

FILE NUMBER:

A-2025-0062

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)Countryside BramEast Holdings LP, by its general partner, Countryside BramEast Holdings GP Inc.

Address30 Adelaide Street East, Suite 301, Toronto, Ontario, M5C 3H1

Phone #

Fax #

Email

2.

Name of AgentBousfields Inc. (c/o Jessica Yi)

Address3 Church Street, Suite 200, Toronto, Ontario, M5E 1M2

Phone #416-947-9744 x 252

Fax #

Emailjyi@bousfields.ca

3.

Nature and extent of relief applied for (variances requested):

To increase the permitted maximum number of truck and trailer parking spaces to 140 spaces.

4.

Why is it not possible to comply with the provisions of the by-law?

Site-specific By-law permits a maximum of 100 truck and trailer parking spaces.

5.

Legal Description of the subject land:

Lot NumberPART LOT 16

Plan Number/Concession NumberCONCESSION 11 NORTHERN DIVISION, TOWNSHIP OF TORONTO GORE, PARTS 1 TO 18 PLAN 43R41889; CITY OF BRAMPTON

Municipal Address5200 Countryside Drive

6.

Dimension of subject land (in metric units)

Frontage353 metres

Depth472 metres

Area163,000 square metres

7.

Access to the subject land is by:

Provincial Highway☐

Municipal Road Maintained All Year☒

Private Right-of-Way☐

Seasonal Road☐

Other Public Road☐

Water☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

N/A

PROPOSED BUILDINGS/STRUCTURES on the subject land:

1-storey industrial/warehouse building, approved by By-law 174-2023, that includes a total gross floor area of approximately 78,333 square metres.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

PROPOSED

Front yard setback	46.04 metres
Rear yard setback	40.58 metres
Side yard setback	51.59 metres
Side yard setback	52.21 metres

10. Date of Acquisition of subject land: N/A
11. Existing uses of subject property: Vacant
12. Proposed uses of subject property: Industrial/Warehouse/Outdoor Storage
13. Existing uses of abutting properties: Agricultural
14. Date of construction of all buildings & structures on subject land: N/A
15. Length of time the existing uses of the subject property have been continued: N/A
16. (a) What water supply is existing/proposed?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Well | <input type="checkbox"/> | | |
- (b) What sewage disposal is/will be provided?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Septic | <input type="checkbox"/> | | |
- (c) What storm drainage system is existing/proposed?
- | | | | |
|---------|-------------------------------------|-----------------|--|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) | |
| Ditches | <input type="checkbox"/> | | |
| Swales | <input type="checkbox"/> | | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

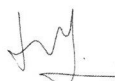
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Toronto _____

THIS 17 _____ DAY OF June _____, 20 25 _____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Bousfields Inc. c/o Jessica Yi _____, OF THE City _____ OF Toronto _____

IN THE Province _____ OF Ontario _____ SOLEMNLY DECLARE THAT:

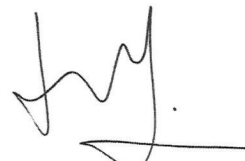
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF Toronto _____
IN THE Province _____ OF _____
Ontario THIS 17th DAY OF
June _____, 20 25 _____.


A Commissioner etc.

Shefali Sharma, a
Commissioner, etc., Province
of Ontario, for Bousfields Inc.
January 18, 2027.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

M4-3727

Enforcement Action File Number: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

John C. Cabral

Zoning Officer

2025-06-30

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 5200 Countryside Drive


I/We, Countryside Brameast Holdings LP, by its general partner, Countryside BramEast Holdings GP Inc.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Bousfields Inc. (c/o Jessica Yi)
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 9 day of June, **2025**.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Brad Keast
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 5200 Countryside Drive

I/We, Countryside BramEast Holdings LP, by its general partner, Countryside BramEast Holdings GP Inc.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 9 day of June, 2025.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Brad Keast
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



Project No. 2157

June 17, 2025

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Dear Chair and Committee Members,

Re: *Planning Rationale Letter*
 Minor Variance Application
 5200 Countryside Drive

We are the planning consultants to Countryside BramEast Holdings LP, the owner of the property municipally known as 5200 Countryside Drive (the “subject site”). The subject site is located on the north side of Countryside Drive, east of Clarkway Drive.

