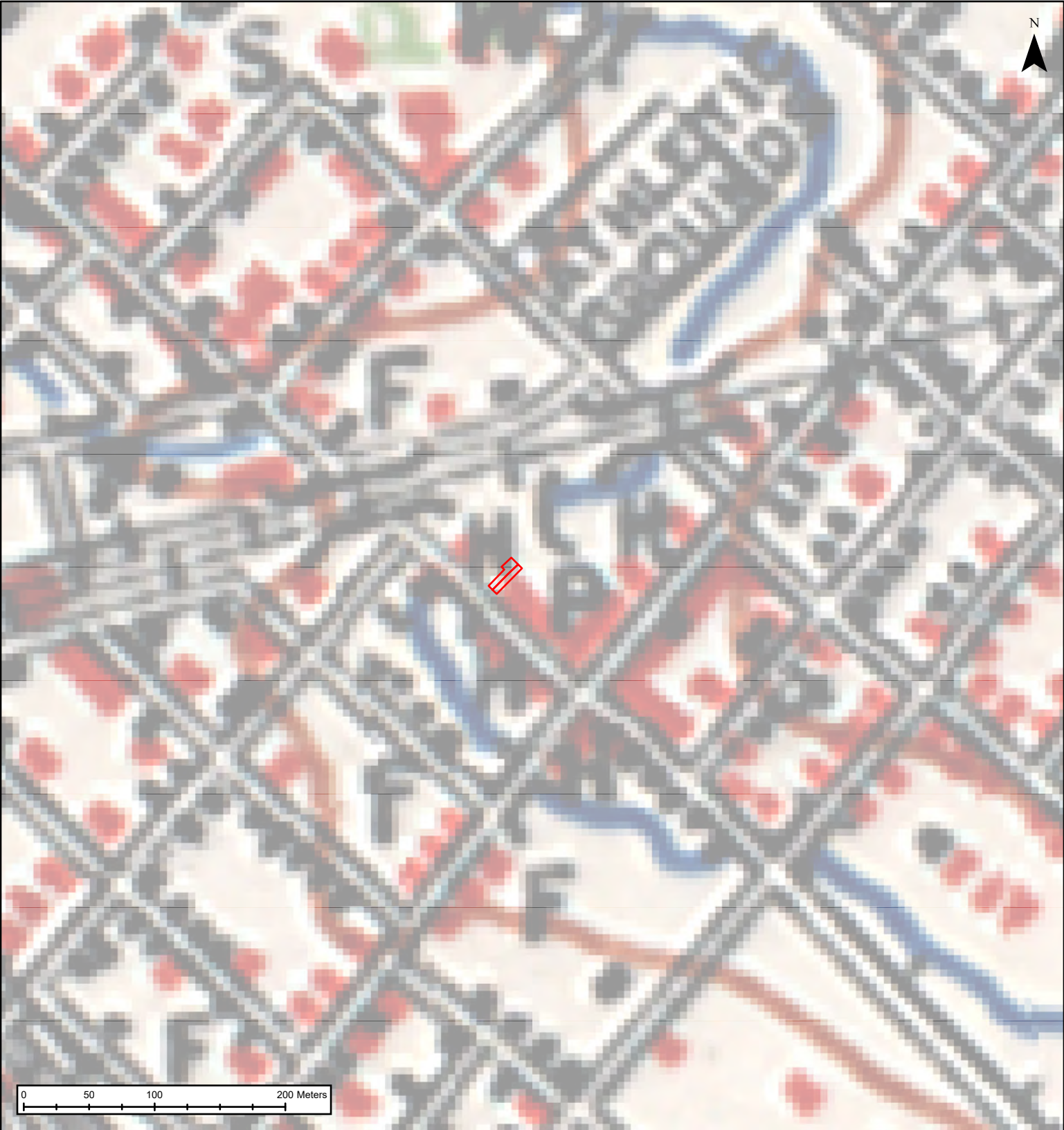
YYYY-MM-DD

2025-05-22


FIGURE #

5






**Legend**

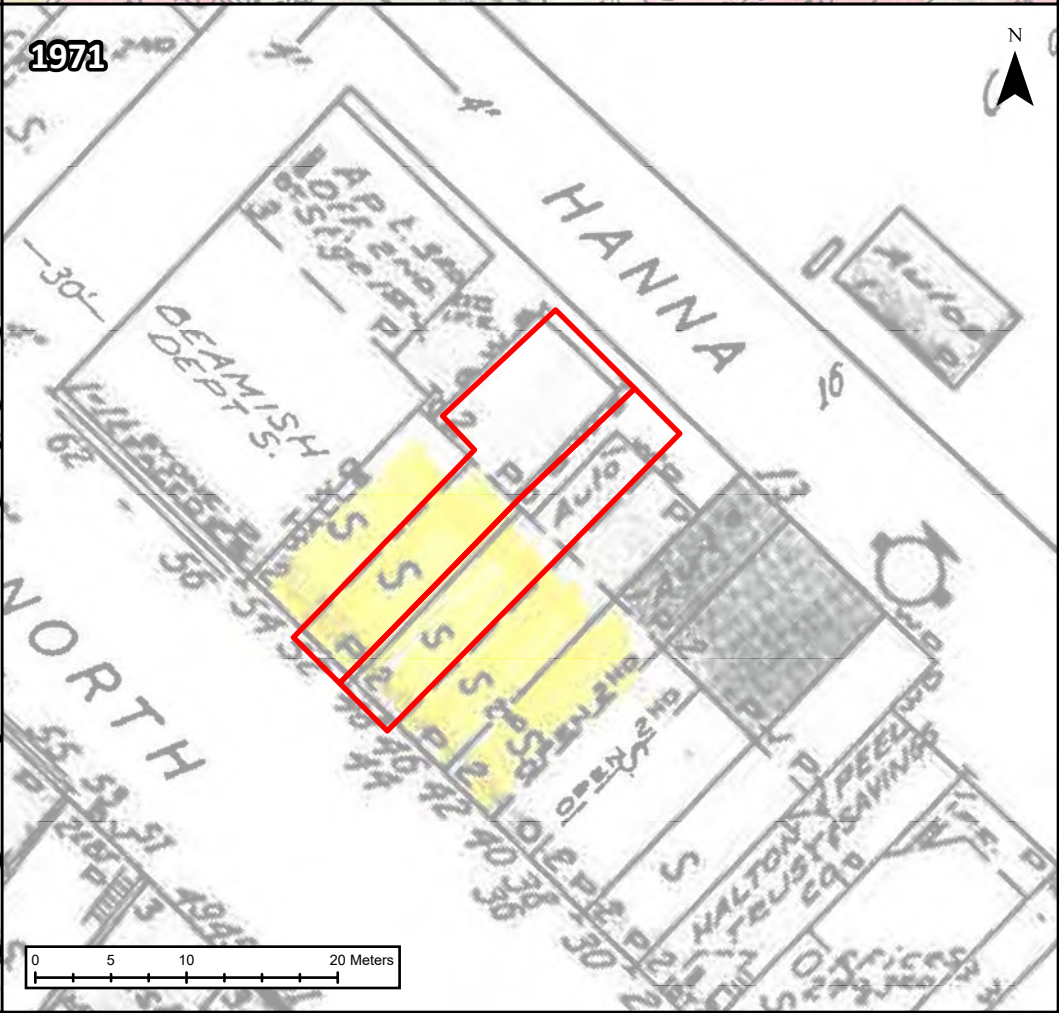
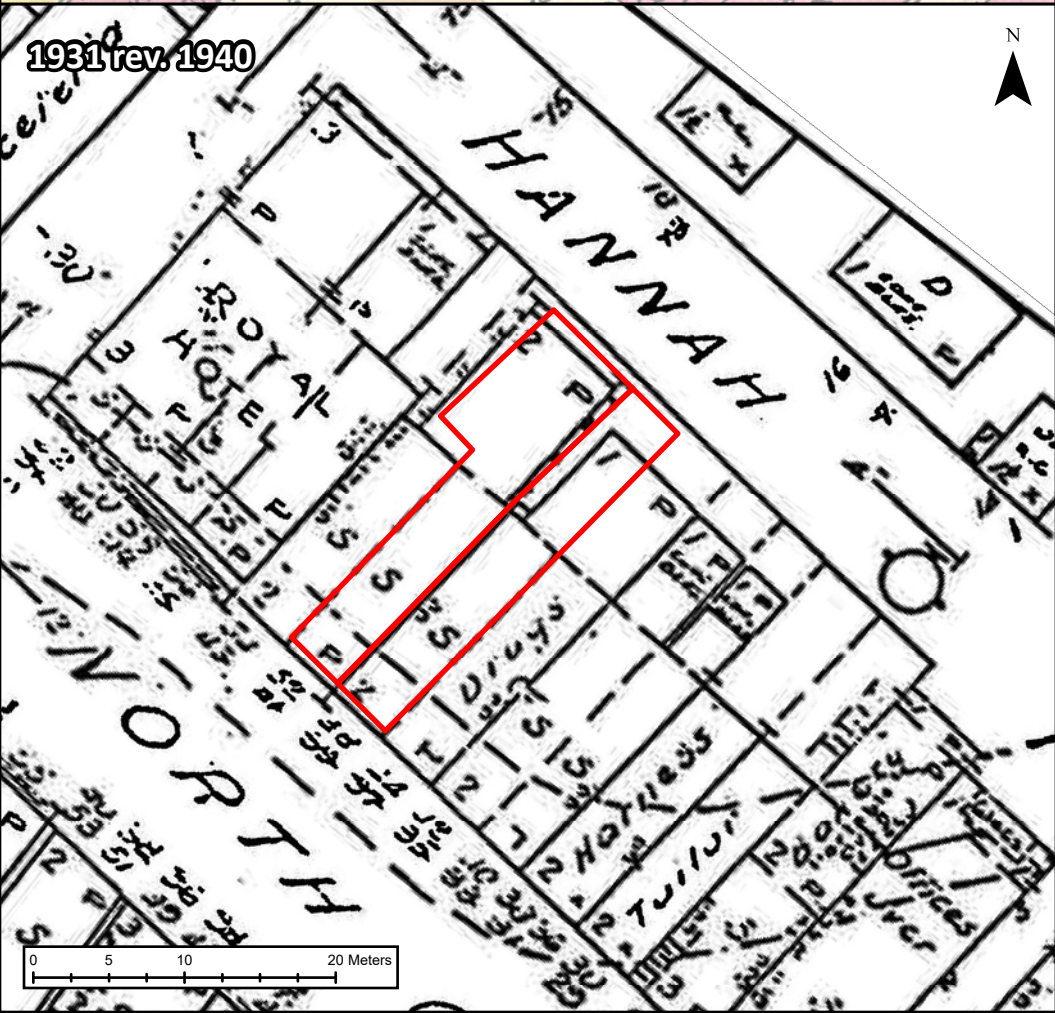
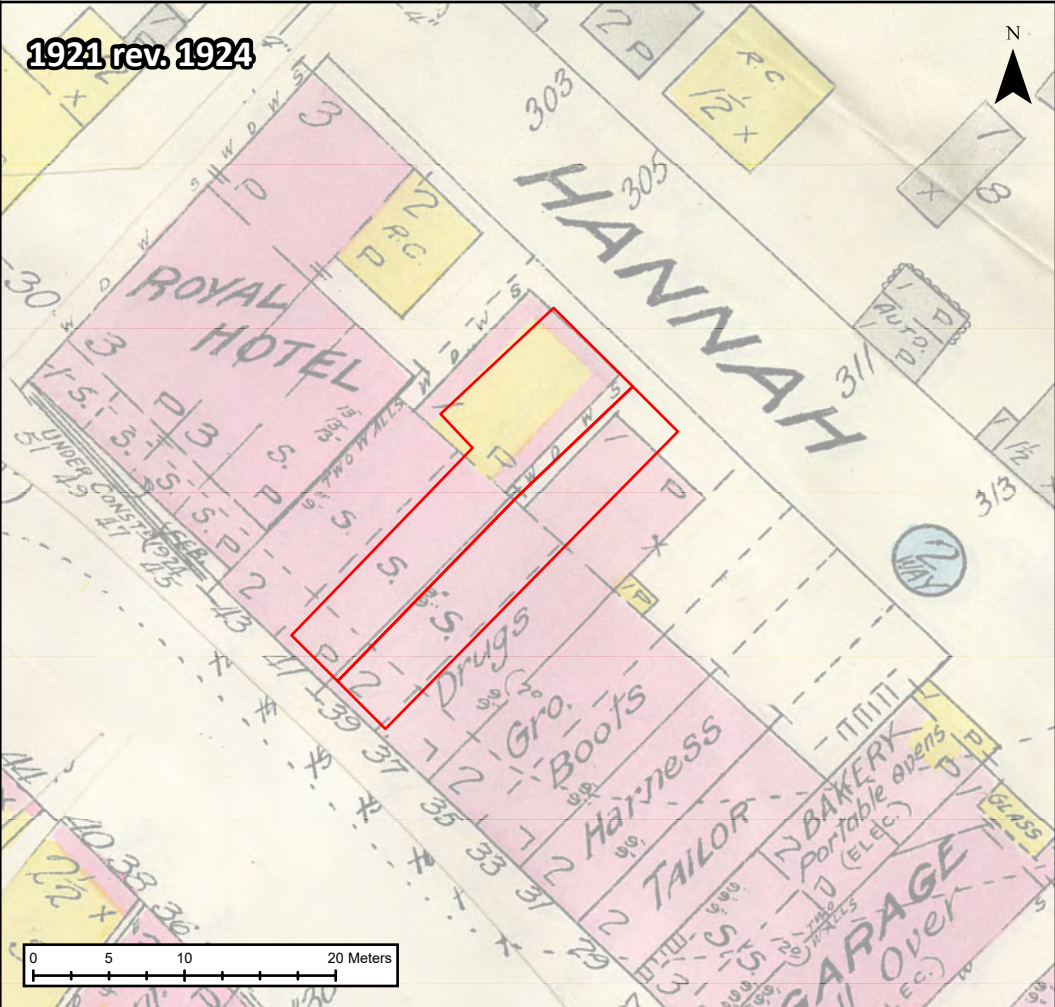
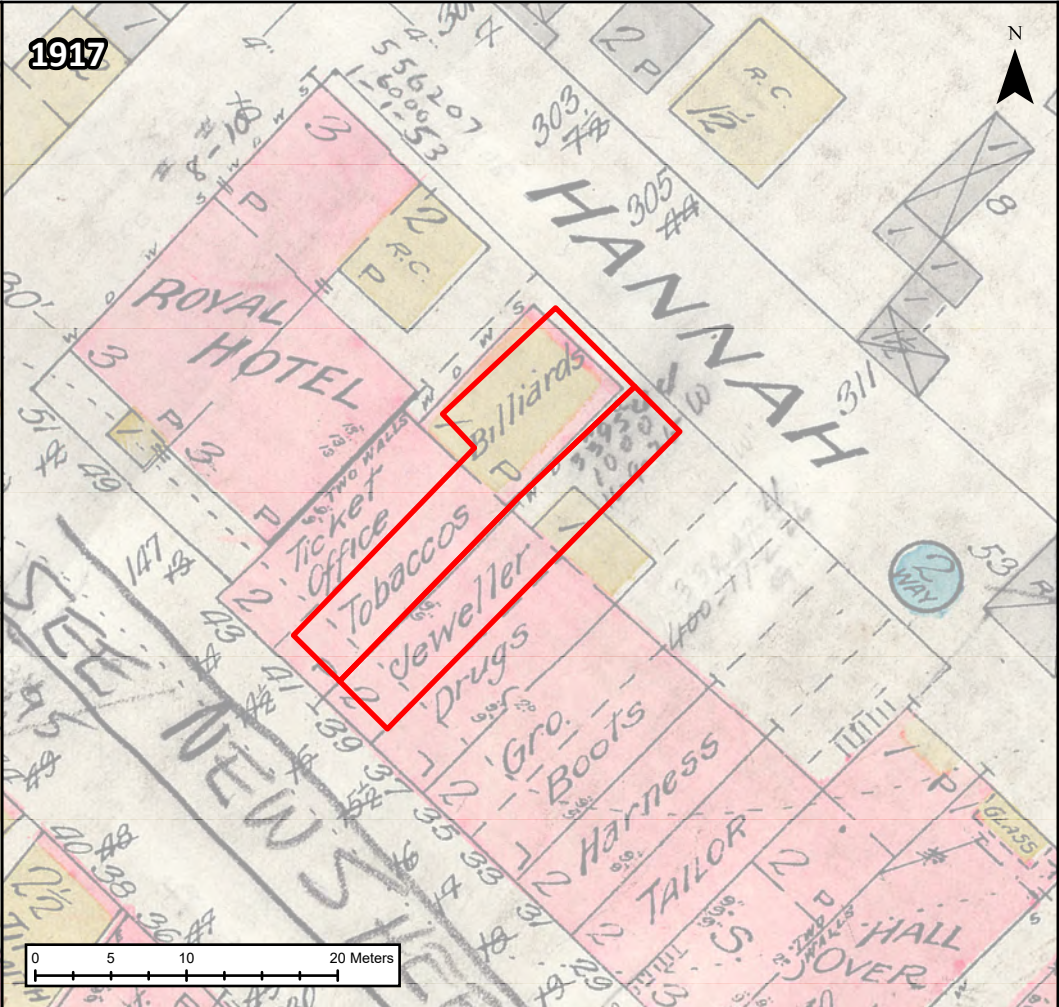
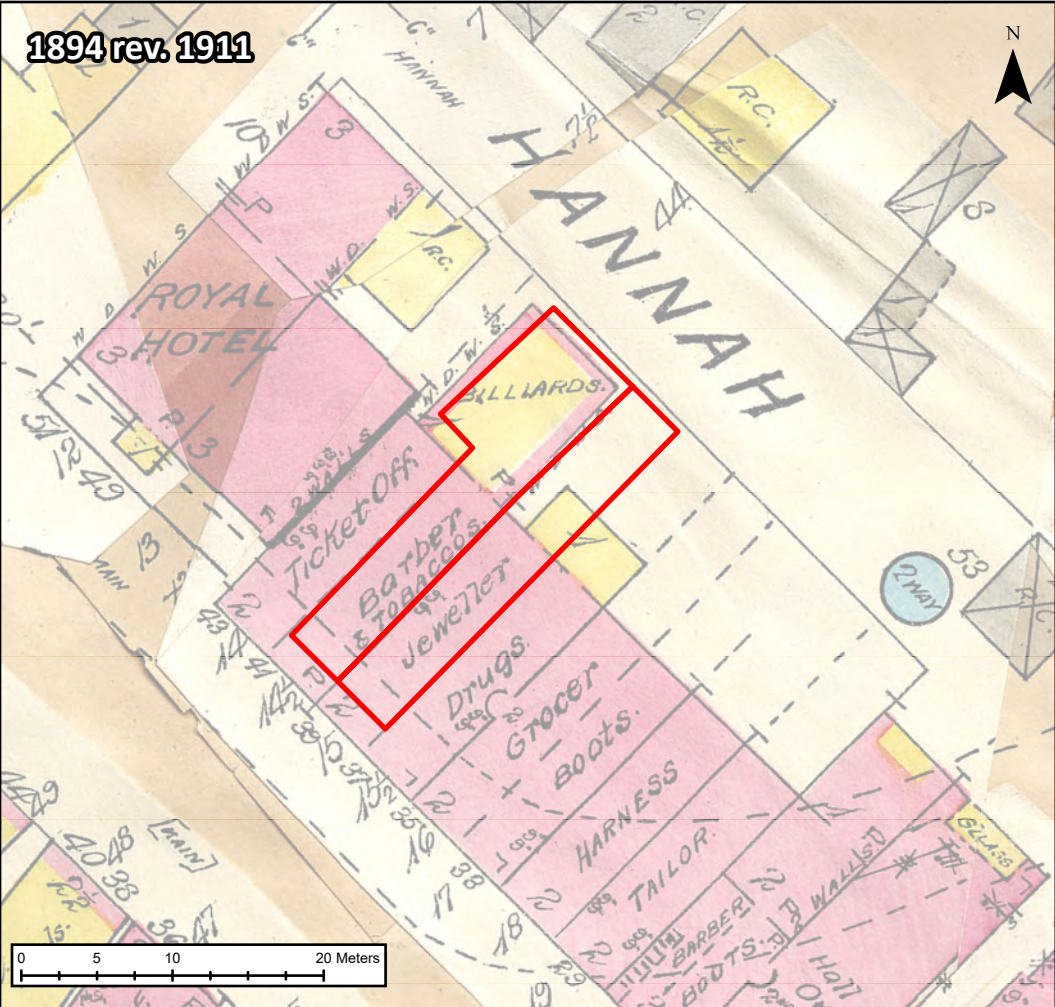
 Properties

