

FILE NUMBER:

A-2025-0038

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

/Paramjeet Kohli

Address

2035 Embleton Rd.

Phone #

Fax #

Email

2.

Name of Agent

Andrii Golovnia

Address

224-2275 Lakeshore Blvd W. Etobicoke ON M8V 3Y3

Phone #

6478853585

Fax #

Email

info@jthd.ca

3.

Nature and extent of relief applied for (variances requested):

We are seeking relief on the side setback zoning which is 7.5 m, the property building line is 7m and cover walk out is 5.5 m

4.

Why is it not possible to comply with the provisions of the by-law?

We would like to provide the family that will occupy this house a suitable and aesthetically designed house while still maintaining the character and integrity of the neighborhood.

5.

Legal Description of the subject land:

Lot Number

Lot 5

Plan Number/Concession Number

Plan No A-94

Municipal Address

2035 Embleton Rd, Brampton, ON L6Y 0E9

6.

Dimension of subject land (in metric units)

Frontage

28.72

Depth

31.39

Area

3923.80

7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1 unit 2 storey house 51.43 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

New 2 storey building with swimming pool

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback _____
Rear yard setback _____
Side yard setback _____
Side yard setback _____

PROPOSED

Front yard setback 29.90 m
Rear yard setback 34.48 m
Side yard setback 14.56 m
Side yard setback 5.53 m

10. Date of Acquisition of subject land: 2019
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: N/A
15. Length of time the existing uses of the subject property have been continued: N/A

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☐ Other (specify) _____
Septic ☒
- (c) What storm drainage system is existing/proposed?
Sewers ☐ Other (specify) _____
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

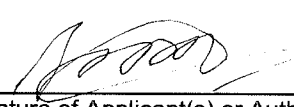
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ Town _____ OF _____ New Tecumseth _____

THIS 17th DAY OF March, 20 25.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Andrii Golovnia, OF THE city _____ OF Etobicoke

IN THE Province OF _____ ON _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

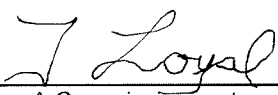
DECLARED BEFORE ME AT THE

Town _____ OF _____ New Tecumseth _____

IN THE _____ Province _____ OF _____

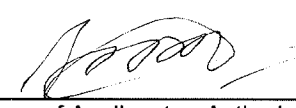
Ontario THIS 17th DAY OF _____

March _____, 20 25.



A Commissioner etc.

SOLEMNLY DECLARED and subscribed remotely by Andrii Golovnia stated as being in ETOBICOKE, ONTARIO, before ME in the Town of NEW TECUMSETH, in the Province of ONTARIO on this 17th day of MARCH 2025 in accordance with O Reg 431/20, Administering Oath or Declaration Remotely.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

Enforcement Action File Number: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED 01 April, 2025

Date Application Deemed
Complete by the Municipality

Merccelyn

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 2035 Embleton Rd, Brampton, ON L6Y 0E9

I/We, Simardeep Kohli and Paramjeet Kohli
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Andrii Golovnia
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 11 day of March, 2025.

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 2035 Embleton Rd, Brampton, ON L6Y 0E9

I/We, Simardeep Kohli and Paramjeet Kohli
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 11th day of March, 2025.

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



Document Details

Title	Application Form (Minor Variance)_2023_250314_155418.pdf
File Name	Application Form (Minor Variance)_2023_250314_155418.pdf
Document ID	
Fingerprint	
Status	Completed

Document History

Document Created	Document Created by Timothy Loyal (tloyal@downtown-notary.ca) Fingerprint: 5dba72937a5e137806469add2cb50db	2025 Mar 17 05:35PM America/Toronto
Document Sent	Document Sent to Andrii Golovnia (andrii@ithd.ca)	2025 Mar 17 05:35PM America/Toronto
Document Viewed	Document Viewed by Andrii Golovnia (andrii@ithd.ca) IP: 64.229.187.213	2025 Mar 17 05:35PM America/Toronto
Document Signed	Document Signed by Andrii Golovnia (andrii@ithd.ca) IP: 64.229.187.213 	2025 Mar 17 05:36PM America/Toronto
Document Sent	Document Sent to Timothy Loyal (tloyal@downtown-notary.ca)	2025 Mar 17 05:36PM America/Toronto
Document Viewed	Document Viewed by Timothy Loyal (tloyal@downtown-notary.ca) IP: 72.136.117.40	2025 Mar 17 05:36PM America/Toronto
Document Signed	Document Signed by Timothy Loyal (tloyal@downtown-notary.ca) IP: 72.136.117.40 	2025 Mar 17 05:37PM America/Toronto

Date: **2025-03-18**
Subject: **Minor Variance Application**
To: **Committee of Adjustment**

Dear Committee Members,

I am submitting this letter in support of my **Minor Variance Application** for the property located at 2035 Embleton Rd. The purpose of this application is to request relief from **side setback zoning, property building line and cover walk out** to facilitate a 2 storey residential house with swimming pool.

The proposed variance is **minor in nature** and maintains the intent of the zoning by-law and the Official Plan, and it will not negatively impact neighboring properties or the surrounding community. I have taken steps to ensure that the proposal aligns with the character of the neighborhood and does not create any adverse effects.

I am open to any reasonable modifications or conditions that the Committee may suggest. Enclosed with this application are **the required site plan, drawings, and any supporting documents**.

I appreciate your time and consideration of this application. Please feel free to contact me at **647-885-3585** or at **info@ithd.ca** if further information is required. I look forward to your review and a positive outcome

Sincerely,



Andrii Golovnia, CEO, P. Eng



Project Name:

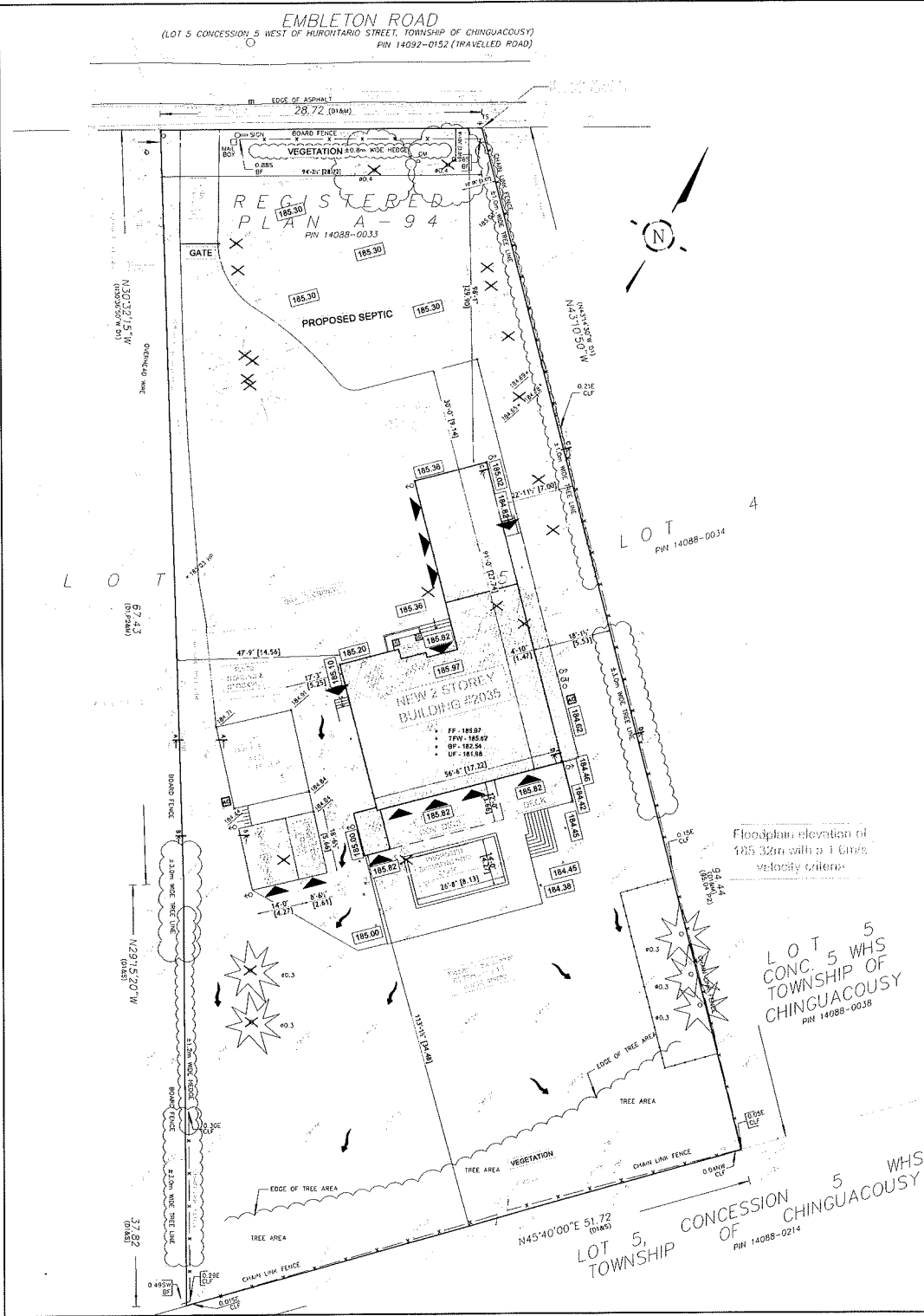
NEW CUSTOM HOUSE

Address:

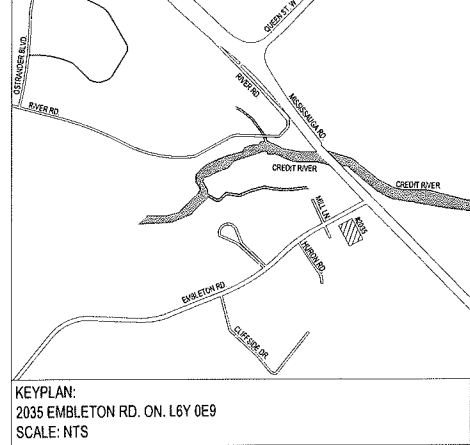
2035 Embleton Rd., Brampton ON., L6Y OE9

In Tech House Design Corporation
2275 Lake Shore Blvd. West
Suite 224, Toronto, ON M8V3Y3
www.ithd.ca, info@ithd.ca
+1(647)478-5055





- LEGEND
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - PROPOSED SWALE ELEVATION
 - DIRECTION OF SURFACE FLOW
 - DIRECTION OF SUBDRAIN SWALE
 - DIRECTION OF GRASS SWALE
 - DIRECTION OF SUMP PUMP SUB CHARGE
 - SEDIMENT CONTROL FENCE
 - TREE PROTECTION FENCE
 - ENTRY TO BUILDING
 - ENTRY BELOW
- FF - FINISHED FLOOR ELEVATION
 - TFW - TOP OF FOUNDATION WALL
 - BF - FINISHED BASEMENT SLAB
 - UF - UNDERSIDE OF FOOTING



SITE STATISTICS - NEW DWELLING					
RD(112.0, 370)(x1463)					
	REQUIRED		PROPOSED		
	SQ. FT	m²	SQ. FT	m²	
LOT AREA			42235.75	3923.80	
EX. BUILDING AREA			553.59	51.43	
NEW BUILDING AREA			4002.85	371.87	
NEW STORAGE AREA			258.45	24.10	
NEW POOL EQUIPMENT AREA			158.50	14.73	
LOT COVERAGE				11.8%	
GROSS FLOOR AREA					
	SQ. FT	m²	SQ. FT	m²	
FIRST FLOOR	-	-	2754.50	255.90	
SECOND FLOOR	-	-	2654.16	246.58	
TOTAL G.F.A.	-	-	5408.66	502.48	
FINISHED BASEMENT	-	-	2635.03	244.80	
BUILDING HEIGHTS					
	FT	m	FT	m	
AVERAGE ESTABLISH GRADE NORTH (FRONT)				185.36	
BUILDING HEIGHT NORTH (FRONT)		10.60	30'-11 1/2"	9.43 m	
AVERAGE ESTABLISH GRADE SOUTH (REAR)				185.36	
BUILDING HEIGHT SOUTH (REAR)		10.60	30'-11 1/2"	9.43 m	
AVERAGE ESTABLISH GRADE EAST SIDE				185.36	
BUILDING HEIGHT EAST SIDE		10.60	30'-11 1/2"	9.43 m	
AVERAGE ESTABLISH GRADE WEST SIDE				185.36	
BUILDING HEIGHT WEST SIDE		10.60	30'-11 1/2"	9.43 m	
BUILDING LENGTH			103'-0"	31.39	
BUILDING DEPTH			103'-0"	31.39	
LOT FRONTAGE			94'-2 1/2"	28.72	
SETBACKS					
	FT	m	FT	m	
FRONT	12.00	98'-1"	29.90		
REAR	7.50	113'-1 1/2"	34.48		
WEST SIDE	7.50	47'-9"	14.56		
EAST SIDE	15	18'-1 1/2"	5.53		
LANDSCAPING					
	REQUIRED	PROPOSED			
	SQ. FT	m²	SQ. FT	m²	
FRONT YARD LANDSCAPING AREA			15061.99	1399.29	
SOFT LANDSCAPE AREA			15061.99	1399.29	
HARD LANDSCAPE AREA		70%		0%	
REAR YARD AREA BREAK DOWN					
COVERED DECK			416.00	38.65	
SWIMMING POOL			443.89	41.24	

ITHD
From Idea To Reality
3742375 Lake Shore Boulevard West,
Toronto, ON M6J 3Y3
Phone: +1(647)478-5055 info@ithd.ca
Toll free: +1(888)561-4161 info@ithd.ca

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS.
- ALL WORK IS TO BE CARRIED OUT ACCORDING TO THE ONTARIO BUILDING CODE AND BY LAWS.
- ALL EXISTING SURFACES AND STRUCTURES ADJACENT TO THE PROPOSED WORK ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR AND/OR THE OWNER SHALL BE RESPONSIBLE FOR THE ARRANGEMENT OF ALL NECESSARY INSPECTIONS AND FOLLOW INSPECTION SCHEDULES.
- ALL TEMPORARY WORK INCLUDING SHORING ARE TO BE PROVIDED BY THE CONTRACTOR.
- READ THE DRAWING IN CONJUNCTION WITH OTHER DRAWINGS: ARCHITECT, STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.
- THESE DRAWINGS MUST BE SUBMITTED IN ANY FORM OR USE FOR ANY OTHER PROJECTS WITHOUT WRITTEN CONSENT OF THE DESIGNER.

ADDITIONAL NOTES:

REVISIONS AND ISSUES

DATE	#	DESCRIPTION
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT

PROFESSIONAL SEAL:

2024/12/28

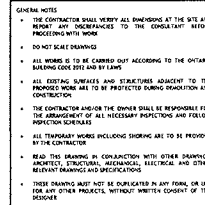
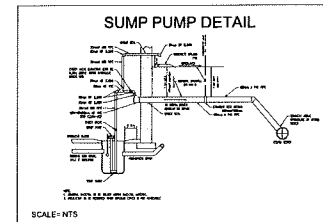
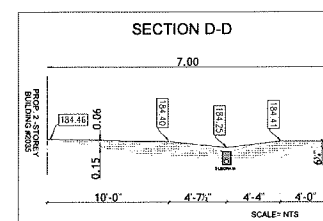
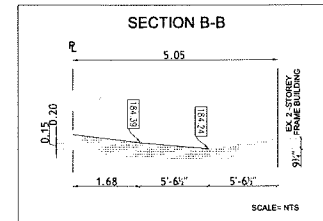
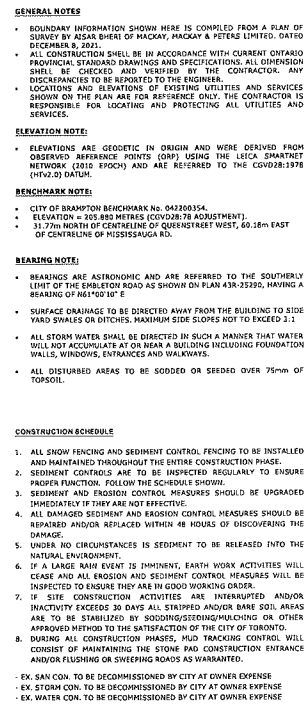
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
Site Plan & Key Plan

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 1:200
DATE: 2024/12/28
PROJECT NO: 24-699

DRAWING NO:
SP-1



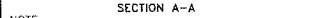
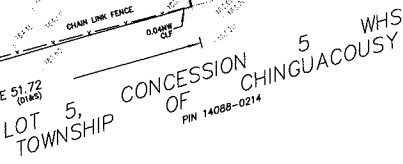
REVISIONS AND ISSUES		
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

2024/12/28

SHEET TITLE: Grading Plan

DRAWING NO:

C-1

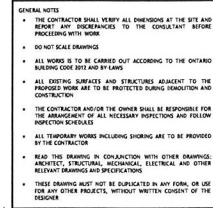


LIGHT-DUTY SILT FENCE BARRIER

[illegible]

Phone: +1(647)478-5055 lthd.ca
Toll free: +1(888)561-4161 info@lthd.ca

DATE: 2024/12/28



REVISIONS AND ISSUES		
2024/12/28	3	REVISED PER CITY COMMENTS
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DATE	#	DESCRIPTION

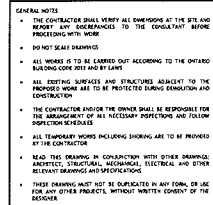
2024/12/28

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	00000000000000000000
DATE:	2024/12/28
PROJECT No:	24-699

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REVISIONS AND ISSUES

2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

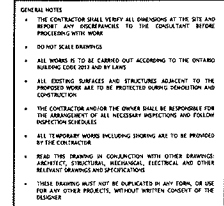
2024/12/28

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	XXXXXXXXXXXX
DATE:	2024/12/28
PROJECT No:	24-699

[illegible]

2nd Floor Plan



REVISIONS AND ISSUES		
DATE	#	DESCRIPTION
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT

PROJECT NAME:
New Custom House

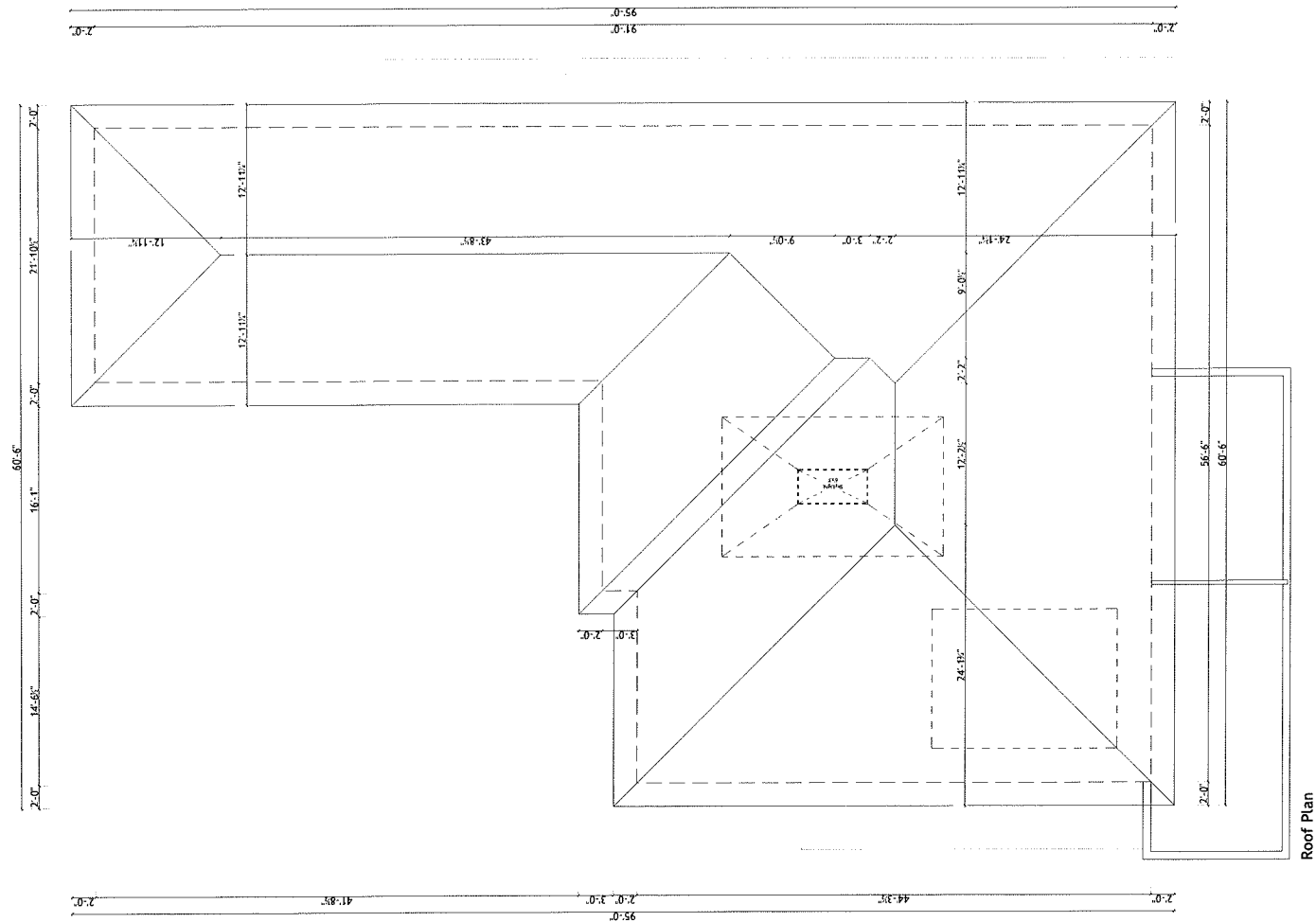
PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	3/16" = 1'-0"
DATE:	2024/12/28
PROJECT No:	24-699

DRAWING No:

A4

54



- GENERAL NOTES:
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ADDITIONAL NOTES:

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DATE	#	DESCRIPTION	
2024/12/28	3	REVISED PER CITY COMMENTS	
2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	

PROFESSIONAL SEAL:

2024/12/28

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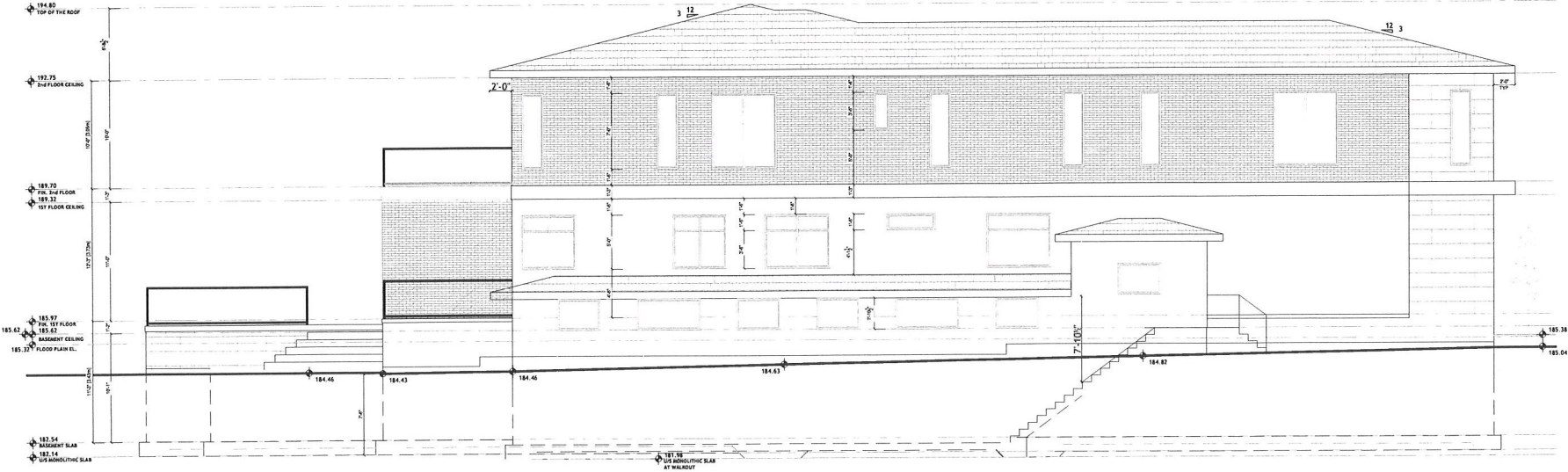
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

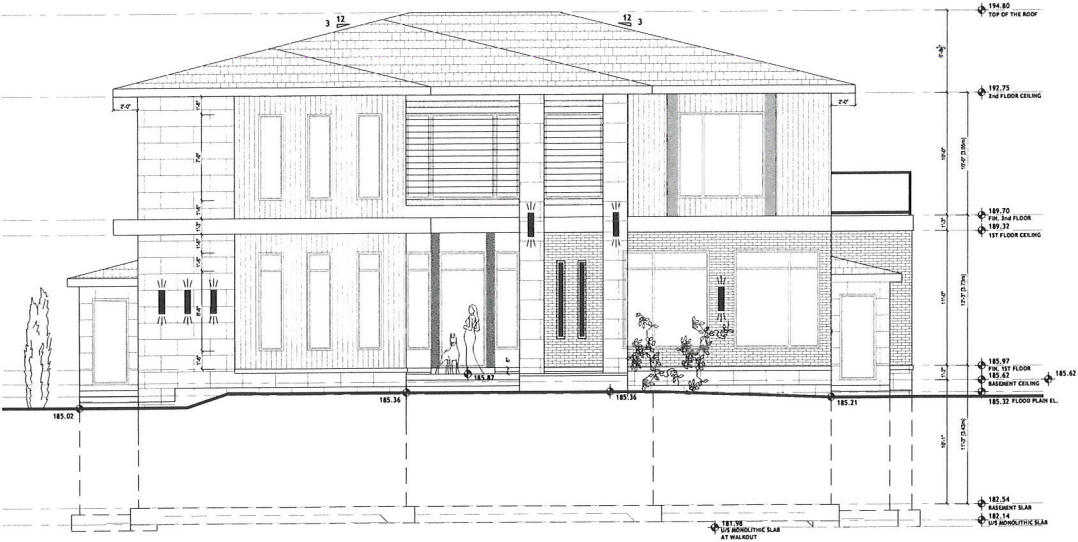
SHEET TITLE:
FRONT & LEFT ELEVATIONS

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2024/12/28
PROJECT NO: 24-699

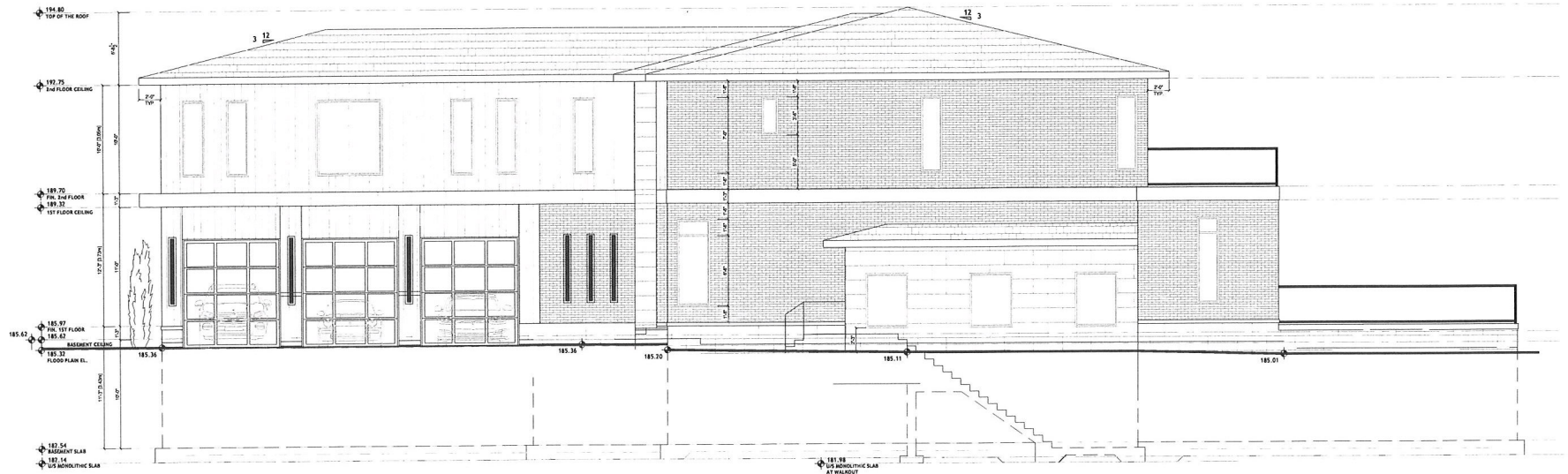
DRAWING NO:
A5
BT



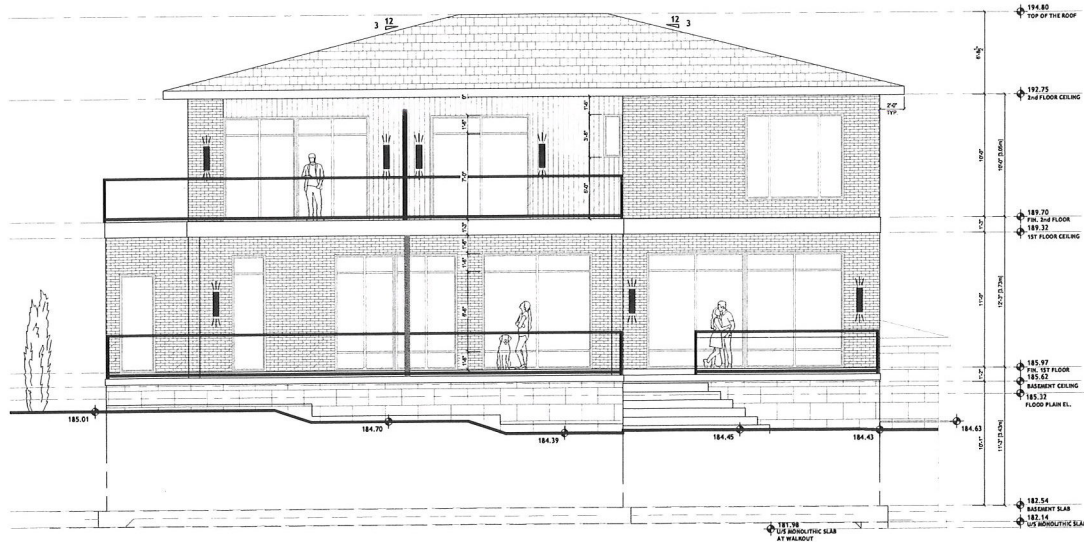
East Elevation



(North) Front Elevation



West Elevation



(South) Rear Elevation

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ADDITIONAL NOTES:

REVISIONS AND ISSUES			
DATE	#	DESCRIPTION	
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2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	

PROFESSIONAL SEAL:

2024/12/28

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PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
REAR & RIGHT ELEVATIONS

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	3/16" = 1'-0"
DATE:	2024/12/28
PROJECT No:	24-699

DRAWING No:
A6
BY

GENERAL NOTE:
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• ALL WORK IS TO BE CARRIED OUT ACCORDING TO THE ONTARIO BUILDING CODE AND BY LAWS.
• ALL EXISTING UTILITIES AND STRUCTURES ADJACENT TO THE PROPOSED WORK ARE TO BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
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2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	

PROFESSIONAL SEAL:

2024/12/28

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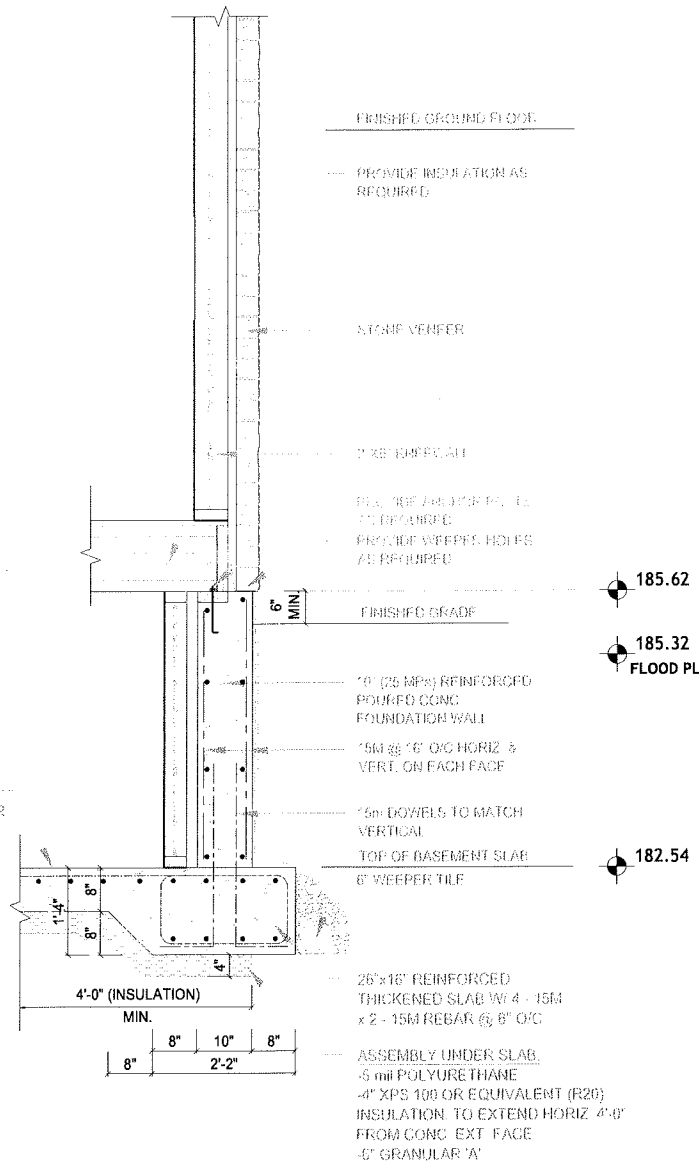
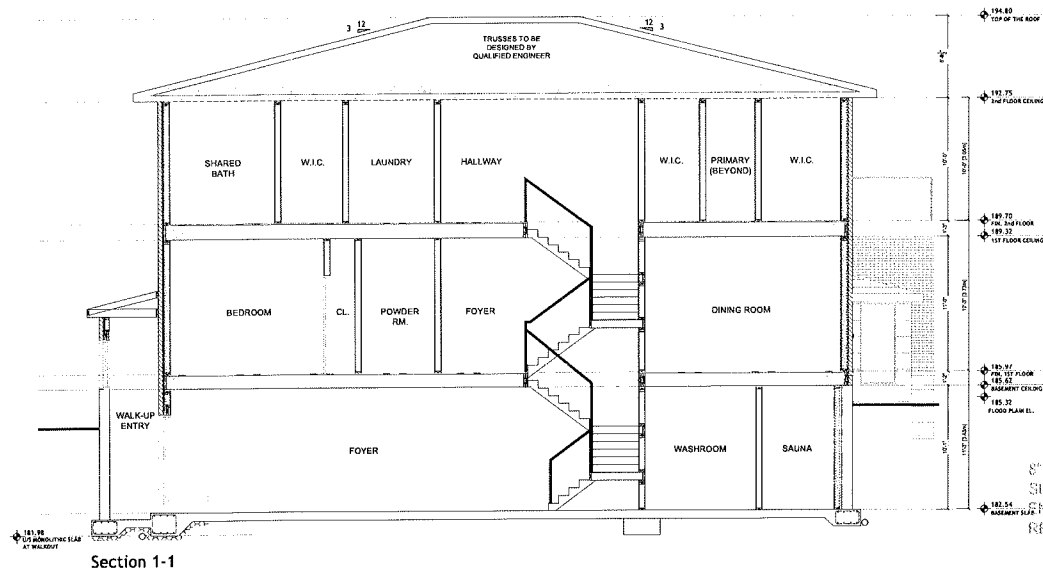
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
SECTION '1'-1' & DETAIL

DESIGN BY: RH	DRAWING NO: A7 BY
DRAWN BY: JT	
CHECKED BY: AG	
SCALE: #/#####	
DATE: 2024/12/28	
PROJECT NO: 24-659	

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TYP. REINFORCED FOUNDATION WALL/SLAB
- DETAIL
SCALE: NTS

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REVISIONS AND ISSUES		
DATE	#	DESCRIPTION
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR C.V.C. PERMIT

PROFESSIONAL SEAL:

2024/12/28

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PROJECT NAME:
New Custom House

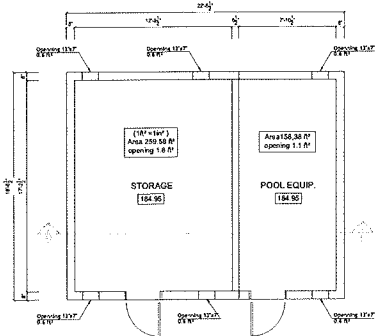
PROJECT ADDRESS:
2035 Embledon Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
STORAGE HOUSE PLAN &
ELEVATIONS & SECTION A-A

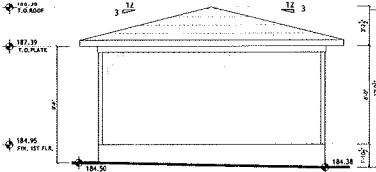
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DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	3/16" = 1'-0"
DATE:	2024/12/28
PROJECT NO.:	24-699

DRAWING NO.:

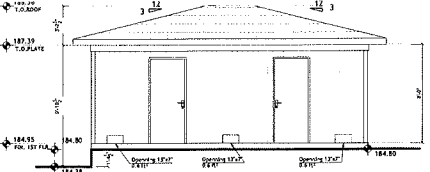
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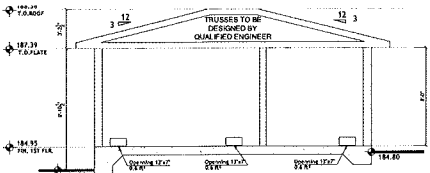
Ground Floor Plan



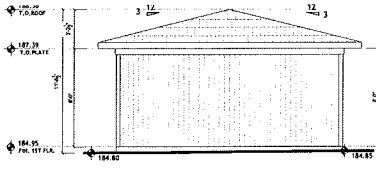
West Elevation



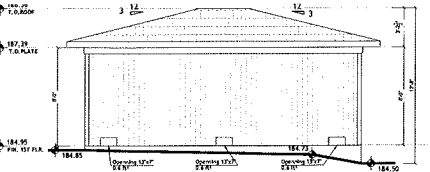
South Elevation



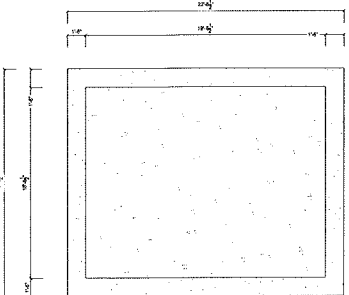
Section A-A



East Elevation



North Elevation



Footing Plan

Zoning Non-compliance Checklist

File No.
A-2025-0038

Owner: Simardeep Kohli
Address: 2035 Embleton Road
Zoning: Residential “RHM1” Zone
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit an interior side yard setback of 5.53m to a proposed two storey single detached dwelling.	Whereas the by-law requires a minimum interior side yard setback of 7.5m.	11.4.2 (e)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE “C”			

Note: This property is located within the Credit Valley Conservation Fill Regulated Area. Please obtain clearance from the Credit Valley Conservation Authority prior to resubmitting your application. They can be reached at planning@cvc.ca.