On behalf of our client, we are pleased to submit this letter to the Committee of Adjustment in support of a minor variance application. The application requests one variance from Zoning By-law 270-2004, as amended by site-specific By-law 174-2023, to permit an increase in the maximum number of truck and trailer parking spaces from 100 spaces to 140 spaces.

This minor variance application is being filed following on-going discussions with City staff and has been reflected through the resubmissions of the corresponding application for Site Plan Approval (SPA-2023-0079).

For the reasons set out below, it is our opinion that the requested variance satisfies the four tests set out in Section 45(1) of the *Planning Act*.

Application History

On October 18, 2023, City Council passed site-specific By-law 174-2023 to amend Zoning By-law 270-2004, as amended, to permit the development of two industrial buildings, which includes warehouses uses and outdoor storage of oversized vehicles, along with site-specific provisions on the subject site.

An application for Site Plan Review was originally submitted in June 2023, with subsequent resubmissions being filed in October 2023, May 2024, December 2024 and March 2025.

An application for the Lifting of the Holding (H) symbol on site-specific By-law 174-2023 was submitted on February 10, 2025.

Site and Surrounding Area

Subject Site

The subject site is approximately 16.3 hectares in size and is located on the north side of Countryside Drive, east of Clarkway Drive, with a frontage of approximately 353 metres along Countryside Drive and a depth of approximately 472 metres. The subject site is generally flat and is currently vacant and occupied by agricultural fields with some trees located generally along the north and east perimeter and a natural feature to the west that encroaches slightly into the northwest corner of the site.

Immediate Surroundings

The subject site is located within the undeveloped greenfield area of northeast Brampton known as Block 47-3. The area context includes the Clarkway Tributary of the West Humber River to the west and north, with vacant agricultural lands planned for employment development further north up to the border with the Town of Caledon.

To the immediate north are vacant agricultural parcels and some east-west oriented headwater drainage features associated with the Clarkway Tributary of the West Humber River. Further north is the planned Highway 413 (GTA West Corridor) which would be over a kilometre to the north of the site, at the interface of Brampton with Caledon. There is also a portion of the new Block 47-2 community that will be located to the north at the southeast corner of Mayfield Road and Clarkway Drive.

To the immediate east are agricultural lands, as well as two detached homes fronting onto Countryside Drive, with a planned arterial road to be located approximately 150 metres to the east. The new arterial will run north to Mayfield Road.

To the immediate south is Countryside Drive, which has a current right of way of approximately 20 metres and a planned right of way of 36 metres. South of Countryside Drive are vacant agricultural fields but are planned as a primarily townhouse and low-rise residential community within the Block 47-2 area. Southeast of the site is an approved industrial development (the "Orlando Business Park").

To the immediate west, is a vacant agricultural property with a creek and wooded area with Clarkway Drive approximately 200 metres to the west. West of Clarkway Drive is the approved Block 47-2 area, which will be a low-rise residential community that is planned to be developed to 2031.

Transportation Context

Road Network

Countryside Drive provides vehicular access to the subject site and is a two-lane City arterial road with a 26 metre right of way, which is planned to be upgraded to a four-lane 36 metre right-of-way by then end of 2026. The Area 47-2 Block Plan identifies a collector street south of the subject site, terminating at Countryside Drive, that would align directly with the central driveway planned for the subject site. In the interim condition (i.e. prior to the planned widening of Countryside Drive), the central driveway is proposed to operate unsignalized. In the ultimate condition (i.e. after the widening of Countryside Drive and the development of the Area 47-2 Block Plan lands to the south), the central driveway will align with the planned north-south collector road on the south side of Countryside Drive and will be signalized.

A new north-south arterial street is planned approximately 150 metres to the east of the subject site.

Official Plan Schedule 4 sets out the City Road Right-of-Way Widths as follows:

- Countryside Drive (36 metres)
- Clarkway Drive (36 metres)
- New east Major Arterial (40 – 45 metres)
- New road to south (23 – 26 metres)

Transit/Cycling Network

Official Plan Schedule 3B sets out the following Transit Network:

- New east Major Arterial: Secondary Transit Corridor.
- New Provincial Transitway to the northeast of the subject site.

Policy and Regulatory Context

Region of Peel Official Plan

The Region of Peel Official Plan was adopted by Council on April 28, 2022 and was approved with 44 modifications by the Minister of Municipal Affairs and Housing on November 4, 2022. Due to Bill 185, the Region of Peel Official Plan is now considered part of the City of Brampton Official Plan, as Peel Region no longer has planning authority.