NOTE(S) 1. All locations are approximate.

REFERENCE(S)  
Department of Militia and Defence. 1909. Topographic Map Ontario Brampton Sheet. Scale 1:63,360. "Scholars Geoportal". Digitized map. Accessed 01 May, 2025. [https://geo.scholarsportal.info/#r/details/\\_uri@=HTDP63360K030M12\\_1909TIFF&\\_add:true&\\_add:true\\_nozoom:true](https://geo.scholarsportal.info/#r/details/_uri@=HTDP63360K030M12_1909TIFF&_add:true&_add:true_nozoom:true)  
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|  |            |                     |
|--|------------|---------------------|
| TITLE<br>1909 Topographic Map Showing the Properties   |            |                     |
| CLIENT<br>City of Brampton   |            |                     |
| PROJECT<br>Heritage Impact Assessment Addendum, 48 and 52 Main Street North, City of Brampton, ON                      |            | PROJECT NO. LHC0437 |
| <br>HERITAGE PLANNING & ARCHAEOLOGY | YYYY-MM-DD | 2025-05-01          |
|  | FIGURE #   | 6                   |





**Legend**

 Properties

**TITLE**  
1894 rev. 1911, 1917, 1921 rev. 1924, 1931 rev. 1940, and 1971 Fire Insurance Plans Showing the Properties

**CLIENT**  
City of Brampton

**PROJECT**  
Heritage Impact Assessment Addendum, 48 and 52 Main Street North, City of Brampton, ON

**PROJECT NO.** LHC0437

**NOTE(S)** 1. All locations are approximate.  
**REFERENCE(S)**  
City of Brampton. 2004. City of Brampton – Heritage Resource Inventory, Field Survey: Built Heritage Features, 42, 46, 48 Main St North and Theatre Lane.

Goad, Chas E.  
1894 rev. 1911. Brampton, Ont. Scale 1:600. Plate 2. "Archeion AAO". Digitized map. Accessed 1 May, 2025. <https://www.archeion.ca/panel-2>

1917. Brampton, Ont., Peel County. Scale 1:600. Plate 10. "Archeion AAO". Digitized map. Accessed 1 May, 2025. <https://www.archeion.ca/fire-insurance-plan-brampton-1917>

Underwriters Survey Bureau. 1921 rev. 1924. Brampton, Ont. Scale 1:1,200. Plate 9. "Archeion AAO". Digitized map. Accessed 1 May, 2025. <https://www.archeion.ca/fire-insurance-plan-brampton-1922>

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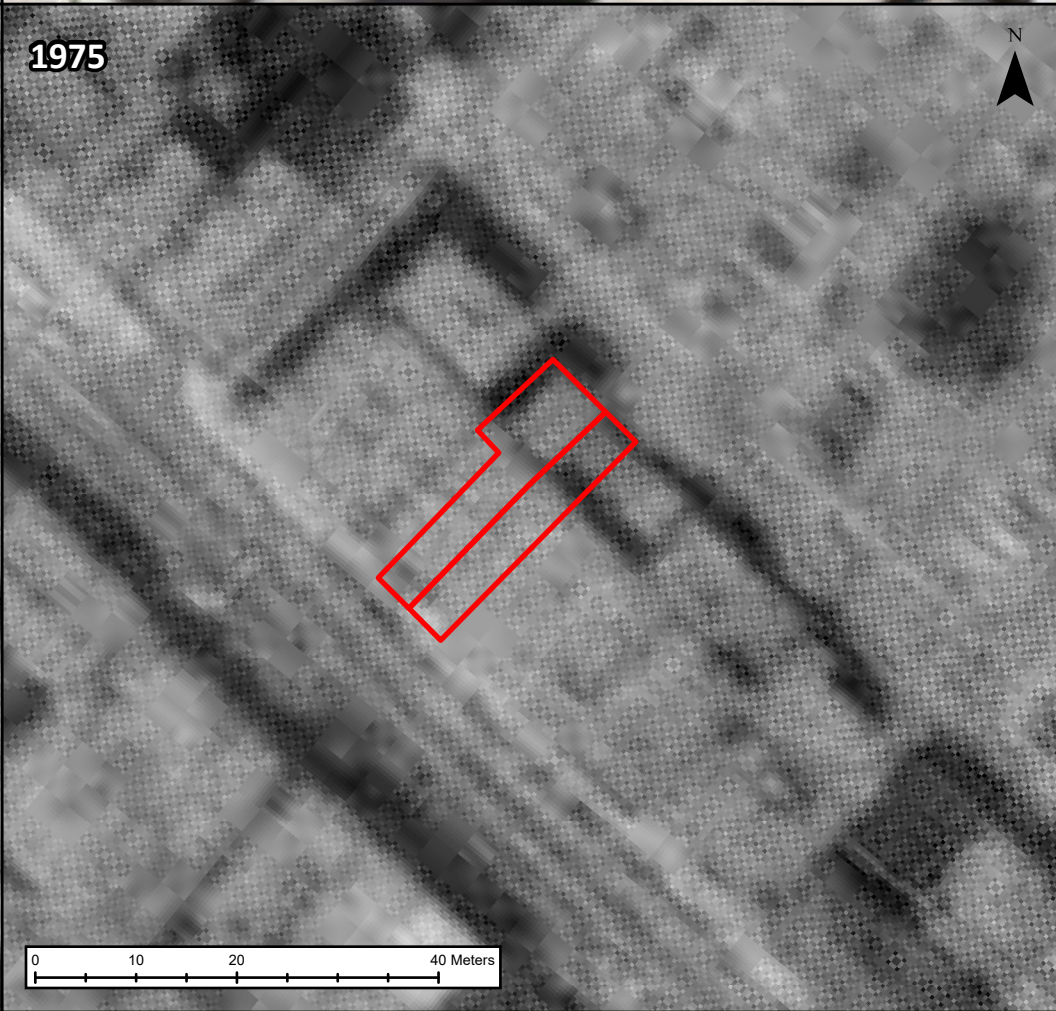
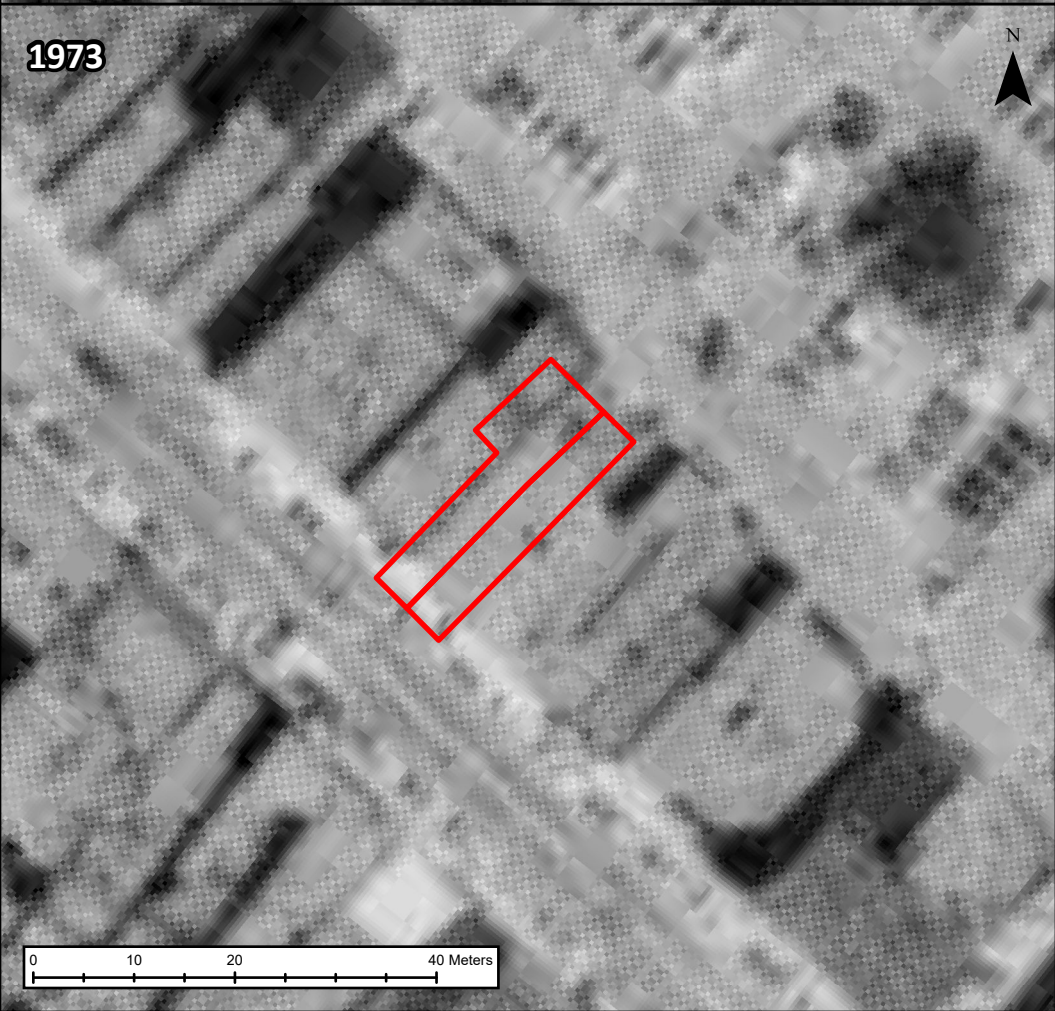
YYYY-MM-DD

2025-05-01


FIGURE #

**7**





**Legend**

 Properties

---

**TITLE**  
1946, 1961, 1968, 1973, and 1975 Historic Aerial Photographs Showing the Properties

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**CLIENT**  
City of Brampton

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**PROJECT**  
Heritage Impact Assessment Addendum, 48 and 52 Main Street North, City of Brampton, ON

PROJECT NO. LHC0437

---

**NOTE(S)** 1. All locations are approximate.

**REFERENCE(S)**  
City of Toronto.  
1961. Photo 261. "Aerial Photographs 1961". Digitized air photo. Accessed 13 September, 2023. [https://www.toronto.ca/ext/archives/s0012/f11961/s0012\\_f11961\\_it0261.jpg](https://www.toronto.ca/ext/archives/s0012/f11961/s0012_f11961_it0261.jpg)  
1968. Photo 289. "Aerial Photographs 1968". Digitized air photo. Accessed 13 September, 2023. [https://www.toronto.ca/ext/archives/s0012/f11968/s0012\\_f11968\\_it0289.jpg](https://www.toronto.ca/ext/archives/s0012/f11968/s0012_f11968_it0289.jpg)  
1973. Photo 287. "Aerial Photographs 1973". Digitized air photo. Accessed 13 September, 2023. [https://www.toronto.ca/ext/archives/s0012/f11973/s0012\\_f11973\\_it0287.jpg](https://www.toronto.ca/ext/archives/s0012/f11973/s0012_f11973_it0287.jpg)  
1975. Photo 323. "Aerial Photographs 1975". Digitized air photo. Accessed 13 September, 2023. [https://www.toronto.ca/ext/archives/s0012/f11975/s0012\\_f11975\\_it0323.jpg](https://www.toronto.ca/ext/archives/s0012/f11975/s0012_f11975_it0323.jpg)


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National Air Photo Library. 1946. A10071-40. Roll A10071 Line 9E Photo 40.