Aman Hansra
Reviewed by Zoning
March 26, 2025
Date



Project Name:

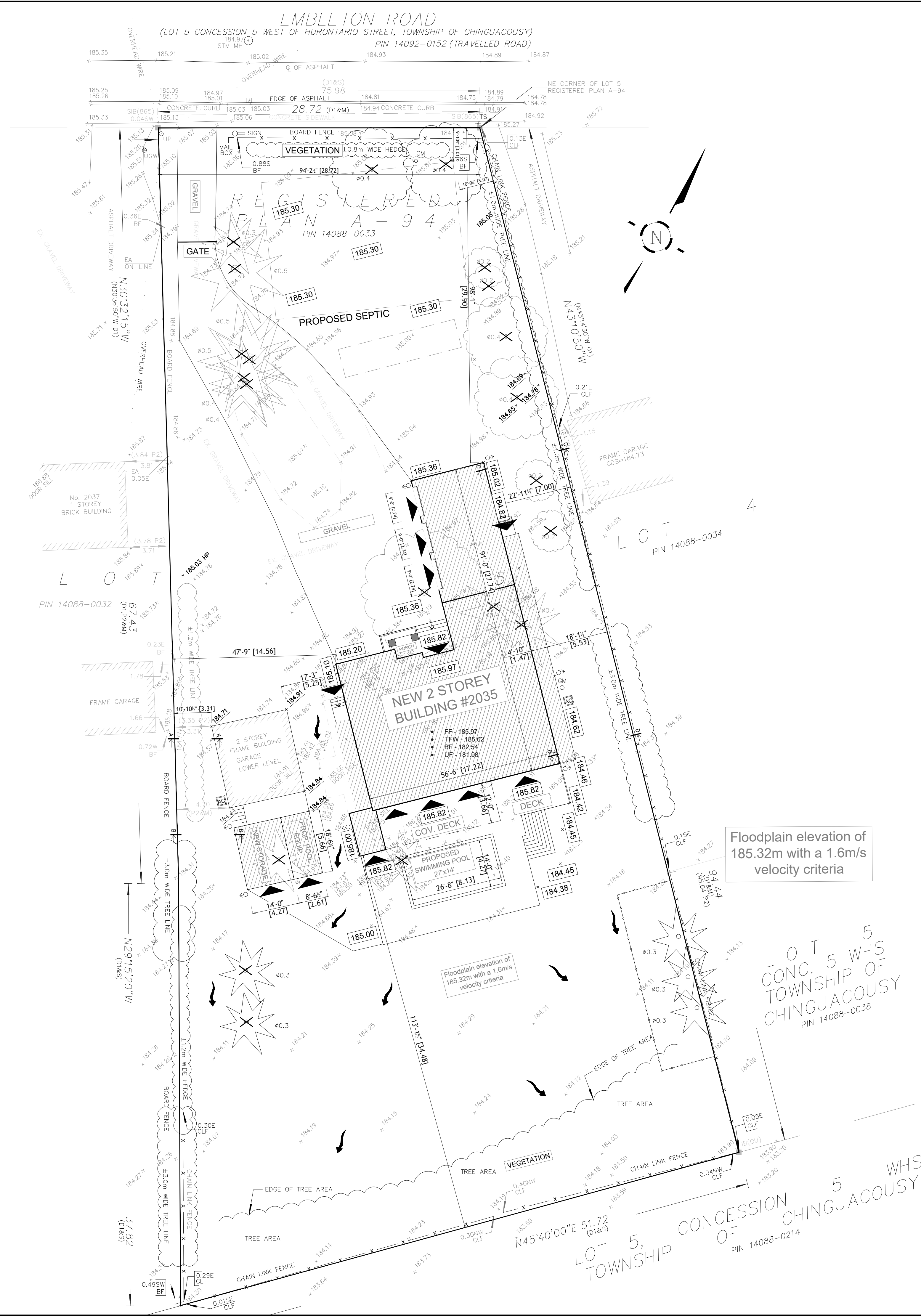
NEW CUSTOM HOUSE

Address:

2035 Embleton Rd., Brampton ON., L6Y 0E9

In Tech House Design Corporation
2275 Lake Shore Blvd. West
Suite 224, Toronto, ON M8V3Y3
www.ithd.ca, info@ithd.ca
+1(647)478-5055

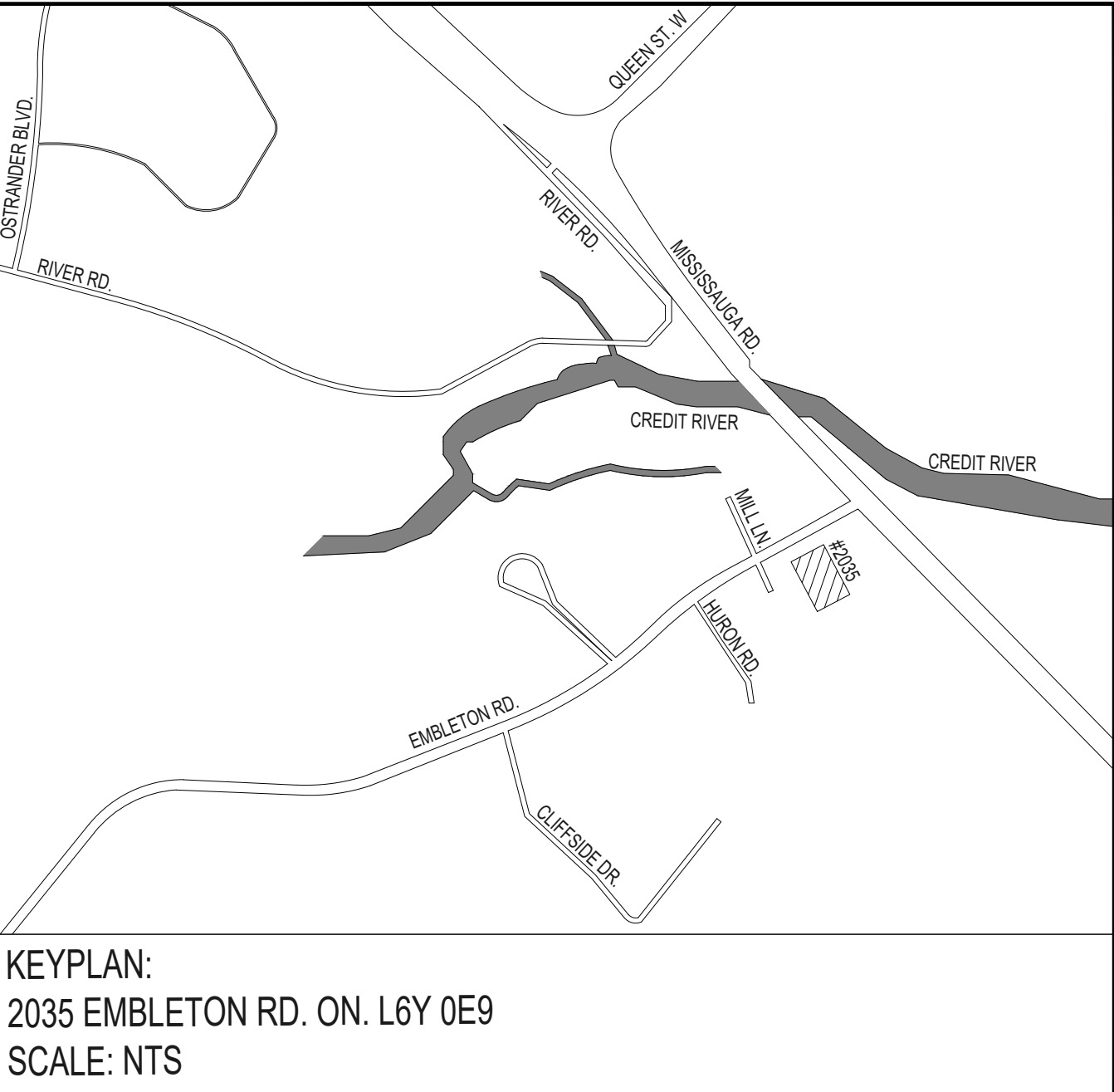




LEGEND

- × 000.00 EXISTING ELEVATION
- × 00.00 PROPOSED ELEVATION
- × 00.00SW PROPOSED SWALE ELEVATION
- DIRECTION OF SURFACE FLOW
- DIRECTION OF SUBDRAIN SWALE
- DIRECTION OF GRASS SWALE
- ↙ DOWNSPOUT
- ↙ DIRECTION OF SUMP PUMP SUB CHARGE
- SEDIMENT CONTROL FENCE
- TREE PROTECTION FENCE
- ▲ ENTRY TO BUILDING
- ▲ ENTRY BELOW

- FF - FINISHED FLOOR ELEVATION
- TFW - TOP OF FOUNDATION WALL
- BF - FINISHED BASEMENT SLAB
- UF - UNDERSIDE OF FOOTING



SITE STATISTICS - NEW DWELLING				
RD(F12.0;a370)(x1463)				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
LOT AREA			42235.75	3923.80
EX. BUILDING AREA			553.59	51.43
NEW BUILDING AREA			4002.85	371.87
NEW STORAGE AREA			259.45	24.10
NEW POOL EQUIPMENT AREA			158.50	14.73
LOT COVERAGE				11.8%
GROSS FLOOR AREA				
	SQ.FT	m²	SQ.FT	m²
FIRST FLOOR	-	-	2754.50	255.90
SECOND FLOOR	-	-	2654.16	246.58
TOTAL G.F.A.	-	-	5408.66	502.48
FINISHED BASEMENT	-	-	2635.03	244.80
	FT	m	FT	m
AVERAGE ESTABLISH GRADE NORTH (FRONT)				185.36
BUILDING HEIGHT NORTH (FRONT)		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE SOUTH (REAR)				185.36
BUILDING HEIGHT SOUTH (REAR)		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE EAST SIDE				185.36
BUILDING HEIGHT EAST SIDE		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE WEST SIDE				185.36
BUILDING HEIGHT WEST SIDE		10.60	30'-11 1/4"	9.43 m
BUILDING LENGTH			103'-0"	31.39
BUILDING DEPTH			103'-0"	31.39
LOT FRONTAGE			94'-2 1/2"	28.72
SETBACKS				
	FT	m	FT	m
FRONT		12.00	98'-1"	29.90
REAR		7.50	113'-1 1/2"	34.48
WEST SIDE		7.50	47'-9"	14.56
EAST SIDE		15	18'-1 1/2"	5.53
LANDSCAPING				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
FRONT YARD LANDSCAPING AREA			15061.99	1399.29
SOFT LANDSCAPE AREA			10543.56	989.52
HARD LANDSCAPE AREA	-	-	4518.43	419.77
		70%		70%
REAR YARD AREA BREAK DOWN				
COVERED DECK			416.00	38.65
SWIMMING POOL			443.89	41.24

ITHD
From Idea To Reality
224-2275 Lake Shore Boulevard West,
Toronto, ON M8V 3Y3
Phone: +1(647)478-5055 ithd.ca
Toll free: +1(885)561-4161 info@ithd.ca

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2024/09/25	1	ISSUED FOR CVC PERMIT

PROFESSIONAL SEAL:

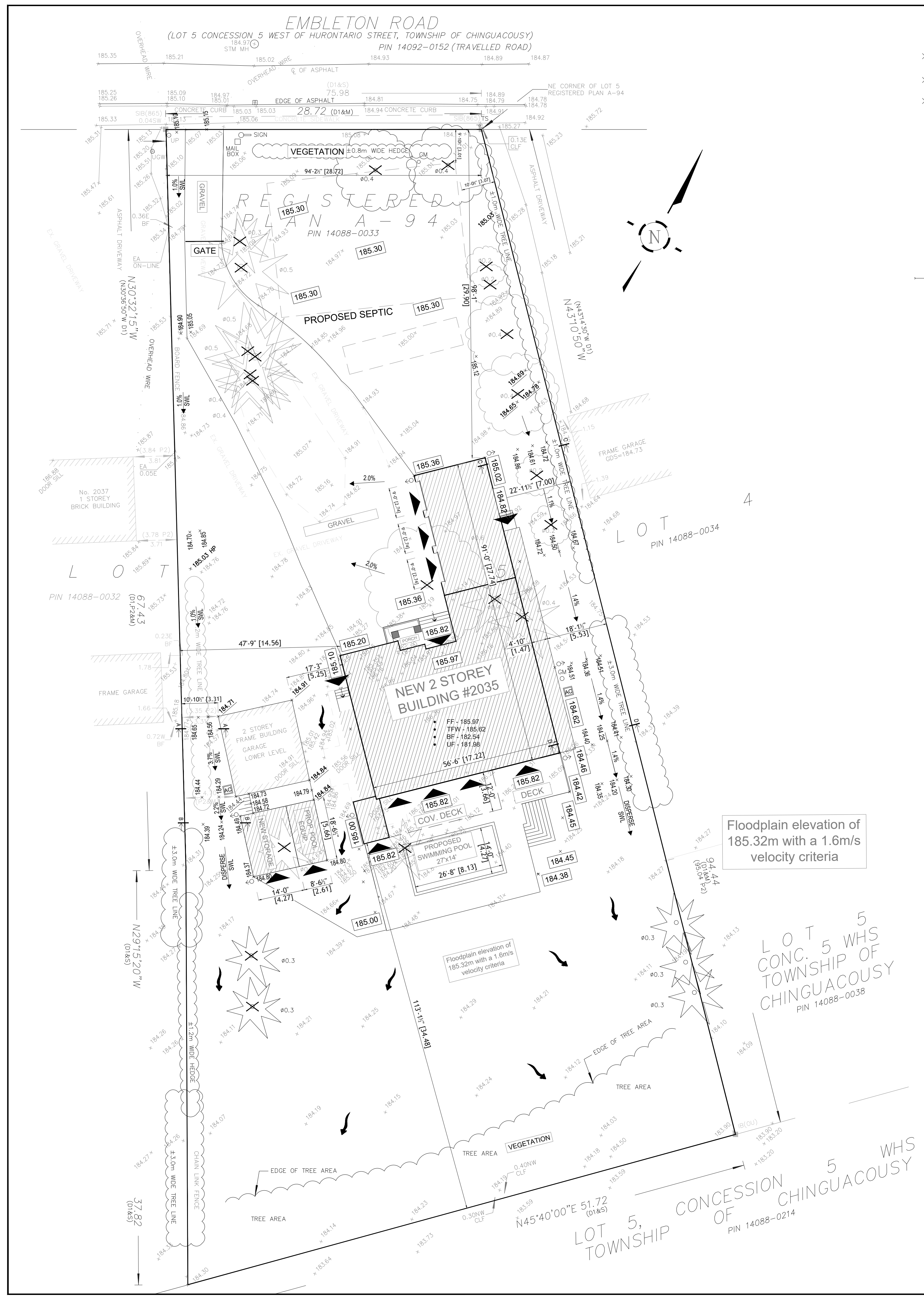
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
Site Plan & Key Plan

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 1:200
DATE: 2024/12/28
PROJECT No: 24-699

DRAWING No:
SP-1



LEGEND

- × 000.00 EXISTING ELEVATION
- × 00.00 PROPOSED ELEVATION
- × 00.00SW PROPOSED SWALE ELEVATION
- DIRECTION OF SURFACE FLOW
- DIRECTION OF SUBDRAIN SWALE
- DIRECTION OF GRASS SWALE
- ⊙ DOWNSPOUT
- ▲ DIRECTION OF SUMP PUMP SUB CHARGE
- SEDIMENT CONTROL FENCE
- TREE PROTECTION FENCE
- ENTRY TO BUILDING
- ENTRY BELOW

- FF - FINISHED FLOOR ELEVATION
- TFW - TOP OF FOUNDATION WALL
- BF - FINISHED BASEMENT SLAB
- UF - UNDERSIDE OF FOOTING

GENERAL NOTES

- BOUNDARY INFORMATION SHOWN HERE IS COMPILED FROM A PLAN OF SURVEY BY AISAR BHERI OF MACKAY, MACKAY & PETERS LIMITED, DATED DECEMBER 8, 2021.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS. ALL DIMENSION SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
- LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND SERVICES SHOWN ON THE PLAN ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES AND SERVICES.

ELEVATION NOTE:

- ELEVATIONS ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) USING THE LEICA SMARTNET NETWORK (2010 EPOCH) AND ARE REFERRED TO THE CGVD28:1978 (HTV2.0) DATUM.
- CITY OF BRAMPTON BENCHMARK No. 042200354.
- ELEVATION = 205.880 METRES (CGVD28:78 ADJUSTMENT).
- 31.77m NORTH OF CENTRELINE OF QUEENSTREET WEST, 60.18m EAST OF CENTRELINE OF MISSISSAUGA RD.

BENCHMARK NOTE:

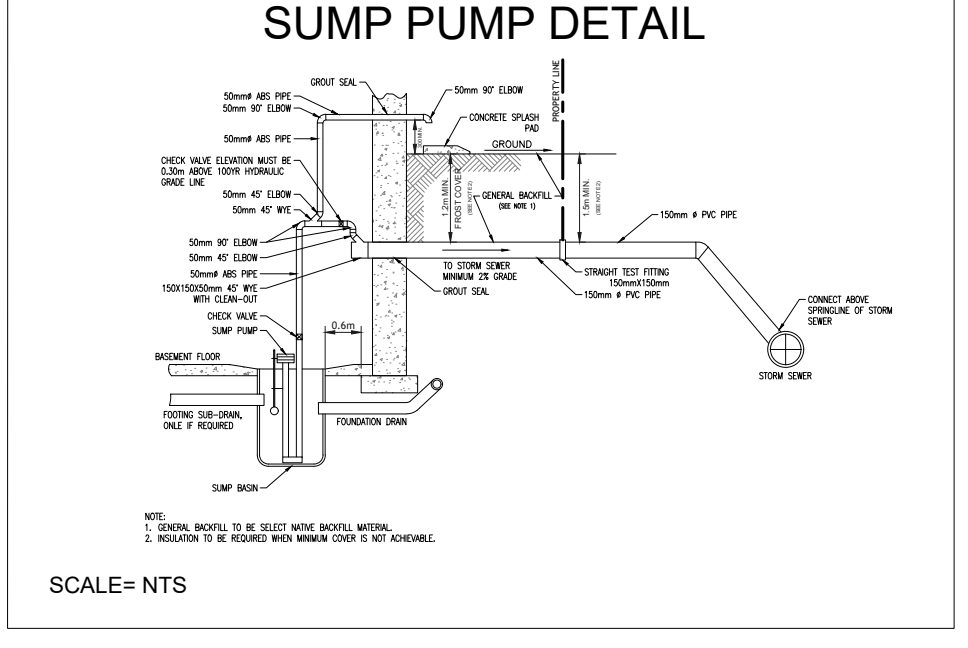
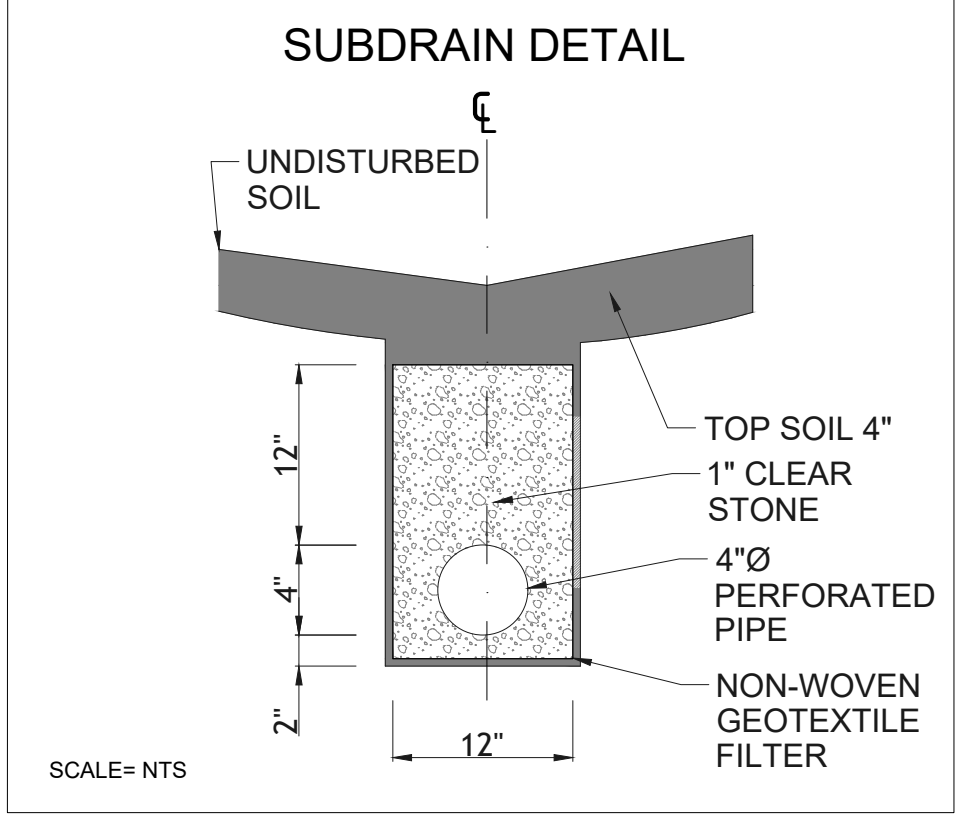
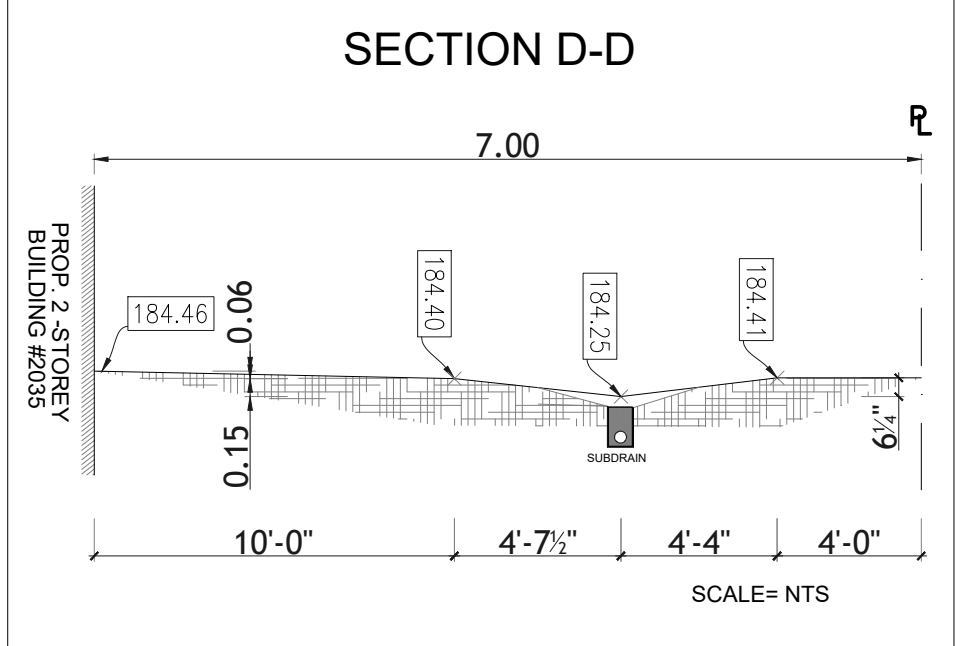
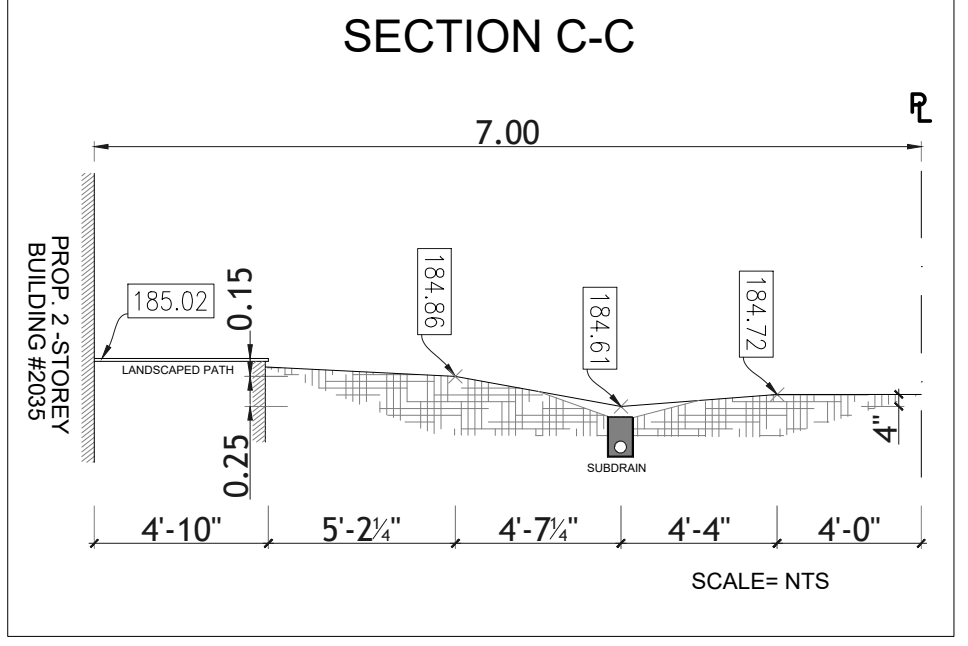
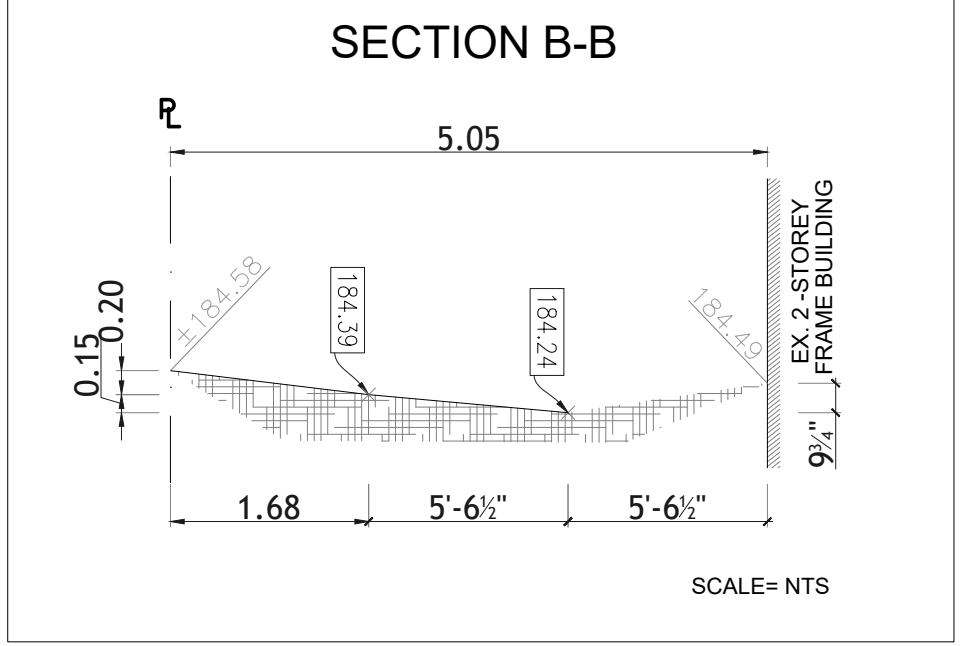
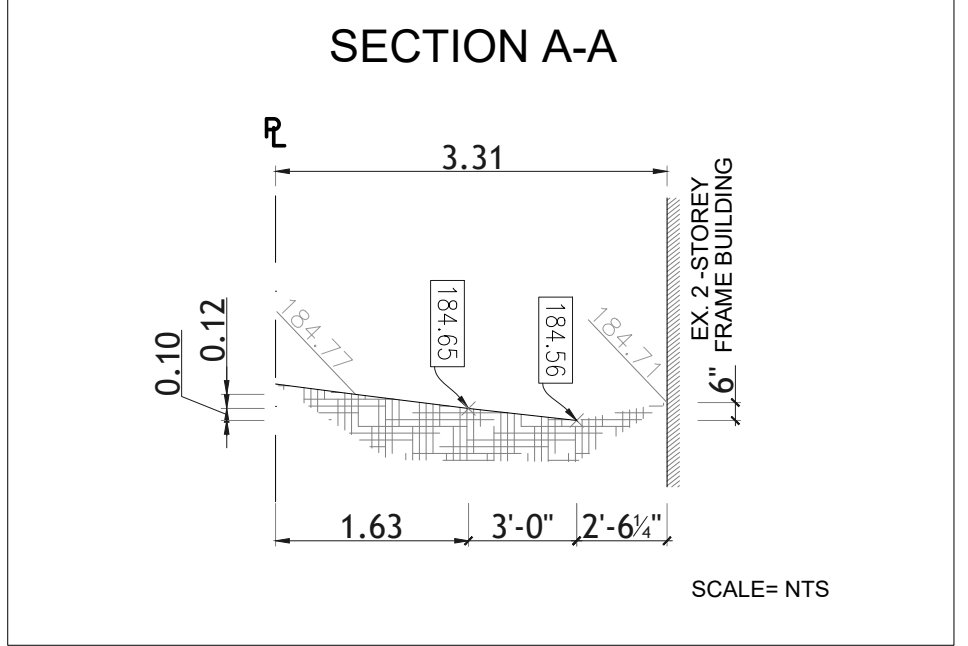
- BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF THE EMBLETON ROAD AS SHOWN ON PLAN 43R-25290, HAVING A BEARING OF N61°00'10" E
- SURFACE DRAINAGE TO BE DIRECTED AWAY FROM THE BUILDING TO SIDE YARD SWALES OR DITCHES. MAXIMUM SIDE SLOPES NOT TO EXCEED 3:1
- ALL STORM WATER SHALL BE DIRECTED IN SUCH A MANNER THAT WATER WILL NOT ACCUMULATE AT OR NEAR A BUILDING INCLUDING FOUNDATION WALLS, WINDOWS, ENTRANCES AND WALKWAYS.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED OVER 75mm OF TOPSOIL.

CONSTRUCTION SCHEDULE

- ALL SNOW FENCING AND SEDIMENT CONTROL FENCING TO BE INSTALLED AND MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PHASE.
 - SEDIMENT CONTROLS ARE TO BE INSPECTED REGULARLY TO ENSURE PROPER FUNCTION. FOLLOW THE SCHEDULE SHOWN.
 - SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE UPGRADED IMMEDIATELY IF THEY ARE NOT EFFECTIVE.
 - ALL DAMAGED SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE REPAIRED AND/OR REPLACED WITHIN 48 HOURS OF DISCOVERING THE DAMAGE.
 - UNDER NO CIRCUMSTANCES IS SEDIMENT TO BE RELEASED INTO THE NATURAL ENVIRONMENT.
 - IF A LARGE RAIN EVENT IS IMMINENT, EARTH WORK ACTIVITIES WILL CEASE AND ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED TO ENSURE THEY ARE IN GOOD WORKING ORDER.
 - IF SITE CONSTRUCTION ACTIVITIES ARE INTERRUPTED AND/OR INACTIVITY EXCEEDS 30 DAYS ALL STRIPPED AND/OR BARE SOIL AREAS ARE TO BE STABILIZED BY SODDING/SEEDING/MULCHING OR OTHER APPROVED METHOD TO THE SATISFACTION OF THE CITY OF TORONTO.
 - DURING ALL CONSTRUCTION PHASES, MUD TRACKING CONTROL WILL CONSIST OF MAINTAINING THE STONE PAD CONSTRUCTION ENTRANCE AND/OR FLUSHING OR SWEEPING ROADS AS WARRANTED.
- EX. SAN CON. TO BE DECOMMISSIONED BY CITY AT OWNER EXPENSE
 - EX. STORM CON. TO BE DECOMMISSIONED BY CITY AT OWNER EXPENSE
 - EX. WATER CON. TO BE DECOMMISSIONED BY CITY AT OWNER EXPENSE

UNDERGROUND SERVICES

- THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE. THE UNDERSIGNED COMPANY AND EACH UTILITY ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ON-SITE LOCATE PRIOR TO ANY EXCAVATION.
- ALL FOOTING FORMWORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
 - PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THAT OWNER'S CONSULTANT MUST CERTIFY THAT THE TOP OF FOUNDATIONS IS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY TOWN.
 - ALL RAINWATER LEADERS SHALL DISCHARGE ONTO CONCRETE SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.
 - EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF-CONTAINED.
 - THE OWNER SHALL CONTACT THE TOWNS ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
 - THE OWNER SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ALL ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
 - THE OWNER SHALL CONTACT THE TOWNS BUILDING SERVICES DIVISION A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE".
 - IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS:
 - THE OWNER IS RESPONSIBLE TO ENSURE ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORMS TO ALL TOWN BYLAWS.
 - FOR PROPOSED INFILTRATION GALLERIES, THE OWNER SHALL PROVIDE THE TOWN WITH CONSTRUCTION PHOTOS AFTER EXCAVATION OF THE GALLERY AND TRENCHES FOR ROOF DRAIN PIPE CONNECTIONS. PRIOR TO BACKFILLING, THE OWNER SHALL ALSO PROVIDE CONSTRUCTION PHOTOS AFTER INSTALLATION OF CLEAR STONE AND ROOF DRAIN PIPE.





From Idea To Reality
224-2275 Lake Shore Boulevard West,
Toronto, ON M8V 3Y3

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ADDITIONAL NOTES:

REVISIONS AND ISSUES			
DATE	#	DESCRIPTION	
2024/12/28	3	REVISED PER CITY COMMENTS	
2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	

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2024/09/25	1	ISSUED FOR CVC PERMIT	

PROFESSIONAL SEAL:



THE UNDERSIGNED HAS PROVIDED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. REQUIRED (UNLESS DESIGN IS EXEMPT) UNDER DIVISION C-3.2.2.1 OF THE 2012 O.B.C.