However, the Region of Peel Official Plan designates the subject site as part of the Urban System on Schedule E-1. Within the designated Urban System, the Regional Official Plan

allows for local Official Plans to establish specific land use designations and detailed policies.

Furthermore, the subject site is identified as an Employment Area on Schedule E-4. The Region of Peel Official Plan provides that Employment Areas permit a broad range of uses including manufacturing, warehousing, office and associated retail and ancillary facilities.

City of Brampton Official Plan (2024)

On November 1, 2023, Brampton City Council enacted By-law 195-2023, which had the effect of repealing the Brampton Official Plan and adopting a new Official Plan for the City of Brampton, otherwise referred to as the “Brampton Plan”. On May 16, 2024, the Region of Peel formally issued a notice of approval, with modifications, for the Brampton Plan, which subsequently took effect on June 6, 2024, subject to sections that are still under appeal to the Ontario Land Tribunal.

The subject site is identified as “Employment Areas” on Schedule 1A - City Structure of the City of Brampton Official Plan. Schedule 2 - Designations of the Official Plan designates the majority of the subject site as Employment, with a small portion along the northwest limit of the subject site as Natural Heritage System. Furthermore, Schedule 5 – Provincial Plans & Policy Areas identifies the site as a Provincially Significant Employment Zone (Pearson Airport Hub (Highway 50 Corridor) – Zone 15).

The permitted uses within the Employment designation include heavy and light industrial uses such as manufacturing, warehousing, processing, truck parking, storage and office, among others.

Permitted uses and activities within the Natural Heritage System include natural heritage restoration or enhancement efforts, passive recreational uses and flood and erosion control, among others.

Highway 427 Industrial Secondary Plan (SPA 47)

The subject site is designated Prestige Industrial within the Highway 427 Industrial Secondary Plan (SPA 47). Policy 5.2.7 provides that lands designated Prestige Industrial on Schedule SP47(a) shall permit the range of uses including warehousing facilities, provided that such uses operate within wholly enclosed buildings and have no outdoor storage of goods and materials (subject to the location and screening criteria contained within the implementing zoning by-law).

Zoning

The site is subject to Zoning By-law 270-2004, as amended by By-law 174-2023, which zones the site M4(H)-3727 and F. The M4 (Industrial Four) zone permits a wide range of industrial uses including manufacturing, warehousing, parking and accessory uses, among others. The F (Floodplain) zone permits flood and erosion control, any conservation area or purposes, a public park and a golf course.

Exception 3727 was introduced by By-law 174-2023, and allows for the development of a warehouse and outside storage of oversized motor vehicles not actively engaged in loading and unloading of goods and materials, and sets out the following key development standards:

- Maximum number of truck and trailer parking spaces: 100 spaces;
- Outside storage of motor vehicles shall only be permitted as an accessory use, and shall not be located in the required front yard; and
- Outside storage shall be screened from public view by architectural screening, landscape buffer, building placement, berms or a combination of such elements.

Requested Variance

We are requesting one variance from Zoning By-law 270-2004, as amended by By-law 174-2023 to permit the proposed development. The variance is being requested to increase the number of truck and trailer parking spaces from 100 spaces to 140 spaces.

The requested variance is set out below:

1. Section 3727.2 (1) – Maximum number of truck and trailer parking spaces

To permit a maximum number of 140 truck and trailer parking spaces.

Analysis of Requested Minor Variance

The following provides a detailed analysis of the requested variance within the context of the applicable planning framework and the “four tests” applicable to a minor variance as set out in Section 45(1) of the *Planning Act*, and listed below. For the reasons set out below, it is our opinion that the requested variance:

- 1) maintains the general intent and purpose of the Official Plan;
- 2) maintains the general intent and purpose of the Zoning By-law;
- 3) is minor in nature; and,
- 4) is desirable for the appropriate development and use of the lands.

1) General Intent and Purpose of the Official Plan

In our opinion, the proposed variance maintains the general intent and purpose of the Official Plan.

Under the Official Plan, the subject site is identified as Employment Areas and is designated Employment and Natural Heritage System. Furthermore, the site is located within a Provincially Significant Employment Zone. Within the Employment designation, a broad range of heavy and light industrial uses, including warehousing, storage and truck parking, are permitted.