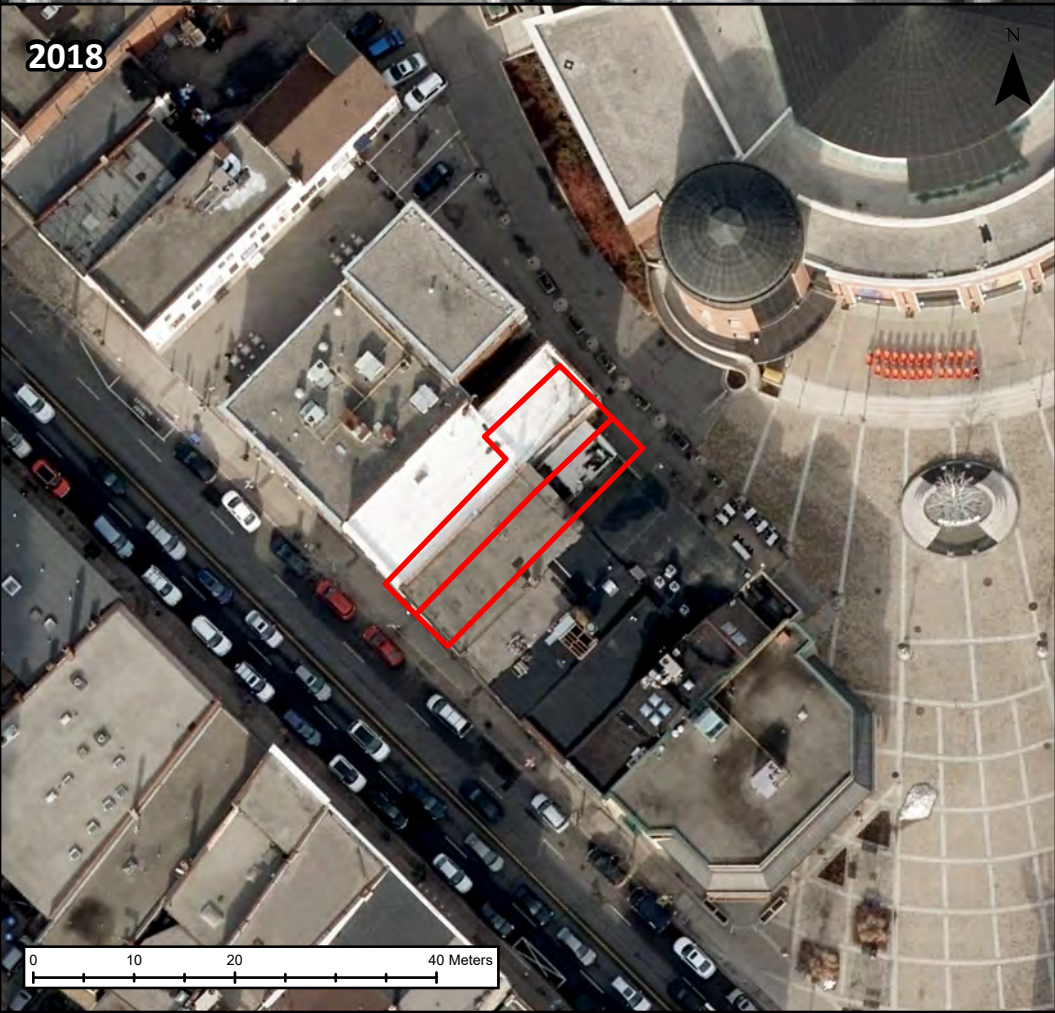
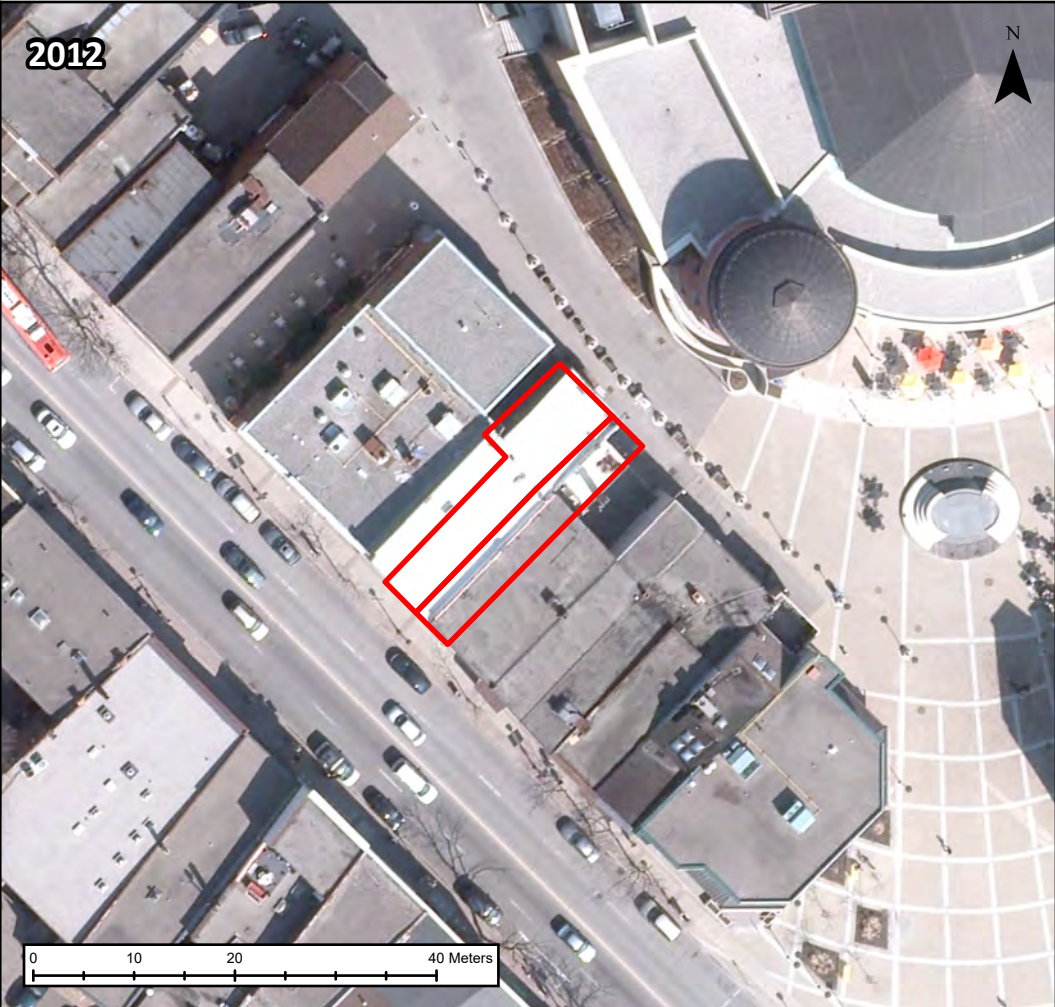
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| <br>HERITAGE PLANNING<br>& ARCHAEOLOGY | YYYY-MM-DD | 2025-05-02 |
|   | FIGURE #   | 8          |





**Legend**

Properties

---

**TITLE**  
2000, 2006, 2012, 2018, and 2023 Historic Aerial Photographs Showing the Properties

**CLIENT**  
City of Brampton


**PROJECT**  
Heritage Impact Assessment Addendum, 48 and 52 Main Street North, City of Brampton, ON

PROJECT NO. LHC0437

NOTE(S) 1. All locations are approximate.

REFERENCE(S)  
City of Brampton.  
2000. 2000 Spring Orthophoto. Imagery Dataset.  
2006. 2006 Spring Orthophoto. Imagery Dataset.  
2012. 2012 Spring Orthophoto. Imagery Dataset.  
2018. 2018 Fall Orthophoto. Imagery Dataset.  
2023. 2023 Spring Orthophoto. Imagery Dataset.

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|---|------------|------------|
| <br><small>HERITAGE PLANNING<br/>&amp; ARCHAEOLOGY</small> | YYYY-MM-DD | 2025-05-02 |
|   | FIGURE #   | 9          |



## 5 EXISTING CONDITIONS

### 5.1 SURROUNDING CONTEXT

The Properties are in Downtown Brampton. They are located on the northeast side of Main Street North between Vivian Lane/Chess Park to the northwest and Queen Street East to the southeast (Photo 1). The Properties are bound by Main Street North to the southwest and Garden Square to the northeast. The Property at 48 Main Street North is also bound by the commercial properties at 52 Main Street North (northwest) and 46 Main Street North (southeast), and the Property at 52 Main Street North is also bound by the commercial properties at 54 Main Street North (northwest) and 48 Main Street North (southeast).

Main Street North (Hurontario Street) is a major arterial street that extends between Valleywood Boulevard in the Town of Caledon to the northwest and Lakeshore Road East in the City of Mississauga to the southeast. Near the Properties, Main Street North has two northwest- and two south-east bound lanes with asphalt driving surfaces. Concrete curbs, landscaping brick boulevards, concrete sidewalks with asphalt sections, and metal streetlights are on both sides of the street. Mature deciduous trees are on the northeast side of the street (Photo 2).

Garden Square is open space located between the buildings on the triangular block bound by Theatre Lane to the north, Queen Street East to the southeast, and Main Street North to the southwest. An asphalt laneway connecting Garden Square to Theatre Lane, streetlights with concrete bases, and concrete planters with perennial flowers comprises the part of Garden Square to the northeast of the Properties (Photo 3).

The commercial property at 46 Main Street North is a rectangular lot of approximately 120 square metres. It is occupied by a rectangular two-storey brick building with a stucco and glass storefront. The commercial property at 54 Main Street North is an irregularly shaped lot of approximately 85 square metres. It is occupied by a rectangular two-storey brick building with a metal and glass storefront (Photo 4).

The surrounding area is generally composed of attached rows of two- to three-storey commercial and institutional blocks that commonly date from the mid- to late-19<sup>th</sup> century. A range of materials are present on nearby commercial buildings including brick, stucco, concrete, clapboard siding, brick veneer, stone veneer, and wood. The first storey of most buildings is extensively covered in glass. There is not a dominant architectural style present; most buildings are vernacular commercial buildings (Photo 1 and Photo 2). Most buildings that front onto Main Street North are setback approximately 4.5 metres from the edge of the street.





Photo 1. View north showing the commercial block at 28-60 Main Street North



Photo 2. View northwest showing Main Street North (Hurontario Street) near the Properties





Photo 3. View northwest showing the asphalt laneway connecting Garden Square to Theatre Lane



Photo 4. View northeast showing the properties at 46 (outer right), 48 (inner right), 52 (inner left), and 54 (outer left) Main Street North

## 5.2 ADJACENT AND NEARBY HERITAGE PROPERTIES

The *Brampton Plan* defines adjacent as:

“those lands adjoining a property of the heritage register or lands that are directly across from and near to a property on the heritage register and separated by land used as a private or public road, highway, street, lane, trail, right-of-way, walkway, green space, park and/or easement, or an intersection of any of these; whose location has the potential to have an impact on a property on the heritage register; or as otherwise defined in a Heritage Conservation District Plan adopted through a by-law.”<sup>49</sup>

Using this definition, the Property at 48 Main Street North is adjacent to the properties at 45 Main Street North (Photo 5), 46 Main Street North (Photo 6), and 52 Main Street North; and the Property at 52 Main Street North is adjacent to 48 Main Street North. All adjacent heritage properties are *Listed* on the City’s *Municipal Register of Cultural Heritage Resources* under Section 27 Part IV of the *OHA*.



Photo 5. View southwest showing the heritage property adjacent to 48 Main Street North at 45 Main Street North (centre)

<sup>49</sup> City of Brampton, “Brampton Plan,” 3-153.





Photo 6. View northeast showing the heritage property adjacent to 48 Main Street North at 46 Main Street North (centre)

Twelve additional heritage properties that do not meet the City's definition of adjacent are located on Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street, including:

- 15 Main Street North (*Designated*, Section 29 Part IV);
- 19-25 Main Street North (*Designated*, Section 29 Part IV);
- 31 Main Street North (*Listed*, Section 27 Part IV);
- 33 Main Street North (*Listed*, Section 27 Part IV);
- 41 Main Street North (*Listed*, Section 27 Part IV);
- 41 Main Street North (*Listed*, Section 27 Part IV);
- 42 Main Street North (*Listed*, Section 27 Part IV);
- 70-74 Main Street North (*Listed*, Section 27 Part IV);
- 73 Main Street North (*Listed*, Section 27 Part IV);
- 75 Main Street North (*Listed*, Section 27 Part IV); and,
- 82 Main Street North (*Listed*, Section 27 Part IV).

Aside from the theatre at 82 Main Street North, each of these properties is occupied by a mid-to late-19<sup>th</sup> century commercial block.

## 5.3 PROPERTIES

### 5.3.1 48 MAIN STREET NORTH

The Property at 48 Main Street North is a rectangular lot of approximately 120 square metres on the northeast side of Main Street North. The building on the Property is a middle part of an attached row of commercial buildings spanning the municipal addresses from 28 to 60 Main Street North. The building is a rectangular two-storey commercial building clad in stucco and sheet metal with a one-storey rear wing addition (Photo 7). The Property can be accessed from the sidewalk on Main Street North and Garden Square.

#### 5.3.1.1 BUILDING EXTERIOR

The building is a rectangular two-storey structure with rectangular one-storey rear wing addition. Its primary, southwest elevation has a two-bay façade composed of an entrance door and two-leaf sliding door on its first storey, and two windows on its second storey (Photo 8 and Photo 9). A full below grade basement is present beneath the main part of the building.

The southwest elevation of the building is clad in painted stucco with a sheet metal section between the first and second storeys. Wall details include a shallow corbel covered in stucco and a bracketed wooden frieze (Photo 10). The second storey of the northwest elevation is composed of brick set in a stretcher bond. The rear wing addition is clad in painted stucco (Photo 12). The main building and rear wing addition both have flat roofs with plain parapets. A brick single stack chimney is located along the southeast elevation of the rear wing addition.

Two windows are on the second storey of the building's southwest elevation. They have segmentally arched openings, superimposed voussoir clad in stucco, and plain lug sills clad in stucco.<sup>50</sup> The main entrance on the building's southwest elevation has a flatheaded opening, plain trim, and a single leaf glazed metal door. The second entrance on the southwest elevation – a two-leaf sliding door – has a flatheaded opening and plain trim. Both door leaves are clad in commercial advertisements (Photo 8).

Two windows are on the second storey of the northeast elevation. Both windows have plain trim inside their structural openings and lug sills. The southeast window has a flatheaded

---

<sup>50</sup> It is most likely that the windows match those on the second storey of the buildings on the properties at 42 and 46 Main Street North.

opening and the northwest window has a segmentally arched opening with a voussoir composed of a single row of soldier course brick (Photo 11).