Andri Golovnia BCIN 47354
REGISTRATION INFORMATION
Required unless design is exempt under Division C-3.2.1 of the 2012 O.B.C.
Firm Name: In-Tech House Design Corp
BCIN 100196685

PROJECT NAME:

New Custom House

PROJECT ADDRESS:

2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:

Grading Plan

DESIGN BY: RH

DRAWN BY: JT

CHECKED BY: AG

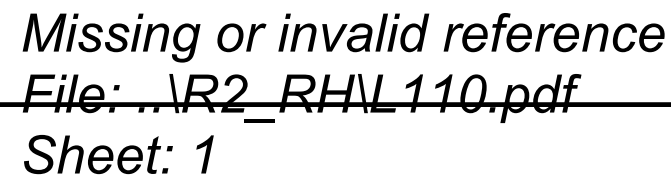
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DATE: 2024/12/28

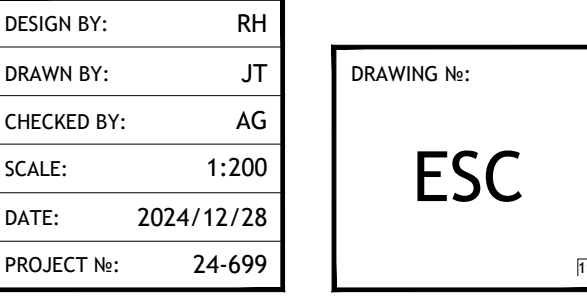
PROJECT No: 24-699

DRAWING No:

C-1



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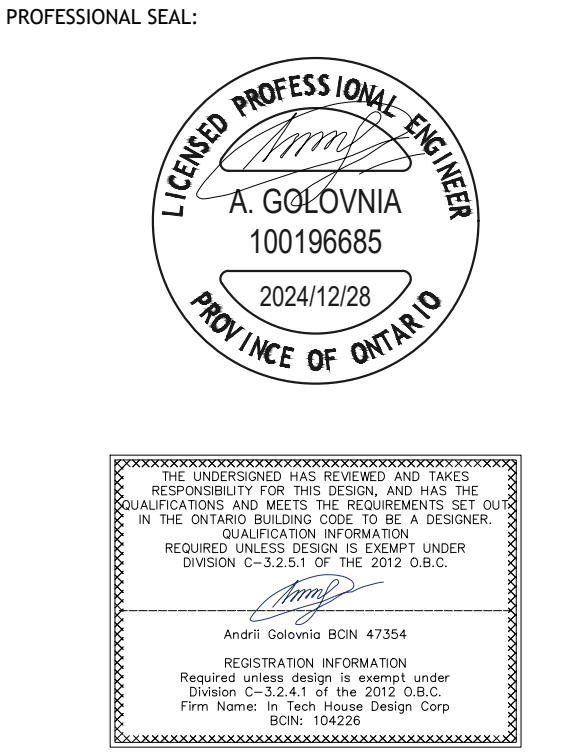


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ADDITIONAL NOTES:

REVISIONS AND ISSUES			
2024/12/28	3	REVISED PER CITY COMMENTS	
2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	
DATE	#	DESCRIPTION	



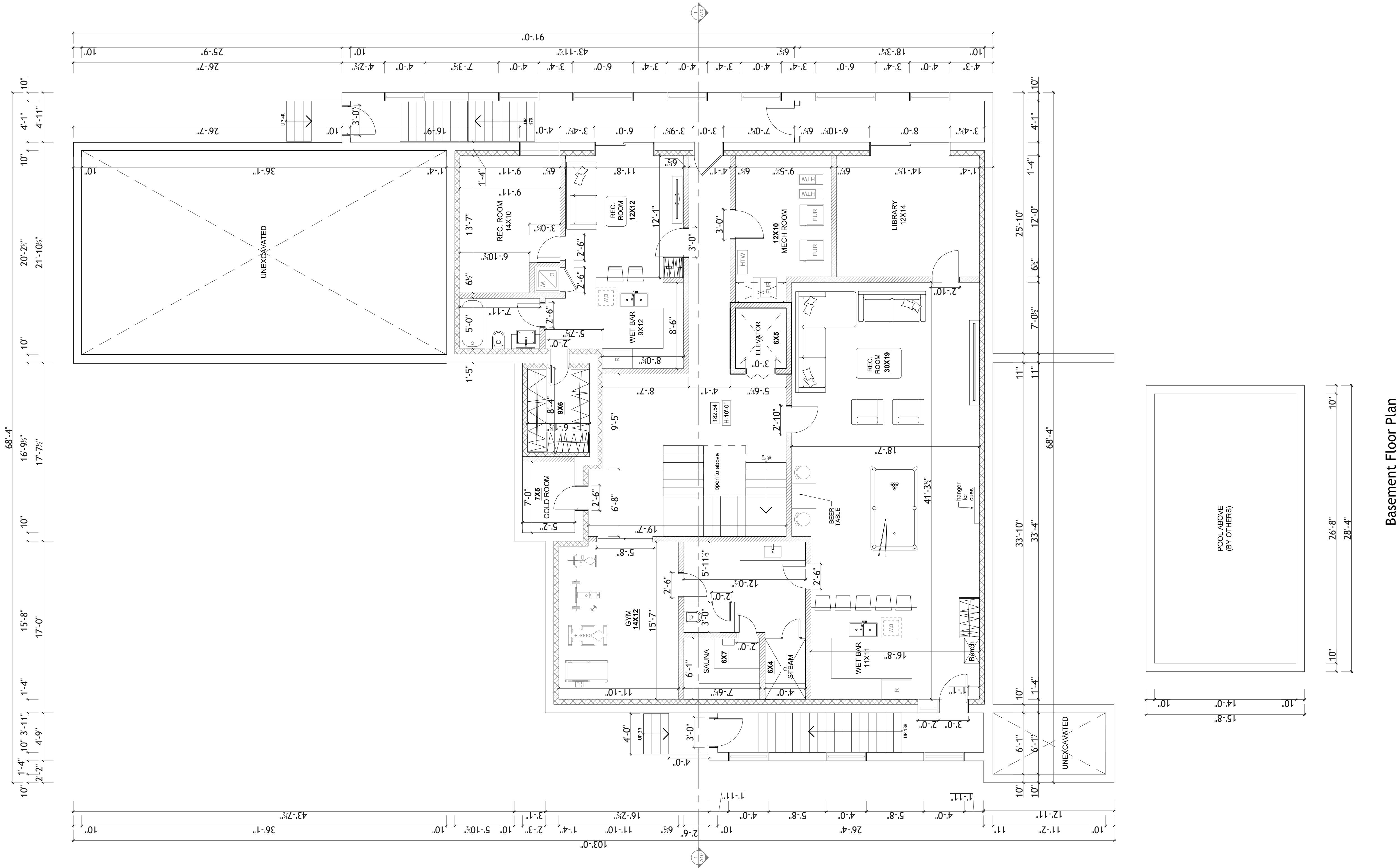
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:
BASEMENT PLAN

DESIGN BY:	RH	DRAWING N°: A1
DRAWN BY:	JT	
CHECKED BY:	AG	
SCALE:	3/16" = 1'-0"	
DATE:	2024/12/28	
PROJECT N°:	24-699	1/1

SIZE: ARCH D 36"x24"



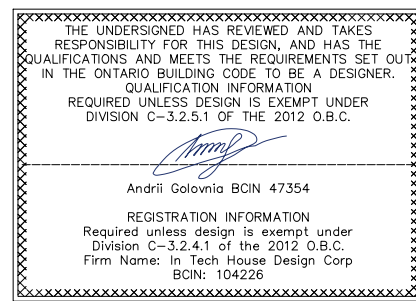
Basement Floor Plan

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2024/09/25	1	ISSUED FOR CVC PERMIT	

PROFESSIONAL SEAL:



PROJECT NAME:

New Custom House

PROJECT ADDRESS:

2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:

FIRST FLOOR PLAN

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: #####
DATE: 2024/12/28
PROJECT No: 24-699

DRAWING No:

A2

SIZE: ARCH D 36"X24"



1st Floor Plan



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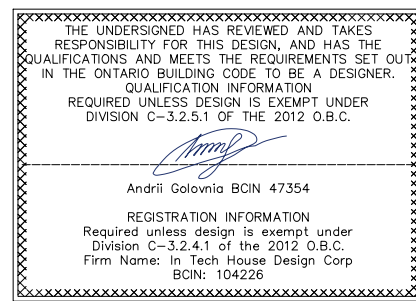
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PROFESSIONAL SEAL:



PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:
SECOND FLOOR PLAN

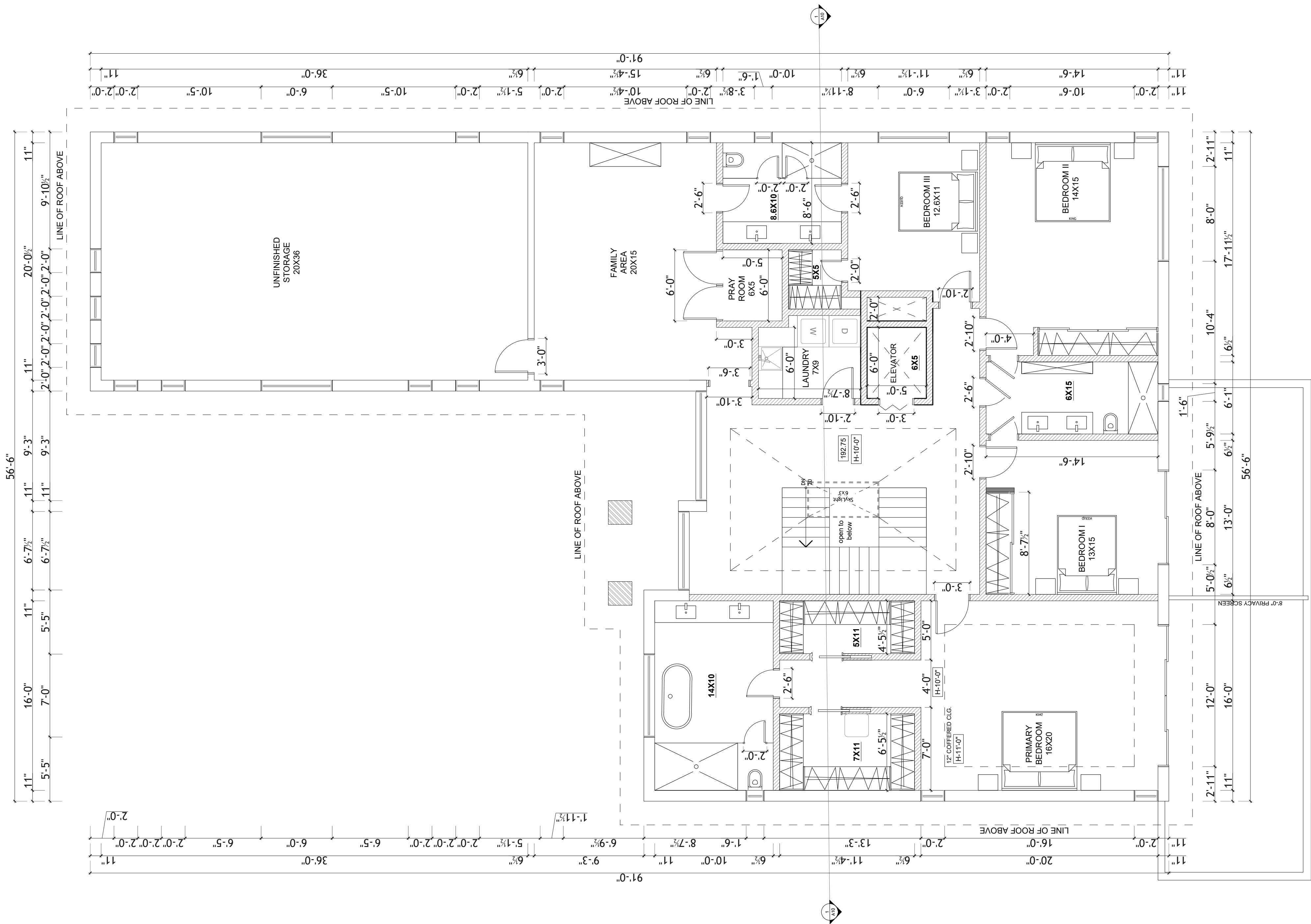
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DRAWN BY: JT
CHECKED BY: AG
SCALE: #####
DATE: 2024/12/28
PROJECT No: 24-699

DRAWING No:

A3

SIZE: ARCH D 36"x24"

2nd Floor Plan





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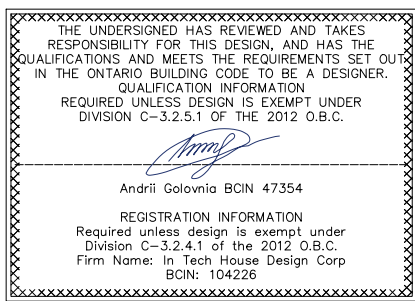
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ADDITIONAL NOTES:

REVISIONS AND ISSUES

DATE	#	DESCRIPTION
2024/09/25	1	ISSUED FOR CVC PERMIT
2024/11/07	2	REVISED PER CITY COMMENTS
2024/12/28	3	REVISED PER CITY COMMENTS

PROFESSIONAL SEAL:



PROJECT NAME:

New Custom House

PROJECT ADDRESS:

2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:

ROOF PLAN

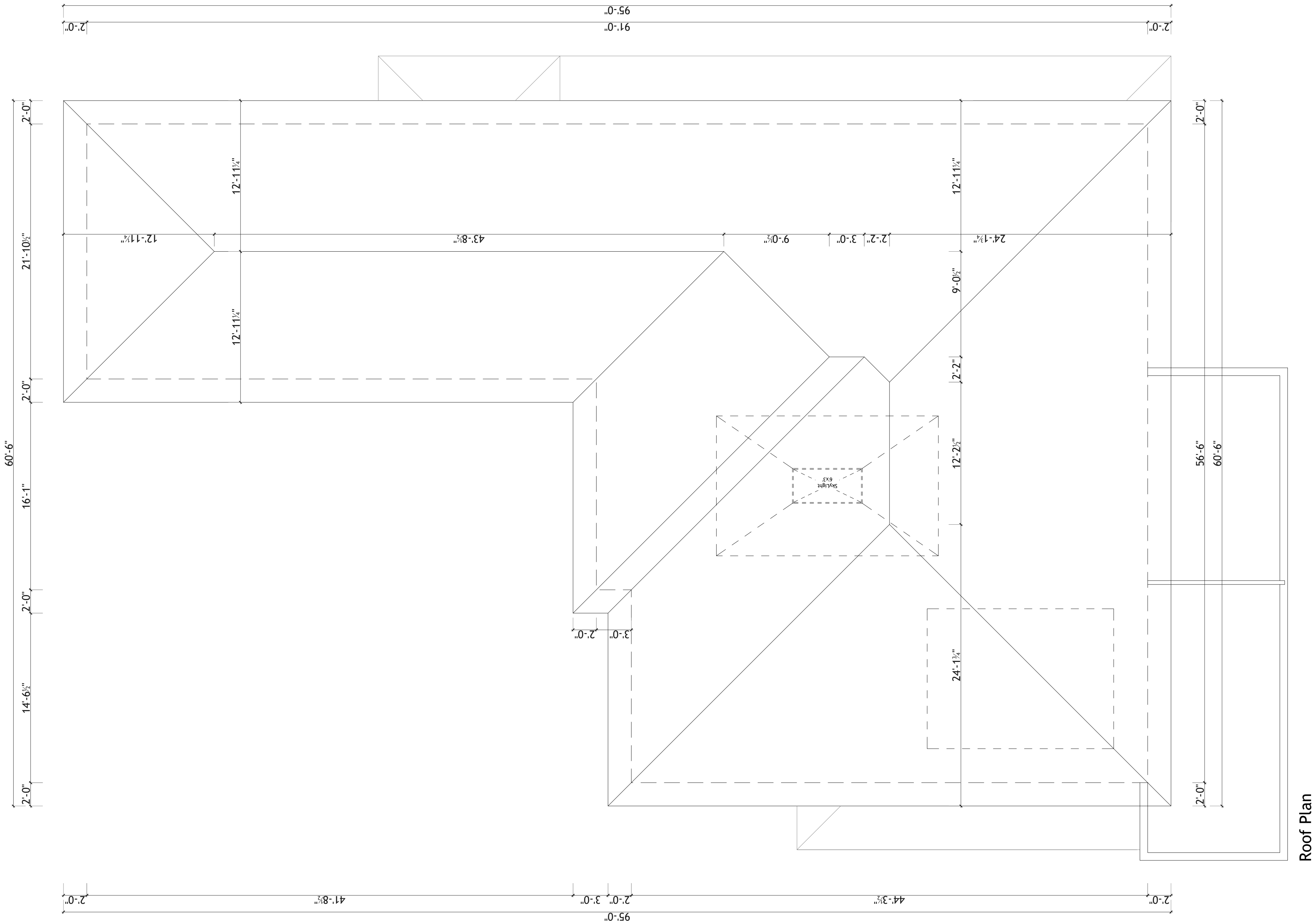
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DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	3/16" = 1'-0"
DATE:	2024/12/28
PROJECT N°:	24-699

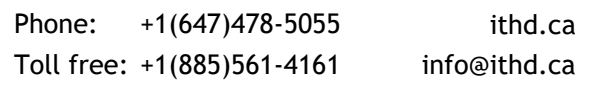
DRAWING N°:

A4

SIZE: ARCH D 36"x24"

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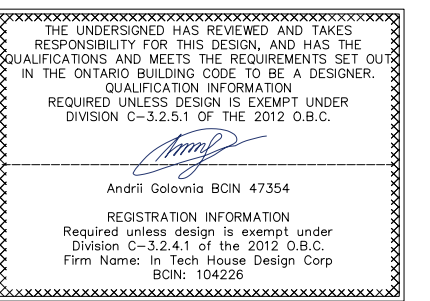
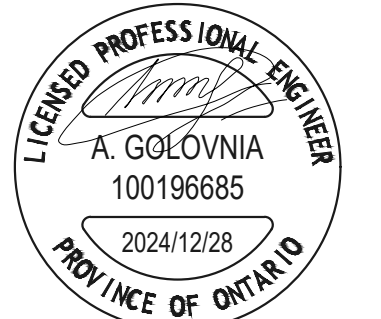


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2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:



PROJECT NAME:

New Custom House

PROJECT ADDRESS:

2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:

FRONT & LEFT ELEVATIONS

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	3/16" = 1'-0"
DATE:	2024/12/28
PROJECT №:	24-699

DRAWING N2:

A5

11



East Elevation



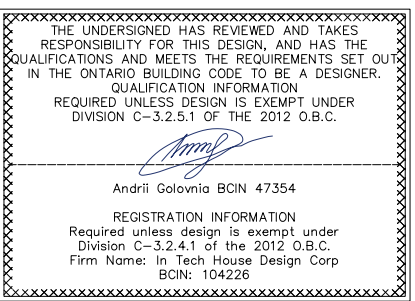
(North) Front Elevation

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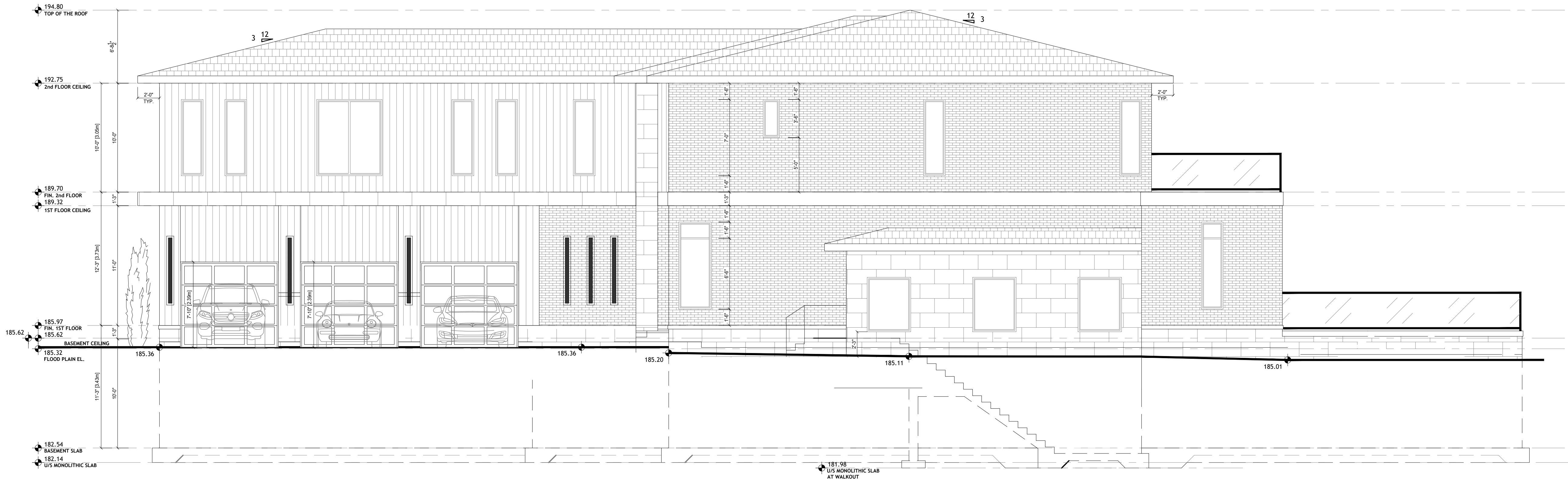
PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:
REAR & RIGHT ELEVATIONS

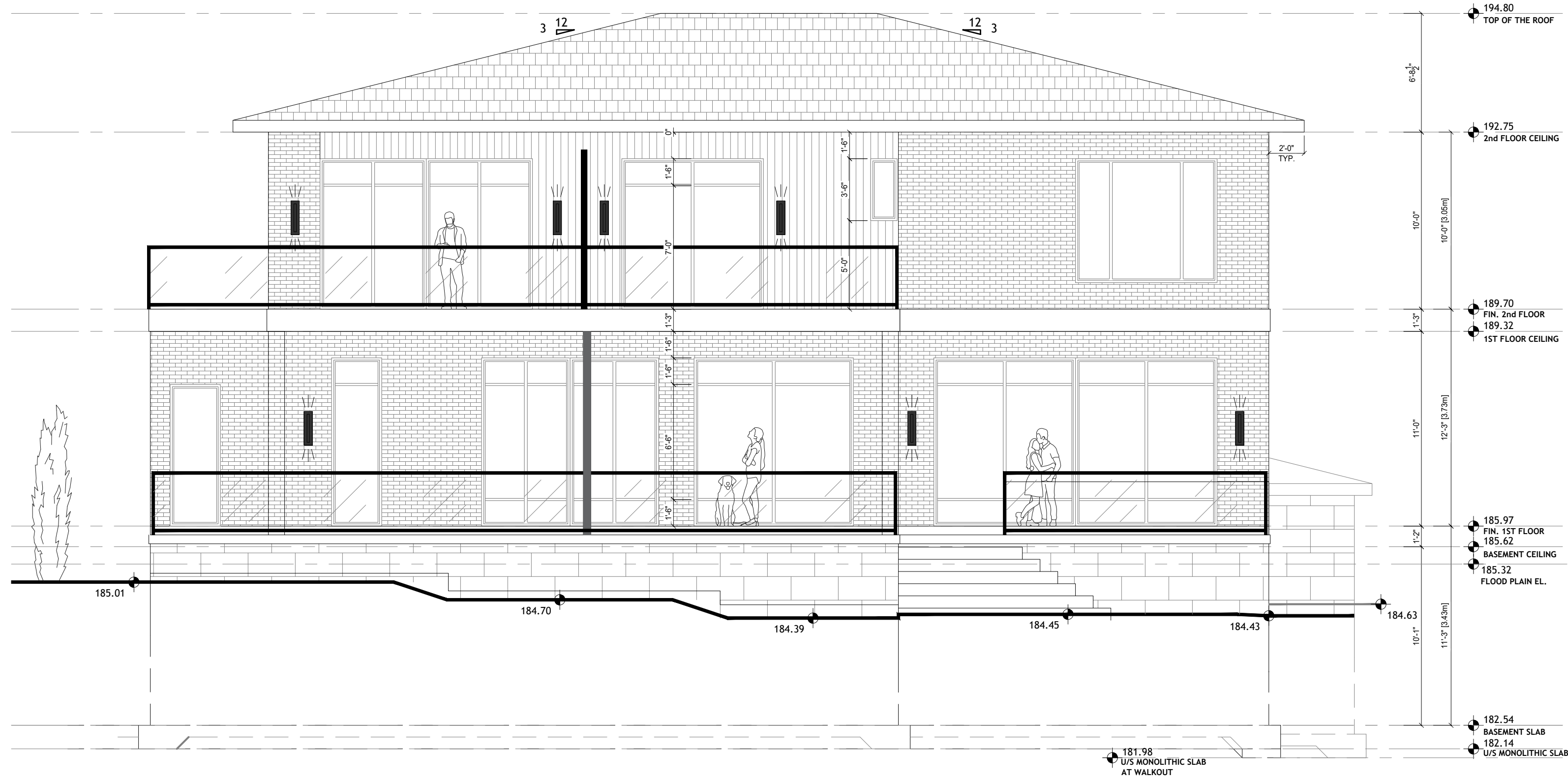
DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2024/12/28
PROJECT No: 24-699

DRAWING No:
A6

SIZE: ARCH D 36"x24"



West Elevation

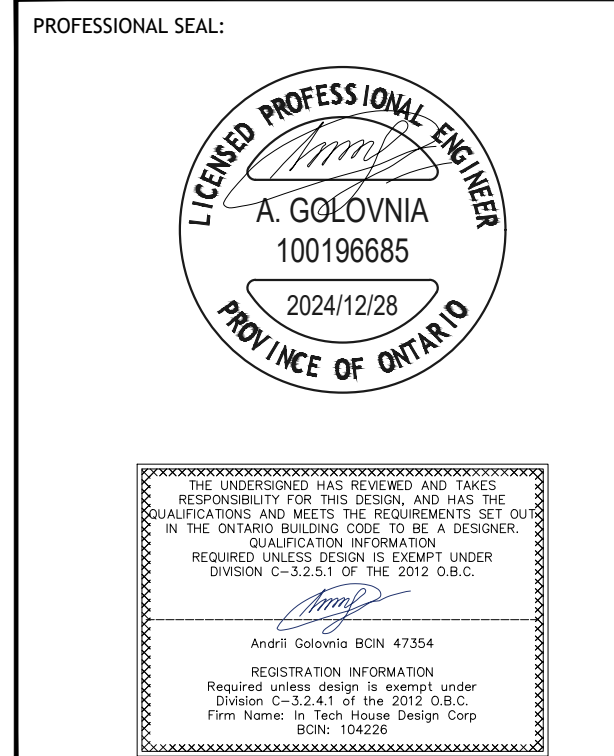


(South) Rear Elevation

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ADDITIONAL NOTES:

REVISIONS AND ISSUES		
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION



PROJECT NAME:
New Custom House

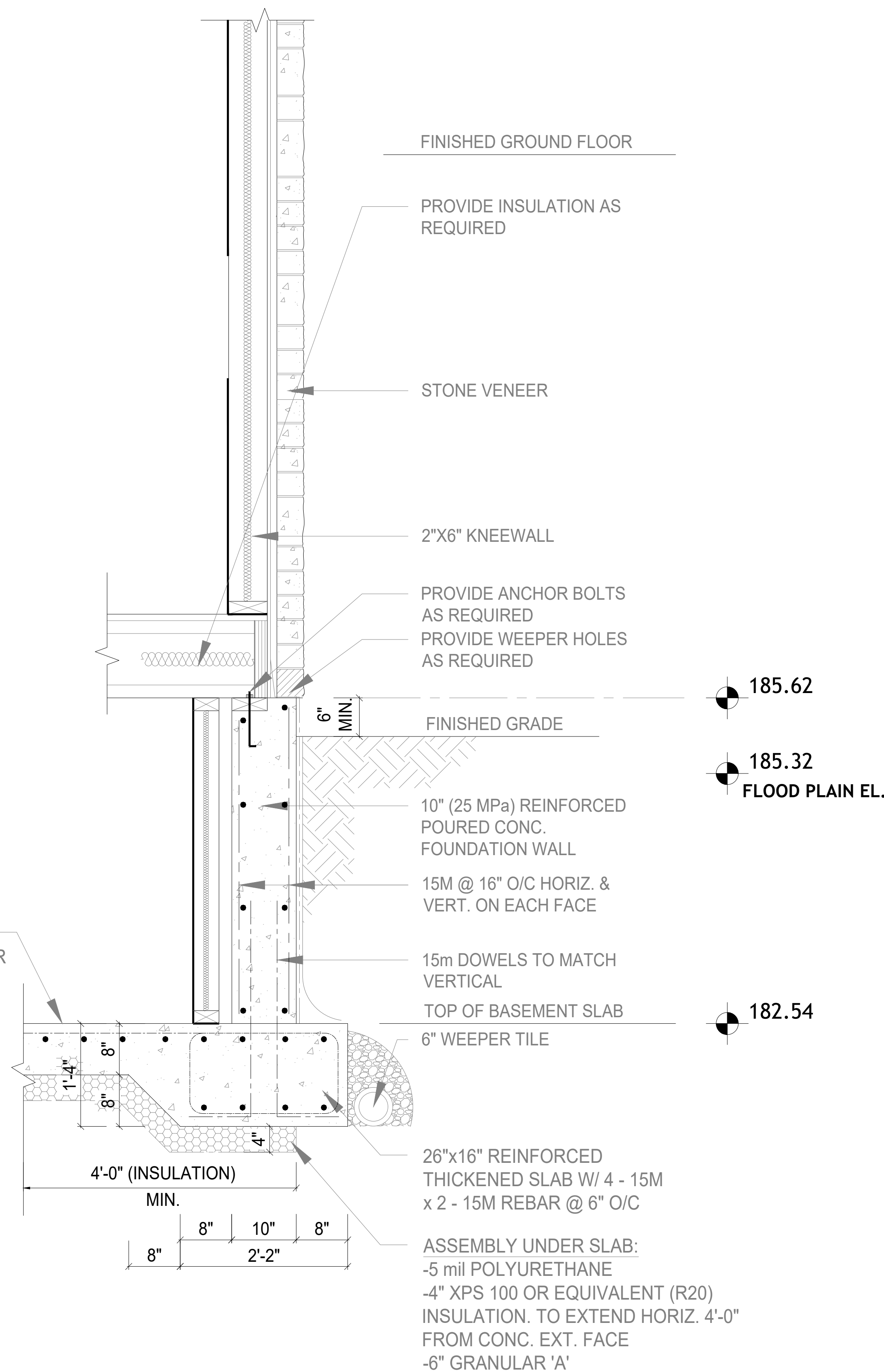
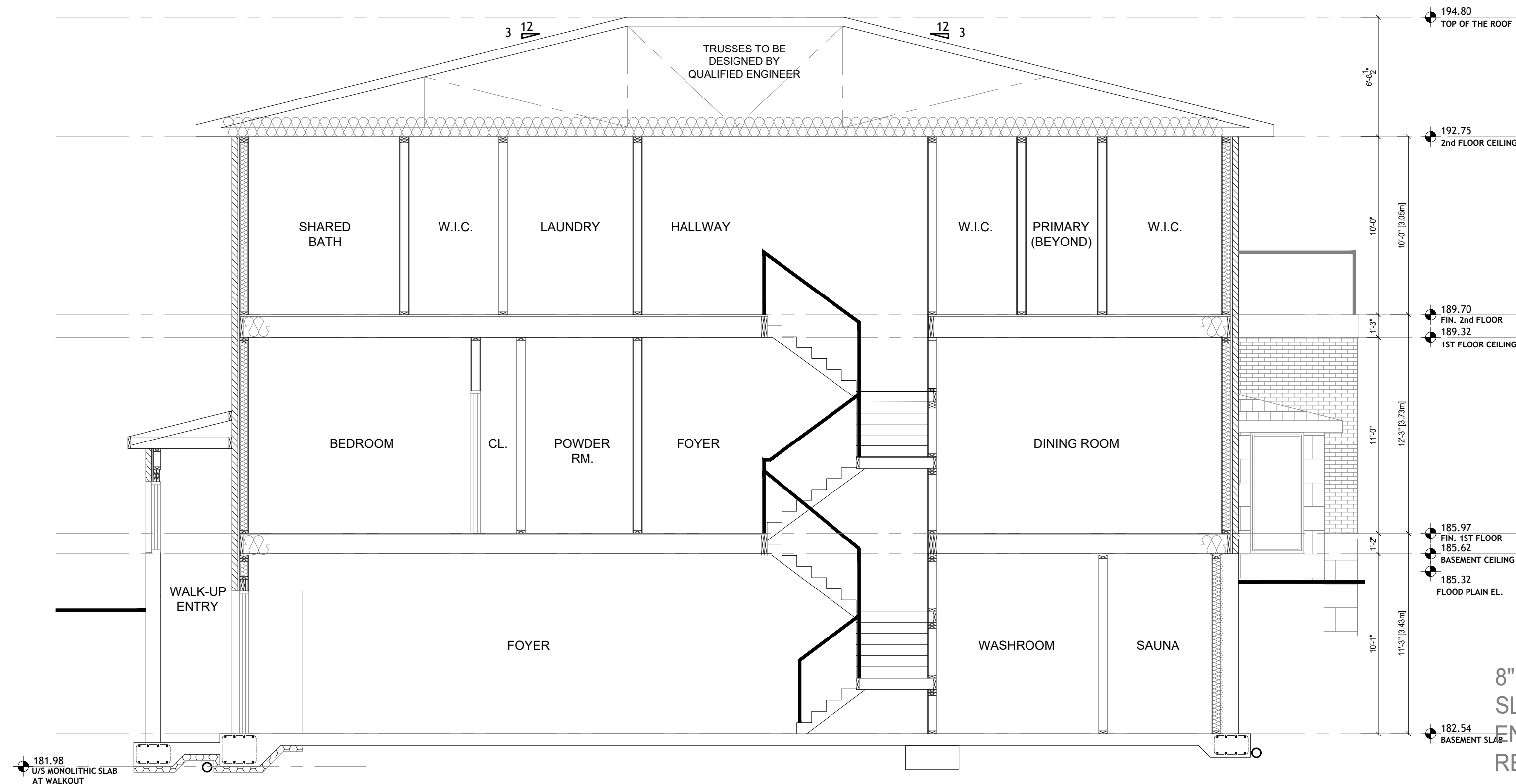
PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
SECTION '1-1' & DETAIL

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	#####
DATE:	2024/12/28
PROJECT No:	24-699

DRAWING No:	A7
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SIZE: ARCH D 36"x24"



D1

TYP. REINFORCED FOUNDATION WALL/SLAB - DETAIL
SCALE: NTS

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DATE	#	DESCRIPTION
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2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT

PROFESSIONAL SEAL:

LICENSED PROFESSIONAL ENGINEER
A. GOLOVNIYA
100196685
2024/12/28
PROVINCE OF ONTARIO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. REQUIRED QUALIFICATION INFORMATION UNDER DIVISION C-3.2.2.1 OF THE 2012 O.B.C.