Furthermore, the proposed variance would permit a successful employment use within an area that is planned for employment, while ensuring that the truck and trailer parking spaces associated with the planned warehousing use are appropriately screened from the public realm.

In this regard, the requested variance is technical in nature and maintains the general intent and purpose of the Official Plan by facilitating the redevelopment of an underutilized site with new industrial and ancillary uses. In addition, the requested variance would facilitate the same built form and uses which was approved by By-law 174-2023.

2) General Intent and Purpose of the Zoning By-law

In our opinion, the requested variance maintains the general intent and purpose of the Zoning By-law. The proposed variance would facilitate the development of an industrial/warehouse building and associated outside storage of oversized motor vehicles, as established by By-law 174-2023.

The proposed development provides a total of 140 truck and trailer parking spaces, whereas, the by-law permits a maximum of 100 truck and trailer parking spaces. The proposed increase in truck and trailer parking spaces is being requested to increase efficiency of internal activity within the planned warehouse by providing additional opportunities for trailers to be stored when they are not in use. Furthermore, the requested variance would align with the current plans proposed as part of the Site Plan Review application.

With respect to outside storage of motor vehicles, the truck and trailer parking spaces continue to be proposed as an accessory use to the warehouse building. Furthermore, the increase in number of truck and trailer parking spaces will generally be consistent with the as-of-right condition as it relates to its interface with adjacent properties and the public realm.

BA Consulting Group Ltd. ("BA Group") prepared a letter, dated May 21, 2025, in support of the enclosed Minor Variance application. The letter concludes that the increase in truck and trailer parking spaces would not result in an increase in floor area associated with the proposed warehouse building. The letter further provides that the additional truck and trailer parking spaces are not expected to result in an increase to the projected traffic generation of the proposed development, beyond what was approved. Further, the letter provides that the proposed development layout, including the additional truck and trailer parking spaces, is functional from a transportation perspective and appropriately satisfies other related zoning requirements, including car parking and loading requirements.

In our opinion, the requested increase in truck and trailer parking spaces maintains the general intent and purpose of the Zoning By-law in that it continues to provide for a supply of truck and trailer parking for the planned warehouse building while maintaining land use compatibility and appropriate buffering from neighbouring lands.

Please refer to the enclosed BA Consulting Group Ltd. Report which provides further analysis with respect to the proposed increase in truck and trailer parking spaces.

3) Minor in Nature

In our opinion, the requested variance is minor from both a quantitative and qualitative perspective and will not result in unacceptable impacts on adjacent properties.

The test of "minor" is not intended to be a numerical assessment but rather an assessment of overall impact. The impacts associated with the requested variance is, in our opinion, minor in nature and are for detailed design related items and do not adversely impact the functioning of the building. As discussed throughout this report, the proposed increase in truck and trailer parking spaces is required to accommodate changes to the planned warehouse building identified through the detailed design stage, by increasing efficiency of internal activity through additional opportunities to store trailers that are not in use. Furthermore, the truck and trailer parking spaces continue to be proposed along the east and west side yards and will be screened from public view through appropriate measures.

The proposed truck and trailer parking supply of 140 spaces was reviewed by BA Group and is deemed to be appropriate.

For the foregoing reasons, it is our opinion that the proposed variance is minor in nature and should be approved.

4) Desirable for the Appropriate Development of Land

The requested variance, if approved, would help facilitate the development of an industrial/warehouse building within an Employment Area that will provide new

employment opportunities. In addition to the above, the proposal's location within the Employment designation results in a contextually appropriate development of a site which is close to other planned employment opportunities. The additional truck loading spaces will provide for a successful employment use in a planned employment area.

For the foregoing reasons, it is our opinion that the requested variance is desirable and will result in the appropriate development of the subject site.

Conclusion

Based on the foregoing analysis, it is our opinion that the requested variance satisfies the four tests set out in Section 45(1) of the *Planning Act*. The variance meets the intent and purpose of the Official Plan and respective Zoning By-law, is minor in nature and represents an appropriate use and development of land on the subject site. On this basis, it is our opinion that the requested variance be approved.