Two entrances with unique characteristics are present on the northeast elevation, including one on the second storey of the main building and one on the first storey of the rear wing addition. The second storey door has a flatheaded opening, jack arch composed of one row of soldier course brick, plain trim inside the structural opening, and single-leaf door with a window. It provides access to a wood deck on the roof of the rear wing addition (Photo 11). The first storey door has a flatheaded opening, plain metal trim inside the structural opening, sidelights, and a single-leaf door with a window. The door and sidelights are covered in commercial advertisements. The entrance is accessed from grade (Photo 12).



Photo 7. View northeast showing the Property at 48 Main Street North





Photo 8. View northeast showing the first storey of the southwest elevation of the building on 48 Main Street North



Photo 9. View northeast showing the second storey of the southwest elevation of the building on 48 Main Street North





Photo 10. View northeast showing the corbel and frieze

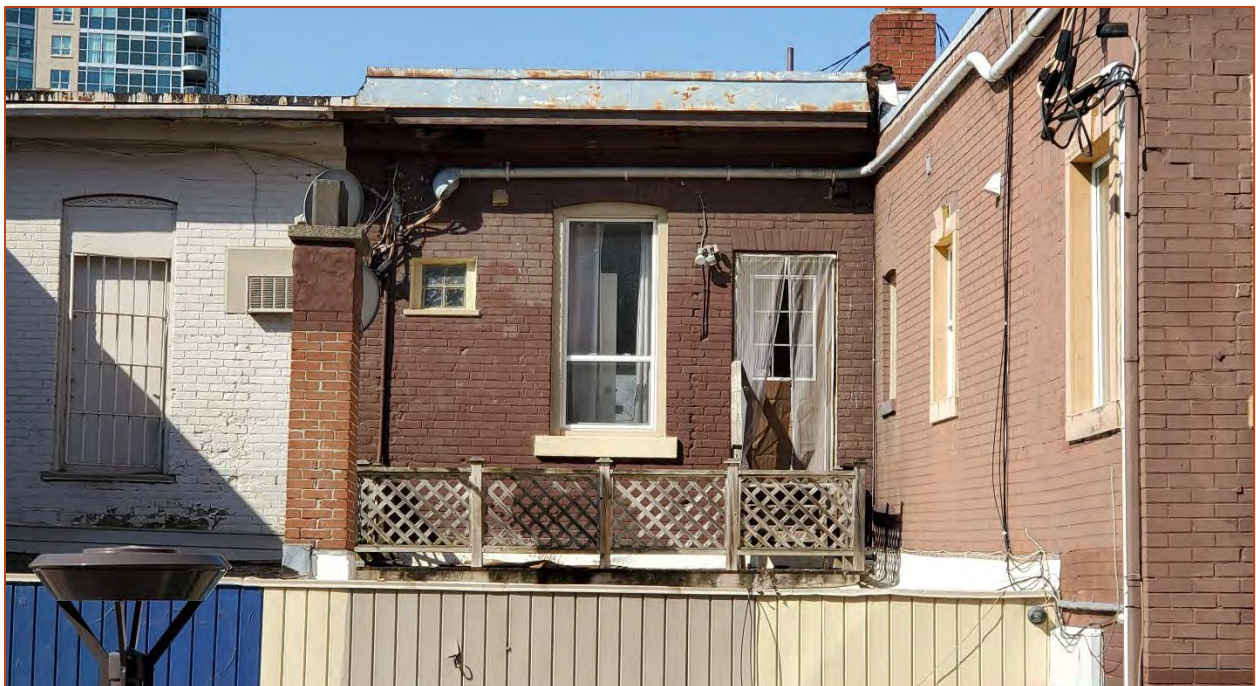


Photo 11. View southwest showing the second storey of the northeast elevation of the building on 48 Main Street North





Photo 12. View southwest showing the first storey of the northeast elevation of the building on 48 Main Street North

### 5.3.1.2 BUILDING INTERIOR

The Main Street North entrance provides access to the main building. The first storey of the building is divided into four main rooms. The largest room comprises most of the main building and is directly accessed from the Main Street North entrance. It has a laminate floor, moulded baseboards, exposed brick or wallboard clad walls, crown moulding, and wood clad ceiling. Two hot water radiators are present near the southwest part of this main room (Photo 13). A hallway connected to the northeast wall of the main room provides access to three other rooms – including a washroom and two rooms with unidentified uses – and the northwest entrance (Photo 14). The washroom has a laminate floor, moulded baseboards, painted or wallpapered walls, and a smooth ceiling. The hallway and two other rooms have tiled floors, exposed brick or painted wallboard walls, and dropped acoustic ceilings (Photo 15 and Photo 16).

The basement is accessed from a straight run of wooden stairs in the northeast corner of the main building (Photo 17). The basement has three rooms with unidentified uses. The southwest room has a concrete and tile floor, brick and stone foundation walls, and a wallboard clad ceiling (Photo 18). The southwest wall comprises the outer wall of the

Etobicoke Creek channel. A steel beam runs along the top of the southeast wall and is also likely associated with the channel. The room near the centre of the basement has a concrete floor, wallboard walls, and a wallboard ceiling with foam attached in certain locations (Photo 19). The northeast room has a concrete floor; brick, stone, and wallboard clad walls; and an unfinished ceiling. A closed stairway is centrally located along the northeast basement wall (Photo 20).

The second storey of the building is accessed from the adjacent property at 52 Main Street North (see Section 5.3.2.2).



Photo 13. View northeast showing the main room in the building on 48 Main Street North



Photo 14. View northeast showing the hallway



Photo 15. View north showing one of the rooms with an unidentified use





Photo 16. View northwest showing one of the rooms with an unidentified use



Photo 17. View south showing the basement stairway Kept for now (context/layout)



Photo 18. View south showing the southwest basement room



Photo 19. View northwest showing the room near the centre of the basement





Photo 20. View northeast showing the northeast basement room

### 5.3.2 52 MAIN STREET NORTH

The Property at 52 Main Street North is an irregularly shaped lot of approximately 155 square metres on the northeast side of Main Street North. The building on the Property is a middle part of an attached row of commercial buildings spanning the municipal addresses from 28 to 60 Main Street North. The building is a rectangular two-storey commercial building clad in brick and sheet metal with a two-storey rear wing addition (Photo 22). The Property can be accessed from the sidewalk on Main Street North and Garden.

#### 5.3.2.1 BUILDING EXTERIOR

The building is a rectangular two-storey structure with rectangular two-storey rear wing addition. Its primary, southwest elevation has a two-bay façade composed of an entrance door and picture window on its first storey, and two windows on its second storey (Photo 22 and Photo 23). A full below grade basement is present beneath the building.

The building's first storey is clad in black sheet metal and the second storey is composed of painted brick set in a stretcher bond. Wall details include a shallow, flat skirt roof with a metal capped bracket; shallow corbel composed of two brick rows; and a bracketed wooden frieze (Photo 23 and Photo 24). The rear wing addition is composed of painted brick set in a stretcher bond (Photo 25 and Photo 26). The main building and rear wing addition both have

flat roofs with plain parapets. Brick single stack chimneys are located along the southeast elevation of the building.

Two windows are on the second storey of the building's southwest elevation. They have flat openings with rounded top corners; voussoir composed of three rows of header course brick, where the uppermost course is superimposed; lug sill capped in metal; and plain trim inside the structural opening. The main entrance on the building's southwest elevation has a flatheaded opening, plain trim, and a single leaf glazed metal door. The second entrance on the southwest elevation comprises a multi-panel garage door with glazed panels (Photo 23).

Windows in the rear wing addition typically have either a segmentally arched openings with a voussoir composed of one row of soldier coursed brick or a flatheaded opening. Most windows have plain trim outside of their structural openings (Photo 25 and Photo 26). Three entrances with unique characteristics are present on the rear wing addition. The entrance on the northeast elevation has a flatheaded opening, decorative wood trim outside the structural opening, a sidelight on its northwest side, and a single-leaf door with a window. The entrance is accessed from the straight run of five concrete stairs (Photo 26 and Photo 27). The eastmost entrance on the southeast elevation has a flatheaded opening, no trim, and has a solid single-leaf door (Photo 27). The westmost entrance on the southeast elevation has a flatheaded opening, plain trim outside the structural opening, and a single-leaf door with a window (Photo 28).



Photo 21. View northeast showing the Property at 52 Main Street North





Photo 22. View northeast showing the first storey of the southwest elevation of the building on 52 Main Street North



Photo 23. View northeast showing the second storey of the southwest elevation of the building on 52 Main Street North including the skirt roof and metal capped bracket





Photo 24. View northeast showing the corbel and frieze



Photo 25. View southwest showing the northeast elevation of the rear wing addition





Photo 26. View southwest showing the northeast and southeast elevations of the rear wing addition



Photo 27. View west showing the entrance on the northeast elevation and the eastmost entrance on the southeast elevation



Photo 28. View southwest showing the westmost entrance on the southeast elevation

### 5.3.2.2 BUILDING INTERIOR

The first storey of the building is divided into distinct southwest and northeast sections. The Main Street North entrance provides access to the southwest section. The northwest section is divided into three rooms, including a former dining room, kitchen, and washroom. The Main Street North entrance provides access to the dining room. The dining room has a concrete and tile floor, moulded baseboards, wallboard wall, and wood clad ceiling. A hot water radiator is present along the northwest wall (Photo 29). The kitchen has a tile and laminate floor, wallboard walls, and a wood clad ceiling (Photo 30). The washroom has a tile floor and wallboard walls.

A doorway accessed from a stairway with two stairs provides access to a hallway in the building's rear wing addition. The hallway has a carpeted floor, moulded baseboards, wallboard walls, wallboard ceiling, and a hot water radiator along its northeast wall (Photo 31). The hallway provides access to the northeast suite, the basement stairway, the stairway leading to the second storey of 48 Main Street North and 52 Main Street North, and the westmost entrance on the southeast elevation.

The northeast section of the first storey is accessible from a door on the northwest wall of the hallway and from the door on the northeast side of the building's rear wing addition. This section is composed of one open room and a washroom. The open room has a laminate floor,



moulded baseboards, wallboard and brick print walls, dropped acoustic ceiling, and a hot water radiator along its southeast wall (Photo 32 and Photo 33). The washroom has a tile floor, moulded baseboards, and wallboard walls.

The second storey is accessed from an “L” shaped stairway connected to the first storey hallway. The stairway has carpeted treads, wood stringers, and a wood handrail (Photo 34). The stairway terminates at a multi-level hallway providing access to three residential suites (Photo 35). The first suite accessed from the stairway – Unit 2 – comprises the second storey of the rear wing addition on the building at 52 Main Street North. Unit two is composed of a multi-use open space and washroom. The multi-use open space has a wood floor, moulded baseboards, wallboard walls, dropped acoustic ceiling, and hot water radiators on its northwest and southeast walls (Photo 36). A kitchen is located in the north corner of the northwest elevation. The washroom has a tile floor, plain baseboards, tile and wallboard walls, and wallboard ceiling.

A two-riser staircase providing access to the upper part of the multi-level stairway provides access to a hallway leading to the other two residential suites, including Unit 1 and an unnumbered unit. Unit 1 comprises the second storey of the building on 52 Main Street North. It is composed of a multi-use open space and washroom. The multi-use open space has a tile and wood floor, moulded baseboards, wallboard walls, dropped acoustic ceiling, and hot water radiators on its southwest and southeast elevations. The washroom has a tile floor, plain baseboards, and wallboard walls and ceiling (Photo 37).

The unnumbered residential suite is accessed at the southeast terminus of the hallway. It comprises the second storey of the building on 48 Main Street North. The unnumbered suite is composed of a multi-use open space and washroom. The multi-use open space has a tile and laminate floor, wallboard walls, dropped acoustic ceiling, and a hot water radiator on its southwest elevation. The washroom has a tile floor, plain baseboards, and wallboard walls and ceiling (Photo 38). A door on the northeast elevation provides access to a rear deck on the rear wing addition of the building on 48 Main Street North (Photo 39).

The basement is accessed from a straight run of wooden stairs accessed from the hallway on the first story. The basement has three rooms, including two beneath the main building and one beneath the rear wing addition. The southwest room – located beneath the main building – has a concrete floor, concrete and concrete block walls, and an unfinished ceiling (Photo 41). The outer wall of the Etobicoke Creek channel has been removed from the basement and its remnants are surrounded by concrete block piers. The room near the centre of the basement – located beneath the main building – has a concrete floor; stone and brick northeast, southeast, and northwest walls; wood clad southwest wall; and an unfinished ceiling. A closed stairway is located in the north corner of the northwest wall (Photo 42). The northeast room

has a concrete floor; concrete and brick northeast, southeast, and northwest walls; stone southwest wall; and an unfinished ceiling. Brick columns and steel jack posts are located near the middle of the basement floor (Photo 43). A stairway providing access to the eastmost entrance on the southeast elevation is centrally located on the northeast elevation (Photo 44). A segmentally arched voussoir composed of one row of soldier course brick is present above the door between the centre and northeast rooms (Photo 45).



Photo 29. View southwest showing the dining room



Photo 30. View southwest showing the kitchen



Photo 31. View northeast showing the hallway





Photo 32. View south showing the northeast section of the first storey



Photo 33. View northeast showing the northeast section of the first storey





Photo 34. View northeast showing the lower section of the “L” shaped stairway



Photo 35. View north showing the “L” shaped stairway and hallway



Photo 36. View southwest showing Unit 2 in the second storey of the rear wing addition of the building on 52 Main Street North



Photo 37. View northeast showing Unit 1 in the second storey of the main building on 52 Main Street North





Photo 38. View northeast showing the unnumbered unit in the second storey of the main building on 48 Main Street North

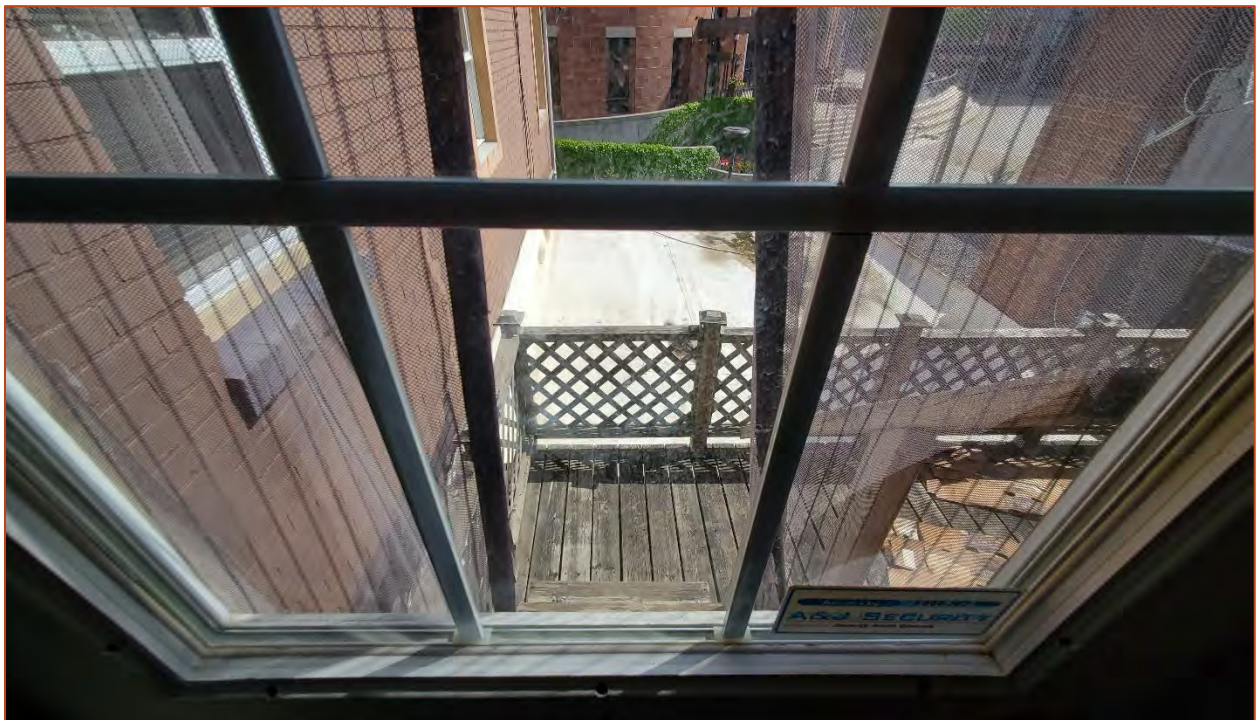


Photo 39. View northeast showing the rear deck on the roof of the rear wing addition on the building on 48 Main Street North





Photo 40. View northeast showing the basement stairway



Photo 41. View southwest showing the southwest concrete block basement wall in the southwest room beneath the main building on 52 Main Street North





Photo 42. View southwest showing the centre basement room beneath the main building on 52 Main Street North



Photo 43. View west showing the northeast basement room beneath the rear wing addition of the building on 52 Main Street North





Photo 44. View northeast showing the stairway providing access to the eastmost entrance on the southeast elevation



Photo 45. View southwest showing the voussoir over the door provided access between the centre and northeast rooms in the basement

## 6 UNDERSTANDING OF CULTURAL HERITAGE VALUE OR INTEREST

The Properties were evaluated against *O. Reg. 9/06* under the *OHA* using research and analysis presented in Section 4 and Section 5 of this HIA Addendum. The findings are presented in Table 4 and Table 5 .