Andrii Golovniya BCIN 47354
REGISTRATION INFORMATION
Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: In-Tech House Design Corp.
BCIN: 100028

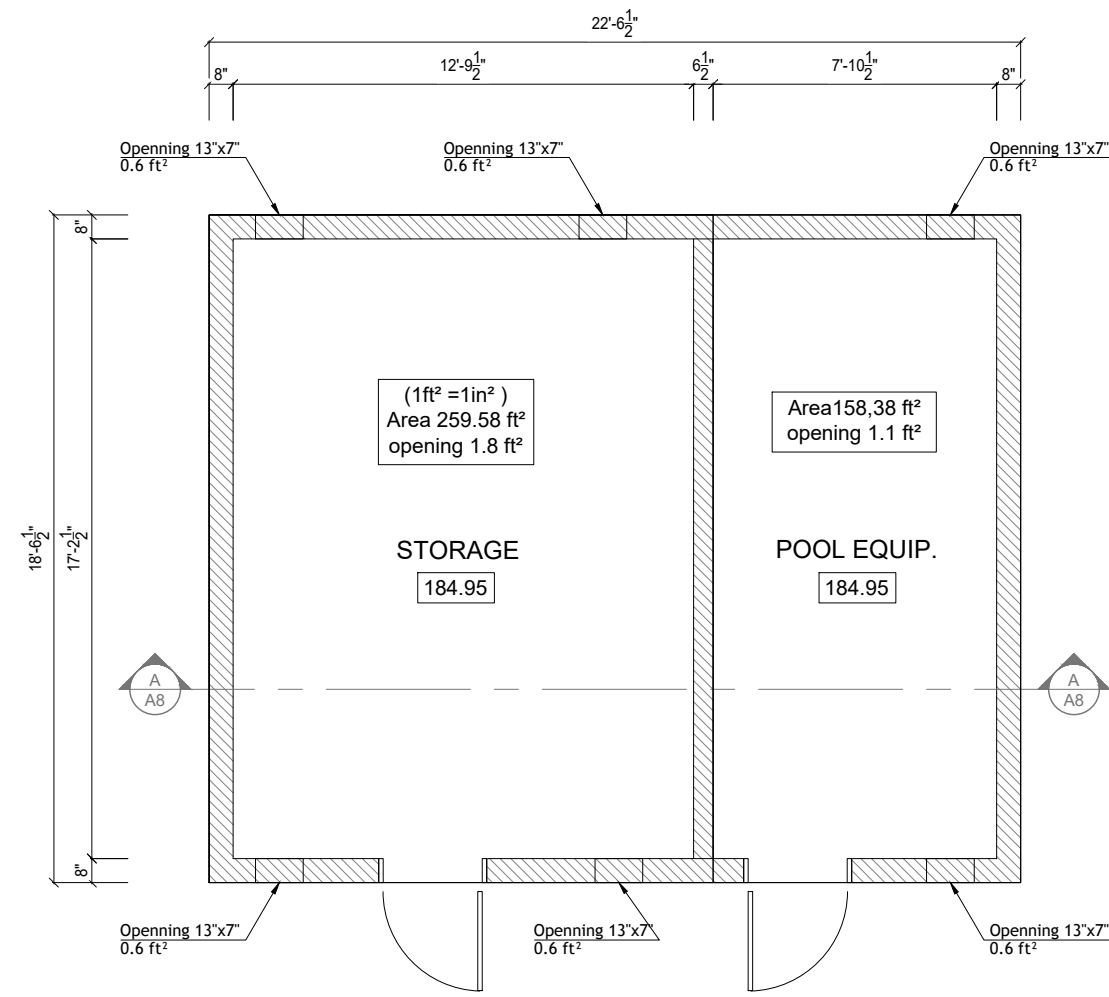
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

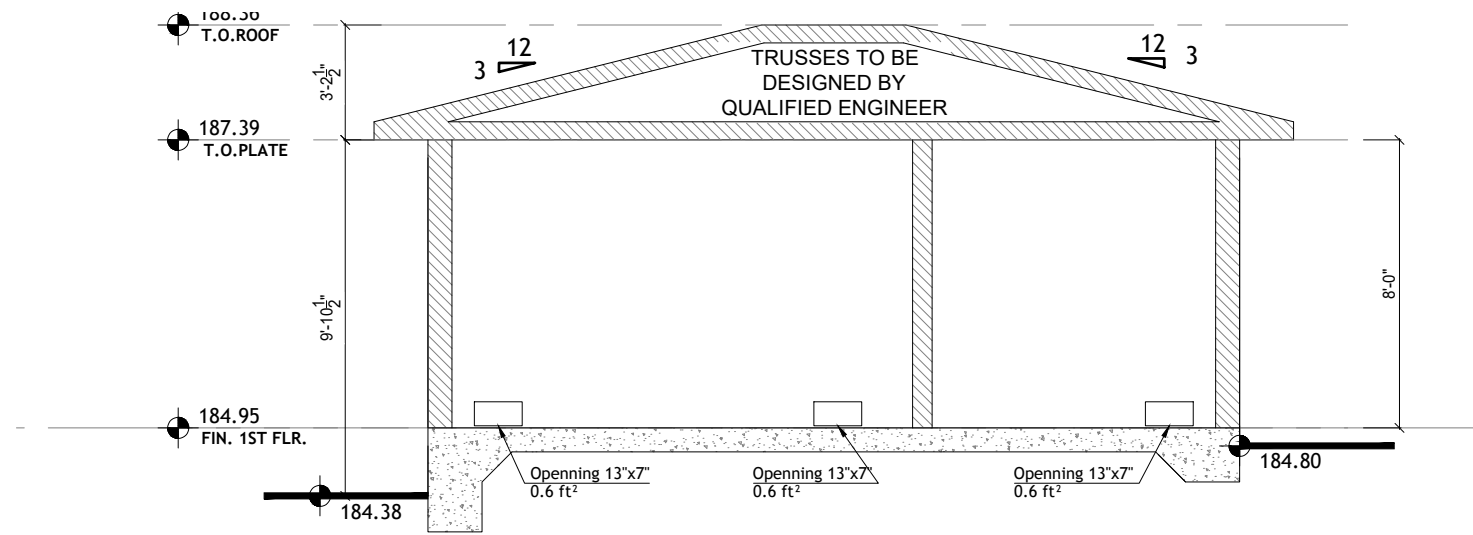
SHEET TITLE:
STORAGE HOUSE PLAN &
ELEVATIONS & SECTION A-A

DESIGN BY:	RH	DRAWING N°: A8
DRAWN BY:	JT	
CHECKED BY:	AG	
SCALE:	3/16" = 1'-0"	
DATE:	2024/12/28	
PROJECT N°:	24-699	

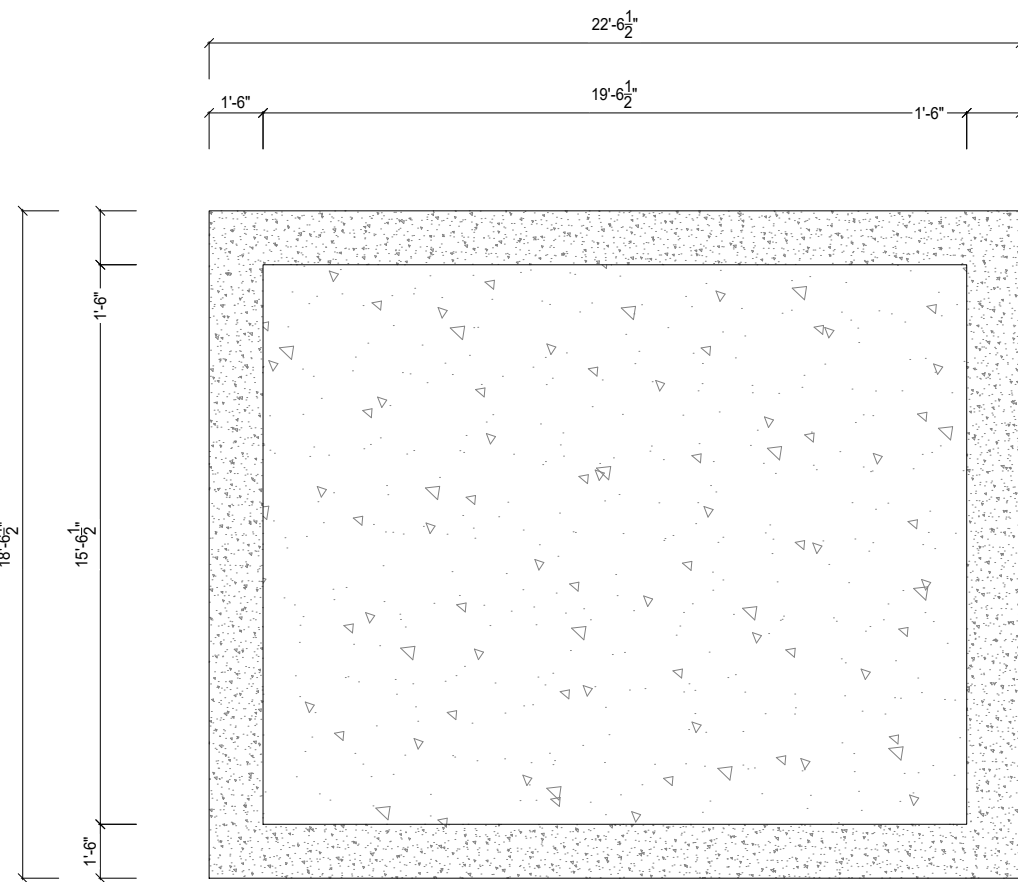
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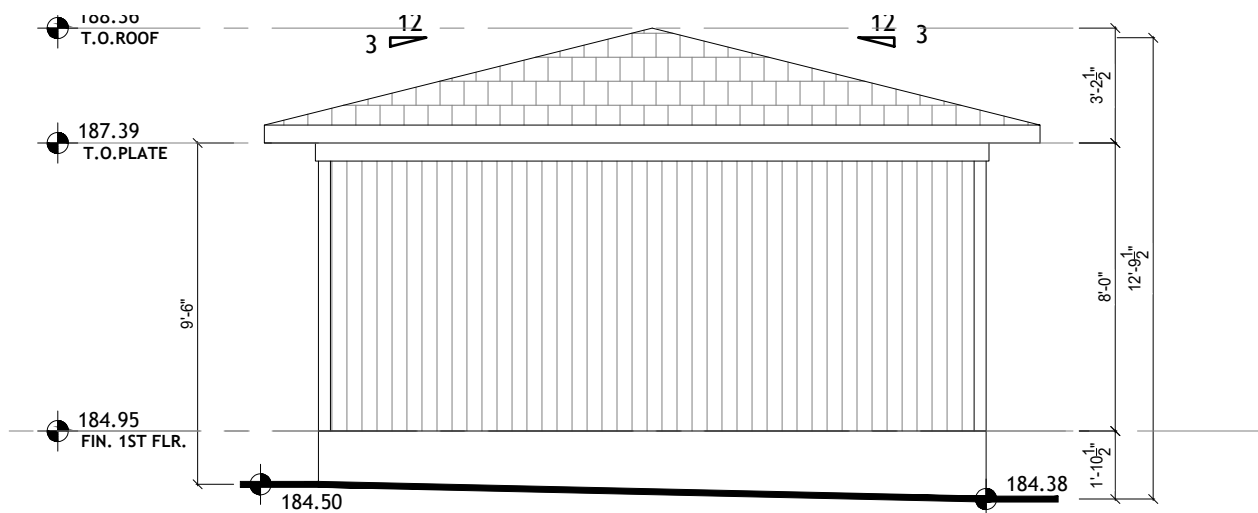
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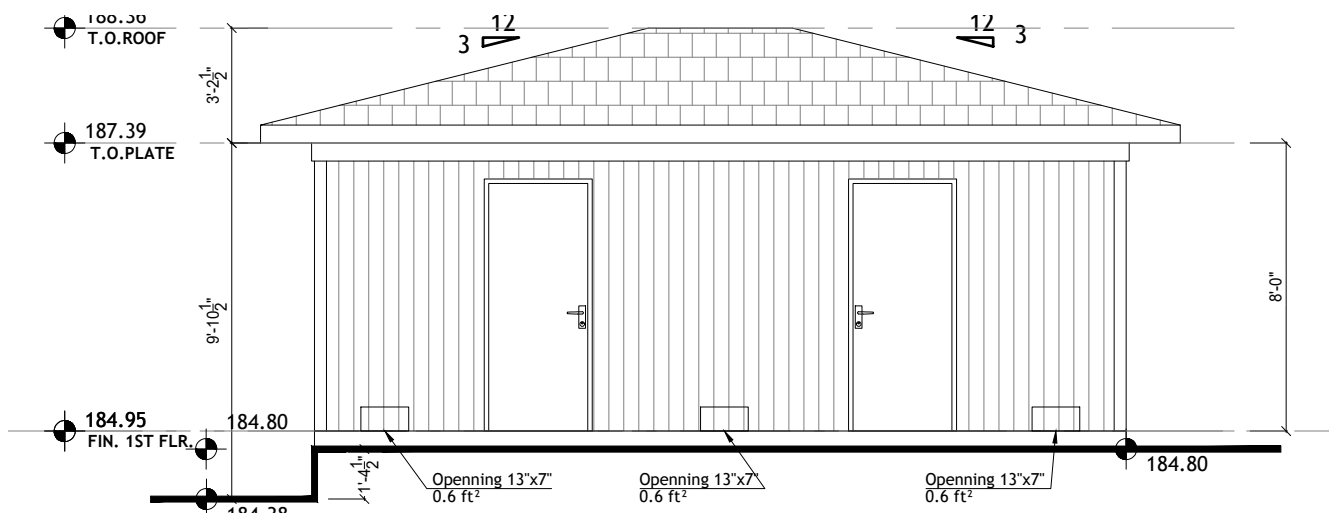
Section A-A



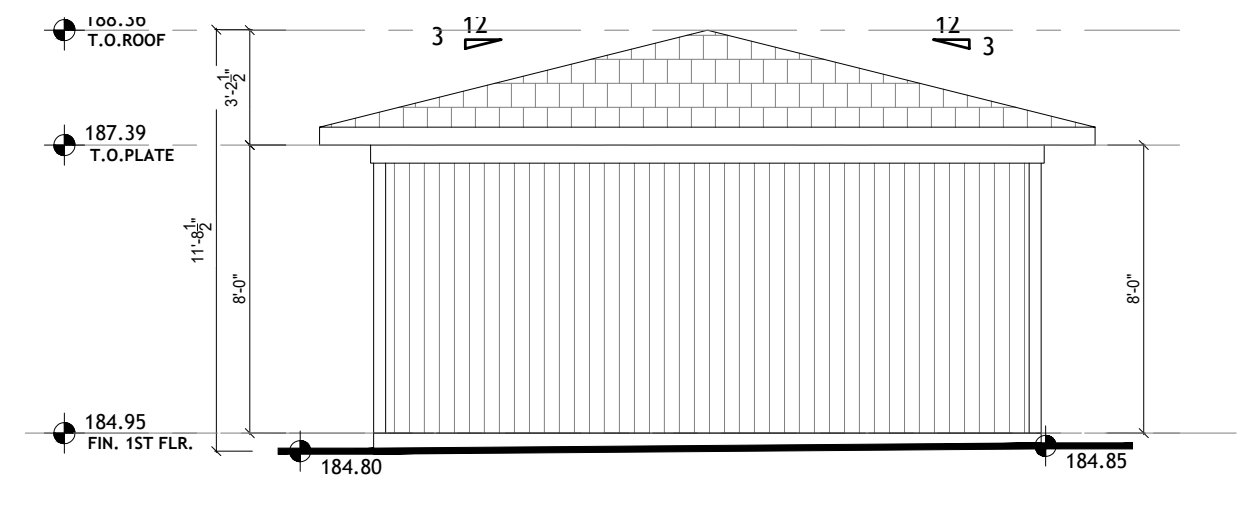
Footing Plan



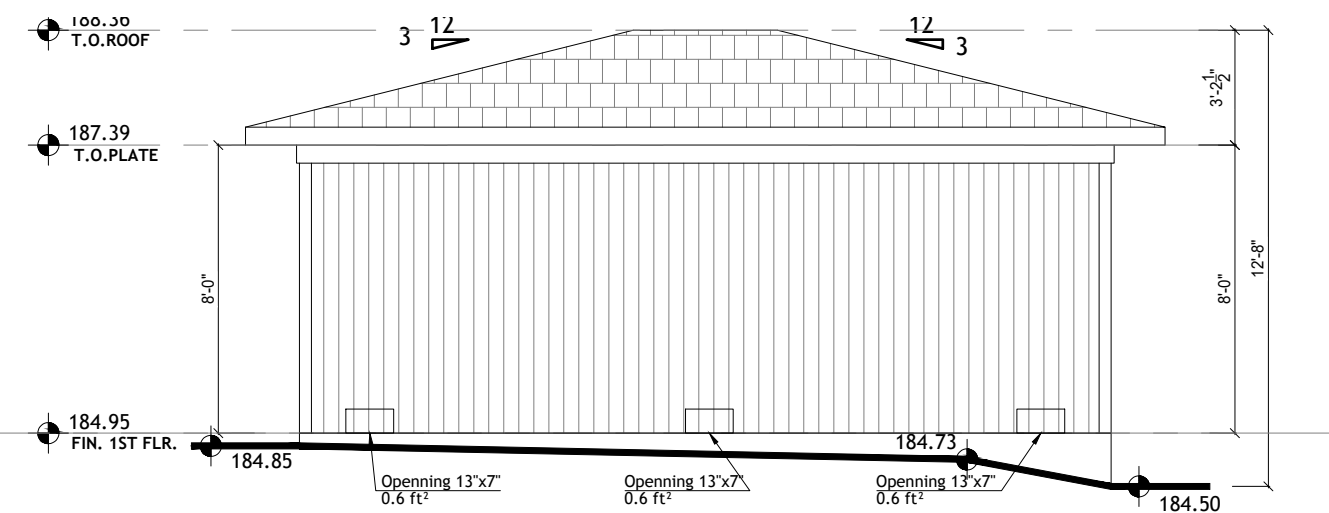
West Elevation



South Elevation



East Elevation



North Elevation



Project Name:

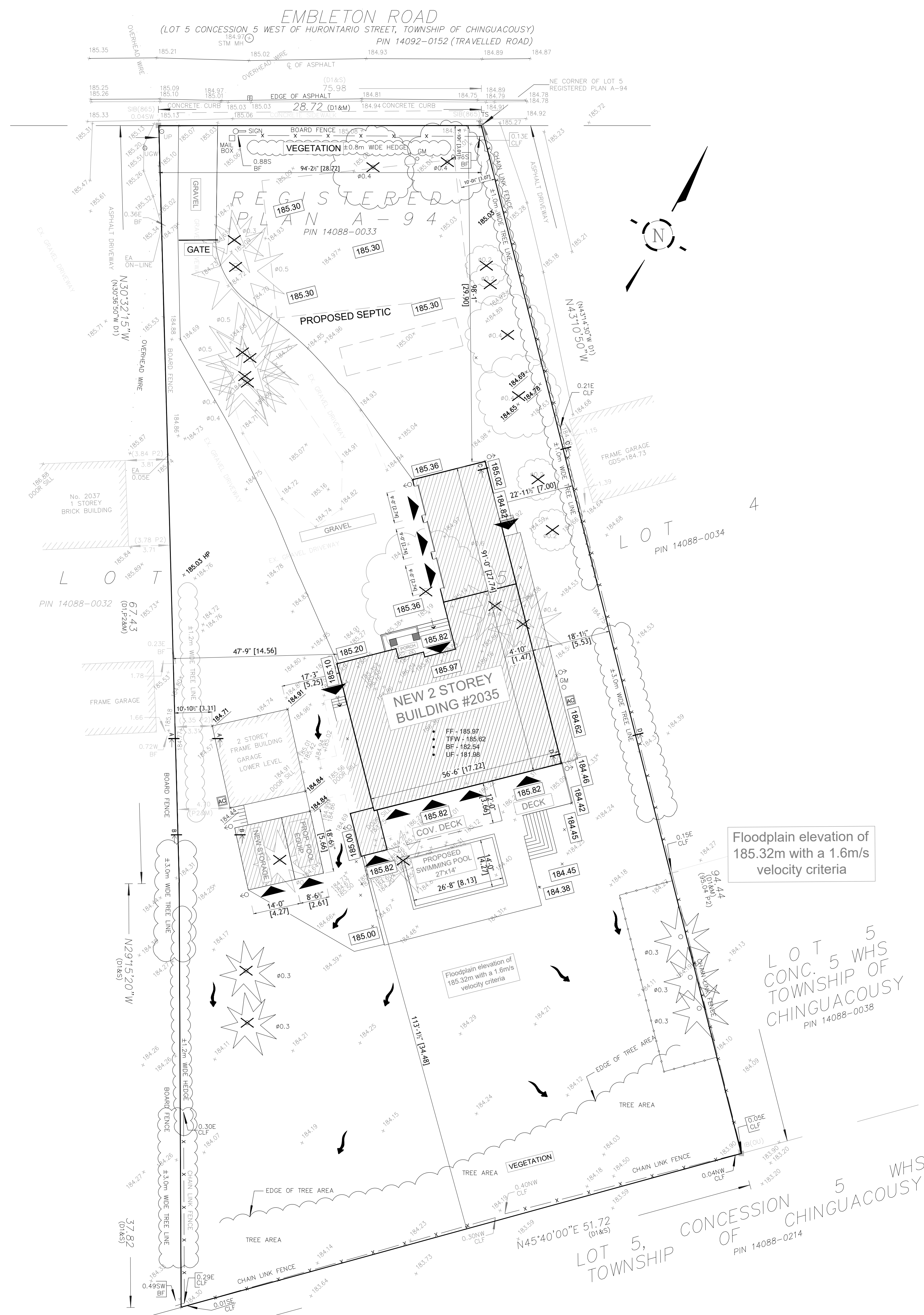
NEW CUSTOM HOUSE

Address:

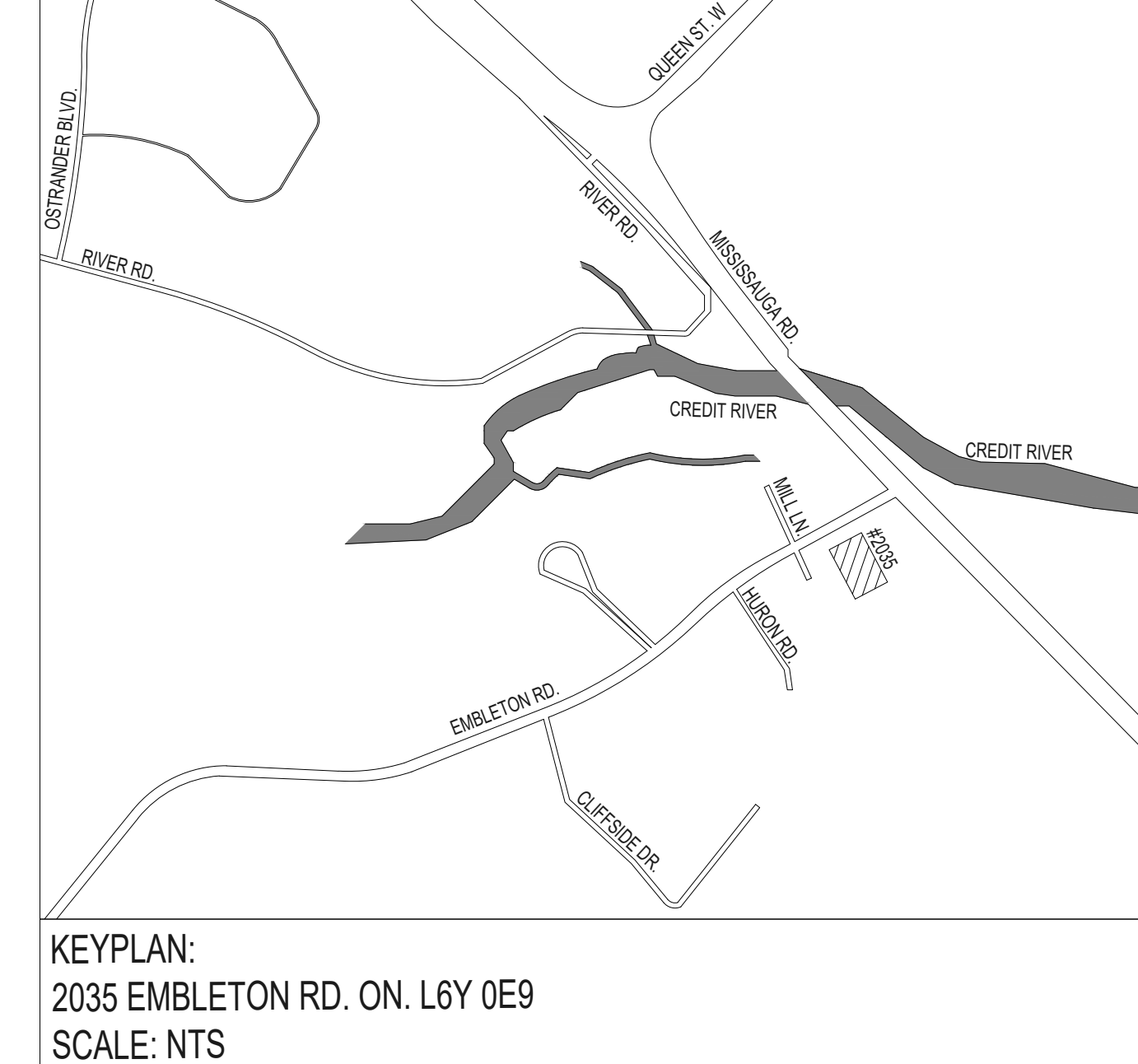
2035 Embleton Rd., Brampton ON., L6Y 0E9

In Tech House Design Corporation
2275 Lake Shore Blvd. West
Suite 224, Toronto, ON M8V3Y3
www.ithd.ca, info@ithd.ca
+1(647)478-5055





- LEGEND
- × 000.00 EXISTING ELEVATION
 - × 00.00 PROPOSED ELEVATION
 - × 00.00SW PROPOSED SWALE ELEVATION
 - DIRECTION OF SURFACE FLOW
 - DIRECTION OF SUBDRAIN SWALE
 - DIRECTION OF GRASS SWALE
 - DOWNSPOUT
 - DIRECTION OF SUMP PUMP SUB CHARGE
 - SEDIMENT CONTROL FENCE
 - TREE PROTECTION FENCE
 - ENTRY TO BUILDING
 - ENTRY BELOW
- FF - FINISHED FLOOR ELEVATION
 - TFW - TOP OF FOUNDATION WALL
 - BF - FINISHED BASEMENT SLAB
 - UF - UNDERSIDE OF FOOTING



SITE STATISTICS - NEW DWELLING				
RD(F12.0;a370)(x1463)				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
LOT AREA			42235.75	3923.80
EX. BUILDING AREA			553.59	51.43
NEW BUILDING AREA			4002.85	371.87
NEW STORAGE AREA			259.45	24.10
NEW POOL EQUIPMENT AREA			158.50	14.73
LOT COVERAGE				11.8%
GROSS FLOOR AREA				
	SQ.FT	m²	SQ.FT	m²
FIRST FLOOR	-	-	2754.50	255.90
SECOND FLOOR	-	-	2654.16	246.58
TOTAL G.F.A.	-	-	5408.66	502.48
FINISHED BASEMENT	-	-	2635.03	244.80
	FT	m	FT	m
AVERAGE ESTABLISH GRADE NORTH (FRONT)				185.36
BUILDING HEIGHT NORTH (FRONT)		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE SOUTH (REAR)				185.36
BUILDING HEIGHT SOUTH (REAR)		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE EAST SIDE				185.36
BUILDING HEIGHT EAST SIDE		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE WEST SIDE				185.36
BUILDING HEIGHT WEST SIDE		10.60	30'-11 1/4"	9.43 m
BUILDING LENGTH			103'-0"	31.39
BUILDING DEPTH			103'-0"	31.39
LOT FRONTAGE			94'-2 1/2"	28.72
SETBACKS				
	FT	m	FT	m
FRONT		12.00	98'-1"	29.90
REAR		7.50	113'-1 1/2"	34.48
WEST SIDE		7.50	47'-9"	14.56
EAST SIDE		15	18'-1 1/2"	5.53
LANDSCAPING				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
FRONT YARD LANDSCAPING AREA			15061.99	1399.29
SOFT LANDSCAPE AREA			10543.56	989.52
HARD LANDSCAPE AREA			4518.43	419.77
		70%		70%
REAR YARD AREA BREAK DOWN				
COVERED DECK			416.00	38.65
SWIMMING POOL			443.89	41.24

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Toronto, ON M8V 3Y3
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Toll free: +1(885)561-4161 info@ithd.ca

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2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

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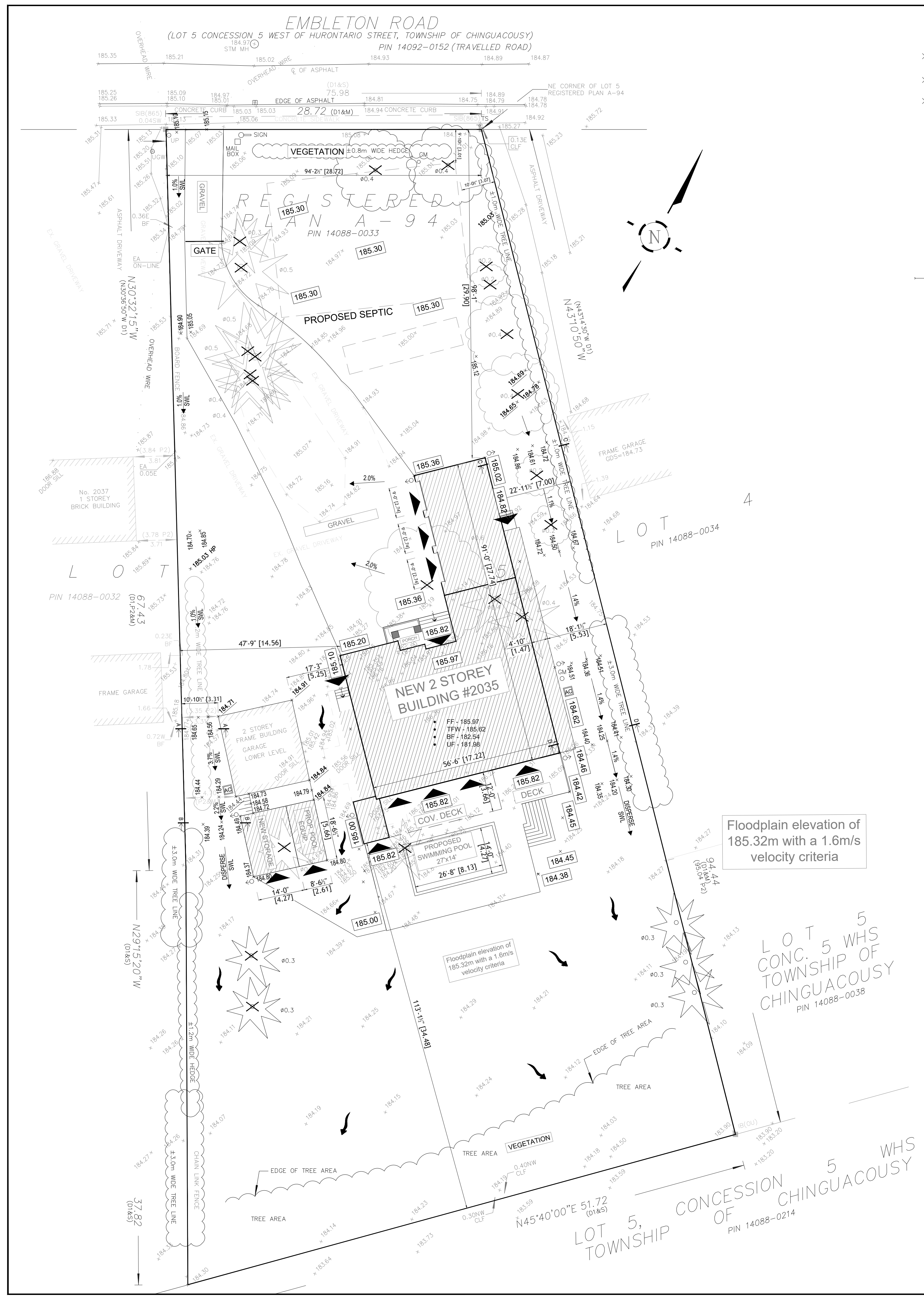
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
Site Plan & Key Plan

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	1:200
DATE:	2024/12/28
PROJECT No:	24-699

DRAWING No:	SP-1
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LEGEND

- × 000.00 EXISTING ELEVATION
- × 00.00 PROPOSED ELEVATION
- × 00.00SW PROPOSED SWALE ELEVATION
- DIRECTION OF SURFACE FLOW
- DIRECTION OF SUBDRAIN SWALE
- DIRECTION OF GRASS SWALE
- ⊙ DOWNSPOUT
- ▲ DIRECTION OF SUMP PUMP SUB CHARGE
- SEDIMENT CONTROL FENCE
- TREE PROTECTION FENCE
- ENTRY TO BUILDING
- ENTRY BELOW

- FF - FINISHED FLOOR ELEVATION
- TFW - TOP OF FOUNDATION WALL
- BF - FINISHED BASEMENT SLAB
- UF - UNDERSIDE OF FOOTING

GENERAL NOTES

- BOUNDARY INFORMATION SHOWN HERE IS COMPILED FROM A PLAN OF SURVEY BY AISAR BHERI OF MACKAY, MACKAY & PETERS LIMITED, DATED DECEMBER 8, 2021.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS. ALL DIMENSION SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
- LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND SERVICES SHOWN ON THE PLAN ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES AND SERVICES.

ELEVATION NOTE:

- ELEVATIONS ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) USING THE LEICA SMARTNET NETWORK (2010 EPOCH) AND ARE REFERRED TO THE CGVD28:1978 (HTV2.0) DATUM.

BENCHMARK NOTE:

- CITY OF BRAMPTON BENCHMARK No. 042200354.
- ELEVATION = 205.880 METRES (CGVD28:78 ADJUSTMENT).
- 31.77m NORTH OF CENTRELINE OF QUEENSTREET WEST, 60.18m EAST OF CENTRELINE OF MISSISSAUGA RD.

BEARING NOTE:

- BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF THE EMBLETON ROAD AS SHOWN ON PLAN 43R-25290, HAVING A BEARING OF N61°00'10" E
- SURFACE DRAINAGE TO BE DIRECTED AWAY FROM THE BUILDING TO SIDE YARD SWALES OR DITCHES. MAXIMUM SIDE SLOPES NOT TO EXCEED 3:1
- ALL STORM WATER SHALL BE DIRECTED IN SUCH A MANNER THAT WATER WILL NOT ACCUMULATE AT OR NEAR A BUILDING INCLUDING FOUNDATION WALLS, WINDOWS, ENTRANCES AND WALKWAYS.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED OVER 75mm OF TOPSOIL.