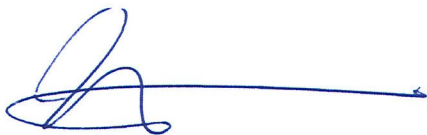
In support of this application, please find enclosed the following:

1. Completed and signed Minor Variance Application Form (including Authorization and Permission to Enter);
2. Site-Specific Zoning By-law 174-2023;
3. Site Plan, prepared by Baldassarra Architects Inc., dated June 13, 2025;
4. Landscape Plans, prepared by StudioTLA, dated June 17, 2025;
5. Trailer Parking Justification Letter, prepared by BA Consulting Group Ltd., dated May 21, 2025.

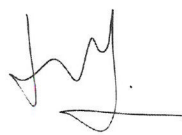
Should you require any additional information or clarification, please do not hesitate to contact the undersigned.

Yours very truly,

Bousfields Inc.



Michael Bissett, MCIP, RPP
Partner



Jessica Yi, BES
Planner

cc: Aaron Clodd, Countryside BramEast Holdings LP



May 21, 2025

Aaron Clodd
Director, Development
Dream Unlimited Corp.
Email: aclodd@dream.ca

**Re: 5200 Countryside Drive, City of Brampton
Minor Variance – Trailer Parking Increase
Transportation Review**

Dear Aaron,

BA Group is retained by Dream Industrial LP to provide transportation advisory services for the proposed industrial warehouse development located at 5200 Countryside Drive in the City of Brampton (the “site”).

A report was initially prepared by BA Group, dated October 2021, to accompany a Zoning By-law Amendment (“ZBA”) application for a proposed warehouse development on a 12.2 hectare parcel of land which now represents the west portion of the current site. The proposal comprised a single warehouse building with a floor area of 51,710 square metres and 184 trailer parking spaces.

Following the above, the site was expanded to include additional lands to the east, resulting in an increased size of 16.3 hectares. An updated report was prepared by BA Group, dated May 2022 (the “May 2022 ZBA TIS”), to accompany a revised ZBA application for a proposed warehouse development on the expanded site. The proposal comprised two warehouse buildings with a total floor area of 79,019 square metres and 82 trailer parking spaces. The ZBA application was approved in October, 2023.

Susbequent to the above ZBA application, a Site Plan Application (“SPA”) was made in 2023 for the proposed development, followed by a series of resubmissions which responded to comments received from the City of Brampton. A number of reports were prepared by BA Group as part of the SPA process, with the most recent report dated April 11, 2024 (the “April 2024 SPA TIS”). Through the SPA process, plans were revised to contemplate a single warehouse building, and the plans as assessed in the April 2024 SPA TIS comprised a warehouse floor area of 78,316 square metres and 142 trailer parking spaces.

The current plans remain generally consistent with those assessed in the April 2024 SPA TIS, with some minor modifications including warehouse floor area of 78,334 square metres and 140 trailer parking spaces.

The current site plan is attached in **Appendix A** and the April 2024 SPA TIS is attached in **Appendix B**.

The permitted number of trailer parking spaces on the site is 100. Therefore, a Minor Variance is being sought to increase the permitted number of trailer parking spaces to 140 to align with the current plans. This letter has been prepared to provide an assessment of the proposed minor variance from a transportation perspective, as outlined in **Section 1.0**.

Sincerely,

BA Consulting Group Ltd.

A handwritten signature in black ink, appearing to read "L. Richardson".

Luke Richardson, P.Eng.
Associate

1.0 MINOR VARIANCE TRANSPORTATION ASSESSMENT

A Minor Variance is being sought to increase the permitted number of trailer parking spaces from 100 to 140 to align with the current plans.