Table 4. *Ontario Regulation 9/06* Evaluation for 48 Main Street North

| Criterion   | Criterion Met | Justification  |
|---|---------------|--|
| <b>1. The property has design value or physical value because it is a rare, unique, representative, or early example of a style, type, expression, material or construction method.</b> | No            | <p>The Property does not have design value or physical value because it is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.</p> <p>The building on the Property is part of a late 19<sup>th</sup> century commercial block. It is a vernacular commercial building, and it is not a rare, unique, representative, or early example.</p> <p>The building on the Property is not rare because there are numerous examples of late 19<sup>th</sup> century commercial blocks at or near the intersection of Main Street and Queen Street (see Section 4, Section 5.1 and Section 5.2).</p> <p>The building on the Property is not unique because it is a simple version of a late 19<sup>th</sup> century commercial block and is not the only one of its kind or a prototype (see Section 4, Section 5.1 and Section 5.2).</p> <p>The building on the Property is not representative because it does not serve as a portrayal or symbol of a late 19<sup>th</sup> century commercial block (see Section 5.3.1).</p> <p>The building on the Property is not an early example of a 19<sup>th</sup> century commercial block. It was built c. 1870 during a period of rapid development in Brampton. Numerous other late 19<sup>th</sup> century commercial blocks were developed before or</p> |

| Criterion  | Criterion Met | Justification  |
|--|---------------|--|
|  |               | around the same time (see Section 4, Section 5.1 and Section 5.2).   |
| <b>2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.</b>  | No            | <p>The Property does not have design value or physical value because it displays a high degree of craftsmanship or artistic merit.</p> <p>The building on the Property does not demonstrate craftsmanship or artistic merit in a greater than normal quality. No evidence was found that indicates the building was built with high quality materials or involved the skill of a craftsman to build (see Section 5.3.1).</p> |
| <b>3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.</b>  | No            | <p>The Property does not have design value or physical value because it demonstrates a high degree of technical or scientific achievement.</p> <p>No evidence was found that indicates special technical expertise or scientific achievement is associated with this Property (see Section 5.3.1).</p>   |
| <b>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</b> | Yes           | <p>The Property is directly associated with downtown Brampton's building boom that occurred during the 1860s and 1870s because of an economic upturn. Specifically, the Property is connected with commercial block development in the historic core of Brampton (Four Corners) (see Section 4).</p>   |



| Criterion  | Criterion Met | Justification  |
|--|---------------|--|
| <b>5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</b>                   | No            | <p>The Property does not have historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p>The development of Brampton and the 'Four Corners' area is well understood. The Property does not offer any new knowledge. There is no evidence to suggest that this criterion is met (see Section 4).</p>  |
| <b>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</b> | No            | <p>The Property does not have historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.</p> <p>An architect, artist, builder, designer, or theorist related to the Property was not identified. There is no evidence to suggest that this criterion is met (see Section 5.3.1).</p>   |
| <b>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</b>   | Yes           | <p>The Property is in an area that has a definable character, and it helps to support that character. The section of Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street West is defined by two-to three-storey, late 19<sup>th</sup> century commercial buildings/blocks developed during a time of rapid expansion in Brampton. The building on the Property is in keeping with the general form of the street and helps to support its character (see Section 5.1).</p> |

| Criterion  | Criterion Met | Justification   |
|--|---------------|---|
| <b>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</b> | Yes           | <p>The Property has a relationship with its context that is important to understand the meaning of the property and its context.</p> <p>The Property's most immediate link is a physical link to the buildings at 46 Main Street North and 52 Main Street North. These buildings share similar architectural features and were likely developed at the same time and have a distinct and uniform character.</p> <p>The Property is also functionally linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. Buildings in this area have been continuously used for commercial purposes since their development, and they have retained this function. The building on the Property's first storey storefront continues to exhibit this functional link.</p> <p>The Property is also visually linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street West. Buildings in this area share many similar architectural attributes that create a distinct visual cohesiveness between properties.</p> <p>The Property is also historically linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street West. The Property, collectively with the other late 19<sup>th</sup> century commercial blocks in the area, contribute to the historical understanding Main Street North, the Four Corners, and Brampton.</p> |



| Criterion   | Criterion Met | Justification  |
|---|---------------|--|
|   |               | The Property is also historically linked to the channelization of the Etobicoke Creek. The Etobicoke Creek was channeled in the mid- to late-19 <sup>th</sup> century and its path traveled through the southwest part of the Property. It is possible that the development of the building on the Property relates to the Etobicoke Creek's channelization (see Section 4 and Section 5.1).                       |
| <b>9. The property has contextual value because it is a landmark.</b> | No            | <p>The Property does not have contextual value because it is a landmark. The MCM defines landmark as:</p> <p><i>...a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.</i></p> <p>There is no evidence to suggest that this criterion is met (see Section 5).</p> |

Table 5. *Ontario Regulation 9/06* Evaluation for 52 Main Street North

| Criterion  | Criterion Met | Justification  |
|--|---------------|--|
| <b>1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.</b> | No            | <p>The Property does not have design value or physical value because it is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.</p> <p>The building on the Property is part of a late 19th century commercial block. It is a vernacular commercial building, and it is not a rare, unique, representative, or early example.</p> <p>The building on the Property is not rare because there are numerous examples of late 19th century commercial blocks at or near the intersection of Main Street and Queen Street (see Section 4, Section 5.1, and Section 5.2).</p> <p>The building on the Property is not unique because it is a simple version of a late 19th century commercial block and is not the only one of its kind or a prototype (see Section 4, Section 5.1, and Section 5.2).</p> <p>The building on the Property is not representative because it does not serve as a portrayal or symbol of a late 19th century commercial block (see Section 5.3.2).</p> <p>The building on the Property is not an early example of a 19th century commercial block. It was built c. 1870 during a period of rapid development in Brampton. Numerous other late 19th century commercial blocks were developed before or around the same time (see Section 4, Section 5.1, and</p> |



| Criterion  | Criterion Met | Justification  |
|--|---------------|--|
|  |               | Section 5.2).  |
| <b>2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.</b>  | No            | <p>The Property does not have design value or physical value because it displays a high degree of craftsmanship or artistic merit.</p> <p>The building on the Property does not demonstrate craftsmanship or artistic merit in a greater than normal quality. No evidence was found that indicates the building was built with high quality materials or involved the skill of a craftsman to build (see Section 5.3.2).</p> |
| <b>3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.</b>  | No            | <p>The Property does not have design value or physical value because it demonstrates a high degree of technical or scientific achievement.</p> <p>No evidence was found that indicates special technical expertise or scientific achievement is associated with this Property (see Section 5.3.2).</p>   |
| <b>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</b> | Yes           | The Property is directly associated with downtown Brampton's building boom that occurred during the 1860s and 1870s because of an economic upturn. Specifically, the Property is connected with commercial block development in the historic core of Brampton (Four Corners) (see Section 4).  |
| <b>5. The property has historical value or associative value because it yields, or has the</b>   | No            | The Property does not have historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.   |

| Criterion  | Criterion Met | Justification   |
|--|---------------|---|
| <b>potential to yield, information that contributes to an understanding of a community or culture.</b>   |               | The development of Brampton and the 'Four Corners' area is well understood. The Property does not offer any new knowledge. There is no evidence to suggest that this criterion is met (see Section 4).  |
| <b>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</b> | No            | <p>The Property does not have historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.</p> <p>An architect, artist, builder, designer, or theorist related to the Property was not identified. There is no evidence to suggest that this criterion is met (see Section 5.3.2).</p>  |
| <b>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</b>   | Yes           | The Property is in an area that has a definable character, and it helps to support that character. The section of Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street West is defined by two- to three-storey, late 19th century commercial buildings/blocks developed during a time of rapid expansion in Brampton. The building on the Property is in keeping with the general form of the street and helps to support its character (see Section 5.1). |
| <b>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</b>   | Yes           | <p>The Property has a relationship with its context that is important to understand the meaning of the property and its context.</p> <p>The Property's most immediate link is a physical link to the buildings at 48 Main Street North and 54 Main Street North. These buildings share similar architectural features and were likely developed at the same time and have</p>   |



| Criterion | Criterion Met | Justification   |
|-----------|---------------|---|
|           |               | <p>a distinct and uniform character.</p> <p>The Property is also functionally linked to the other late 19th century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. Buildings in this area have been continuously used for commercial purposes since their development, and they have retained this function. The building on the Property's first storey storefront continues to exhibit this functional link.</p> <p>The Property is also visually linked to the other late 19th century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street West. Buildings in this area share many similar architectural attributes that create a distinct visual cohesiveness between properties.</p> <p>The Property is also historically linked to the other late 19th century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/ Nelson Street West. The Property, collectively with the other late 19th century commercial blocks in the area, contribute to the historical understanding Main Street North, the Four Corners, and Brampton.</p> <p>The Property is also historically linked to the channelization of the Etobicoke Creek. The Etobicoke Creek was channeled in the mid- to late-19<sup>th</sup> century and its path traveled through the southwest part of the Property. It is possible that the development of the building on the Property relates to the Etobicoke Creek's channelization (see Section 4 and Section 5.1).</p> |

| Criterion   | Criterion Met | Justification   |
|---|---------------|---|
| <b>9. The property has contextual value because it is a landmark.</b> | No            | <p>The Property does not have contextual value because it is a landmark. The MCM defines landmark as:</p> <p>...a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.</p> <p>There is no evidence to suggest that this criterion is met (see Section 5).</p> |

## 6.1 SUMMARY OF EVALUATION

In LHC's professional opinion, the Property at 48 Main Street North and the Property at 52 Main Street North both meet criteria 4, 7, and 8 of *O. Reg. 9/06* for their historical or associative value and contextual value.

Per Part 3.(1).4 of *Ontario Regulation 385/21*, “[t]he description of heritage attributes must explain how each heritage attribute contributes to the cultural heritage value or interest of the property.”<sup>51</sup> Part of the Properties' contextual value is associated with the Etobicoke Creek channel, which has been largely removed from the basement of the building on the Property at 52 Main Street North. Accordingly, no heritage attributes connected with the Etobicoke Creek channel exist for this Property.

## 6.2 PROPOSED STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

### 6.2.1 48 MAIN STREET NORTH

#### 6.2.1.1 PROPERTY DESCRIPTION

The property at 48 Main Street North is a rectangular lot on the northeast side of the street with an approximate area of 120 square metres. A two-storey commercial building constructed c. 1870 is on the property. The property is legally described as PT LT 7, VODDEN BLK, PL BR10 AS IN RO1109559 in the City of Brampton, in the Regional Municipality of Peel.

#### 6.2.1.2 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The property has associative value because it is directly associated with downtown Brampton's building boom that occurred during the 1860s and 1870s because of an economic upturn. Specifically, the property is connected with commercial block development in the historic core of Brampton (Four Corners).

The property has contextual value because it is in an area that has a definable character, and it helps to support that character. The section of Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West is defined by two- to three-storey, late 19<sup>th</sup> century commercial buildings/blocks developed during a time of rapid expansion in Brampton. The building on the property is in keeping with the general form of the street and helps to support its character.

The property has contextual value because it has a relationship with its context that is important to understand the meaning of the property and its context. The property's most

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<sup>51</sup> Province of Ontario, “Ontario Regulation 385/21: GENERAL,” last modified 31 May 2021, accessed 29 May 2025, <https://www.ontario.ca/laws/regulation/r21385>, Section 3.(1).4.



immediate link is a physical link to the buildings at 46 Main Street North and 52 Main Street North. These buildings share similar architectural features and were likely developed at the same time and have a distinct and uniform character.

The property is functionally linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. Buildings in this area have been continuously used for commercial purposes since their development, and they have retained this function. The building on the property's first storey storefront continues to exhibit this functional link.

The property is visually linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. Buildings in this area share many similar architectural attributes that create a distinct visual cohesiveness between properties.

The property is historically linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. The property, collectively with the other late 19<sup>th</sup> century commercial blocks in the area, contribute to the historical understanding Main Street North, the Four Corners, and Brampton.

The property is also historically linked to the channelization of the Etobicoke Creek. The Etobicoke Creek was channeled in the mid- to late-19th century and its path traveled through the southwest part of the Property. It is possible that the development of the building on the Property relates to the Etobicoke Creek's channelization.

#### **6.2.1.3 HERITAGE ATTRIBUTES**

The heritage attributes that illustrate the cultural heritage value or interest of 48 Main Street North include:

- The orientation and position of the building on Main Street North (criteria 4, 7, and 8 of *O. Reg. 9/06*); and,
- The scale and massing of the building (criteria 4, 7, and 8 of *O. Reg. 9/06*).
- Architectural details on the building's primary, southwest façade that reflect its status as a late 19<sup>th</sup> century commercial block including the:
  - Commercial storefront (criteria 4, 7, and 8 of *O. Reg. 9/06*);
  - Two bay second storey defined by window openings with voussoirs and lug sills (criteria 4, 7, and 8 of *O. Reg. 9/06*);
  - Wood frieze with decorative bracket (criteria 4, 7, and 8 of *O. Reg. 9/06*);

- Shallow corbel composed of two brick rows (criteria 4, 7, and 8 of *O. Reg. 9/06*); and,
- Decorative wooden bracket at the building's west terminus (criteria 4, 7, and 8 of *O. Reg. 9/06*).
- The stone Etobicoke Creek channel wall forming the southwest basement wall (criterion 8 of *O. Reg. 9/06*).

The property's heritage attributes do not include:

- The one-storey rear wing addition; and,
- Any interior components of the building aside from the stone Etobicoke Creek channel.