CONSTRUCTION SCHEDULE

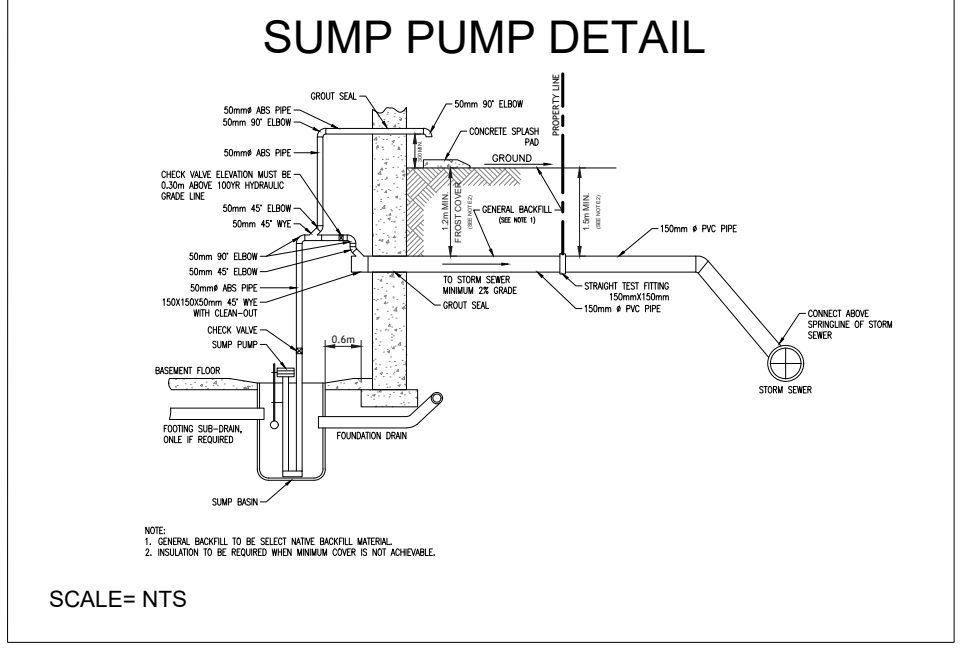
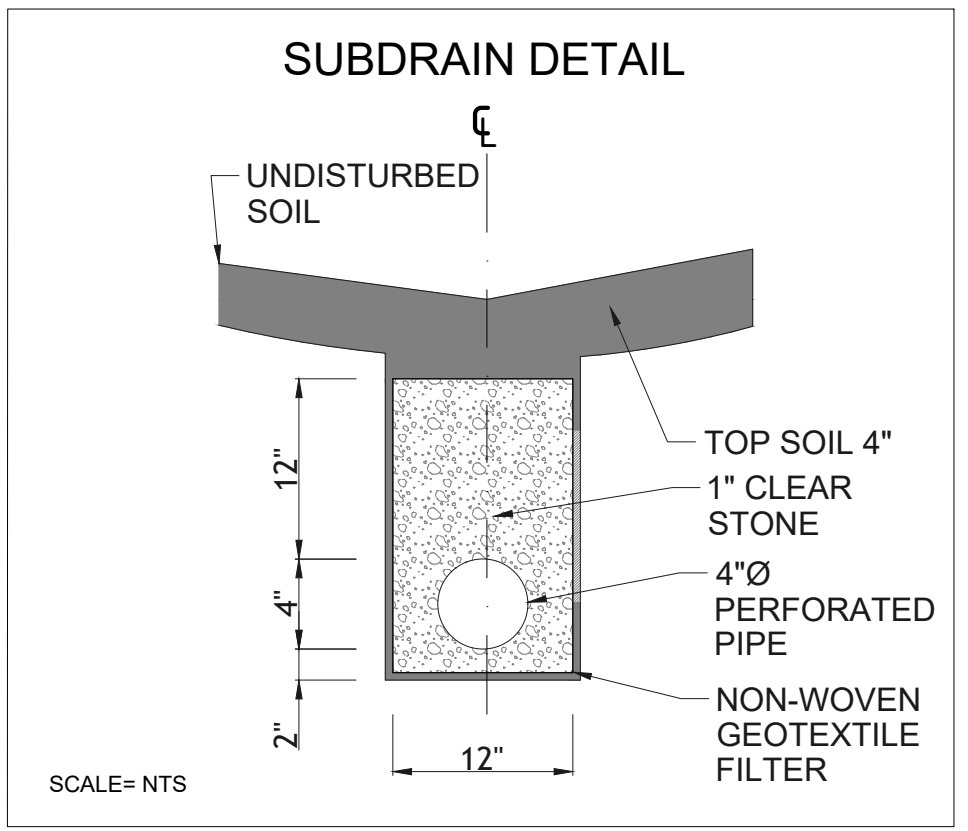
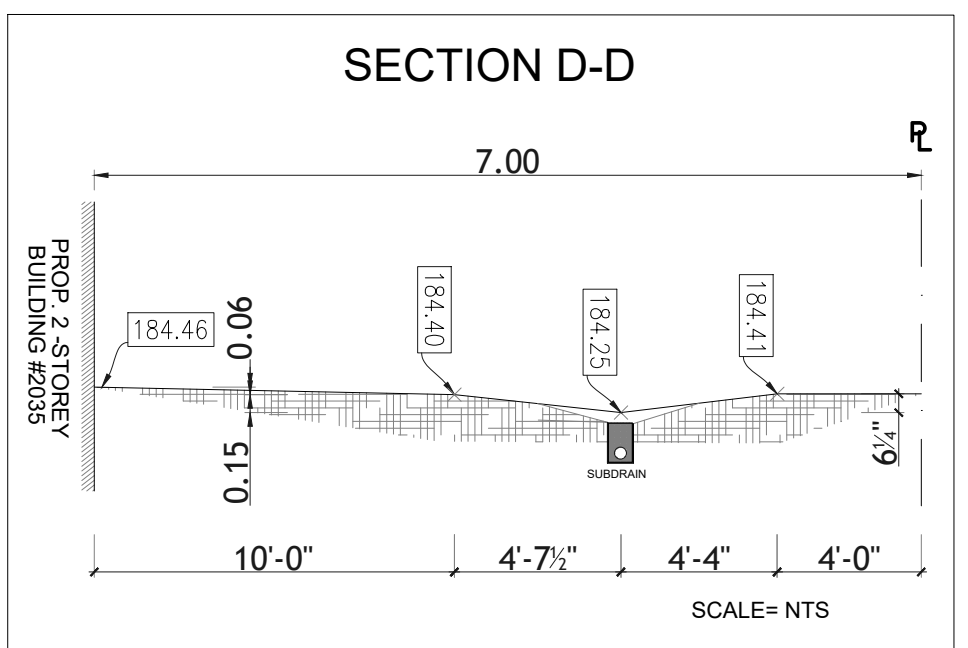
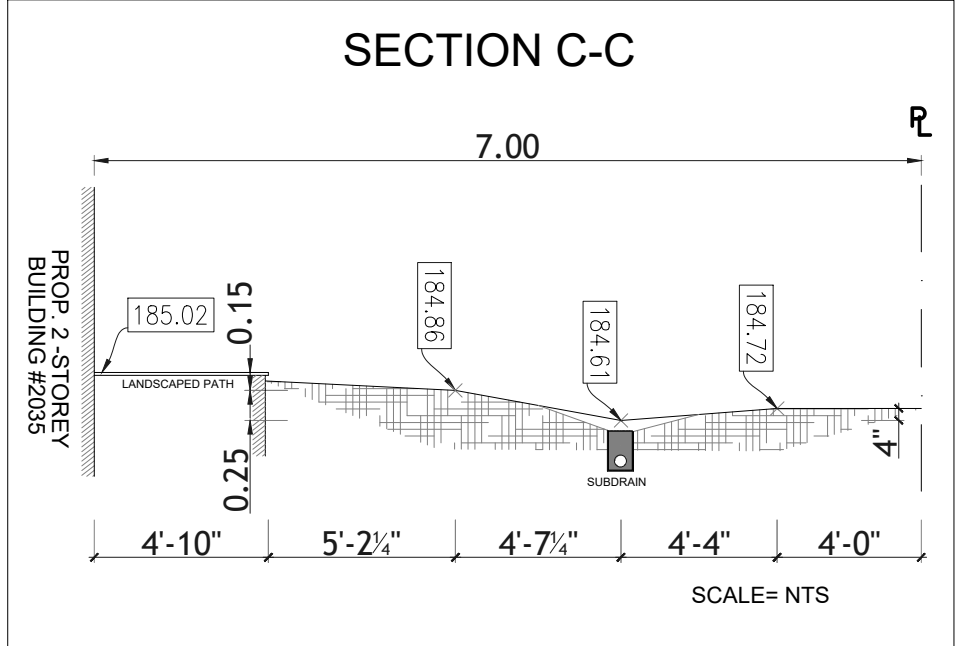
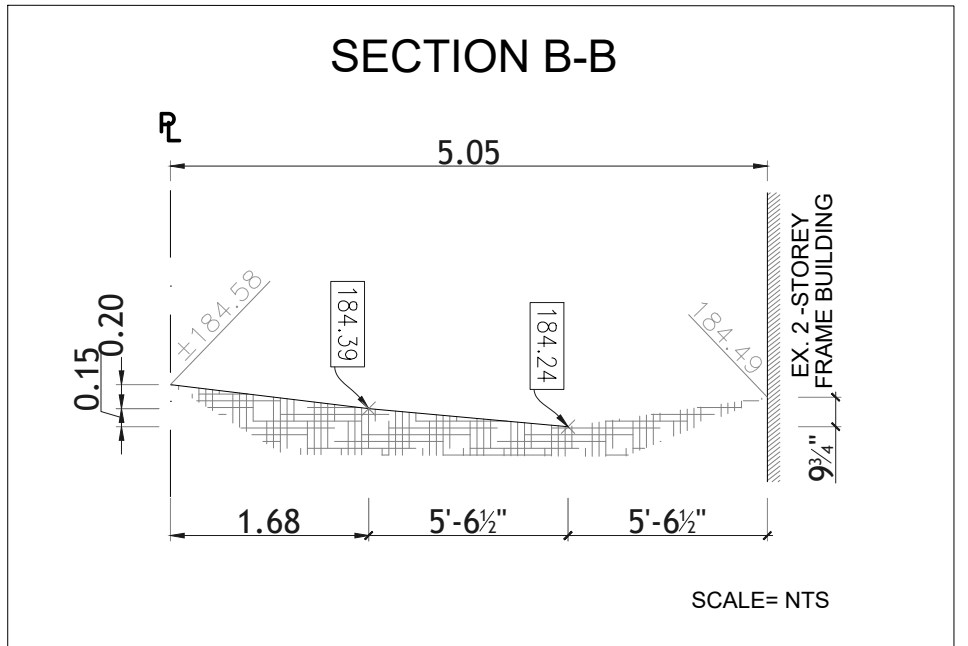
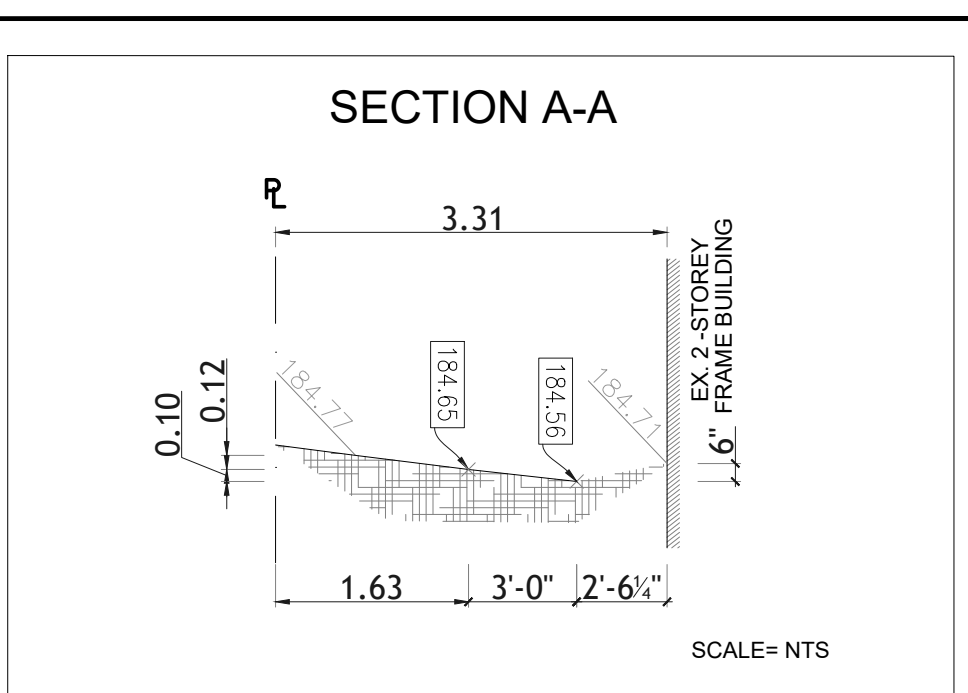
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- SEDIMENT CONTROLS ARE TO BE INSPECTED REGULARLY TO ENSURE PROPER FUNCTION. FOLLOW THE SCHEDULE SHOWN.
- SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE UPGRADED IMMEDIATELY IF THEY ARE NOT EFFECTIVE.
- ALL DAMAGED SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE REPAIRED AND/OR REPLACED WITHIN 48 HOURS OF DISCOVERING THE DAMAGE.
- UNDER NO CIRCUMSTANCES IS SEDIMENT TO BE RELEASED INTO THE NATURAL ENVIRONMENT.
- IF A LARGE RAIN EVENT IS IMMINENT, EARTH WORK ACTIVITIES WILL CEASE AND ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED TO ENSURE THEY ARE IN GOOD WORKING ORDER.
- IF SITE CONSTRUCTION ACTIVITIES ARE INTERRUPTED AND/OR INACTIVITY EXCEEDS 30 DAYS ALL STRIPPED AND/OR BARE SOIL AREAS ARE TO BE STABILIZED BY SODDING/SEEDING/MULCHING OR OTHER APPROVED METHOD TO THE SATISFACTION OF THE CITY OF TORONTO.
- DURING ALL CONSTRUCTION PHASES, MUD TRACKING CONTROL WILL CONSIST OF MAINTAINING THE STONE PAD CONSTRUCTION ENTRANCE AND/OR FLUSHING OR SWEEPING ROADS AS WARRANTED.

- EX. SAN CON. TO BE DECOMMISSIONED BY CITY AT OWNER EXPENSE
- EX. STORM CON. TO BE DECOMMISSIONED BY CITY AT OWNER EXPENSE
- EX. WATER CON. TO BE DECOMMISSIONED BY CITY AT OWNER EXPENSE

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE. THE UNDERNAMED COMPANY AND EACH UTILITY ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ON-SITE LOCATE PRIOR TO ANY EXCAVATION.

- ALL FOOTING FORMWORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
- PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THAT OWNER'S CONSULTANT MUST CERTIFY THAT THE TOP OF FOUNDATIONS IS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY TOWN.
- ALL RAINWATER LEADERS SHALL DISCHARGE ONTO CONCRETE SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN
- EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF-CONTAINED.
- THE OWNER SHALL CONTACT THE TOWNS ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
- THE OWNER SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING & PUBLIC WORKS DEPARTMENT AND MAKE ALL ARRANGEMENTS NECESSARY FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
- THE OWNER SHALL CONTACT THE TOWNS BUILDING SERVICES DIVISION A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE".
- IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS:
- THE OWNER IS RESPONSIBLE TO ENSURE ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORMS TO ALL TOWN BYLAWS.
- FOR PROPOSED INFILTRATION GALLERIES, THE OWNER SHALL PROVIDE THE TOWN WITH CONSTRUCTION PHOTOS AFTER EXCAVATION OF THE GALLERY AND TRENCHES FOR ROOF DRAIN PIPE CONNECTIONS. PRIOR TO BACKFILLING, THE OWNER SHALL ALSO PROVIDE CONSTRUCTION PHOTOS AFTER INSTALLATION OF CLEAR STONE AND ROOF DRAIN PIPE.



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224-2275 Lake Shore Boulevard West,
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2024/11/07	2	REVISED PER CITY COMMENTS
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PROFESSIONAL SEAL:

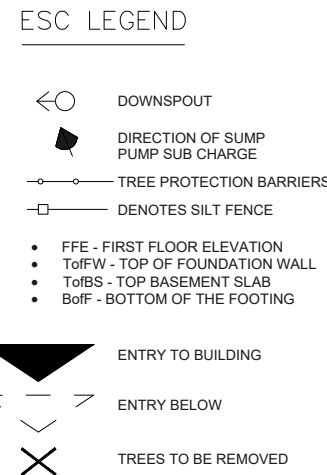
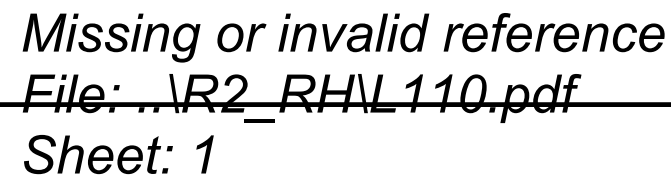
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
Grading Plan

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	1:200
DATE:	2024/12/28
PROJECT No:	24-699

DRAWING No:
C-1



- ### CONSTRUCTION NOTES
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 3. IF ANY EROSION CONTROL MEASURES SHOULD BE IMMEDIATELY IF THEY ARE NOT EFFECTIVE.
 4. ALL DAMAGED SEDIMENT AND EROSION CONTROL MEASURES REPAIRED AND/OR REPLACED WITHIN 48 HOURS OF DISCOVERY DAMAGE.
 5. UNDER NO CIRCUMSTANCES IS SEDIMENT TO BE RELEASED NATURAL ENVIRONMENT.
 6. IF A LARGE RAIN EVENT IS IMMINENT, EARTH WORK ACTIVITIES CEASE AND ALL EROSION AND SEDIMENT CONTROL MEASURES INSPECTED TO ENSURE THEY ARE IN GOOD WORKING ORDER.
 7. IF SITE CONSTRUCTION ACTIVITIES ARE INTERRUPTED AND INQUIRY EXCEEDS 30 DAYS ALL STURPED AND/OR BARE SOILS ARE TO BE STABILIZED BY SODDING/SEEDING/MULCHING USING APPROVED METHOD TO THE SATISFACTION OF THE CITY OF TORONTO.
 8. DURING ALL CONSTRUCTION PHASES, MUD TRACKING CONTROL CONSIST OF MAINTAINING THE STONE PAD CONSTRUCTION AND/OR FLUSHING OR SWEEPING ROADS AS WARRANTED.

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	1:200
DATE:	2024/12/28
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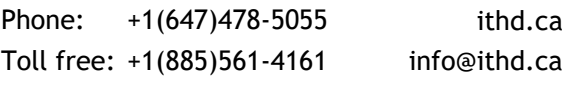
DRAWING №:

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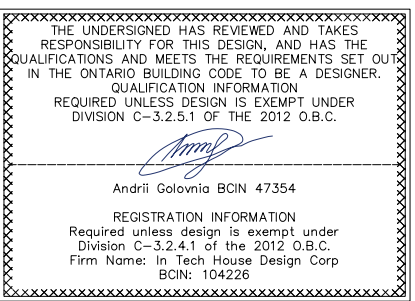


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- 4. ALL WORK IS TO BE CARRIED OUT ACCORDING TO THE ONTARIO BUILDING CODE 2012
- 5. ALL EXISTING WALLS AND STRUCTURES ADJACENT TO THE PROPOSED WORK ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION
- 6. THE CONTRACTOR AND/OR THE OWNER SHALL BE RESPONSIBLE FOR THE ARRANGEMENT OF ALL NECESSARY INSPECTIONS AND FOLLOW INSPECTION SCHEDULES
- 7. ALL TEMPORARY WORKS INCLUDING SHORING ARE TO BE PROVIDED BY THE CONTRACTOR
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- 9. THESE DRAWING MUST NOT BE DUPLICATED IN ANY FORM, OR USE FOR ANY OTHER PROJECTS, WITHOUT WRITTEN CONSENT OF THE DESIGNER.

ADDITIONAL NOTES:

REVISIONS AND ISSUES		
024/12/28	3	REVISED PER CITY COMMENTS
024/11/07	2	REVISED PER CITY COMMENTS
024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:



PROJECT NAME:

New Custom House

PROJECT ADDRESS:

2035 Embleton Rd.
 Rampton, ON. L6Y 0E9

SHEET TITLE:

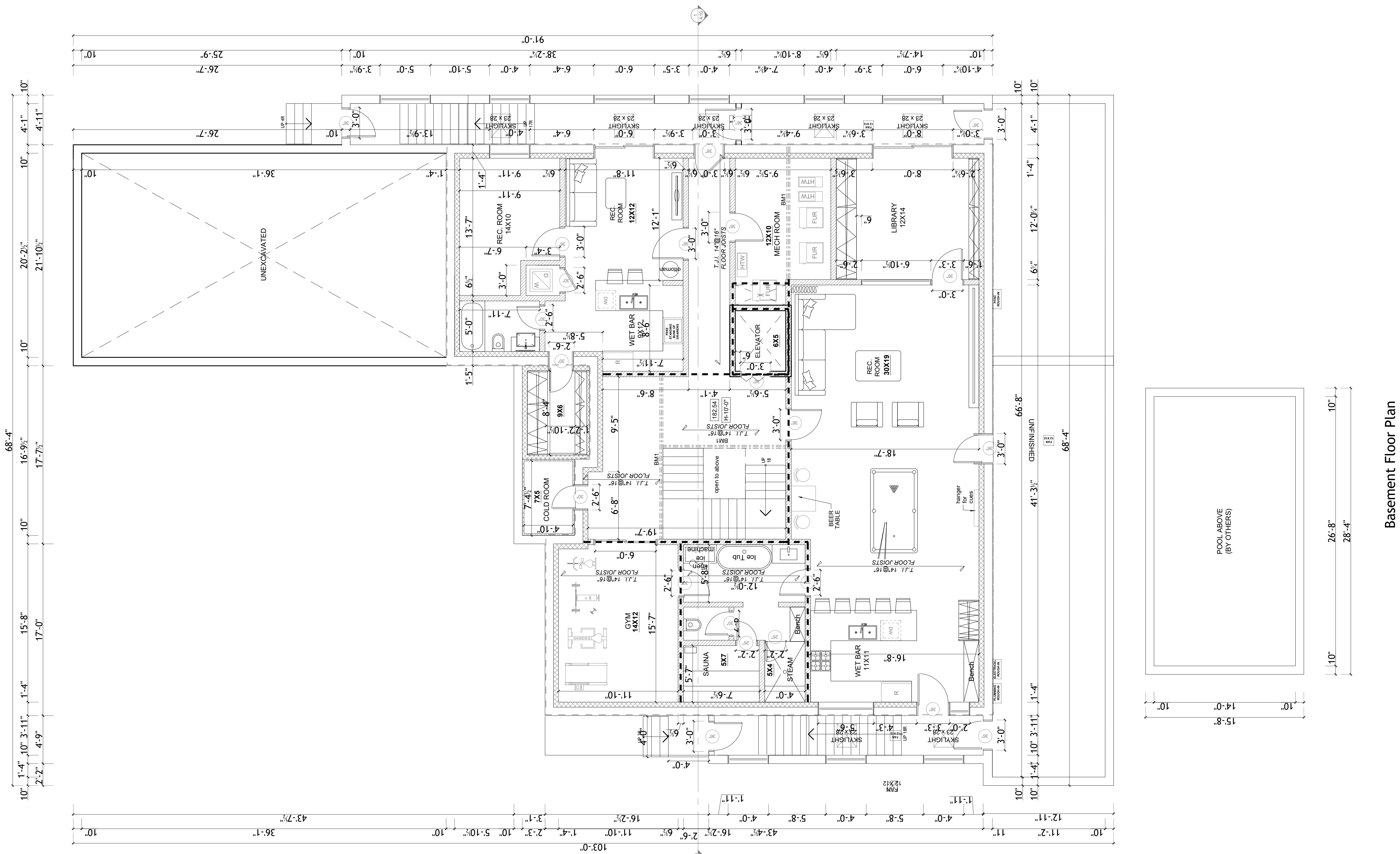
BASEMENT PLAN

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	3/16" = 1'-0"
DATE:	2024/12/28
PROJECT №:	24-699

DRAWING N₂:

A1

SIZE: ARCH D 36"X24"



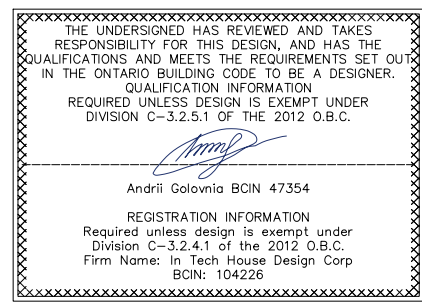
Basement Floor Plan

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ADDITIONAL NOTES:

REVISIONS AND ISSUES			
2024/12/28	3	REVISED PER CITY COMMENTS	
2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	
DATE	#	DESCRIPTION	

PROFESSIONAL SEAL:



PROJECT NAME:

New Custom House

PROJECT ADDRESS:

2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:

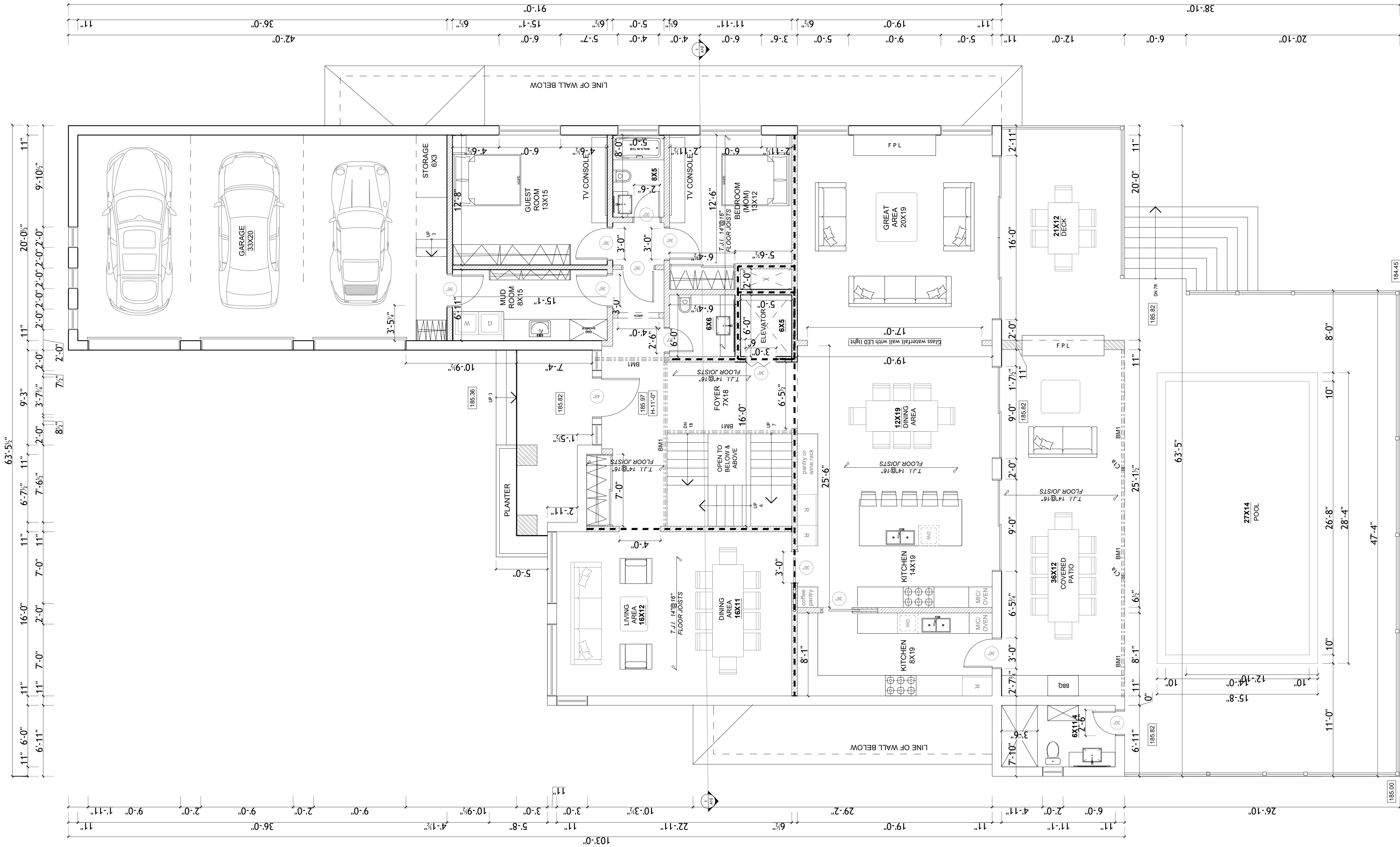
FIRST FLOOR PLAN

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: #####
DATE: 2024/12/28
PROJECT No: 24-699

DRAWING No:

A2

SIZE: ARCH D 36"X24"



1st Floor Plan

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ADDITIONAL NOTES:

REVISIONS AND ISSUES			
2024/12/28	3	REVISED PER CITY COMMENTS	
2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	
DATE	#	DESCRIPTION	

PROFESSIONAL SEAL:

PROFESSIONAL ENGINEER
A. GOLOVNIK
100196685
2024/12/28
PROVINCE OF ONTARIO

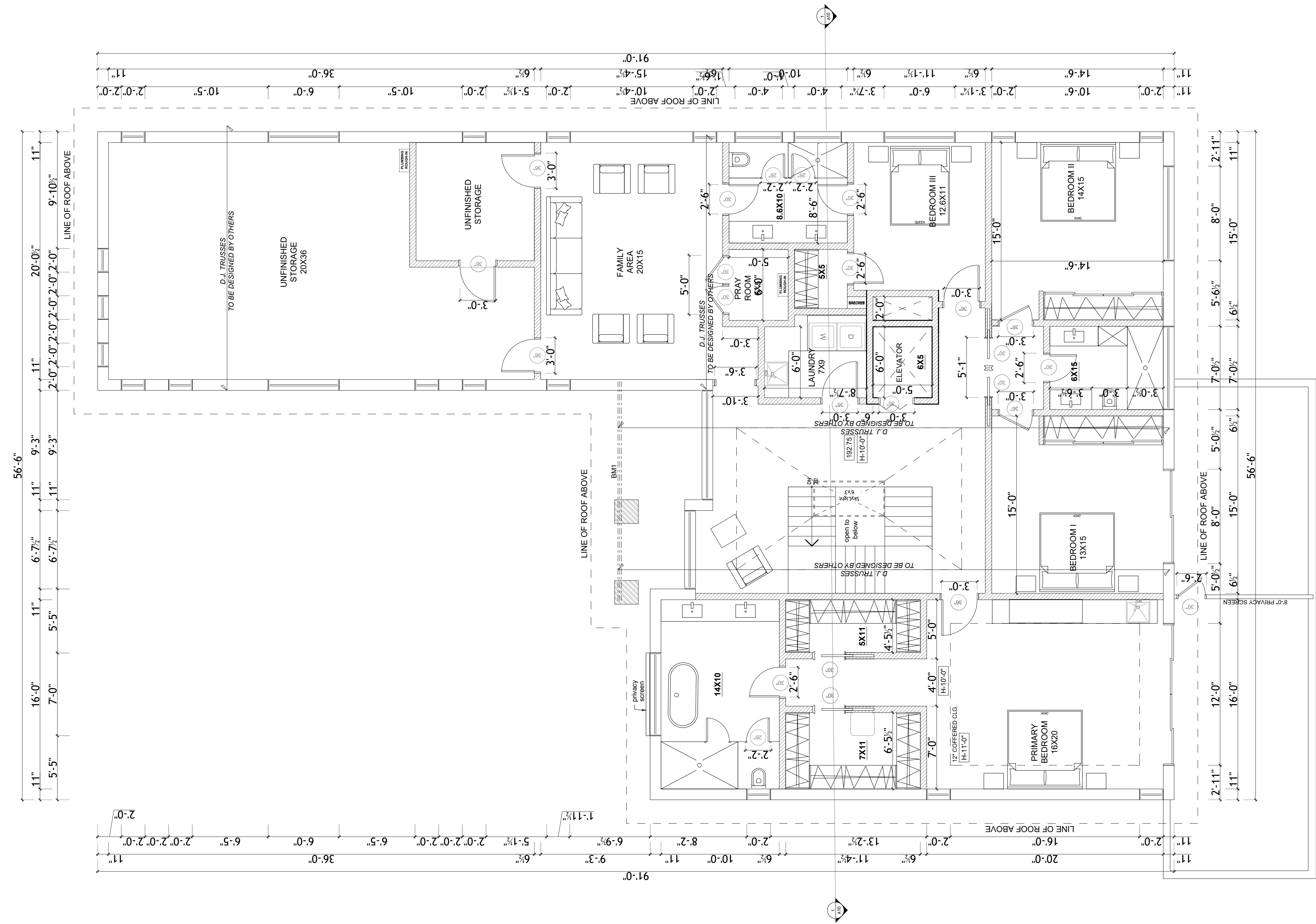
ANDRZ GOLONIA BCIN 47354
REGISTRATION INFORMATION
Required unless design is exempt under
Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: In-Tech House Design Corp.
BCIN: 100285

PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:
SECOND FLOOR PLAN

DESIGN BY:	RH	DRAWING N°: A3
DRAWN BY:	JT	
CHECKED BY:	AG	
SCALE:	#####	
DATE:	2024/12/28	
PROJECT N°:	24-699	SIZE: ARCH D 36"x24"



2nd Floor Plan

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2024/11/07	2	REVISED PER CITY COMMENTS	
2024/09/25	1	ISSUED FOR CVC PERMIT	
DATE	#	DESCRIPTION	

PROFESSIONAL SEAL:



RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.2.1 OF THE 2012 O.B.C.

Andri Golovnik BCIN 47354
Registration Information
Required unless design is exempt under Division C-3.2.2.1 of the 2012 O.B.C.
Firm Name: In-Tech House Design Corp
BCIN: 104228

PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:
ROOF PLAN

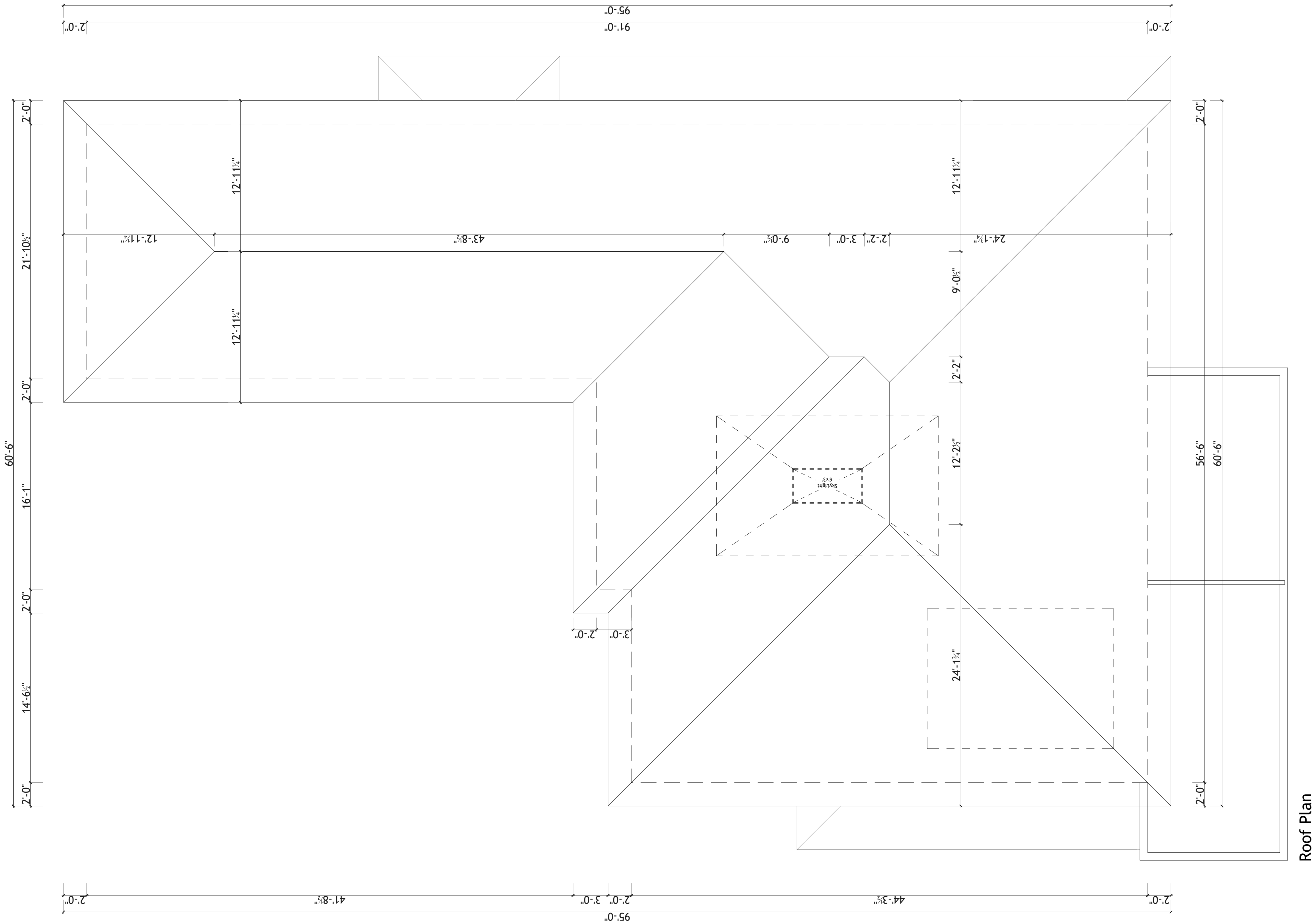
DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2024/12/28
PROJECT N#: 24-699

DRAWING N#:

A4

SIZE: ARCH D 36"x24"

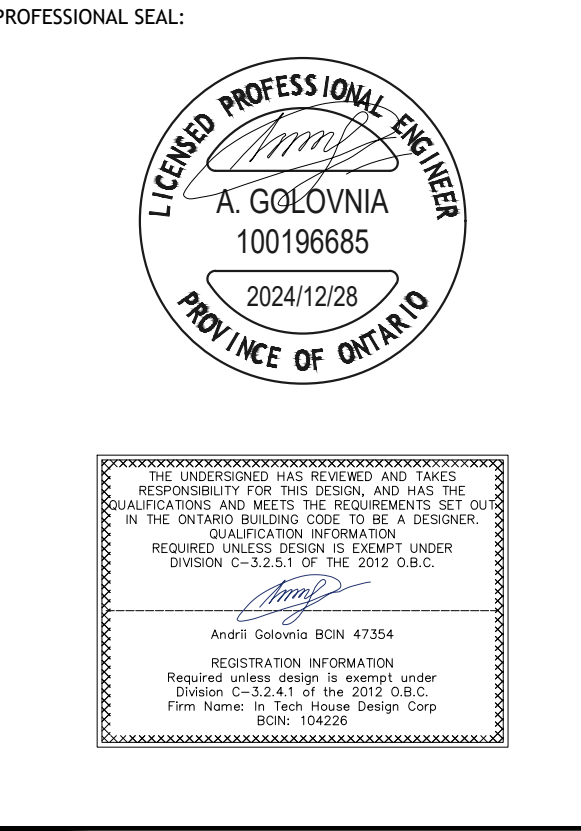
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2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT



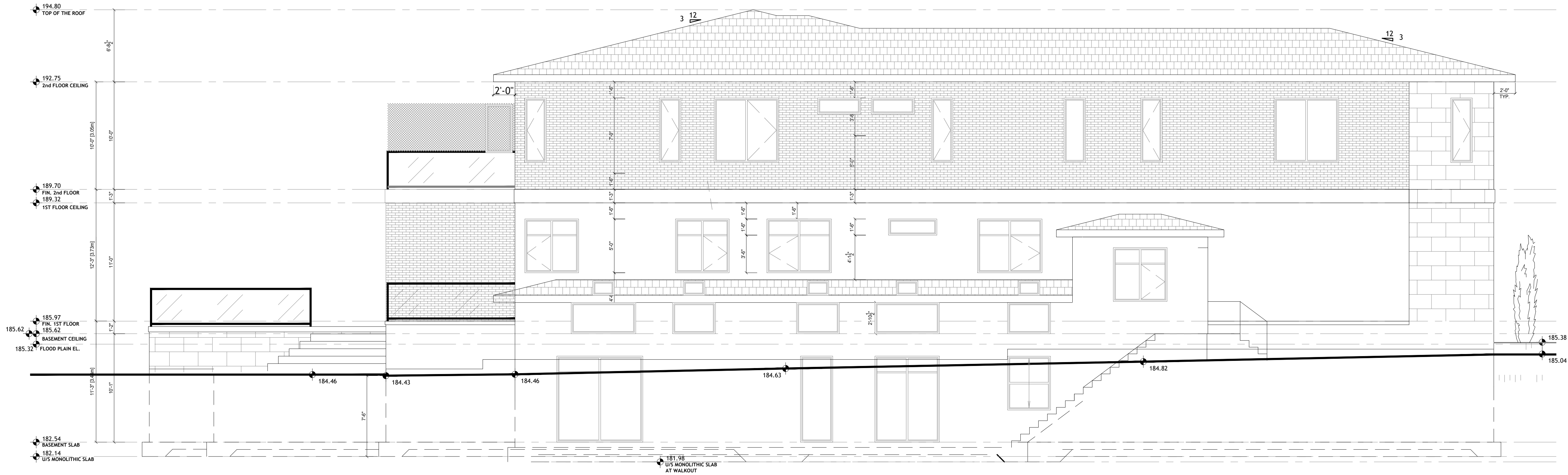
PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
FRONT & LEFT ELEVATIONS

DESIGN BY:	RH	DRAWING N°: A5
DRAWN BY:	JT	
CHECKED BY:	AG	
SCALE:	3/16" = 1'-0"	
DATE:	2024/12/28	
PROJECT N°:	24-699	

SIZE: ARCH D 36"x24"



East Elevation



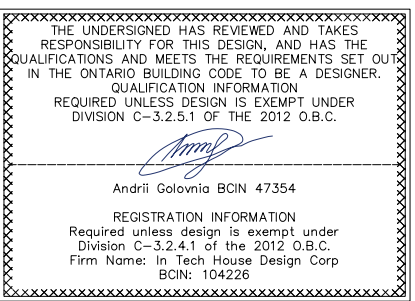
(North) Front Elevation

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2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:



PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

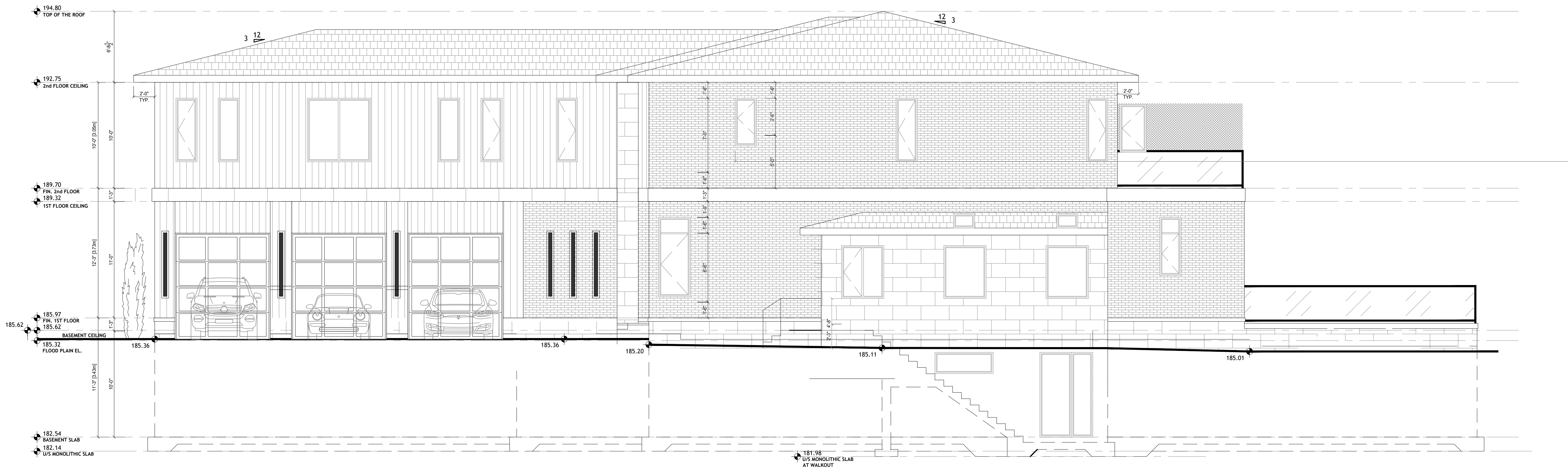
SHEET TITLE:
REAR & RIGHT ELEVATIONS

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2024/12/28
PROJECT No: 24-699

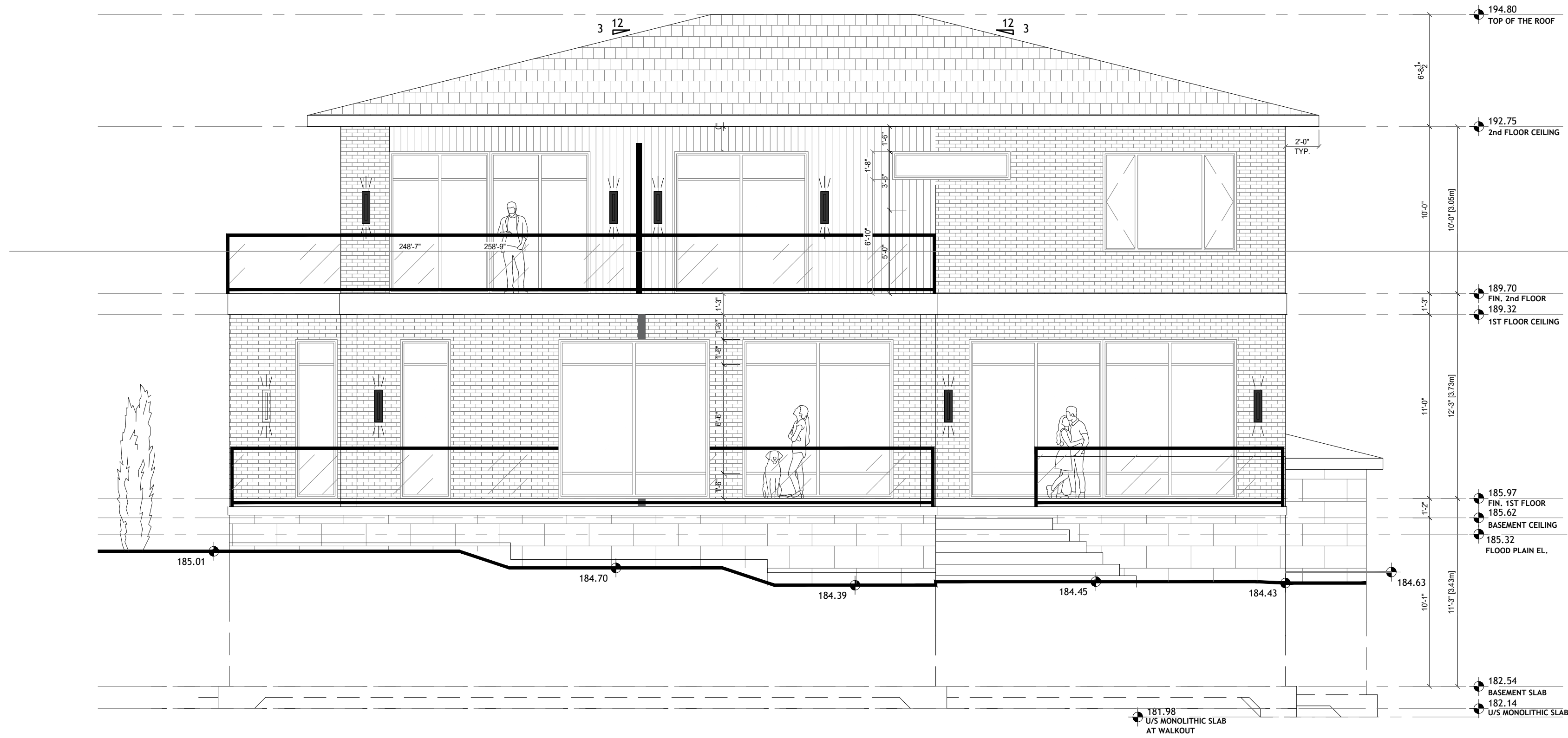
DRAWING No:

A6

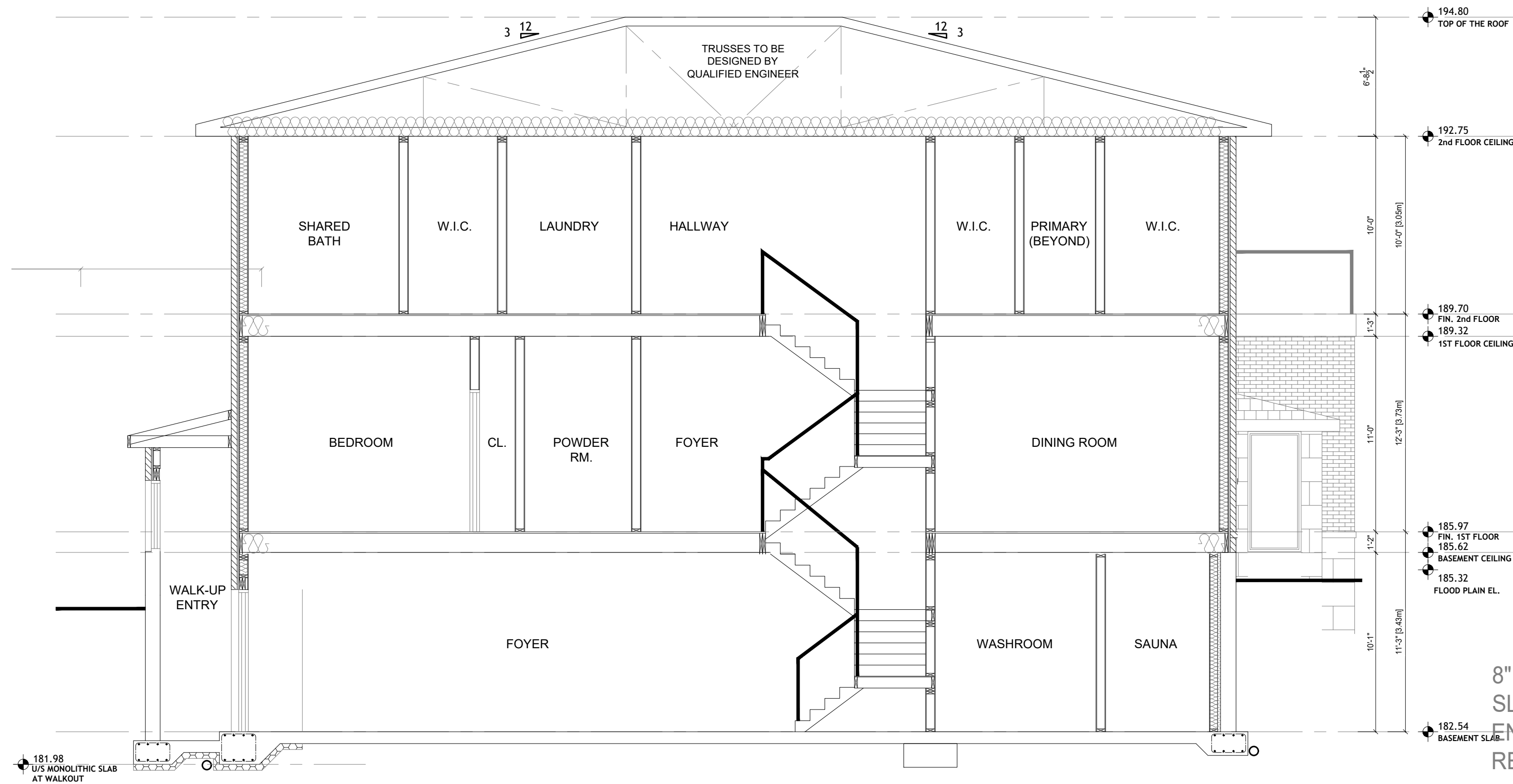
SIZE: ARCH D 36"x24"



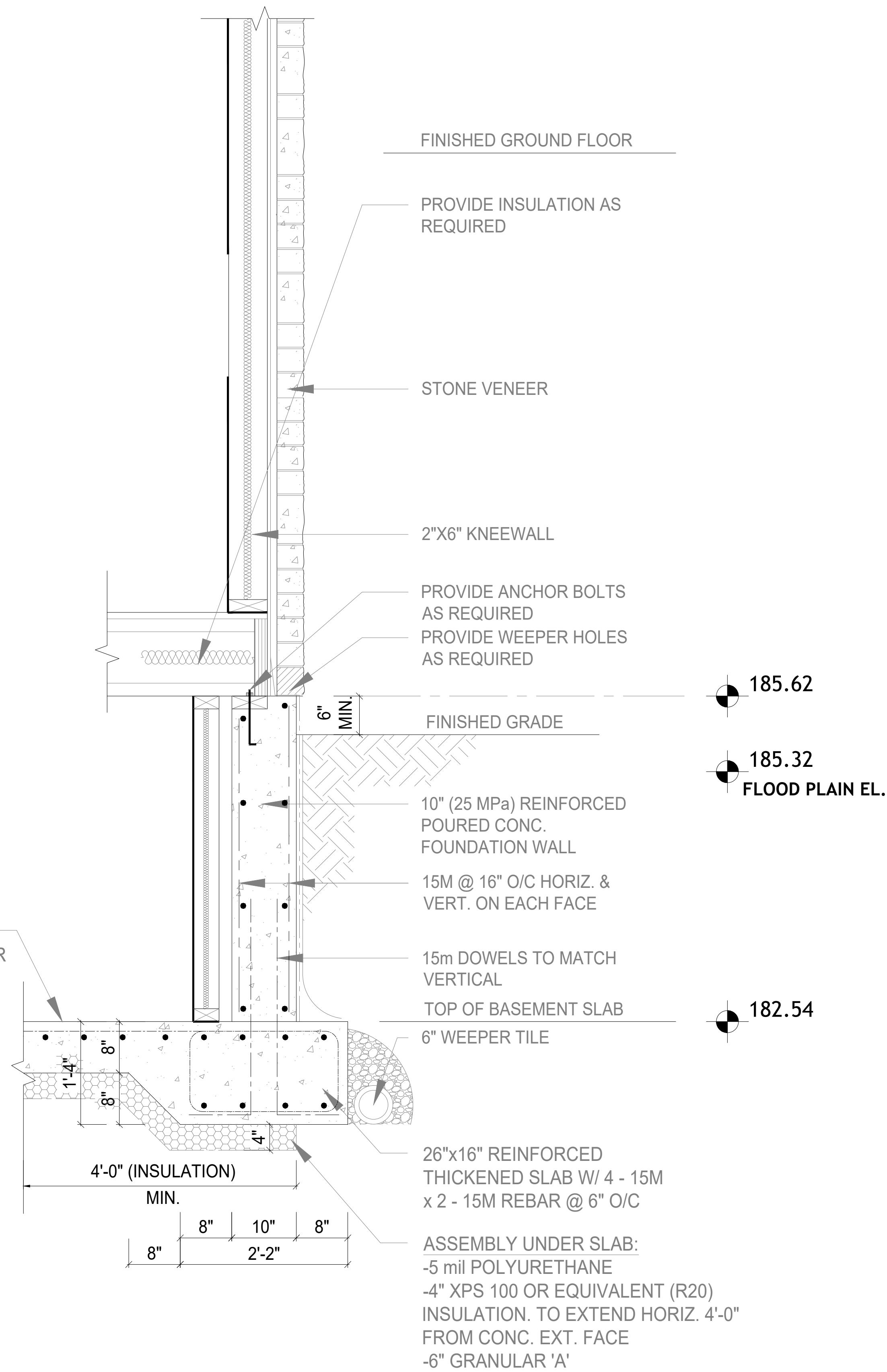
West Elevation




(South) Rear Elevation



Section 1-1



D1
TYP. REINFORCED FOUNDATION WALL/SLAB
- DETAIL
SCALE: NTS



ITHD
From Idea To Reality
224-2275 Lake Shore Boulevard West,
Toronto, ON M8V 3Y3
Phone: +1(647)478-5055 ithd.ca
Toll free: +1(885)561-4161 info@ithd.ca


GENERAL NOTES:

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REVISIONS AND ISSUES		
DATE	#	DESCRIPTION
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT

PROFESSIONAL SEAL:



REGISTERED PROFESSIONAL ENGINEER
A. GOLOVNIA
100196685
PROVINCE OF ONTARIO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. REQUIRED (UNLESS DESIGN IS EXEMPT) UNDER DIVISION C-3.2.2.1 OF THE 2012 O.B.C.

Andri Golovnia BCIN 47354
Registration Information
Required unless design is exempt under Division C-3.2.2.1 of the 2012 O.B.C.
Firm Name: In-Tech House Design Corp.
BCIN: 100028

PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
SECTION '1-1' & DETAIL

DESIGN BY:	RH
DRAWN BY:	JT
CHECKED BY:	AG
SCALE:	#####
DATE:	2024/12/28
PROJECT No:	24-699

DRAWING No:
A7

SIZE: ARCH D 36"x24"

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2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

LICENCED PROFESSIONAL ENGINEER
A. GOLOVNIYA
100196685
2024/12/28
PROVINCE OF ONTARIO

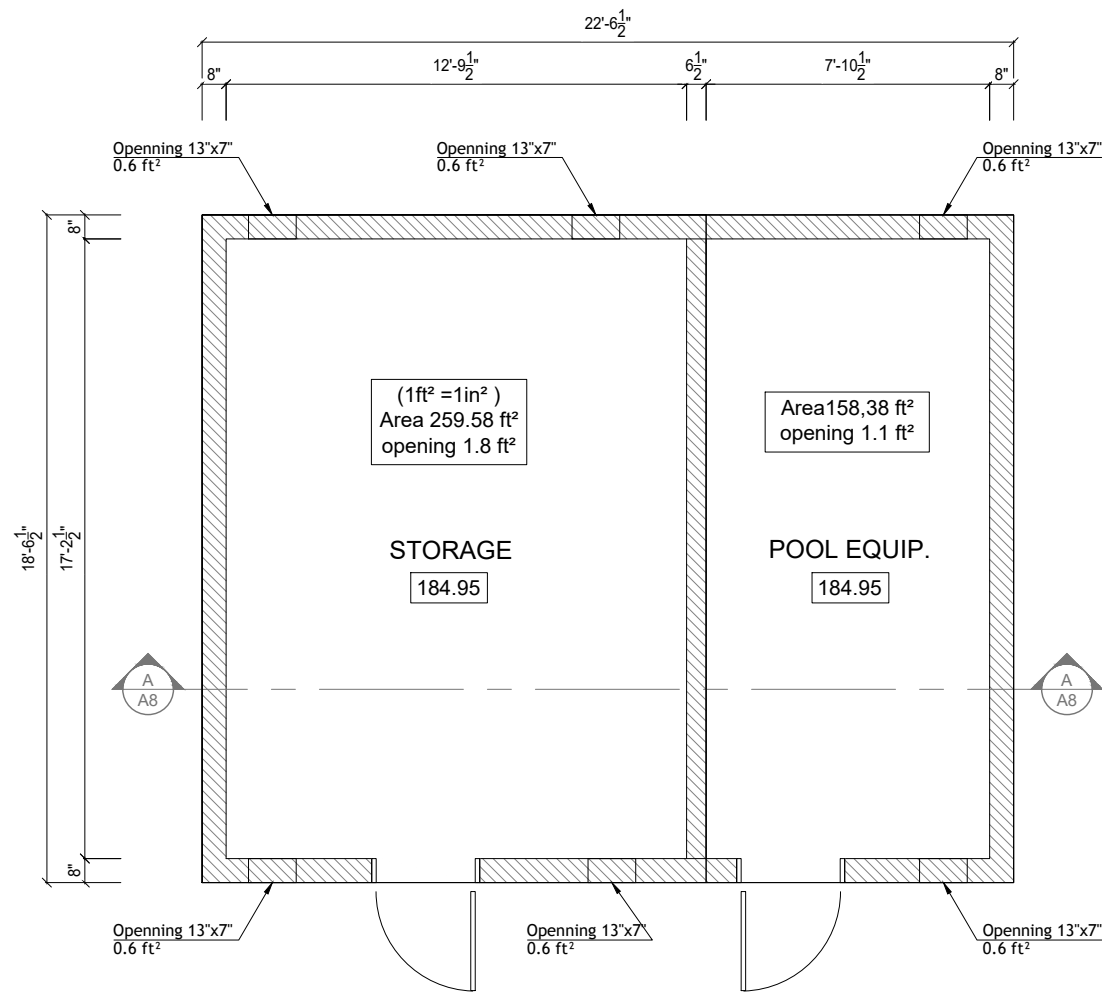
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Andrii Golovniya BCIN: 47354
REGISTRATION INFORMATION
Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.
Firm Name: In-Tech House Design Corp.
BCIN: 100028

PROJECT NAME:
New Custom House

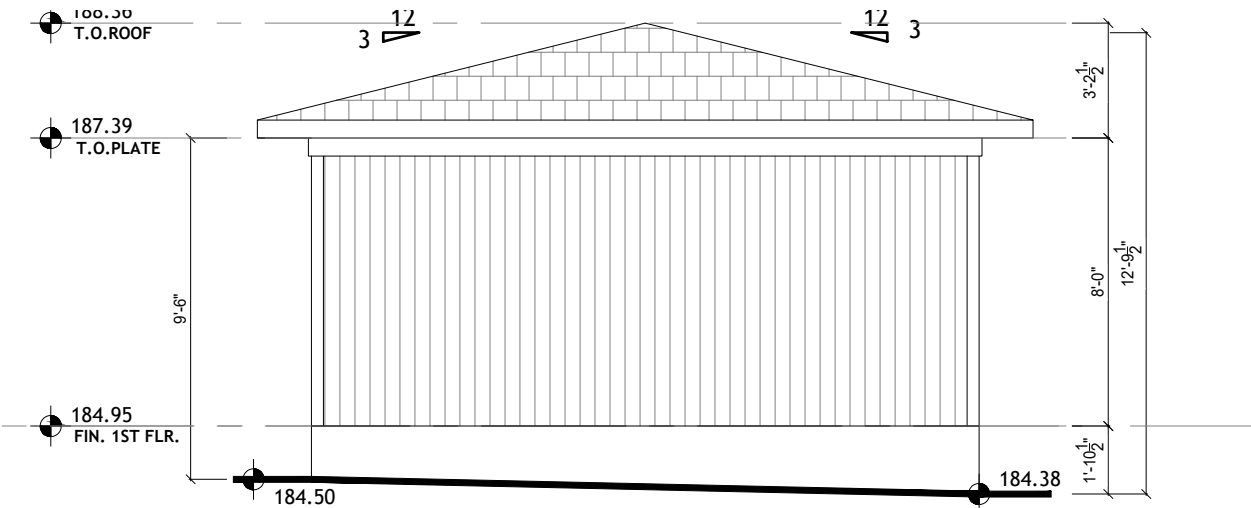
PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON, L6Y 0E9

SHEET TITLE:
STORAGE HOUSE PLAN &
ELEVATIONS & SECTION A-A

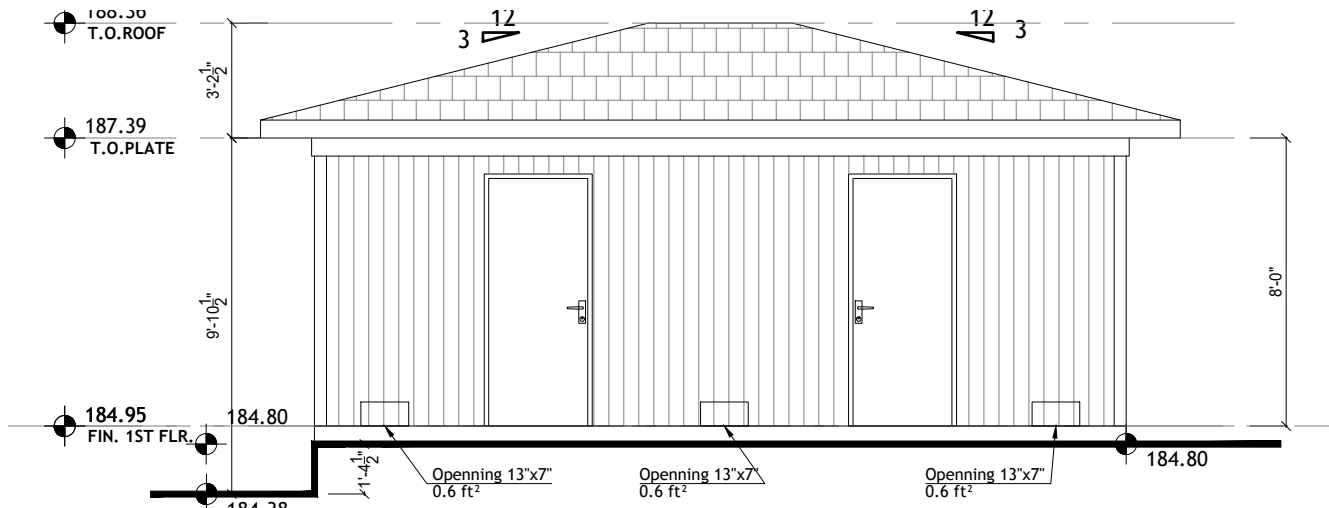
DESIGN BY:	RH	DRAWING N°: A8
DRAWN BY:	JT	
CHECKED BY:	AG	
SCALE:	3/16" = 1'-0"	
DATE:	2024/12/28	
PROJECT N°:	24-699	SIZE: ARCH D 36"x24"



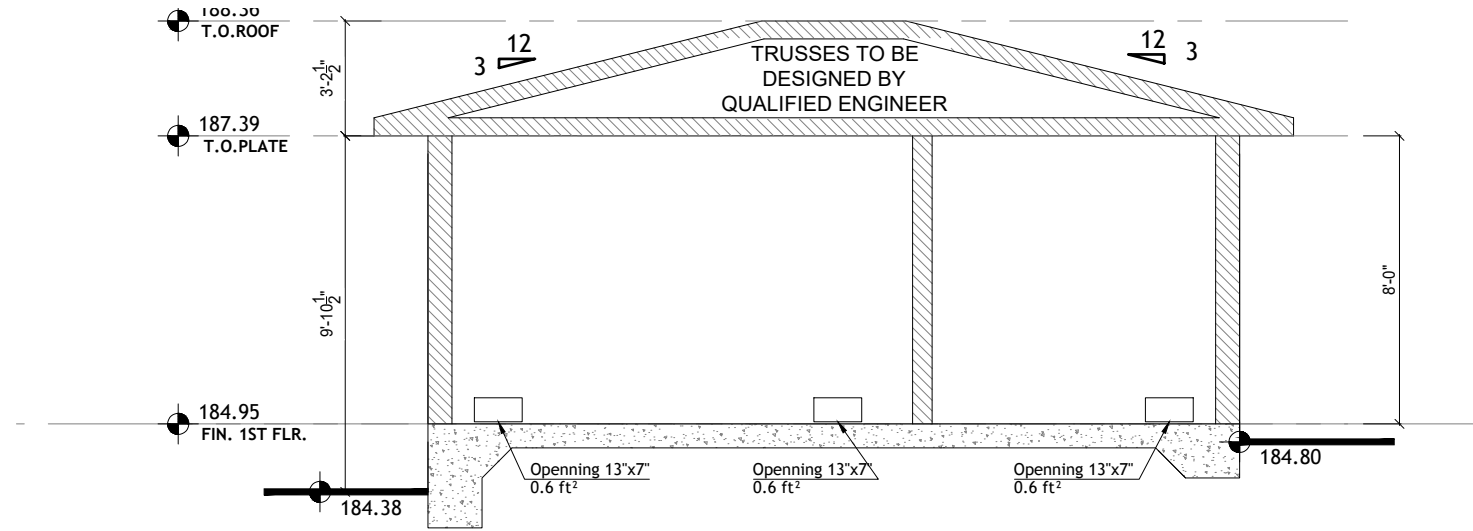
Ground Floor Plan



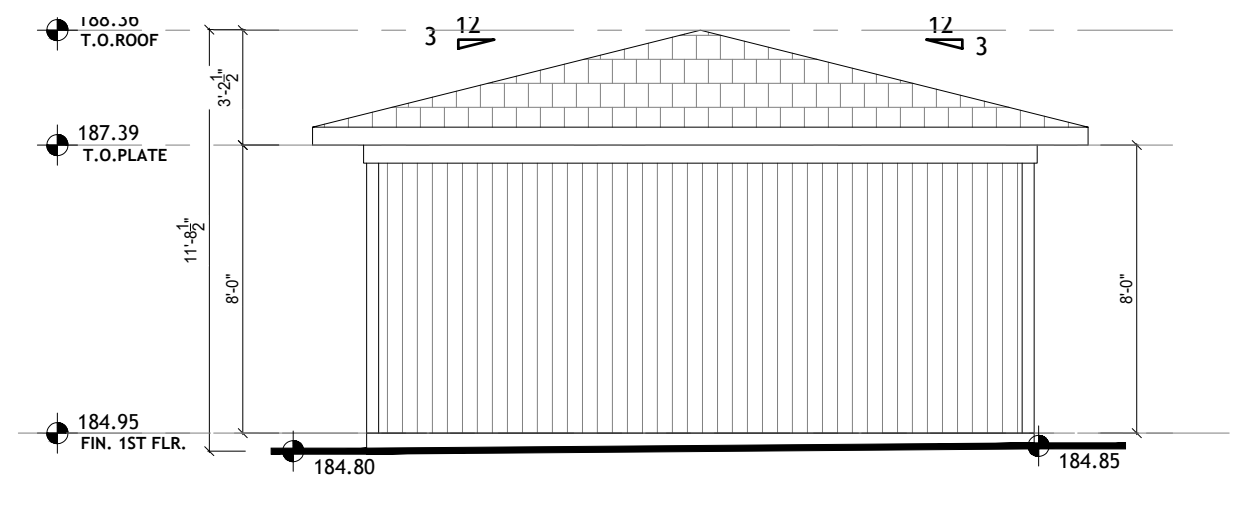
West Elevation



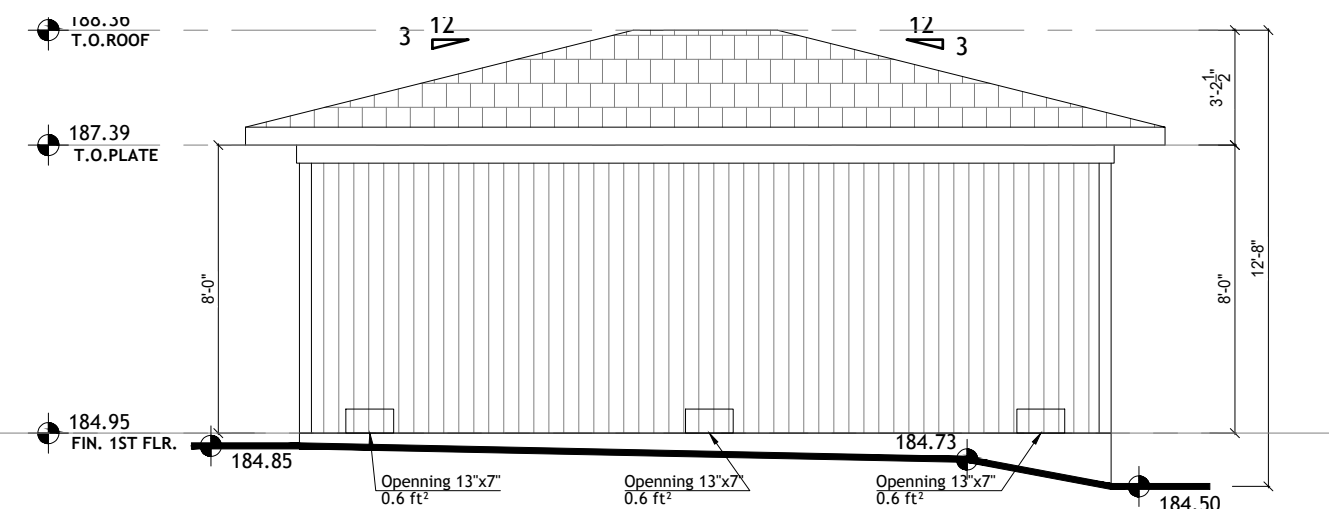
South Elevation



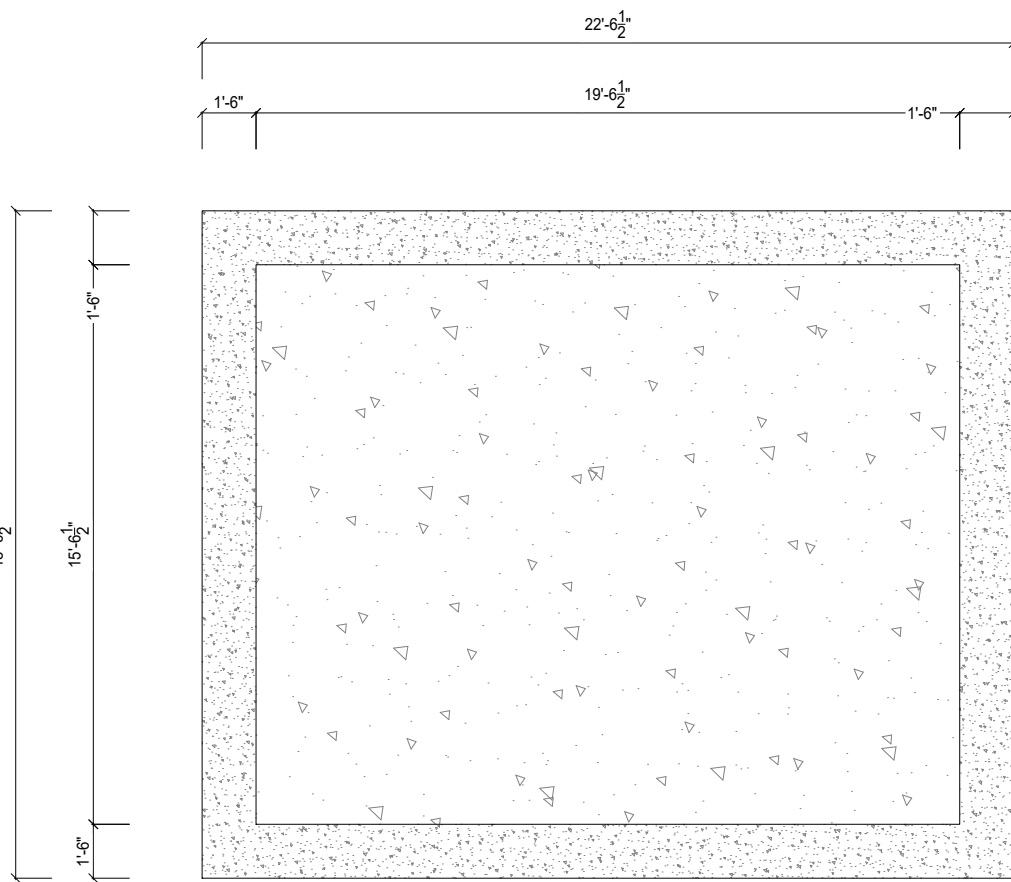
Section A-A



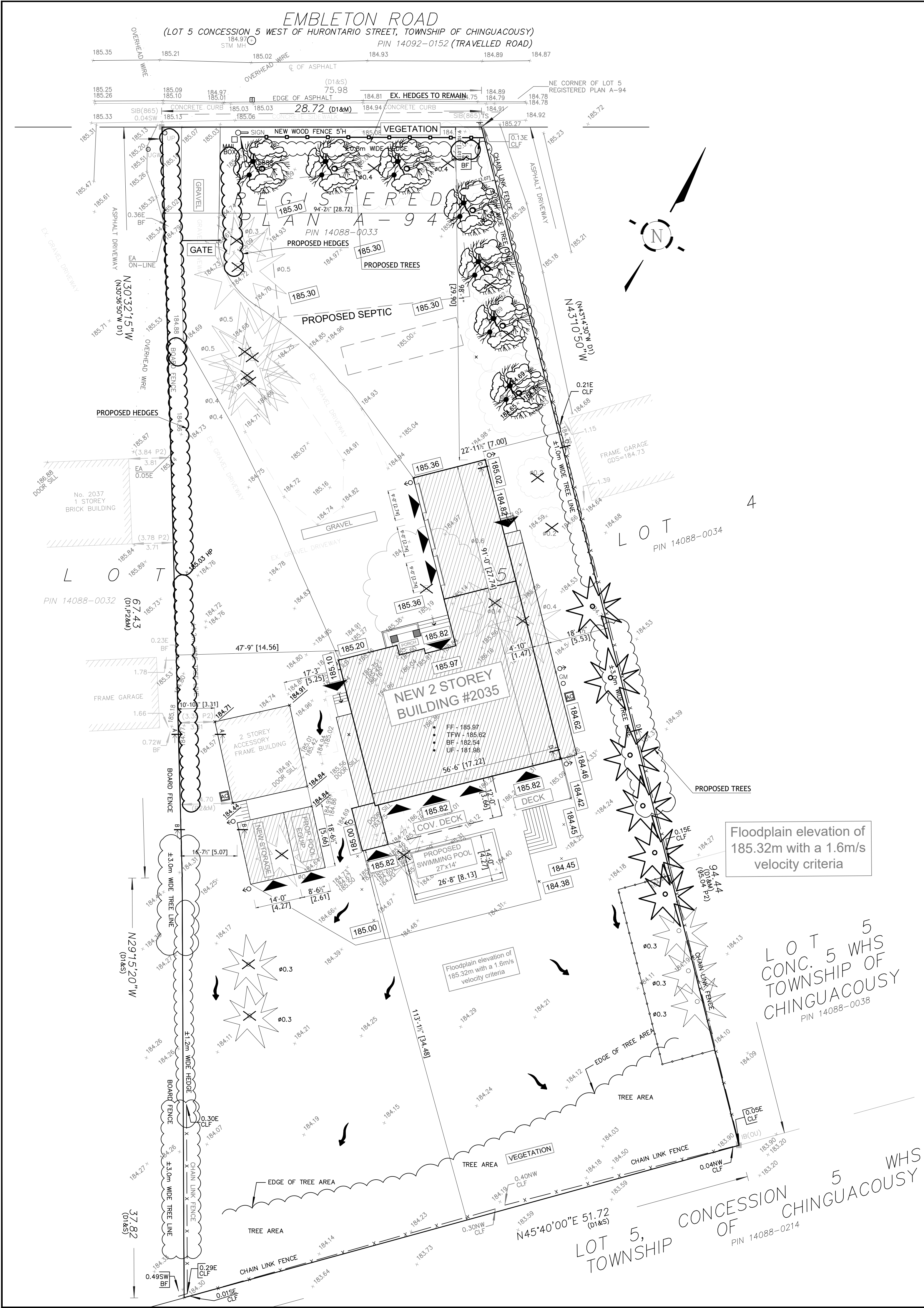
East Elevation



North Elevation



Footing Plan



LEGEND

- × 000.00 EXISTING ELEVATION
- × 00.00 PROPOSED ELEVATION
- × 00.00SW PROPOSED SWALE ELEVATION
- DIRECTION OF SURFACE FLOW
- DIRECTION OF SUBDRAIN SWALE
- DIRECTION OF GRASS SWALE
- ↙ DOWNSPOUT
- ↙ DIRECTION OF SUMP PUMP SUB CHARGE
- SEDIMENT CONTROL FENCE
- TREE PROTECTION FENCE
- ENTRY TO BUILDING
- ENTRY BELOW
- FF - FINISHED FLOOR ELEVATION
- TFW - TOP OF FOUNDATION WALL
- BF - FINISHED BASEMENT SLAB
- UF - UNDERSIDE OF FOOTING
- 7- NEW MAPLE TREE
- 6-NEW NORWAY SPRUCE
- NEW HEDGES