## **6.2.2 52 MAIN STREET NORTH**

### **6.2.2.1 PROPERTY DESCRIPTION**

The property at 52 Main Street North is a rectangular lot on the northeast side of the street with an approximate area of 155 square metres. A two-storey commercial building constructed c. 1870 is on the property. The property is legally described as PT LT 5, VODDEN BLK, PL BR10 AS IN RO1120423 in the City of Brampton, in the Regional Municipality of Peel.

### **6.2.2.2 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST**

The property has associative value because it is directly associated with downtown Brampton's building boom that occurred during the 1860s and 1870s because of an economic upturn. Specifically, the Property is connected with commercial block development in the historic core of Brampton (Four Corners).

The property has contextual value because it is in an area that has a definable character, and it helps to support that character. The section of Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West is defined by two- to three-storey, late 19<sup>th</sup> century commercial buildings/blocks developed during a time of rapid expansion in Brampton. The building on the property is in keeping with the general form of the street and helps to support its character.

The property has contextual value because it has a relationship with its context that is important to understand the meaning of the property and its context. The property's most immediate link is a physical link to the buildings at 48 Main Street North and 54 Main Street North. These buildings share similar architectural features and were likely developed at the same time and have a distinct and uniform character.

The property is functionally linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. Buildings in this area have been continuously used for commercial purposes since their development, and they have retained this function. The building on the property's first storey storefront continues to exhibit this functional link.

The property is visually linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. Buildings in this area share many similar architectural attributes that create a distinct visual cohesiveness between properties.

The property is historically linked to the other late 19<sup>th</sup> century commercial blocks on Main Street North between Queen Street East/Queen Street West and Theatre Lane/Nelson Street West. The property, collectively with the other late 19<sup>th</sup> century commercial blocks in the area, contribute to the historical understanding Main Street North, the Four Corners, and Brampton.

The property is also historically linked to the channelization of the Etobicoke Creek. The Etobicoke Creek was channeled in the mid- to late-19th century and its path traveled through the southwest part of the Property. It is possible that the development of the building on the Property relates to the Etobicoke Creek's channelization.

### **6.2.2.3 HERITAGE ATTRIBUTES**

The heritage attributes that illustrate the cultural heritage value or interest of 52 Main Street North include:

- The orientation and position of the building on Main Street North (criteria 4, 7, and 8 of *O. Reg. 9/06*); and,
- The scale and massing of the building (criteria 4, 7, and 8 of *O. Reg. 9/06*).
- Architectural details on the building's primary, southwest façade that reflect its status as a late 19<sup>th</sup> century commercial block including the:
  - Commercial storefront (criteria 4, 7, and 8 of *O. Reg. 9/06*);
  - Two bay second storey defined by window openings with voussoirs and lug sills (criteria 4, 7, and 8 of *O. Reg. 9/06*);
  - Wood frieze with decorative bracket (criteria 4, 7, and 8 of *O. Reg. 9/06*);
  - Shallow corbel composed of two brick rows (criteria 4, 7, and 8 of *O. Reg. 9/06*); and,
  - Decorative wooden bracket at the building's east terminus (criteria 4, 7, and 8 of *O. Reg. 9/06*).



The property's heritage attributes do not include:

- The one-storey rear wing addition; and,
- Any interior components of the building.

### 6.3 AMENDMENTS TO THE ASSESSMENT OF 42 MAIN STREET NORTH AND 46 MAIN STREET NORTH

The evaluation of criterion 8 in the *O. Reg. 9/06* evaluations for the properties at 42 Main Street North and 46 Main Street North in Section 6.1.1 and 6.1.2, respectively, in LHC's June 2024 HIA should be amended to include the following justification:

The Property is also historically linked to the channelization of the Etobicoke Creek. The Etobicoke Creek was channeled in the mid- to late-19<sup>th</sup> century and its path traveled through the southwest part of the Property. It is possible that the development of the building on the Property relates to the Etobicoke Creek's channelization.

Correspondingly, their respective Statement of Cultural Heritage Value or Interest should be amended to include:

The property is also historically linked to the channelization of the Etobicoke Creek. The Etobicoke Creek was channeled in the mid- to late-19<sup>th</sup> century and its path traveled through the southwest part of the Property. It is possible that the development of the building on the Property relates to the Etobicoke Creek's channelization.

The following modifications to each properties list of heritage attributes should be made:

- **Add:** "The stone Etobicoke Creek channel wall forming the southwest basement wall (criterion 8 of *O. Reg. 9/06*)."
- **Modify:** "Any interior components of the building" to "Any interior components of the building aside from the stone Etobicoke Creek channel."

## 7 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The City is planning to redevelop the properties at 30-60 Main Street North and 70-86 Main Street North as part of a downtown revitalization project. A plan for the development has not yet been prepared; however, development objectives, design parameters, and functional program have been defined by the City. The development will be mixed-use, with residential, commercial, retail, office, institutional, arts and culture, and entertainment related uses. Commercial and retail space will be located at-grade.

Section 1.3 of the City's *Call for the Development for Heritage Theatre Block (70-86 Main Street North) and City-owned properties within the Southern Block (30-46 Main Street North and 54-60 Main Street North)* (RFP) states "[p]roposals shall assume there are no buildings or building remnants of City-owned properties within the Southern Block as part of their proposal."<sup>52</sup>

Demolition of the properties on 30-46 Main Street North and 54-60 Main Street North was approved by City Council on 21 February 2024. At the time, the Properties were not owned by the City. It is expected that the City will approve the demolition of the buildings on the properties at 48 Main Street North and 52 Main Street North.

The RFP details the following architectural design parameters for the general form, scale, and massing of the future development:

- Minimum façade height of two to a maximum of four storeys to maintain historic rhythm of existing narrow storefronts and human-scale.
- Podium height of six storeys with an appropriate step back to the tower above.
- Tower height ranging from six to 20 storeys.
- Zero lot-line setbacks along Main Street and side property lines to encourage a complete street wall and maximum frontage. Rear setbacks on the back lane facing Garden Square shall be a minimum of 1.5 meters for the first four storeys.
- A minimum floor-to-floor height of 4.5 meters.

The City's plan also considers the cultural heritage value of the area in the following clauses:

- Development Objectives
  - The proposed design shall [r]espect the heritage context of the downtown through the preservation and enhancement of existing heritage character that is compatible with a pedestrian scale built-form and transit-oriented development with a strong urban character.

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<sup>52</sup> City of Brampton. 2024. *Call for the Development for Heritage Theatre Block (70-86 Main Street North) and City-owned properties within the Southern Block (30-46 Main Street North and 54-60 Main Street North)*, 8.

- The proposed design shall [p]romote a continuous building edge along the street to visually define the public streetscape and maintain a historic rhythmic design along Main Street façade.
- The proposed design shall [a]chieve permeability and porosity into Garden Square mid-block with a visual linkage between Vivian Lane and McKinney Lane that mimics the historic urban fabric of the downtown, examples of how this may be explored is through a public laneway or internal enclosed public atrium.
- The proposed design shall [a]ccomplish attractive and well-designed ground floor facades that enhance pedestrian interest and activity by reflecting the historic narrow main-street storefront building fabric.
- The proposed design shall [m]aintain traditional grade-level relationship between building, storefronts and entrances, and the street/sidewalk along Main Street and Queen Street (including rear entrances) shall be maintained and enhanced.
- Design Parameters
  - The language, cadence, and character of the existing narrow-lotted heritage buildings along Main Street are well-established. The proposed design should draw inspiration from elements within the existing context to inform the design character, style, and materials, especially in the first three storeys to maintain historic façade height at ground level.
  - Use appropriate, high-quality building materials that are reflective of the historical significance of the area.
- Functional Program
  - The podium shall complement the overall character of the historic downtown and complement land uses in the area.
- Respond to the Heritage Context
  - The proposal should consider options for preservation and treatment of the Heritage Theatre and Robson Block into an integrated development proposal...[t]he proposal should make a recommendation based on the definition of preservation options, and an assessment of the value of maintaining heritage features through these options, the costs of preservation/enhancement of these options, contrasted to the opportunity cost of preservation.
  - Heritage retention of the Heritage Theatre and Robson Block may vary through low to high forms of retention and preservation, for example high



being full restoration versus lower options to recreate façade, maintain façade, maintain internal heritage attributes, etc.

- Heritage Theatre and Robson Block preservation and treatment can be explored through three variations of levels of preservation (but not limited to), to support the preferred technical concept:
  - High - Full heritage preservation and restoration of the Heritage Theatre and Robson Block re-imagined as a new program.
  - Medium - Preservation and restoration of the façade of the Heritage Theatre and Robson Block and select heritage elements salvaged and revitalized.
  - Low – Demolition considering selective preservation of heritage elements that are salvaged and integrated into the development concept.

The City will give preference to proposals that include concepts with elements of preservation.

## 8 IMPACT OF THE PROPOSED DEVELOPMENT

*Information Sheet #5: Heritage Impact Assessments and Conservation Plans* and the City's HIA guidelines outline seven potential adverse impacts to be considered with any proposed development or property alteration (see Section 2.6). The impacts described in this section also apply to the properties at 42 Main Street North and 46 Main Street North.

### 8.1 IMPACT TO 48 AND 52 MAIN STREET NORTH

The properties at 48 Main Street North and 52 Main Street North were evaluated against *O. Reg. 9/06* and were determined to have cultural heritage value or interest. Accordingly, the proposed development was assessed for potential direct or indirect impacts in relation to any of the heritage attributes identified for the properties in Section 6.2.1.3 and Section 6.2.2.3.

City council approved the demolition of the properties on 30-46 Main Street North and 54-60 Main Street North on 21 February 2024. The demolition of the properties is corroborated in the City's *Call for the Development for Heritage Theatre Block (70-86 Main Street North) and City-owned properties within the Southern Block (30-46 Main Street North and 54-60 Main Street North)* request for proposal, which states "[p]roposals shall assume there are no buildings or building remnants of City-owned properties within the Southern Block as part of their proposal."<sup>53</sup>

The properties at 48 Main Street North and 52 Main Street North were not owned by the City when the demolition of the properties at 30-46 Main Street North and 54-60 Main Street North was approved. It is expected that the City will approve the demolition of the buildings on the properties at 48 Main Street North and 52 Main Street North. The expected demolition will result in the destruction of all heritage attributes identified for the properties.

Although demolition is most likely, mitigation options, conservation methods, and proposed alternatives that respond to the proposed development have been prepared to help mitigate the anticipated demolition of the buildings on the Properties. Certain architectural design parameters described in the RFP, such as the minimum floor-to-floor height of 4.5 metres, may be incompatible with the existing character of the buildings on the Properties.

### 8.2 IMPACT TO ADJACENT AND NEARBY HERITAGE PROPERTIES

The adjacent heritage properties identified in Section 5.2 will be demolished with the buildings on the Properties. Therefore, direct and/or indirect impacts to the adjacent properties resulting from the demolition of the building on the Properties are not anticipated.

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<sup>53</sup> City of Brampton. 2024. *Call for the Development for Heritage Theatre Block (70-86 Main Street North) and City-owned properties within the Southern Block (30-46 Main Street North and 54-60 Main Street North)*.

As described in Section 2.6, the negative effect of construction vibrations on heritage buildings has been demonstrated for structures within 40 metres of construction or roadworks. The properties identified in Section 5.2 fall within this 40-metre zone of influence for the proposed development. Additional nearby heritage properties within 40 metres of the block of properties comprising 30-60 Main Street North include:

- 15 Main Street North (*Designated*, Section 29 Part IV);
- 19-25 Main Street North (*Designated*, Section 29 Part IV);
- 31 Main Street North (*Listed*, Section 27 Part IV);
- 33 Main Street North (*Listed*, Section 27 Part IV);
- 41 Main Street North (*Listed*, Section 27 Part IV);
- 63-71 Main Street North (*Listed*, Section 27 Part IV);
- 70-74 Main Street North (*Listed*, Section 27 Part IV);
- 73 Main Street North (*Listed*, Section 27 Part IV);
- 75 Main Street North (*Listed*, Section 27 Part IV);
- 82 Main Street North (*Listed*, Section 27 Part IV);
- 8 Queen Street East (*Designated*, Section 29 Part IV); and,
- 12-14 Queen Street East (*Listed*, Section 27 Part IV).

### 8.3 COMPLIANCE WITH POLICIES AND GUIDELINES

Table 6 discusses the compliance of the proposed development outlined in Section 7 with the relevant local policies and guidelines in Section 3.2.



Table 6. Compliance of the Proposed Development with Local Policies and Guidelines

| Policy/Guideline Origin       | Policy/Guideline  | Discussion   |
|-------------------------------|---|--|
| <b>Brampton Plan, 3.6.3.5</b> | Retention, integration, and adaptive reuse of heritage resources will be the overriding objectives in cultural heritage resource planning while insensitive alteration, removal and demolition will be avoided.   | <p>This policy is unlikely to be met because it is anticipated that demolition will be approved for the Properties.</p> <p>Mitigation options, conservation methods, and proposed alternatives have been prepared to help mitigate the anticipated demolition of the buildings on the Properties.</p>                |
| <b>Brampton Plan, 3.6.3.8</b> | Where development occurs on properties determined to have cultural heritage value or interest, whether listed or designated under the Ontario Heritage Act, intensification targets and minimum density requirements are encouraged to be met through context-sensitive infill that conserves cultural heritage attributes wherever possible. | This policy is met. The mitigation options, conservation methods, and proposed alternatives described in Section 9 provide context-sensitive options that are available in the context of the proposed development.  |
| <b>Brampton Plan, 3.6.3.9</b> | When a City-owned property on the Cultural Heritage Resource Register is no longer required for its current use, the City will explore opportunities for the adaptive re-use of the property to achieve the housing objectives of this Plan.  | <p>This policy is unlikely to be met because it is anticipated that demolition will be approved for the Properties. Adaptive reuse of the Properties is not described in the City's plans (see Section 7).</p> <p>Mitigation options, conservation methods, and proposed alternatives have been prepared to help</p> |

| Policy/Guideline<br>Origin         | Policy/Guideline   | Discussion  |
|------------------------------------|--|---|
|                                    |  | mitigate the anticipated demolition of the buildings on the Properties.   |
| <b>Brampton Plan,<br/>3.6.3.20</b> | Listed properties are subject to restrictions on demolition and will require avoidance and/or mitigation of impacts to their heritage character and/or attributes.   | This policy is met. Section 9 of this HIA Addendum described mitigation measures.   |
| <b>Brampton Plan,<br/>3.6.3.26</b> | Alteration, removal or demolition of heritage attributes on designated or listed heritage properties will be avoided. Any proposal involving such works on a designated property will require a heritage permit application to be submitted for the approval of the City. The City may require a Heritage Impact Assessment to be submitted in support of the Heritage Permit Application at its own discretion. | This policy is met. The Properties are <i>Listed</i> heritage properties and lists of heritage attributes have been defined (see Section 6). This HIA Addendum has been prepared to review potential impacts. |
| <b>Brampton Plan,<br/>3.6.3.33</b> | The requirements for a Heritage Impact Assessment are described in the City's Heritage Impact Assessment Terms of Reference. A Heritage Impact Assessment must be prepared by qualified heritage conservation professional who is a professional member in good standing with the Canadian Association of Heritage Professionals (CAHP) and is required for the following circumstances: Any                     | This policy is met. This HIA Addendum has been prepared in accordance with the City's Heritage Impact Assessment Terms of Reference.  |

| Policy/Guideline<br>Origin         | Policy/Guideline   | Discussion   |
|------------------------------------|--|--|
|                                    | property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the Ontario Heritage Act that is facing possible demolition.  |  |
| <b>Brampton Plan,<br/>3.6.3.36</b> | <p>Within a Heritage Impact Assessment, in consideration of alternative interventions, options for on-site retention of properties of cultural heritage significance will be exhausted before resorting to relocation. The following alternatives will be given due consideration in order of priority:</p> <ul style="list-style-type: none"> <li>a. Retention in-situ of existing resource with no major modifications undertaken;</li> <li>b. Restoration in-situ of missing or deteriorated elements where physical or documentary evidence (e.g., photographs or drawings) exists for their design;</li> <li>c. Retention in-situ of existing resource with sympathetic modification;</li> <li>d. Retention in-situ of existing resource with sympathetically designed new structure in proximity;</li> <li>e. Retention in-situ of existing resource no</li> </ul> | This policy is met. Alternative interventions, as discussed in this policy, have been considered in the context of the proposed development. |



| Policy/Guideline<br>Origin     | Policy/Guideline  | Discussion   |
|--------------------------------|---|--|
|                                | <p>longer in use for its original purposes but adapted for a new use;</p> <ul style="list-style-type: none"> <li>f. Relocation of the resource within the site or to an appropriate new site for continued use or adaptive re-use;</li> <li>g. Retention of all or some of the resource as a heritage monument for viewing or public art purposes; and,</li> <li>h. Resource removal and replacement with a sympathetically designed structure and appropriate commemorative features;               <ul style="list-style-type: none"> <li>I. Where possible, salvage elements/members of the resource for incorporation into the new structure or for future conservation and/or commemoration work and/or displays; and,</li> <li>II. Undertake full recording and documentation of existing structure.</li> </ul> </li> </ul> |  |
| <b>Brampton Plan, 3.6.3.37</b> | The above alternatives are arranged according to level or degree of intervention from minimum to maximum. They will be applied in rank order such   | This policy is met. Alternative interventions, as discussed in this policy, have been considered in the context of the proposed development. |

| Policy/Guideline<br>Origin      | Policy/Guideline  | Discussion  |
|---------------------------------|---|---|
|                                 | that Option 1 must be shown to be non-viable, before Option 2 can be considered.  |   |
| <b>Brampton Plan, 3.6.3.46</b>  | In addressing impacts and mitigation strategies for heritage properties, the proponent must demonstrate that all mitigation options have been thoroughly considered, in accordance with the policies in this Plan.  | This policy is met. Alternative interventions, as discussed in this policy, have been considered in the context of the proposed development.  |
| <b>Brampton Plan, 3.6.3.47</b>  | In the event that relocation, dismantling and salvage, or demolition is the only available option, thorough documentation and other mitigation measures will be undertaken. This will include the preparation of a Heritage Documentation Report and/or a Heritage Salvage Report.  | This policy is met. It is anticipated that demolition will be approved for the Properties, and this report recommends the preparation of the additional studies and reports.  |
| <b>DBSP, 5.6.3.3 (c) (viii)</b> | <p>The following broad design principles shall be the basis for further site specific design briefs, or other area design guidelines:</p> <p>Character</p> <ul style="list-style-type: none"> <li>Will evolve into a heritage, art, culture and entertainment centre, to reinforce the Downtown's role as a destination and a creative place for entertainment and leisure activities.</li> </ul> | <p>This policy is unlikely to be met because it is anticipated that demolition will be approved for the Properties.</p> <p>Mitigation options, conservation methods, and proposed alternatives have been prepared to help mitigate the anticipated demolition of the buildings on the Properties.</p> |

| Policy/Guideline Origin | Policy/Guideline  | Discussion  |
|-------------------------|---|---|
|                         | <p>Built Form</p> <ul style="list-style-type: none"> <li>• Preserve and enhance the existing heritage in compatible, pedestrian-scale development with strong urban character.</li> <li>• Preserve existing significant historical built form in accordance with policies of this Secondary Plan.</li> </ul>                          |   |
| <b>DBSP, 8.2.3</b>      | In this Secondary Plan Area, the City shall promote development which reinforces the district character principles of: pedestrian orientation, human scale massing, mixed-use projects, heritage conservation, urban forest protection and enhancement, transit accessibility and the ceremonial functions associated with City Hall. | This policy is met. Although it is anticipated that demolition will be approved for the Properties; the proposed development acknowledges and emphasizes retention of the historic character of the area. |
| <b>DBSP, 8.2.4</b>      | The primary node in the Downtown Secondary Plan will be “The Four Corners.” This primary node will provide opportunities for enhanced pedestrian and visual amenities within the Secondary Plan Area and the enhancement of the numerous existing landmark buildings and the landscapes within the district.                          | This policy is met. Although it is anticipated that demolition will be approved for the Properties; the proposed development acknowledges and emphasizes retention of the historic character of the area. |



| Policy/Guideline Origin | Policy/Guideline  | Discussion   |
|-------------------------|---|--|
| <b>DBSP, 8.5.1</b>      | Heritage resource management activities within the Downtown Brampton Secondary Plan Area shall be undertaken in accordance with the policies of the Brampton Official Plan and in consultation with the Brampton Heritage Board, which is a Council appointed committee whose mandate is to advise on all matters pertaining to heritage. | This policy is met in the context of the scope of this HIA Addendum. Relevant policies from the <i>Brampton Plan</i> have been considered.<br><br>Consultation with the Brampton Heritage Board is beyond the scope of this HIA Addendum.  |
| <b>DBSP, 8.5.2</b>      | For the purposes of this Plan, heritage resources shall include structures, sites, environments and artifacts which are of historical, architectural and/or archaeological value, significance or interest.   | This policy is met. In the context of this HIA Addendum, the buildings on the Properties have been considered and evaluated as heritage resources.   |
| <b>DBSP, 8.5.3</b>      | Proponents of development/redevelopment are encouraged to retain and conserve buildings of architectural and/or historic merit on their original sites and to promote the integration of these resources into any plans which may be prepared for such development.   | This policy is unlikely to be met because it is anticipated that demolition will be approved for the Properties.<br><br>Mitigation options, conservation methods, and proposed alternatives have been prepared to help mitigate the anticipated demolition of the buildings on the Properties. |
| <b>DBSP, 8.5.4</b>      | When a development proposal may impact a heritage resource, the City may request the preparation of a cultural heritage resource assessment. This assessment should provide information and present recommendations about   | This policy is met. The Properties are <i>Listed</i> heritage properties. This HIA Addendum has been prepared to review potential impacts.   |

| Policy/Guideline<br>Origin | Policy/Guideline  | Discussion   |
|----------------------------|---|--|
|                            | how to mitigate the development impacts on identified heritage resources, and will be prepared to the satisfaction of the City, the Brampton Heritage Board and other appropriate authorities having jurisdiction.  |  |
| <b>BUDG, 2.6.5</b>         | Where relocation, disassembly/reassembly or retention are not viable options, consider incorporating architectural cues and significant attributes of the heritage building into the new development so that the unique features of former structure are still legible. | This guideline is met. Demolition of the Properties is anticipated. Mitigation options, conservation methods, and proposed alternatives have been prepared to help mitigate the anticipated demolition of the buildings on the Properties. |
| <b>BUDG, 2.6.8</b>         | Consider the rehabilitation and utilization of City-owned heritage resources as creative public space.  | This guideline is unlikely to be met because it is anticipated that demolition will be approved for the Properties. Rehabilitation and utilization as creative public space is unlikely.   |
| <b>BUDG, 2.6.9</b>         | Promote, commemorate and celebrate cultural heritage via landscaping design, urban amenities, signage, plaques, public installations, etc.  | This guideline is met. Mitigation options, conservation methods, and proposed alternatives have been prepared to help mitigate the anticipated demolition of the buildings on the Properties.  |
| <b>BUDG, 2.6.12</b>        | The design of high-rise buildings in heritage districts or adjacent to heritage buildings should consider views to the developed lot on adjacent streets. The high-rise portion should be integrated and  | This guideline is unlikely to be met because it is anticipated that demolition will be approved for the Properties. However, the proposed development acknowledges and emphasizes retention of the   |

| Policy/Guideline<br>Origin | Policy/Guideline   | Discussion  |
|----------------------------|--|---|
|                            | transitioned to the heritage buildings, so that they are not dominant from the perspectives of pedestrians. This may involve providing greater building setbacks, stepbacks above the podium, etc. Refer to sections C2.7 Built Heritage Context and C5 High-Rise Developments.                    | historic character of the area including existing lot configuration.  |
| <b>BUDG, 2.6.13</b>        | Where development is proposed adjacent to or as part of a site that includes built heritage structures, it is important that any new building maintains and enhances the defining characteristics of these heritage buildings and ensures that the heritage attributes are not adversely affected. | <p>This guideline is unlikely to be met because it is anticipated that demolition will be approved for the Properties. However, the proposed development acknowledges and emphasizes retention of the historic character of the area including existing lot configuration.</p> <p>Impacts to adjacent heritage properties is not anticipated.</p> |



## 9 MITIGATION OPTIONS, CONSERVATION METHODS, AND PROPOSED ALTERNATIVES

The proposed mitigation options, conservation methods, and proposed alternatives have been prepared to respond to the relevant policies and guidelines described in Section 8.3. At present, they are provisional and are intended to inform the design of the forthcoming development. Detailed mitigation strategies shall be reviewed upon finalization of the design for the proposed development. The measures described in this section also apply to the properties at 42 Main Street North and 46 Main Street North.

### 9.1 PROPOSED ALTERNATIVES

#### 9.1.1 OPTION 1: DO NOTHING

This option would leave the Properties as is and the existing buildings would remain *in situ*.

The ‘do nothing’ option would have no direct impact on cultural heritage value or interest of the Properties as there would be no changes made to the Properties. The buildings that occupy the Properties are currently used as commercial space. This alternative would see this use continue. Regular upkeep and maintenance would still be required if this option were selected.

In the context of the forthcoming project and the City’s decision regarding the future of the Study Area (see Section 3.2.5), this option is not feasible.

#### 9.1.2 OPTION 2: FIRST STOREY DESIGN MITIGATION AND SECOND STOREY FAÇADE RETENTION

This option would employ design mitigation to retain the commercial storefront character of the first storey of the buildings on the properties at 48 Main Street North and 52 Main Street North and would retain their second storey façades. The buildings would be redeveloped.

Design mitigation on the first storey of the buildings on 48 Main Street North and 52 Main Street North would be used to retain the buildings’ commercial storefronts – a heritage attribute – through compatible design and material selection. The storefronts would be designed to maintain the scale, massing, rhythm, segmentation, and historical function of the Properties. Although the first storey of the buildings on the Properties have been significantly altered, this option helps support the historical use of the Properties and contributes to the commercial character of Main Street North.

The second storey façade of each building could be retained *in situ* or panelized, removed, and reconstructed on the forthcoming development. This approach would retain the heritage

attributes of each property. Conserving the heritage attributes and including them in a redeveloped block would retain the historic streetscape of Main Street North. Removing and reinstating the second storey facades could also mitigate the likelihood for accidental impacts to heritage attributes, as they would be removed from the properties.

### **9.1.3 OPTION 3: DEMOLITION AND CONSTRUCTION OF NEW BUILDINGS THAT ARE SYMPATHETIC TO THE PAST AND SURROUNDING BUILDINGS**

This option would see the buildings on the Properties at 48 Main Street North and 52 Main Street North demolished and replaced with a new building – the podium of the proposed development – that is sympathetic to the past and the surrounding streetscape. To blend with the surrounding area, the new building would be required to follow design principles consistent with 19<sup>th</sup> century commercial buildings in the Properties' vicinity. This does not mean a new building must replicate historic styles, but they must be sympathetic to the historic form.

The replacement building should have the same orientation and position on Main Street North; give the appearance of being 2-3 storeys; have a similar width to the existing buildings; be clad in brick, stone, and/or stucco; and have tall, narrow windows with projecting sill and voussoir or arch. The replacement building may also have a frieze, corbel(s), and bracket(s).

To ensure the new building is sympathetic to the surrounding streetscape but is also compatible with the proposed development, the first 2-3 storeys of the proposed development should share the general façade rhythm that is currently present on the Properties and should be made distinct from the upper storeys of the façade of the proposed development's podium. This can be achieved using a different colour palette, materials, stepback, or a combination of these measures.

This option would result in the loss of all heritage attributes and features of the buildings in the Properties. However, this option is likely to retain the orientation, position, scale, and massing of the existing buildings on the Properties. Despite their demolition therefore, new buildings could continue to contribute to the historical construction patterns of Main Street North and Brampton's Four Corners area and continue to support the context of the area. Moreover, this option is in keeping with the City's intention for the Properties.

This option could include the installation of images of historic building façades on a curtain wall of the forthcoming development. This could also include the façades of the buildings at 30-46 Main Street North and 60 Main Street North. This approach could help retain the extant historic streetscape of Main Street North.

### **9.1.4 OPTION 4: DEMOLITION AND CONSTRUCTION OF NEW BUILDINGS THAT ARE NOT SYMPATHETIC TO THE PAST AND SURROUNDING BUILDINGS**

This option would see the buildings on the Properties demolished and replaced with new buildings that are not sympathetic to the past and the surrounding streetscape. New buildings would not be required to follow design principles consistent with 19<sup>th</sup> century commercial buildings in the Properties' vicinity. This option would result in the loss of all the Properties' heritage attributes. This type of demolition is not preferred.

## **9.2 MITIGATION AND NEXT STEPS**

### **9.2.1 DOCUMENTATION**

Regardless of which option is selected, a Heritage Documentation Report and/or a Heritage Salvage Report should be prepared. Policy 3.6.3.47 of the *Brampton Plan* requires that a Heritage Documentation Report and/or a Heritage Salvage Report be prepared in the event of relocation, dismantling and salvage, or demolition (see Section 3.2.2). Documentation should include:

- Digital copies of available archival materials and reports, including:
  - Reports and studies produced by the City; and,
  - Other reports and studies prepared for the Properties.
- High-resolution external and internal photographs of the buildings and their heritage attributes;
- A set of high-resolution photographs during the project implementation phase; and,
- Elevations and measured drawings.

A Documentation and Salvage Plan is being prepared by LHC under separate cover for the properties at 30-60 Main Street North. This documentary record should be held by the City and be made publicly accessible.

### **9.2.2 CONSERVATION PLAN**

Should Option 2, Option 3, or Option 4 be the selected alternative, it is recommended that a Conservation Plan (CP) be prepared by a qualified heritage professional. A CP is a document that details how a heritage resource will be conserved through site alteration. A CP typically includes descriptions of all repairs, stabilization, and preservation activities that are proposed to occur on a known heritage resource as well as long-range conservation, monitoring, and maintenance plan. In order to inform a more detailed CP, a comprehensive condition survey of the existing building should be undertaken. The CP should include guidance for any immediate interventions required prior to removals and construction, guidance for



stabilization during removals and construction, and guidance for repairs and long-term maintenance following construction of the new development.

Should Option 3 be selected, the CP should provide guidance on the design of the proposed new building. Should Option 3 or Option 4 be selected, the CP should provide guidance for construction management to ensure the adjacent and nearby listed and designated heritage resources are protected and maintained during the construction process.

### **9.2.3 SALVAGE**

In the event that demolition is determined to be the only viable course of action, a detailed salvage strategy shall be undertaken to ensure the appropriate recovery and retention of identified heritage attributes and other valuable building materials associated with the properties at 48 and 52 Main Street North. This process shall involve methodical deconstruction, as opposed to conventional demolition, to allow for the careful extraction of significant materials.

Heritage attributes, including but not limited to the decorative bracketed wooden friezes and ornate wooden roofline brackets, shall be catalogued, removed, and conserved with the intent of their reintegration into any future development proposed for the site. In addition, special consideration shall be given to the salvage of structural materials of heritage interest, particularly the extensive use of pre-1900s old-growth lumber. This material, characterized by its density, durability, and historical provenance, is increasingly scarce and holds both cultural and material value.