KEYPLAN:
2035 EMBLETON RD. ON. L6Y 0E9
SCALE: NTS

SITE STATISTICS - NEW DWELLING				
RD(f12.0;a370)(x1463)				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
LOT AREA			42235.75	3923.80
EX. BUILDING AREA			553.59	51.43
NEW BUILDING AREA			4002.85	371.87
NEW STORAGE AREA			259.45	24.10
NEW POOL EQUIPMENT AREA			158.50	14.73
LOT COVERAGE				11.8%
GROSS FLOOR AREA				
	SQ.FT	m²	SQ.FT	m²
FIRST FLOOR	-	-	2754.50	255.90
SECOND FLOOR	-	-	2654.16	246.58
TOTAL G.F.A.	-	-	5408.66	502.48
FINISHED BASEMENT	-	-	2635.03	244.80
	FT	m	FT	m
AVERAGE ESTABLISH GRADE NORTH (FRONT)				185.36
BUILDING HEIGHT NORTH (FRONT)		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE SOUTH (REAR)				185.36
BUILDING HEIGHT SOUTH (REAR)		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE EAST SIDE				185.36
BUILDING HEIGHT EAST SIDE		10.60	30'-11 1/4"	9.43 m
AVERAGE ESTABLISH GRADE WEST SIDE				185.36
BUILDING HEIGHT WEST SIDE		10.60	30'-11 1/4"	9.43 m
BUILDING LENGTH			103'-0"	31.39
BUILDING DEPTH			103'-0"	31.39
LOT FRONTAGE			94'-2 1/2"	28.72
SETBACKS				
	FT	m	FT	m
FRONT		12.00	98'-1"	29.90
REAR		7.50	113'-1 1/2"	34.48
WEST SIDE		7.50	47'-9"	14.56
EAST SIDE		15	18'-1 1/2"	5.53
LANDSCAPING				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
FRONT YARD LANDSCAPING AREA			15061.99	1399.29
SOFT LANDSCAPE AREA			10543.56	989.52
HARD LANDSCAPE AREA	-	-	4518.43	419.77
		70%		70%
REAR YARD AREA BREAK DOWN				
COVERED DECK			416.00	38.65
SWIMMING POOL			443.89	41.24

From Idea To Reality
224-2275 Lake Shore Boulevard West,
Toronto, ON M8V 3Y3
Phone: +1(647)478-5055 ithd.ca
Toll free: +1(885)561-4161 info@ithd.ca

GENERAL NOTES:

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ADDITIONAL NOTES:

REVISIONS AND ISSUES

DATE	#	DESCRIPTION
2025/08/07	4	REVISED PER CITY COMMENTS
2024/12/28	3	REVISED PER CITY COMMENTS
2024/11/07	2	REVISED PER CITY COMMENTS
2024/09/25	1	ISSUED FOR CVC PERMIT

PROFESSIONAL SEAL:

ANDRII GOLOVNIA REG. #100196685
REGISTERED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

PROJECT NAME:
New Custom House

PROJECT ADDRESS:
2035 Embleton Rd.
Brampton, ON. L6Y 0E9

SHEET TITLE:
Site Plan & Key Plan

DESIGN BY: RH
DRAWN BY: JT
CHECKED BY: AG
SCALE: 1:200
DATE: 2025.08.05
PROJECT No: 24-699

DRAWING No:
SP-1

Stage 1 and 2 Archaeological Assessment

2035 Embleton Road, Part of Lot 5, Registered Plan A-94
(Formerly Part of Lot 5, Concession 5 West of Centre Road,
Geographic Township of Chinguacousy [South], Peel County),
Now in the City of Brampton, Regional Municipality of Peel, Ontario

Prepared by



2-Jul-25

MCM Archaeological Consulting License # P1034 (Dr. Sheryl Spigelski)
MCM P.I.F. # P1034-0024-2025

Original Report

EXECUTIVE SUMMARY

AS&G Archaeological Consulting Inc. (AS&G) was contracted to conduct a Stage 1 and 2 Archaeological Assessment of 2035 Embleton Road, Part of Lot 5, Registered Plan A-94 (Formerly Part of Lot 5, Concession 5 West of Centre Road, Geographic Township of Chinguacousy [South], Peel County), Now in the City of Brampton, Regional Municipality of Peel, Ontario. The development project was triggered by the *Planning Act* and the Archaeological Assessment was done in advance of the construction of a new two-storey dwelling, detached two-storey garage and associated gravel driveway, driveway gate, backyard deck, septic system, swimming pool, pool equipment storage shed, and landscaping.

A Stage 1 Background Study of the property was conducted to provide information about the property's geography, history, previous archaeological fieldwork, and current land condition, in order to evaluate and document in detail the property's archaeological potential and to recommend appropriate strategies for Stage 2 Survey. The Stage 1 Background Study established that the Study Area retained archaeological potential.

A Stage 2 Property Assessment was conducted to document all archaeological resources on the property, to determine whether the property contains archaeological resources requiring further assessment, and to recommend next steps. The characteristics of the Study Area dictated that the Stage 2 Assessment be performed by a test-pitting survey at standardized five metre intervals throughout the Study Area.

The Stage 1 Background Study found that the Study Area exhibits potential for the recovery of archaeological resources of cultural heritage value and concluded that the Study Area requires a Stage 2 Assessment. The Stage 2 Property Assessment, which consisted of a test-pit survey performed at standardized five metre intervals, did not result in the identification of archaeological resources within the property. **The report recommends that no further Archaeological Assessment of the Study Area (Map 6) is required.**

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PROJECT PERSONNEL

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INTRODUCTION

The *Ontario Heritage Act*, R.S.O. 1990 c. O.18, requires anyone wishing to carry out archaeological fieldwork in Ontario to have a license from the Ministry of Citizenship and Multiculturalism (MCM). All licensees are to file a report with the MCM containing details of the fieldwork that has been done for each project. Following standards and guidelines set out by the MCM is a condition of a licence to conduct archaeological fieldwork in Ontario. **AS&G Archaeological Consulting Inc. (AS&G)** confirms that this report meets ministry report requirements as set out in the *2011 Standards and Guidelines for Consultant Archaeologists* and is filed in fulfillment of the terms and conditions an archaeological license.

1.0 PROJECT CONTEXT

This section of the report will provide the context for the archaeological fieldwork, including the development context, the historical context, and the archaeological context.

1.1 Development Context

AS&G was contracted to conduct a Stage 1 and 2 Archaeological Assessment of 2035 Embleton Road, Part of Lot 5, Registered Plan A-94 (Formerly Part of Lot 5, Concession 5 West of Centre Road, Geographic Township of Chinguacousy [South], Peel County), Now in the City of Brampton, Regional Municipality of Peel, Ontario. The subject area is a trapezoid-shaped property approximately 0.40 hectares in size, measuring approximately 52 metres east-west by 105 metres north-south. It is bound by Embleton Road to the north, farm fields to the south, and residential properties to the east and west.

The Study Area is comprised of a single residential property with detached garage, associated gravel driveways, grass lawns, bushes, and trees. The development project was triggered by the *Planning Act* and the Archaeological Assessment was done in advance of the construction of a new two-storey dwelling, detached two-storey garage and associated gravel driveway, driveway gate, backyard deck, septic system, swimming pool, pool equipment storage shed, and landscaping.

Permission to access the property to conduct all required archaeological fieldwork activities, including the recovery of artifacts was given by the landowner and their representative.

1.2 Historical Context

In advance of the Stage 2 Assessment, a Stage 1 Background Study of the property was conducted in order to document the Study Area's archaeological and land use history and present condition. Several sources were referenced to determine if features or characteristics indicating archaeological potential for Pre-Contact and Post-Contact resources exist within the property. These included information about the property's geography, history, previous archaeological fieldwork, current land condition, and contemporary satellite imagery, and historic atlas maps.

In Ontario, the framework for determining the presence of archaeological potential is taken from the *Standards and Guidelines for Consultant Archaeologists* (MCM 2011, Sections 1.3.1 & 1.3.2). Characteristics indicating archaeological potential include the near-by presence of previously identified archaeological sites, primary and secondary water sources, features indicating past water sources, accessible or inaccessible shoreline, pockets of well-drained sandy soil, distinctive land formations that might have special or spiritual places (such as waterfalls, rock outcrops, caverns, mounds, promontories and their bases, as well as resource areas that include food or medicinal plants, or scarce raw materials), early Euro-Canadian industry, areas of early Euro-Canadian settlement, early historical transportation routes, properties listed on a municipal register or designated under the *Ontario Heritage Act* as a federal, provincial, or municipal historic landmark or site; as well as properties that local histories or informants have identified as important locations for historical events, activities, and/or occupations.

Archaeological potential can be determined not to be present for either the entire property or a part of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as 'disturbed' or 'disturbance', and may include: quarrying, major landscaping involving grading below topsoil, building footprints, and sewage and infrastructure development. Archaeological potential is not removed where there is documented potential for deeply buried intact archaeological resources beneath land alterations, or where it cannot be clearly demonstrated through background research and property inspection that there has been complete and intensive disturbance of an area. Where complete disturbance cannot be demonstrated in Stage 1, it will be necessary to undertake Stage 2 Assessment.

The Background Study determined that the following features or characteristics indicate archaeological potential for the property:

- There are twenty-eight (28) known archaeological sites within a one-kilometre radius of the property limits.
- There are four (4) known archaeological sites within a 300 metre radius of the property limits.
- The subject property is located less than 100 metres from the Credit River, as well as a tributary of the Credit River.
- The current property limits and Study Area are adjacent to an early Euro-Canadian transportation route (present-day Embleton Road).
- The property is situated within the Peel Plain physiographic region. The Peel Plain is a level-to-undulating area of clay soil that covers an area of approximately 77,700 hectares across the central portions of the Regional Municipalities of York, Peel, and Halton (Chapman and Putnam 1984). The Peel Plain has a general elevation of between 500 and 750 feet above sea level with a gradual uniform slope towards Lake Ontario. The Peel Plain is sectioned by the Credit, Humber, Don, and Rouge Rivers with deep valleys, as well as a number of other streams such as the Bronte, Oakville, and Etobicoke Creeks. These valleys are in places bordered by trains of sandy alluvium. The region is devoid of large undrained depressions, swamps, and bogs, though nevertheless, the dominant soil possesses imperfect drainage (Chapman and Putnam 1984).

In summary there are areas of archaeological potential within the property. The Stage 1 Background Study identified that the property retains archaeological potential. The Stage 1 Background Study did not identify any areas of previously disturbed lands within the property that have severely damaged the integrity of archaeological resources and have removed archaeological potential, with the exception of the existing residential structures.

1.2.1 Indigenous Historical Context

The property is situated in an area of Ontario that has a rich and diverse cultural history that extends back at least 11,000 years ago. To provide context for this report, the settlement history is summarized below.

1.2.1.1 Pre-Contact Indigenous Period

Drawn from Ellis and Ferris (1990), Table 1 provides a general outline of the pre- and post-contact cultural history. The Study Area is situated in an area of Ontario that has evidence of extended periods of human settlement, dating back at least 11,000 years.

Table 1: General Archaeological Chronology for South-Central Ontario

Period	Archeological/Material Culture	Date Range	Comments
PALEO			
Early	Gainey, Barnes, Crowfield, Fluted Points	11,000-10,500 BP	Big game hunters, i.e., caribou
Late	Holcombe, Hi-Lo, Lanceolate	10,500-9,500 BP	Paleo Point Technology
ARCHAIC			
Early	Bifurcate-base, Nettleing, Side Notched	9,800-8,000 BP	Nomadic hunters/gathers
Middle	Stanley, Kirk, Brewerton, Laurentian	8,000-4,000 BP	Focused seasonal resource areas
Late	Lamoka, Genesee, Innes, Crawford Knoll	4,500-2,500 BP	Polished/ground stone tools Burial ceremonialism
	Hind	3,000-2,600 BP	
WOODLAND			
Early	Meadowood, Middlesex	2,800-2,000 BP	Introduction of pottery, elaborate burials
Middle	Princess Point, Saugeen, Point Peninsula	2,000-950 BP	Long-distance trade, burial mounds, horticulture
Late	Pickering, Uren, Middleport (Anishinabek/Iroquois), Algonkian-Wendat Alliance	950-300 BP	Emergence of agricultural villages Large, palisaded villages Trade, alliances, and warfare
HISTORIC			
	Huron, Neutral, Petun, Odawa, Ojibwa Six Nations Iroquois, Ojibwa, Mississauga	350 BP-Present	Mission villages and Reserves
	Euro-Canadian		European settlement

1.2.1.2 Paleo

Archaeological evidence demonstrates that people inhabited South-central Ontario just after the end of the Wisconsin Glacial Period, approximately 11,000 years ago. This early settlement period is known as the Paleo Period (Ellis and Deller 1990, Jackson 1998, 2019). Based upon current archaeological knowledge, Indigenous groups originally living south of the Great Lakes migrated to the area. Small family groups, i.e., less than 35 individuals, used fluted and lanceolate points. These groups are believed to have maintained a seasonal pattern of mobility over vast territories, ranging up to 200 km annually (Ellis and Deller 1990, Jackson 1998, 2019).

These Early Paleo sites are typically located in elevated locations, with well-drained loamy soils. Many known sites found on former beach ridges, associated with glacial lakes (Ellis and Deller 1990). These sites were likely formed when they were occupied for short increments, over the course of many years, possibly as

communal hunting camps. Their locations appear conducive to hunting migratory mammals, such as caribou (Ellis and Deller 1990).

During the Late Paleo Period (10,500-9,500 BP), the south-central Ontario environment started to become dominated by closed coniferous forests, with only some minor deciduous elements. The hunting landscape had also changed, as many of the large game species that had been hunted in the early part of the Paleo Period either migrated further north, or in some cases, had become extinct, i.e., mastodons and mammoths (Ellis and Deller 1990).

1.2.1.3 *Archaic Period*

During the Early Archaic Period (9,800-8,000 BP), the jack and red pine forests that characterized the Late Paleo environment, were replaced by forests of white pine, with a few correlated deciduous trees (Ellis et al. 1990). Based on material culture, the Early Archaic Period is recognized by the shift to side and corner-notched projectile points (Ellis et al. 1990). Other notable innovations, include the introduction of ground stone tools such as celts and axes. These tools suggest that there was a woodworking industry. Additionally, the presence of these, often large and not easily portable tools, suggests that there may have been a reduction in seasonal movement. However, the current understanding of the Period suspects that population densities were still low, and seasonal territories were still large (Ellis et al. 1990).

During the Middle Archaic Period (8,000-4,000 BP), it is speculated that there was an increase in regional population growth, which precipitated a decrease in overall seasonal migration territory. Additionally, as a consequence of population growth, a shift in subsistence patterns occurred, as more people needed to be supported from the resources contained within the smaller area (Ellis et al 1990). Thus, the Middle Archaic is characterized by the diversification of toolkits and diets, with the introduction of net-sinkers and bannerstones, as well as stone tools specifically designed for the preparation of wild plant foods. The appearance of net-sinkers suggests that fishing was becoming an important aspect of the subsistence economy. In contrast, bannerstones were carefully crafted ground stone devices that served as a counterbalance for *atlatls* or spear-throwers, used in hunting game (Ellis et al 1990).

Another characteristic of the Middle Archaic Period is an increased reliance on local, often poor-quality chert resources, for the manufacturing of projectile points. Unlike earlier periods, when nomadic groups occupied vast territories, at least once in their seasonal migration it was possible for them to visit a primary outcrop of high-quality chert. However, during the Middle Archaic Period, groups inhabited smaller territories, which usually did not contain a source of high-quality raw material, and were forced to use the locally sourced, poorer quality resources

(Ellis et al. 1990). It was also during the latter part of the Middle Archaic Period, that long-distance trade routes began to develop, which spanned the northeastern part of the continent. For instance, copper tools, which were manufactured from a source located northwest of Lake Superior, were being widely traded (Ellis et al. 1990).

The trend towards a decreasing territory size and a broadening subsistence economy continued during the Late Archaic Period (4,500-2,500 BP). Similarly, archaeologically Late Archaic sites are more numerous than Early or Middle Archaic sites, which is correlated to an increasing population (Ellis et al. 1990). With the trend towards larger groups, the first cemeteries have also been dated to the Late Archaic Period. Prior to this, individuals were interred close to the location where they died. Furthermore, during the Late Archaic Period, if an individual died while away from their home territory, the bones would be kept until they could be placed in the group cemetery. Therefore, it is not unusual to find disarticulated skeletons, and/or skeletons lacking minor elements, i.e., fingers, toes and/or ribs (Ellis et al. 1990).

The appearance of cemeteries during the Late Archaic Period has been interpreted as a response to increased population densities. The increased populations also demonstrated evidence of regionalized variation in Late Archaic projectile point styles (Ellis et al. 1990). The differences were likely indicative of the different relationships the people had to the land and waters they inhabited. Additionally, trade networks established during the Middle Archaic continued to flourish. For instance, copper native to northern Ontario and marine shell artifacts from as far away as the Mid-Atlantic coast, are frequently encountered as grave goods. Other artifacts such as polished stone pipes and banded slate gorgets, also appear on Late Archaic sites. One of the more unusual and interesting of the Late Archaic artifacts is the *birdstone*. Birdstones are small, bird-like effigies usually manufactured from green banded slate (Ellis et al. 1990).

1.2.1.4 Woodland Period

For archaeologists, the Early Woodland Period (2,000-2,000 BP) is distinguished from the Late Archaic Period primarily by the addition of ceramic technology. The first pots were crudely constructed, had undecorated thick walls, and were friable. Spence et al. (1990) suggests they were used in the processing of nut oils, which required boiling crushed nut fragments in water and skimming off the oil. As these vessels were not easily portable, individual pots were likely not used for extended periods of time. Additionally, as there are many Early Woodland sites where no pottery was recovered, it has been suggested that these poorly constructed vessels were not utilized by all Early Woodland peoples (Spence et al. 1990).

Other than the limited use of ceramics, there were other subtle differences between the Late Archaic and the Early Woodland Periods. For example, 'pop-eyes', a protrusion from the side of the head, was added to birdstones. Similarly, a slight modification was made to the thin, well-made projectile points made during the Archaic Period, i.e. Early Woodland variants were side-notched rather than corner-notched (Spence et al. 1990). The trade networks which were established in the Middle and Late Archaic Periods, continued to flourish; however, there appeared to be a decrease in the trade of marine shell during the Early Woodland Period. Projectile points crafted from high quality American Midwest materials, began to be found on southwestern Ontario sites, dated towards the end of the Early Woodland Period (Spence et al. 1990).

The Middle Woodland (2,000-950 BP) is characterized by rich, densely occupied sites, which are usually found bordering major rivers and lakes. While these locations were inhabited periodically by earlier peoples, Middle Woodland sites are significant as they represent long periods of continuous occupations, i.e., hundreds of years (Spence et al. 1990). The shift in settlement pattern created large deposits of artifacts, as the sites appear to have functioned as home bases that were occupied throughout the year. Numerous smaller Middle Woodland sites have been found inland, and likely functioned as specialized camps, for the exploitation of local resources (Spence et al. 1990).

The shift to a more sedentary lifestyle also resulted in a shift in subsistence patterns, comparable to the Early Woodland Period. Although they still relied on hunting and gathering, fish became a predominant diet staple, to meet their growing subsistence needs (Spence et al. 1990). Additionally, the people of the Middle Woodland relied more on ceramic technology, with many being heavily decorated with impressed designs covering the entire exterior surface, and the upper portion of the interior of vessels (Spence et al. 1990).

Material culture changes that occurred in the early portion of the Late Woodland (950-300 BP), include the appearance of triangular projectile point styles, first seen with the Levanna form, and a change to more intricate design patterns on ceramics. Designs included cord-wrapped stick decorated ceramics, which were created using the paddle and anvil forming technique (Bursey 1995; Ferris and Spence 1995; Spence et al. 1990; Williamson 1990).

The Late Woodland Period is marked by two major subsistence innovations, harvesting of wild rice (*Zizania palustris*) throughout south-central and northern Ontario (Jackson et al. 2022), and a reliance on corn (*Zea mays*) horticulture (Crawford et al. 1997; Fox 1990; Martin 2004; Smith 1990; Williamson 1990). Although corn was possibly introduced into southwestern Ontario from the American Midwest as early as 2,500 BP, it was not considered a dietary staple until at three to four hundred years later. From there, corn cultivation gradually spread

into south-central and southeastern Ontario. Thus, the Late Woodland Period is widely accepted as the beginning of a reliance on agriculture, for subsistence. Researchers have suggested that a warming trend, which increased the number of frost-free days, was likely a catalyst for the spread of maize into southern Ontario (Stothers and Yarnell 1977). Additionally, sites have been identified in a wider variety of environments, including riverine, lacustrine and wetlands (Dieterman 2001).

1.2.1.5 Post-Contact History

At the end of the 17th and beginning of the 18th century, the dispersal of several Iroquoian-speaking peoples by the New York State Iroquois, coupled with the return of the Algonkian-speaking groups from Northern Ontario, formed the post-contact Indigenous occupation landscape of southern Ontario (Schmalz 1991). As European settlers encroached on traditional Indigenous territories, settlement sizes, populations, and material culture shifted. Despite this shift, there remains a continuity from ancient Indigenous groups to the communities written about in historical accounts (Ferris and Spence 2009). Thus, it should be noted that the Indigenous peoples of southern Ontario have deposited archaeologically significant resources throughout the province, demonstrating a shared traditional and continuing history, regardless of whether their presence is recorded in historic Euro-Canadian documents.

The Study Area is located within the lands included in the Head of the Lake Purchase, also known as Treaty 14. A day after the Toronto Purchase was signed on August 1, 1805 by representatives of the Crown and certain Mississauga peoples (Government of Canada 1805), a provisional agreement was reached to sell the lands immediately west of the lands included in the Toronto Purchase (MCFN 2020). Treaty 14, officially signed on September 5, 1806, covered 85,000 acres of land, which commenced:

...at the eastern bank of the mouth of the River Etobicoke, being on the limit of the western boundary line of the Toronto purchase in the year of Our Lord, one thousand seven hundred and eighty-seven; then north twenty-two degrees west six miles; then south thirty-eight degrees west twenty-six miles, more or less, until it intersects a line on a course north forty-five degrees west produced from the outlet at Burlington Bay being the north-eastern boundary line of the Township of Flamborough East, and of the purchase in the year of Our Lord one thousand seven hundred and ninety two; then along the said line south forty-five degrees east two hundred and thirty-three chains and fifty-eight links, more or less, to the lands granted to Captain Joseph Brant; then north forty-five degrees east one hundred and twenty-seven chains, to the northerly angle of said lands; then south-forty five degrees east two hundred and ninety-three chains, more or less, to

Lake Ontario; then north-easterly along the water's edge of said lake to the eastern bank of the River Etobicoke...

(Government of Canada 1806)

In return for these lands, the Mississaugas were to receive £1,000 of trade goods and sole fishing rights along the Credit River, Etobicoke River, Twelve Mile Creek, and Sixteen Mile Creek (MCFN 2020).

The Williams Treaties also had broad implications for the First Nation Communities in Ontario. The Treaties were signed on October 31 and November 15, 1923, by: Commissioner Angus Seymour Williams, representing the Dominion of Canada; Robert Victor Sinclair and Uriah McFadden, representing the Province of Ontario; the Anishinaabe Chippewa of Simcoe (First Nation Communities of Beausoleil, Georgina Island, and Rama); and the Anishinaabe Michi Saagig of the north shore of Lake Ontario (First Nation Communities of Alderville, Curve Lake, Hiawatha, and Scugog Island) (Government of Canada 1923). The two treaties encompass 12,944,400 acres of land, separated into three distinct tracts. Tract 1 is between the Etobicoke and Trent Rivers, bounded by Lake Ontario's Northern Shore, which then extends north to Lake Simcoe to create Tract 2. Tract 3 includes the area between the Ottawa River and Lake Huron, which is delineated in the North by the Mattawa River-Lake Nipissing and French Line (Government of Canada 1923; Manners 2022). The Williams Treaties were the culmination of almost sixty years of the Chippewa and Mississauga (Michi Saagig) lobbying the Ontario and Canadian governments for protection and respect of their rights to harvest, hunt, fish, and trap on their traditional lands (Manners 2022).

The Williams Treaties were originally designed by the Crown to quell the complaints put forth by the various First Nation communities regarding settlers interfering and encroaching on their traditional lands. Instead, the Williams Treaties effectively obtained large tracts of unceded lands held by the First Nation communities, and removed their rights to harvest, hunt, fish, and trap outside of Reserve lands. Thus, the Treaties led to long-standing disputes between the First Nation Communities and the government, regarding compensation, land, harvesting, and access to traditional lands used for hunting, fishing, and trapping (Government of Canada 2018ab). In 1992, the Chippewa and the Mississaugas filed a lawsuit against the Crown, under the claim that the Crown had not met their financial and legal obligations set forth in the Williams Treaties (Manners 2022). The matter would remain before the courts until 2018, when the Canadian and Ontario Governments formally settled the matter with the First Nation Communities, by including a billion dollars in compensation, the ability to add up to 11,000 acres to their respective reserve land base(s), and the recognition of the First Nation Communities to hunt, fish, harvest, and trap on their traditional lands. Additionally, the Honourable Carolyn Bennett, Minister of Crown-Indigenous Relations, issued a formal apology on behalf of the Government of Canada, in

recognition of the negative impacts the Williams Treaties had on the Chippewas and the Mississaugas (Government of Canada 2018ab; Manners 2022).

1.2.2 Oral History

The traditional homelands of the Michi Saagiig (Mississauga Anishinaabeg) encompass a vast area of what is now known as southern Ontario. The Michi Saagiig are known as “the people of the big river mouths” and were also known as the “Salmon People” who occupied and fished the north shore of Lake Ontario where the various tributaries emptied into the lake. Their territories extended north into and beyond the Kawarthas as winter hunting grounds on which they would break off into smaller social groups for the season, hunting and trapping on these lands, then returning to the lakeshore in spring for the summer months.

The Michi Saagiig were a highly mobile people, traveling vast distances to procure subsistence for their people. They were also known as the “Peacekeepers” among Indigenous nations. The Michi Saagiig homelands were located directly between two very powerful Confederacies: The Three Fires Confederacy to the north and the Haudenosaunee Confederacy to the south. The Michi Saagiig were the negotiators, the messengers, the diplomats, and they successfully mediated peace throughout this area of Ontario for countless generations.

Michi Saagiig oral histories speak to their people being in this area of Ontario for thousands of years. These stories recount the “Old Ones” who spoke an ancient Algonquian dialect. The histories explain that the current Ojibwa phonology is the 5th transformation of this language, demonstrating a linguistic connection that spans back into deep time. The Michi Saagiig of today are the descendants of the ancient peoples who lived in Ontario during the Archaic and Paleo periods. They are the original inhabitants of southern Ontario, and they are still here today.

The traditional territories of the Michi Saagiig span from Gananoque in the east, all along the north shore of Lake Ontario, and west to the north shore of Lake Erie at Long Point. The territory spreads as far north as the tributaries that flow into these lakes, from Bancroft and north of the Haliburton highlands. This also includes all the tributaries that flow from the height of land north of Toronto like the Oak Ridges Moraine, and all of the rivers that flow into Lake Ontario (the Rideau, the Salmon, the Ganaraska, the Moira, the Trent, the Don, the Rouge, the Etobicoke, the Humber, and the Credit, as well as Wilmot and 16 Mile Creeks) through Burlington Bay and the Niagara region including the Welland and Niagara Rivers, and beyond. The western side of the Michi Saagiig Nation was located around the Grand River which was used as a portage route as the Niagara portage was too dangerous. The Michi Saagiig would portage from present-day Burlington to the Grand River and travel south to the open water on Lake Erie.

Michi Saagiig oral histories also speak to the occurrence of people coming into their territories sometime between 500-1000 A.D. seeking to establish villages and a corn growing economy – these newcomers included peoples that would later be known as the Huron-Wendat, Neutral, Petun/Tobacco Nations. The Michi Saagiig made Treaties with these newcomers and granted them permission to stay with the understanding that they were visitors in these lands. Wampum was made to record these contracts, ceremonies would have bound each nation to their respective responsibilities within the political relationship, and these contracts would have been renewed annually (see Gitiga Migizi and Kapyrka 2015). These visitors were extremely successful as their corn economy grew as well as their populations. However, it was understood by all nations involved that this area of Ontario were the homeland territories of the Michi Saagiig.

The Odawa Nation worked with the Michi Saagiig to meet with the Huron-Wendat, the Petun, and Neutral Nations to continue the amicable political and economic relationship that existed – a symbiotic relationship that was mainly policed and enforced by the Odawa people.

Problems arose for the Michi Saagiig in the 1600s when the European way of life was introduced into southern Ontario. Also, around the same time, the Haudenosaunee were given firearms by the colonial governments in New York and Albany which ultimately made an expansion possible for them into Michi Saagiig territories. There began skirmishes with the various nations living in Ontario at the time. The Haudenosaunee engaged in fighting with the Huron-Wendat and between that and the onslaught of European diseases, the Iroquoian-speaking peoples in Ontario were decimated.

The onset of colonial settlement and missionary involvement severely disrupted the original relationships between these Indigenous nations. Disease and warfare had a devastating impact on the Indigenous peoples of Ontario, especially the large sedentary villages, which mostly included Iroquoian-speaking peoples. The Michi Saagiig were largely able to avoid the devastation caused by these processes by retreating to their wintering grounds to the north, essentially waiting for the smoke to clear.

Michi Saagiig Elder Gitiga Migizi (2017) recounts:

“We weren’t affected as much as the larger villages because we learned to paddle away for several years until everything settled down. And we came back and tried to bury the bones of the Huron but it was overwhelming, it was all over, there were bones all over – that is our story.

There is a misnomer here, that this area of Ontario is not our traditional territory and that we came in here after the Huron-Wendat left or were defeated, but that

is not true. That is a big misconception of our history that needs to be corrected. We are the traditional people; we are the ones that signed treaties with the Crown. We are recognized as the ones who signed these treaties, and we are the ones to be dealt with officially in any matters concerning territory in southern Ontario.

We had peacemakers go to the Haudenosaunee and live amongst them in order to change their ways. We had also diplomatically dealt with some of the strong chiefs to the north and tried to make peace as much as possible. So, we are very important in terms of keeping the balance of relationships in harmony.

Some of the old leaders recognized that it became increasingly difficult to keep the peace after the Europeans introduced guns. But we still continued to meet, and we still continued to have some wampum, which doesn't mean we negated our territory or gave up our territory – we did not do that. We still consider ourselves a sovereign nation despite legal challenges against that. We still view ourselves as a nation and the government must negotiate from that basis.”

Oftentimes, southern Ontario is described as being “vacant” after the dispersal of the Huron-Wendat peoples in 1649 (who fled east to Quebec and south to the United States). This is misleading as these territories remained the homelands of the Michi Saagiig Nation. The Michi Saagiig participated in eighteen treaties from 1781 to 1923 to allow the growing number of European settlers to establish in Ontario. Pressures from increased settlement forced the Michi Saagiig to slowly move into small family groups around the present-day communities: Curve Lake First Nation, Hiawatha First Nation, Alderville First Nation, Scugog Island First Nation, New Credit First Nation, and Mississauga First Nation. The Michi Saagiig have been in Ontario for thousands of years, and they remain here to this day.

****This historical context was prepared by Gitiga Migizi, a respected Elder and Knowledge Keeper of the Michi Saagiig Nation****

1.2.3 Post-Contact History of Peel County and the Township of Chinguacousy

The County of Peel was formed out of the Home District in 1851, and was named after Sir Robert Peel, a former Home Secretary and Prime Minister of the United Kingdom, who served in office several times between 1822 and 1846. Upon its creation, the County of Peel consisted of the townships of Toronto, Toronto Gore, Chinguacousy, Albion, and Caledon. Within the Home District, Ontario County separated from York and Peel in 1854, and by 1867 Peel County officially separated from York as well, having established its own administrative buildings (PAMA 2023). The county is comprised of several townships and villages and the most notable municipalities are Brampton, Mississauga, and Caledon (Wikipedia 2023). In 1973, the County of Peel was reorganized and renamed as the Regional Municipality of Peel by the government of Ontario.