The recovery of old-growth timber and other materials such as brick and stone shall be pursued not only for potential reuse within the on-site redevelopment—subject to recommendations in a forthcoming Conservation Plan—but also for broader redistribution through the salvage market. This approach enables the continued use of heritage materials in other restoration or adaptive reuse projects across the municipality or region, thereby supporting circular economy principles and diverting significant material from the waste stream.

All salvaged materials shall be documented in a subsequent Heritage Salvage Report. This report shall detail the condition, provenance, and potential applications of recovered materials, and shall inform both the Conservation Plan for the site and a broader Salvage Plan that outlines how non-retained materials may be processed, stored, or made available for sale. The report shall serve as a critical tool for ensuring that the cultural heritage value embodied in the built fabric of the subject properties is not lost, but meaningfully retained and extended through thoughtful reuse. Commemoration

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Should demolition be the selected alternative, it is recommended that a plaque prepared through the City's Heritage Plaque Program be prepared for the Properties. Incorporation of any salvaged features from the buildings could be considered as a commemorative element in the new development.

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## 10 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 5 March 2025 by the Corporation of the City of Brampton to prepare a HIA Addendum to incorporate the Properties at 48 Main Street North and 52 Main Street North into the previously completed Heritage Impact Assessment dated 24 June 2024 prepared for the properties at 30-46 and 54-60 Main Street North in the City of Brampton, Ontario. The Properties are *Listed* on the City's *Municipal Register of Cultural Heritage Resources* under Section 27 Part IV of the *OHA*. This HIA Addendum also updates references to provincial and local policies and guidelines, revises the evaluation of the properties at 42 and 46 Main Street North, revises the description of the proposed development, and provides an updated list of proposed alternatives and mitigation and next steps applicable to the 24 June 2024 HIA.

In LHC's professional opinion, the Properties at 48 Main Street North and 52 Main Street North **meet** criteria 4, 7, and 8 of *Ontario Regulation 9/06* for their historical value or associative value and contextual value. The Properties meet two or more criteria; therefore, they are eligible for designation under Section 29 Part IV of the *OHA*. However, it is not required that the properties be designated.

City council approved the demolition of the properties on 30-46 Main Street North and 54-60 Main Street North on 21 February 2024. The properties at 48 Main Street North and 52 Main Street North were not owned by the City when the demolition approval was made. It is expected that the City will move to demolish and approve the demolition of the buildings on the properties at 48 Main Street North and 52 Main Street North. The proposed demolition will result in the destruction of all heritage attributes identified for the properties.

Four options were explored which included do nothing, first storey design mitigation and second storey façade retention, demolition and construction of new buildings that are sympathetic to the past and surrounding buildings, demolition and construction of new buildings that are not sympathetic to the past and surrounding buildings. Based on the analysis of these options, LHC finds that first storey design mitigation and second storey façade retention and demolition and construction of new buildings that are sympathetic to the past and surrounding buildings is the preferable option because it allows for the retention of the Properties heritage attributes while also allowing for future development.

If any option aside from do nothing is selected, it is recommended that a Conservation Plan be prepared to detail how the heritage resources will be conserved through the selected site alteration, to provide guidance on the design of new buildings, and to provide guidance to ensure adjacent and nearby heritage properties are protected (where applicable).



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A Documentation and Salvage Plan is being prepared by LHC under separate cover for the properties at 30-60 Main Street North. Commemoration – through the City’s plaque program – should also be considered.

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## 11 SIGNATURES

Sincerely,

A handwritten signature in blue ink, appearing to read "B. Daub".

on behalf of  
Ben Daub, MA RPP MCIP CAHP Intern  
Intermediate Heritage Planner

A handwritten signature in black ink, appearing to read "Christienne Uchiyama".

Christienne Uchiyama, MA CAHP  
Principal – Manager Heritage Consulting Services

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# APPENDIX A Qualifications

## **Ben Daub, MA RPP MCIP CAHP Intern – Intermediate Heritage Planner**

Ben Daub is an intermediate heritage planner with LHC. He holds a Bachelor of Applied Technology in Architecture – Project and Facility Management from Conestoga College and a Master of Arts in Planning from the University of Waterloo. His master's thesis analyzed the relationship between urban intensification and the ongoing management of built heritage resources using a mixed methods approach. During his academic career, Ben gained a detailed understanding of the built environment through exposure to architectural, engineering, and urban planning principles and processes. His understanding of the built environment ranges from building specific materials and methods to large scale planning initiatives.

Ben has been the primary or contributing author of over 75 technical cultural heritage reports with LHC. He has worked on Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Environmental Assessments, Heritage Conservation District Studies, and Municipal Heritage Register Reviews. He has worked with properties with cultural heritage value recognized at the municipal, regional, provincial, and federal levels and has prepared reports for urban, suburban, and rural sites.

In addition to his work at LHC, Ben instructs the Urban and Community Planning and Heritage Conservation courses in Conestoga College's Architecture – Project and Facility Management degree program. Ben is a Registered Professional Planner (RPP), full member with the Ontario Professional Planners Institute (OPPI), full member with the Canadian Institute of Planners (MCIP), and an intern member of the Canadian Association of Heritage Professionals (CAHP).

## **Christienne Uchiyama, MA CAHP – Principal LHC**

Christienne Uchiyama MA CAHP is Principal and Manager of Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with more than two decades of experience working on cultural heritage aspects of planning and development projects. She received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway

lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

**Benjamin Holthof, M.Pl., M.M.A., RPP, MCIP, CAHP – Senior Heritage Planner**

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research, peer review and interpretive planning. He has worked on cultural heritage projects for several provincial ministries, agencies and crown corporations including the Ministry of Transportation, Ontario Power Generation, Hydro One, Metrolinx and Ontario Parks. This work has included historic research on, cultural heritage evaluation of, impact assessment on and documentation of bridges, dams, generating stations, farms and cottages owned by provincial agencies or crossed by provincial easements or rights-of-way. Ben has also worked on cultural heritage components of large-scale environmental assessments and renewable energy applications that required detailed consultation with and approval by provincial ministries.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP). He has been involved in several marine archaeology background and preliminary in water survey projects in Ontario including as author of a Background Marine Archaeology Report on waters around Ontario Place for Infrastructure Ontario.

As a consultant Ben has developed interpretive and commemorative plans for private sector clients. He is also experienced in public interpretation through work in museums as a curator, collections manager, interpretive planner, exhibit designer and researcher. He has also been involved in the management of museums in historic sites in unique conditions with specialized conservation concerns.



**Jordan Greene, BA (Hons) – Mapping Technician**

Jordan Greene, BA joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

## APPENDIX B Glossary

Definitions are based on those provided in the *Provincial Planning Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Peel Region Official Plan (ROP)*, and City's *Brampton Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

**Adjacent** means those lands adjoining a property of the heritage register or lands that are directly across from and near to a property on the heritage register and separated by land used as a private or public road, highway, street, lane, trail, right-of-way, walkway, green space, park and/or easement, or an intersection of any of these; whose location has the potential to have an impact on a property on the heritage register; or as otherwise defined in a Heritage Conservation District Plan adopted through a by-law (*OP*).

**Adjacent Lands** for the purposes of policy 4.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

**Adjacent Lands** means lands that are contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

**Alter** means to change in any manner and includes to restore, renovate, repair or disturb and “alteration” has a corresponding meaning; (“transformer”, “transformation”) (*OHA*).

**Built Heritage Resource** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. (*PPS*).

**Built Heritage Resource** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers. Built-up Area means all land within the delineated built boundary. (*OP*).

**Cemetery/Cemeteries** means land set apart or used for the interment of human remains which may include burial, mausolea and columbaria but does not include a funeral establishment or a facility providing funeral services as defined in the *Funeral, Burial and Cremation Services Act* or any facilities for public assembly (*ROP*).

**Conserved** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments (*PPS*).

**Conserved** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision *Provincial Policy Statement, 2020* | 42 maker [sic.]. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*OP*).

**Cultural Heritage Landscape** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association (*PPS*).

**Cultural Heritage Resources** means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*OP*).

**Development** means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the *Planning Act* but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the *Drainage Act* (*ROP*).

**Development** means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the *Planning Act*, but does not include: a) activities that create or maintain infrastructure authorized under an environmental assessment process; b) works subject to the *Drainage Act*; or c) underground or surface



mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the *Mining Act* (OP).

**Heritage Attributes** means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; (“attributs patrimoniaux”) (OHA).

**Heritage Attributes** means, as defined under the *Ontario Heritage Act*, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest (PPS).

**Heritage Attributes** means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property (OP).

**Protected Heritage Property** means property designated under Part IV or VI of the *Ontario Heritage Act*; property included in an area designated as a heritage conservation district under Part V of the *Ontario Heritage Act*; property subject to a heritage conservation easement or covenant under Part II or IV of the *Ontario Heritage Act*; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the *Standards and Guidelines for the Conservation of Provincial Heritage Properties*; property protected under federal heritage legislation; and UNESCO World Heritage Sites (PPS).

**Protected Heritage Property** means property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the *Standards and Guidelines for Conservation of Provincial Heritage Properties*; property protected under federal legislation, and UNESCO World Heritage Sites (OP).

**Significant** means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act* (PPS).

**Significant** in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining

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cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act (OP)*.

# APPENDIX C City of Brampton Heritage Impact Assessment Terms of Reference

| City of Brampton Requirements   | HIA Location |
|---|--------------|
| <p><b>Background</b></p> <ul style="list-style-type: none"> <li>• Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.</li> <li>• Briefly outline the methodology used to prepare the assessment.</li> </ul>  | Section 1    |
| <p><b>Introduction to the Subject Property</b></p> <ul style="list-style-type: none"> <li>• Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.</li> <li>• Briefly document and describe the subject property, identifying all significant features, buildings, landscapes, and vistas.</li> <li>• Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources).</li> <li>• Document and describe the context including adjacent properties, land uses, etc.</li> <li>• Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns, as well as the integrity of standing buildings and structures found on the subject property.</li> <li>• If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments</li> </ul> | Section 1    |



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| must be conducted by qualified professionals with heritage property experience.  |                                 |
| <p><b>Evaluation of Cultural Heritage Value or Interest</b></p> <ul style="list-style-type: none"> <li>• Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources.</li> <li>• Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.</li> <li>• Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject property.</li> <li>• Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e. site plan as opposed to subdivision). Also include historical photos, drawings, or other archival material that is available and relevant.</li> <li>• Using Regulation 9/06 of the Ontario Heritage Act (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.</li> <li>• Provide a summary of the evaluation in the form of a table outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.</li> </ul> | Section 4, Section 5, Section 6 |

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| <p><b>Description and Examination of Proposed Development/Site Alterations</b></p> <ul style="list-style-type: none"> <li>• Provide a description of the proposed development or site alteration in relation to the heritage resource.</li> <li>• Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include: <ul style="list-style-type: none"> <li>○ Destruction of any, or part of any, significant heritage attributes or features;</li> <li>○ Alteration to the historic fabric and appearance;</li> <li>○ Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden;</li> <li>○ Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;</li> <li>○ Impact on significant views or vistas within, from, or of built and natural features;</li> <li>○ A change in land use where the change in use may impact the property's cultural heritage value or interest; Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.</li> </ul> </li> <li>• Submit a drawing indicating the subject property streetscape and properties to either side of the subject lands, if applicable. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and how it integrates with the adjacent properties from a streetscape perspective. Thus, the drawing must show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees and/or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.</li> </ul> | Section 7    |

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| <p><b>Mitigation Options, Conservation Methods, and Proposed Alternatives</b></p> <ul style="list-style-type: none"> <li>• Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource.</li> <li>• Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure/option. The mitigation options may include, but are not limited to: <ul style="list-style-type: none"> <li>○ Alternative development approaches;</li> <li>○ Appropriate setbacks between the proposed development and the heritage resources;</li> <li>○ Design guidelines that harmonize mass, setback, setting, and materials;</li> <li>○ Limiting height and density;</li> <li>○ Compatible infill and additions;</li> </ul> </li> <li>• Refer to Appendix 2 for additional mitigation strategies.</li> <li>• Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and/or enhanced by the development or redevelopment.</li> <li>• If relocation, removal, demolition or other significant alteration to a heritage resource is proposed by the landowner and is supported by the heritage consultant, provide clear rationale and justification for such recommendations.</li> <li>• If retention is recommended, outline short-term site maintenance, conservation, and critical building stabilization measures.</li> <li>• Provide recommendations for follow-up site-specific heritage strategies or plans such as a Conservation Plan, Adaptive Reuse Plan, and/or Structural/Engineering Assessment.</li> <li>• If a heritage property of cultural heritage value or interest cannot be retained in its original location, consider providing a recommendation for relocation by the owner to a suitable location in reasonable proximity to its original siting.</li> </ul> | <p>Section 8,<br/>Section 9</p> |



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| <ul style="list-style-type: none"> <li>• If no mitigation option allows for the retention of the building in its original location or in a suitable location within reasonable proximity to its original siting, consider providing a recommendation for relocation to a more distant location.</li> <li>• Provide recommendations for advertising the sale of the heritage resource. For example, this could include listing the property on the Architectural Conservancy of Ontario (ACO) website in order to allow interested parties to propose the relocation of the heritage resource. Acceptable timelines and any other requirements will be determined in consultation with City staff. The link to the ACOs Historic Architectural Linking Program is provided below:<br/><a href="http://www.arconserv.ca/buildings_at_risk/for_sale.cfm">http://www.arconserv.ca/buildings_at_risk/for_sale.cfm</a></li> <li>• If a property cannot be retained or relocated, alternatives will be considered for salvage and mitigation. Only when other options can be demonstrated not to be viable will options such as ruinification or symbolic conservation be considered. Detailed documentation and commemoration (e.g. a heritage interpretative plaque) may also be required. Salvage of material must also occur, and a heritage consultant may need to provide a list of features of value to be salvaged. Materials may be required to be offered to heritage-related projects prior to exploring other salvage options. Ruinification allows for only the exterior of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.</li> <li>• If the subject property abuts to one or more listed or designated heritage properties, identify development impacts and provide recommended mitigation strategies to ensure the heritage resources on the adjacent properties are not negatively impacted.</li> </ul> |              |

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| <p>Mitigation strategies include, but are not limited to:</p> <ul style="list-style-type: none"> <li>○ vegetation screening;</li> <li>○ fencing;</li> <li>○ buffers;</li> <li>○ site lines</li> <li>○ an architectural design concept for the massing and façade treatment of proposed buildings to ensure compatibility with the adjoining property and the like.</li> </ul> <ul style="list-style-type: none"> <li>• An implementation schedule and reporting/monitoring system for implementation of the recommended conservation or mitigation strategies may be required.</li> </ul>   |              |
| <p><b>Recommendations</b></p> <ul style="list-style-type: none"> <li>• Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.</li> <li>• Clearly state whether the subject property is worthy of heritage designation under the Ontario Heritage Act.</li> <li>• The following questions must be answered in the final recommendation of the report: <ul style="list-style-type: none"> <li>○ Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?</li> <li>○ Why or why not does the subject property meet the criteria for heritage designation?</li> <li>○ Regardless of the failure to meet criteria for heritage designation, can the structure or landscape be feasible integrated into the alteration/development?</li> </ul> </li> <li>• Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.</li> </ul> | Section 10   |

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| <b>Executive Summary</b> <ul style="list-style-type: none"><li>• Provide an executive summary of the assessment findings at the beginning of the report.</li><li>• Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.</li></ul> | See Page V   |