The Township of Chinguacousy was part of the 'Second Purchase of the Mississauga Tract' in 1818. It was surveyed by Richard Bristol in 1819 and divided into west and east halves on either side of Hurontario Street (also known as Centre Road). The first settlers arrived from New Brunswick and the Maritimes, as well as the United States, namely the children of United Empire Loyalists. The name of Chinguacousy was given by Sir Peregrine Maitland, who allegedly named it after the Mississauga First Nations' name for the Credit River (Mika and Mika 1977). It has also been argued that it was named for the Ottawa Chief Shinguacose, who was largely responsible for the capture of Fort Michilimackinac from the Americans at the beginning of the War of 1812 (Mika and Mika 1977: 416; Rayburn 1997: 68).

Unlike other parts of Peel County, Chinguacousy's early economy was heavily agricultural and did not depend as heavily on mills. According to *A History of Peel County to Mark Its Centenary* (Corporation of the County of Peel 1967), Chinguacousy Township, along with the Gore of Toronto, produced the greatest amount of wheat in Upper Canada. The wheat was sent south to Port Credit on Lake Ontario to be shipped domestically, as well as for export. Important transport services at the time included the Grand Trunk Railway (1856), Hamilton & North Western Railway (1877), and the Credit Valley Railway (1878/79).

In 1849, the district system of organization was abolished, and the Township became part of Peel County. At that time, York, Peel and Ontario Counties were united under one administration. Peel County became an independent County in 1851. In 1974, the Township was split into two segments that were absorbed by the City of Brampton and the Town of Caledon (Mika and Mika 1977: 417-418; Rayburn 1997: 68).

1.2.4 Past Land Use of the Property

Historically, the property lies within part of Lot 5, Concession 5 West of Centre Road, Geographic Township of Chinguacousy [South], Peel County. *Tremaine's 1859 Historical Atlas Map of the County of Peel, Ontario*, indicates that the portion of Lot 5, Concession 5 West of Centre Road, Geographic Township of Chinguacousy, Peel County, including the current property limits, were owned by a "Jas. P. Hutton". Significantly, the northeast corner of the subject property contains the western corner of an L-shaped structure that is associated with "Hutton's Mills". An historical road (present-day Embleton Road) is also depicted adjacent to the northern limit of the property. The map does not depict any other structures or features within the limits of the property, though a river is illustrated less than 100 metres to the north and east of the property.

The Walker & Miles 1877 *Illustrated Historical Atlas of the County of Peel, Ontario*, indicates that the lot remained owned by “Jas. P. Hutton”. The entire northern quarter of the subject property overlaps a larger L-shaped structure (expanded to the west), presumably the same “Hutton’s Mills” depicted in 1859. Similarly, the historical road (present-day Embleton Road) adjacent to the northern limit of the property, as well as the river located less than 100 metres to the north and east, are depicted in 1877. No other structures or features are depicted within the limits of the property. In this historical map, the larger lot associated with the property is labelled “Huttonville”.

In discussing 19th century mapping, it must be remembered that historical county atlases were produced primarily to identify factories, offices, residences, and landholdings of subscribers and were funded by subscription fees. Landowners who did not subscribe were not always listed on the maps. As such, all structures were not necessarily depicted or placed accurately. Regardless of these limitations, the property as depicted on these maps was in close proximity to both historic settlement and transportation features.

Therefore, the Stage 1 Background Study indicates that there is potential for the recovery of Pre-Contact and Post-Contact Euro-Canadian archaeological resources within the property. As it cannot be clearly demonstrated through the Background Study that there has been complete and intensive disturbance of the area, archaeological potential is not removed.

1.3 Archaeological Context

In Ontario, information concerning archaeological sites is stored in the Ontario Archaeological Sites Database (O.A.S.D.), an inventory of the documented archaeological record in Ontario. Summary information on the known archaeological sites in the vicinity of the property was obtained from the MCM site database. There are twenty-eight (28) known sites within a 1 km radius, four (4) of which are within 300-metres of the subject property (Table 2). None of the sites are within the property limits or within a 100-metre radius of the property.

Table 2: Known Archaeological Sites within 1-Km of the Study Area

Borden Number	Site Name	Time Period	Affinity	Site Type	Current Development Review Status
AjGw-9	Burton	Pre-Contact, Woodland, Late	Aboriginal, Iroquoian	Other tool manufacturing	
AjGw-680	Arthurs-Sutcliff	Post-Contact	Euro-Canadian	farmstead	Further CHVI

Borden Number	Site Name	Time Period	Affinity	Site Type	Current Development Review Status
AjGw-679		Archaic, Late	Aboriginal	findspot	No Further CHVI
AjGw-536	Anthony Site	Post-Contact	Euro-Canadian	farmstead	No Further CHVI
AjGw-475	Blain	Post-Contact	Euro-Canadian	homestead	
AjGw-459*	P3	Woodland, Late	Aboriginal	village	
AjGw-457	P1				
AjGw-456*	P4	Woodland, Early	Aboriginal	findspot	No Further CHVI
AjGw-455*	P3	Pre-Contact		findspot	No Further CHVI
AjGw-445		Archaic, Middle	Aboriginal	Unknown	
AjGw-444					
AjGw-443					
AjGw-442	Erin Mills B				
AjGw-441	Erin Mills A				
AjGw-440	Calder D	Post-Contact	Euro-Canadian	Unknown	
AjGw-439	Calder C	Post-Contact	Euro-Canadian	Unknown	
AjGw-437	Calder A	Post-Contact	Euro-Canadian	homestead	
AjGw-366	-	Post-Contact	Euro-Canadian	homestead	
AjGw-365	-	Post-Contact	Euro-Canadian	homestead	
AjGw-364	-	Pre-Contact	Aboriginal	scatter	
AjGw-363	-	Pre-Contact	Aboriginal	findspot	
AjGw-362	-	Archaic, Middle	Aboriginal	findspot	
AjGw-361	-	Pre-Contact	Aboriginal	findspot	
AjGw-18	Fraser	Archaic	Aboriginal	Other camp/campsite	
AjGw-16	Oldham	Woodland	Aboriginal	Other camp/campsite	

Borden Number	Site Name	Time Period	Affinity	Site Type	Current Development Review Status
AjGw-15*	Ostranger	Pre-Contact	Aboriginal	Other camp/campsite	
AjGw-11	Hutton	Woodland	Aboriginal	Other camp/campsite	
AiGw-330					

* Site located within 300 m of the subject property.

AS&G is not aware of any Archaeological Assessments conducted within, immediately adjacent to or within 50 metres of the property.

1.3.1 Current Conditions

The subject area is a trapezoid-shaped property, approximately 0.40 hectares in size, measuring approximately 52 metres east-west by 105 metres north-south. It is bound by Embleton Road to the north, farm fields to the south, and residential properties to the east and west. The Study Area is comprised of a single residential property with detached garage, associated gravel driveways, grass lawns, bushes, and trees. The Credit River and a tributary of the Credit River are located less than 100 metres east and south, respectively, of the property.

The property is situated within the Peel Plain physiographic region. The Peel Plain is a level-to-undulating area of clay soil that covers an area of approximately 77,700 hectares across the central portions of the Regional Municipalities of York, Peel, and Halton (Chapman and Putnam 1984). The Peel Plain has a general elevation of between 500 and 750 feet above sea level with a gradual uniform slope towards Lake Ontario. The Peel Plain is sectioned by the Credit, Humber, Don, and Rouge Rivers - with deep valleys, as well as a number of other streams such as the Bronte, Oakville, and Etobicoke Creeks. These valleys are in places bordered by trains of sandy alluvium. The region is devoid of large undrained depressions, swamps, and bogs, though nevertheless, the dominant soil possesses imperfect drainage (Chapman and Putnam 1984).

1.3.2 Stage 2 Archaeological Fieldwork

The archaeological fieldwork of the property was undertaken on June 10, 2025, under partly cloudy skies and warm temperatures. No rain occurred during the fieldwork. The weather did not impede the identification of any cultural features or affect the test pit strategy.

We are unaware of any previous findings and recommendations relevant to the current stage of work with the exception of those discussed above. There are no unusual physical features that may have affected fieldwork strategy decisions or the identification of artifacts or cultural features. Thus, there is no additional archaeological information that may be relevant to understanding the choice of fieldwork techniques or the recommendations of this report.

2.0 FIELD METHODS

This section of the report addresses Section 7.8.1 of the *2011 Standards and Guidelines for Consultant Archaeologists*. It does not address Section 7.7.2 because no property inspection was done as a separate Stage 1. The entire property was surveyed. As relevant, we provide detailed and explicit descriptions addressing Standards 2a and b.

The general standards for property survey under Section 2.1 of the 2011 Standards and Guidelines for Consultant Archaeologists were addressed as follows:

- **Section 2.1, S1:** All of the Study Area was surveyed including areas immediately adjacent to existing structures (as applicable).
- **Section 2.1, S2a** (land of no or low potential due to physical features such as permanently wet areas, exposed bedrock, and steep slopes): N/A
- **Section 2.1, S2b** (no or low potential due to extensive and deep land alterations): Portions of the property have been subject to extensive and deep land alterations related to the development of the existing structures and their footprints, associated decks, and compact gravel driveways.
- **Section 2.1, S2c** (lands recommended not to require Stage 2 Assessment by a previous Stage 1 report where the Ministry has accepted that Stage 1 into the register): N/A
- **Section 2.1, S2d** (lands designated for forest management activity w/o potential for impacts to archaeological sites, as determined through Stage 1 forest management plans process): N/A
- **Section 2.1, S2e** (lands formally prohibited from alterations): N/A
- **Section 2.1, S2f** (lands confirmed to be transferred to a public land holding body, etc.) - n/a
- **Section 2.1, S2f** (lands confirmed to be transferred to a public land holding body, etc.): N/A
- **Section 2.1, S3:** The Stage 2 survey was conducted when weather and lighting conditions permitted excellent visibility of features.
- **Section 2.1, S4:** No GPS recordings were taken as no artifacts were found during the Stage 2 Assessment.

- **Section 2.1, S5:** All field activities were mapped in reference to either fixed landmarks, survey stakes and development markers as appropriate. See Report Section 9.0 *Maps*.
- **Section 2.1, S6:** See Report Section 8.0 *Images* for photo documentation of examples of field conditions encountered.

The property was subject to a systematic test pit survey appropriate to the characteristics of the property. The test pit survey of the property followed the standards within Section 2.1.2 of the 2011 *Standards and Guidelines for Consultant Archaeologists*. Test pit survey was only conducted where ploughing was not possible or viable, as per Standard 1. Test pits were spaced at maximum intervals of five (5) metres throughout the property. All test pits were at least 30 cm in diameter. Each test pit was excavated by hand, into at least the first 5 cm of subsoil and examined for stratigraphy, cultural features, or evidence of fill where possible. Soils were screened through 6 mm mesh. No stratigraphy, artifacts or cultural features were encountered. All test pits were backfilled.

Approximately 60% of the property was assessed by means of a systematic test pit survey. The remaining 30-35% of the property is assessed as visibly disturbed and includes the structures and their footprints, compact gravel driveway, patios and walkways. The remaining 5-10% of the property was subject to judgmental test pit survey to confirm disturbance.

3.0 RECORD OF FINDS

This section documents all finds discovered as a result of the Stage 1 and 2 Archaeological Assessment of the property. No cultural resources, features or sites were identified during the Stage 2 test pitting survey.

An inventory of the documentary record generated in the field is provided in Table 3.

Table 3: Inventory of Documentary Record

Document Type	Description
Field Notes	<ul style="list-style-type: none">• This report constitutes the field notes for this project
Photographs	<ul style="list-style-type: none">• 18 digital photographs
Maps	<ul style="list-style-type: none">• The report figures represent all of the maps generated in the field.

Information detailing exact site locations on the property is not submitted because no sites or archaeological resources were identified in the Stage 2 Assessment.

4.0 ANALYSIS AND CONCLUSIONS

The entirety of the subject property was assessed, and no cultural resources, features or sites were identified during the Stage 2 Test Pitting Survey. Standard 2 is not addressed, because no archaeological sites were identified during the current Assessment.

5.0 RECOMMENDATIONS

The report makes recommendations only regarding archaeological matters. The Stage 2 Archaeological Assessment, consisting of a systematic test-pitting survey performed at standardized five metre intervals throughout the limits of the property, did not identify any archaeological resources or sites requiring further assessment or mitigation of impacts. **Therefore, the report recommends that no further Archaeological Assessment of the property (Map 6) is required.**

6.0 ADVICE ON COMPLIANCE WITH LEGISLATION

Section 7.5.9, Standard 1a

This report is submitted to the Minister of Citizenship and Multiculturalism as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Citizenship and Multiculturalism, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.

Section 7.5.9, Standard 1b

It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.

Section 7.5.9, Standard 1c

Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the *Ontario Heritage Act*.

Section 7.5.9, Standard 1d

The *Cemeteries Act*, R.S.O., 1990 c. C.4 and the *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 (when proclaimed in force) require that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.

Section 7.5.9, Standard 2

Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48 (1) of the *Ontario Heritage Act* and may not be altered, or have artifacts removed from them, except by a person holding an archaeological licence.

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8.0 IMAGES



Image 1: Shows driveway and conditions for test pit survey.



Image 2: Shows conditions for test pit survey.



Image 3: Shows conditions for test pit survey.



Image 4: Shows conditions for test pit survey and existing structure.



Image 5: Shows disturbed area adjacent to structure. Note structure has full basement.



Image 6: Shows existing structure and conditions for test pit survey.



Image 7: Shows existing structure and disturbed area in front. Note structure has full basement.

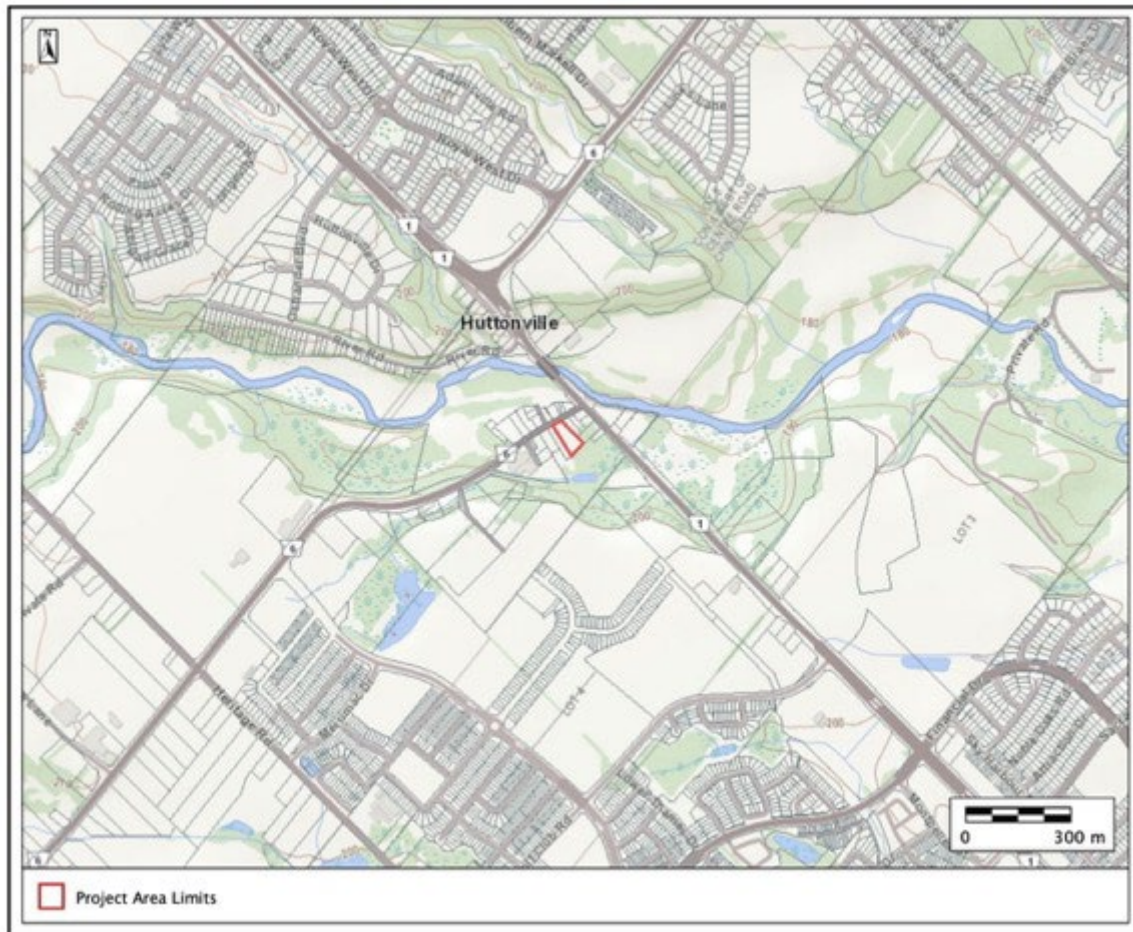


Image 8: Representative image showing disturbed test pits in areas adjacent to structure.



Image 9: Representative gravel fills found in test pits adjacent to structure.

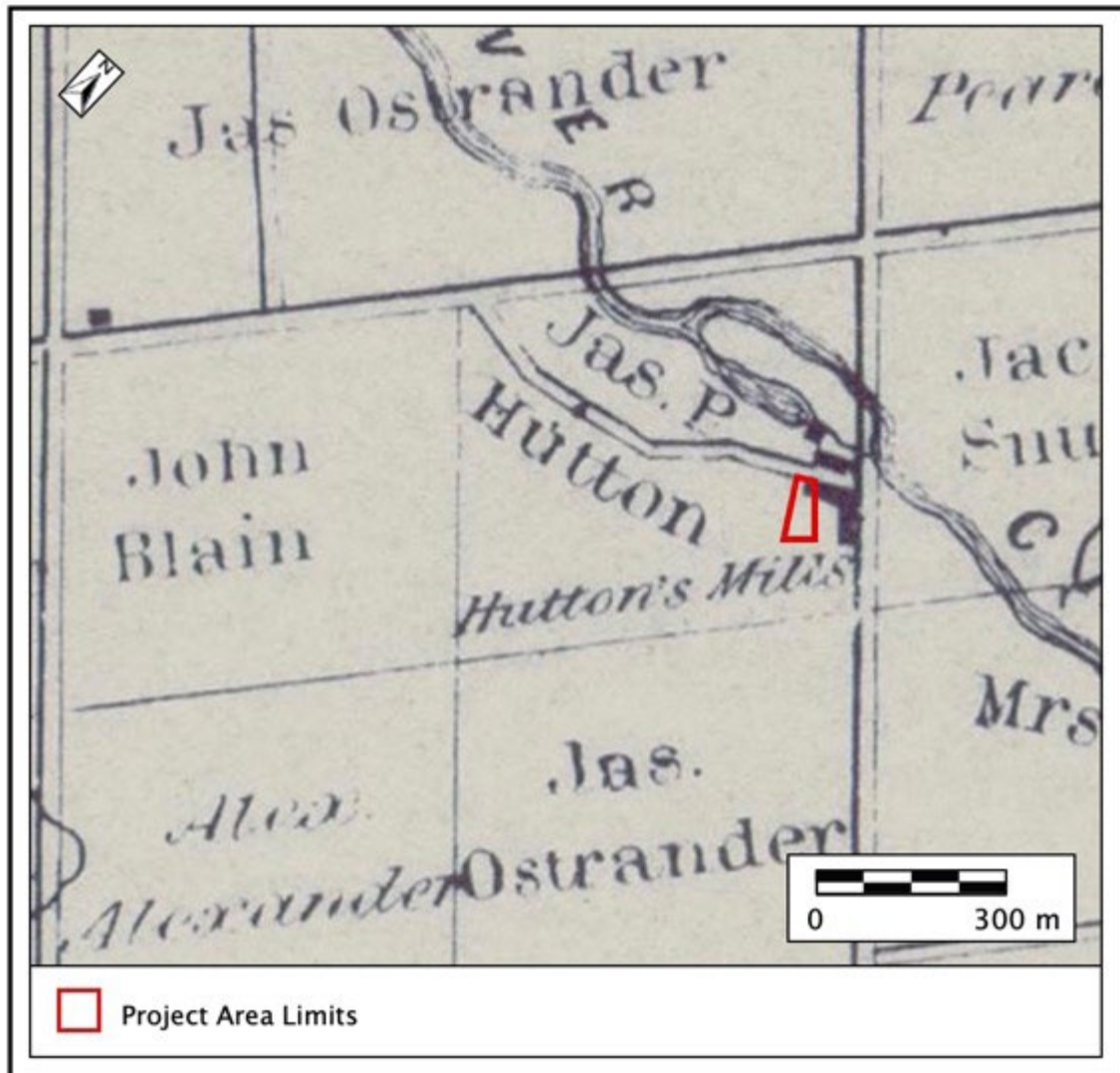
9.0 MAPS



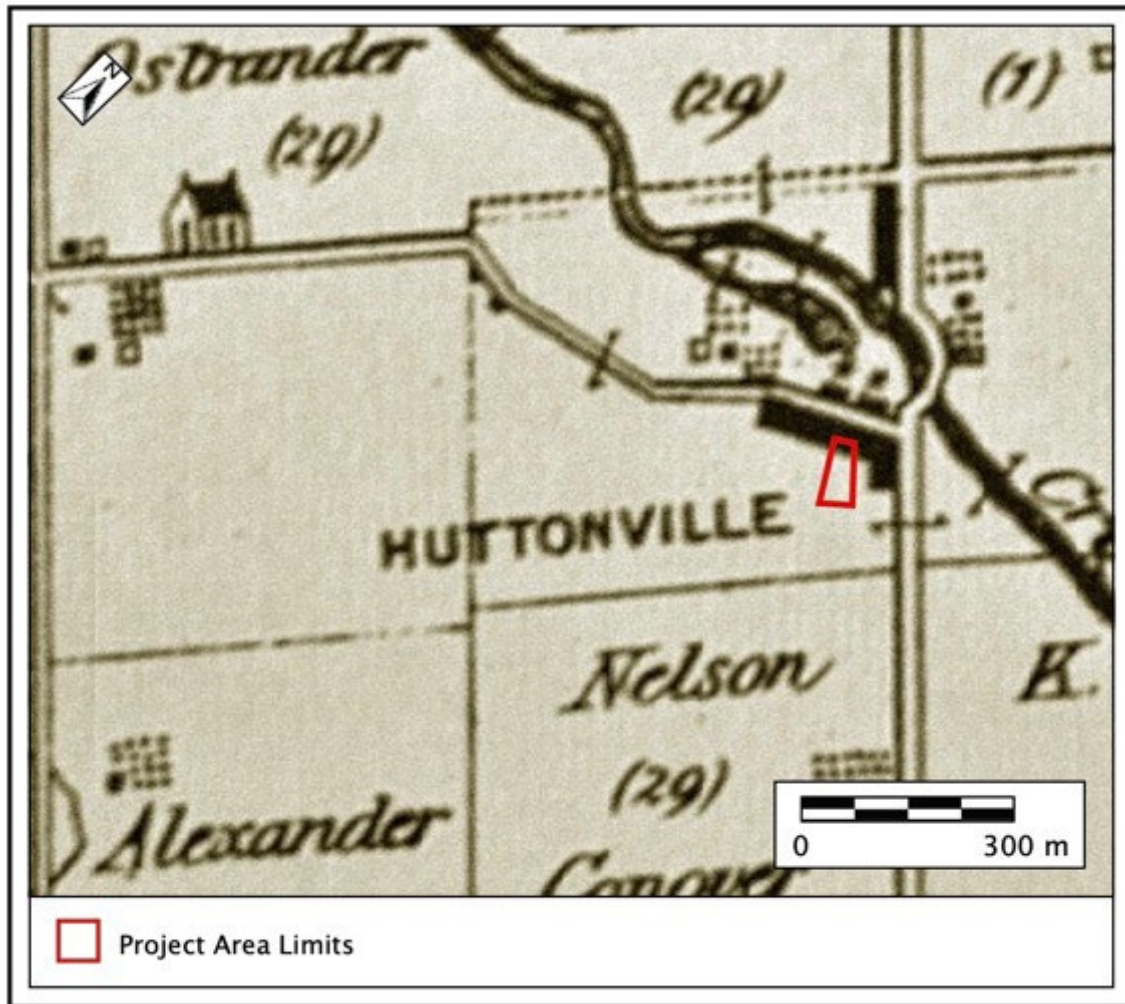
Map 1: General Location of Property Limits (MNR 2025).



Map 2: Aerial Imagery of Property Limits (MNR 2025).

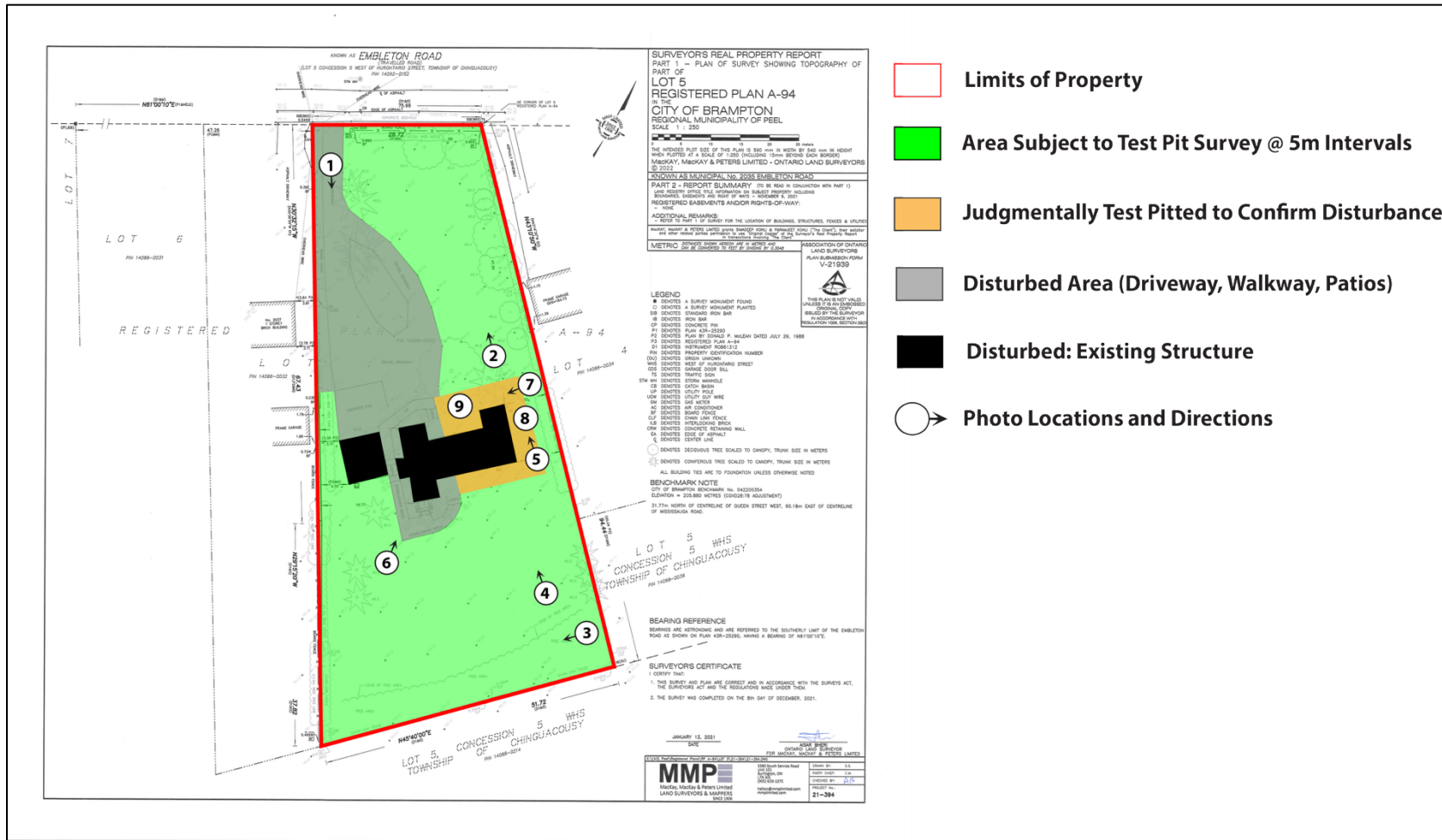


Map 3: Property Limits Overlaid on 1859 Historic Atlas Map (Tremaine 1859).



Map 4: Property Limits Overlaid on 1877 Historic Atlas Map (Walker & Miles 1877).

Map 5: Plan of Survey(Provided by Project Proponent).



Map 6: Results of the Stage 1 and 2 Archaeological Assessment.

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Aug 9, 2025

Sheryl Spigelski (P1034)
AS&G Archaeological Consulting Inc.
78 Sparta St. Thomas ON N5R 5G9

RE: Entry into the Ontario Public Register of Archaeological Reports: Archaeological Assessment Report Entitled, "Stage 1 and 2 Archaeological Assessment 2035 Embleton Road, Part of Lot 5, Registered Plan A-94 (Formerly Part of Lot 5, Concession 5 West of Centre Road, Geographic Township of Chinguacousy [South], Peel County), Now in the City of Brampton, Regional Municipality of Peel, Ontario ", Dated Jul 2, 2025, Filed with MCM on N/A, MCM Project Information Form Number P1034-0024-2025, MCM File Number 0023812

Dear Sheryl Spigelski (P1034):

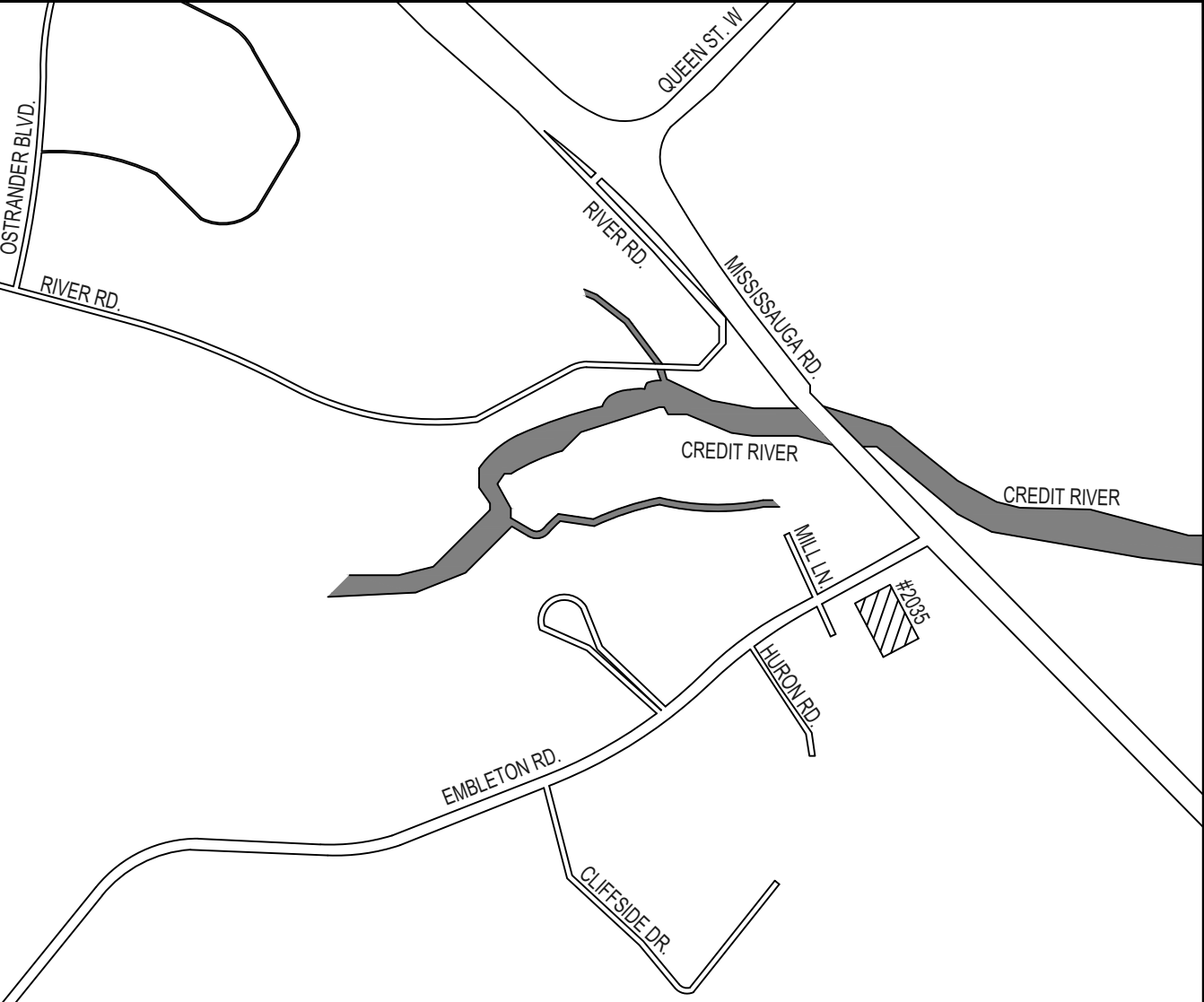
The above-mentioned report, which has been submitted to this ministry as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18, has been entered into the Ontario Public Register of Archaeological Reports without technical review.¹

Please note that the ministry makes no representation or warranty as to the completeness, accuracy or quality of reports in the register.

Should you require further information, please do not hesitate to send your inquiry to Archaeology@Ontario.ca

cc. Archaeology Licensing Officer
Leah Fombuena, In Tech House Design
Charlton Carscallen, City of Brampton

¹In no way will the ministry be liable for any harm, damages, costs, expenses, losses, claims or actions that may result: (a) if the Report(s) or its recommendations are discovered to be inaccurate, incomplete, misleading or fraudulent; or (b) from the issuance of this letter. Further measures may need to be taken in the event that additional artifacts or archaeological sites are identified or the Report(s) is otherwise found to be inaccurate, incomplete, misleading or fraudulent.



SITE STATISTICS - NEW DWELLING				
RD(112.0;a370)(x1463)				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
LOT AREA			42235.75	255.90
EX. BUILDING AREA			553.59	51.43
NEW BUILDING AREA			4002.85	371.87
NEW STORAGE AREA			259.45	24.10
NEW POOL EQUIPMENT AREA			158.50	14.73
LOT COVERAGE				11.8%
GROSS FLOOR AREA				
	SQ.FT	m²	SQ.FT	m²
FIRST FLOOR	-	-	2754.50	255.90
SECOND FLOOR	-	-	2654.16	246.58
TOTAL G.F.A.	-	-	5408.66	502.48
FINISHED BASEMENT	-	-	2635.03	244.80
	FT	m	FT	m
AVERAGE ESTABLISH GRADE NORTH (FRONT)				185.36
BUILDING HEIGHT NORTH (FRONT)		10.60	30'-11 ¼"	9.43 m
AVERAGE ESTABLISH GRADE SOUTH (REAR)				185.36
BUILDING HEIGHT SOUTH (REAR)		10.60	30'-11 ¼"	9.43 m
AVERAGE ESTABLISH GRADE EAST SIDE				185.36
BUILDING HEIGHT EAST SIDE		10.60	30'-11 ¼"	9.43 m
AVERAGE ESTABLISH GRADE WEST SIDE				185.36
BUILDING HEIGHT WEST SIDE		10.60	30'-11 ¼"	9.43 m
BUILDING LENGTH			103'-0"	31.39
BUILDING DEPTH			103'-0"	31.39
LOT FRONTAGE			94'-2 ½"	28.72
SETBACKS				
	FT	m	FT	m
FRONT		12.00	98'-1"	29.90
REAR		7.50	113'-1 ½"	34.48
WEST SIDE		7.50	47'-9"	14.56
EAST SIDE		15	18'-1 ½"	5.53
LANDSCAPING				
	REQUIRED		PROPOSED	
	SQ.FT	m²	SQ.FT	m²
FRONT YARD LANDSCAPING AREA			15061.99	1399.29
SOFT LANDSCAPE AREA			10543.56	989.52
HARD LANDSCAPE AREA	-	-	4518.43	419.77
		70%		70%
REAR YARD AREA BREAK DOWN				
COVERED DECK			416.00	38.65
SWIMMING POOL			443.89	41.24

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