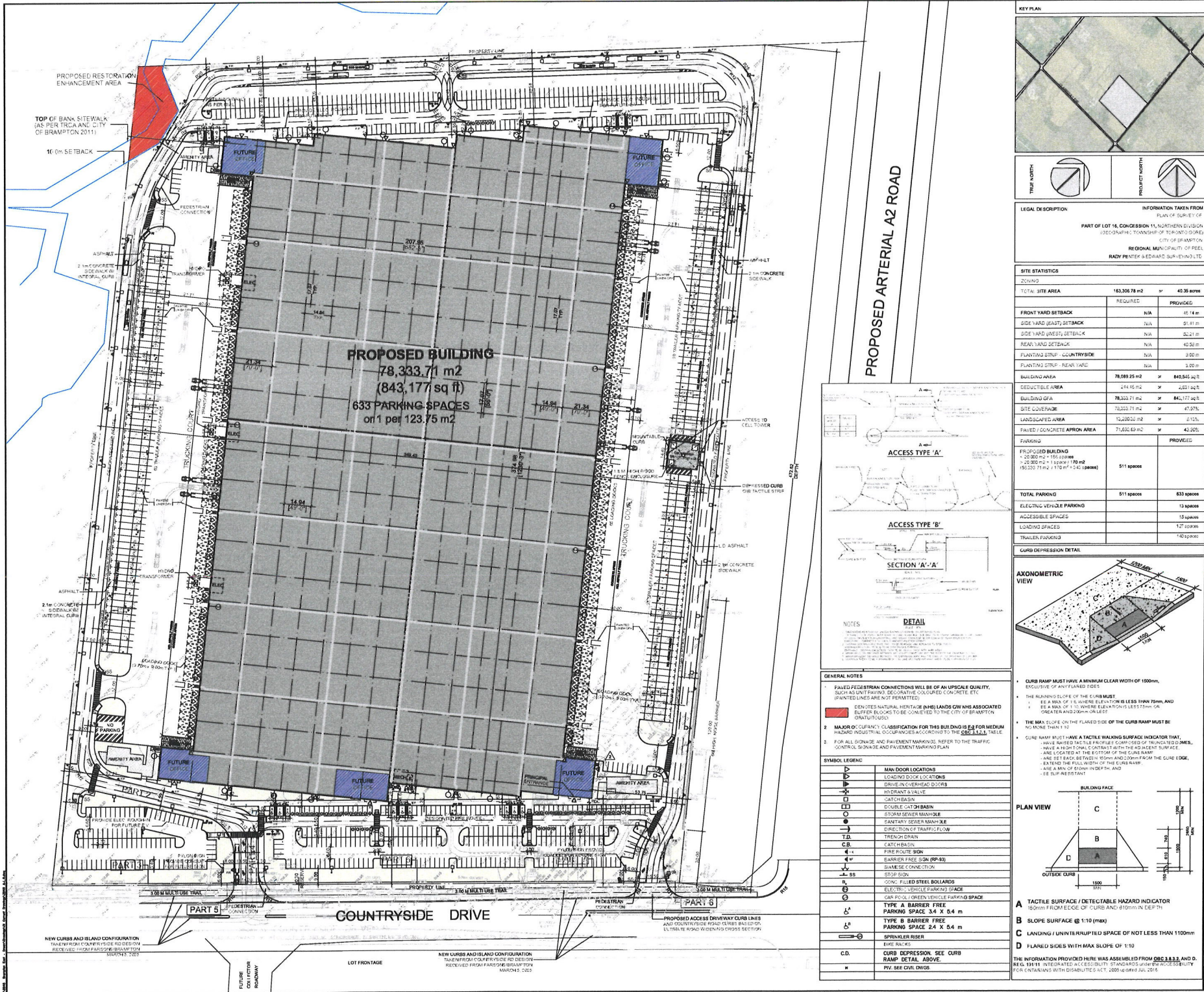
The proposed increase to the permitted number of trailer parking spaces would allow for the site to accommodate internal activity more efficiently by providing additional opportunities for trailers to be stored when not in use.

There is no increase in floor area associated with the proposed additional trailer parking spaces. Notably, there has been a reduction of 685 square metres from the floor area as contemplated in the May 2022 ZBA TIS, to the current plans. As such, the additional trailer parking spaces are not expected to result in an increase to the projected traffic generation of the proposed development, beyond what was assessed in the May 2022 ZBA TIS.

As demonstrated through the SPA process and in the April 2024 SPA TIS, the proposed development layout with the additional trailer parking spaces is functional from a transportation perspective, and other transportation-related Zoning requirements, including car parking and loading requirements, are appropriately satisfied.

Based on the foregoing, the proposed minor variance to increase the permitted number of trailer parking spaces from 100 to 140 to align with the current plans is acceptable from a transportation perspective.

Appendix A:
Site Plan



No.	ISSUED	DATE
3	RE-ISSUED FOR SPA	JUN. 30, 2023
4	RE-ISSUED FOR SPA	OCT. 02, 2023
5	ISSUED FOR COORDINATION	APRIL 18, 2024
6	ISSUED FOR SPA	APRIL 28, 2024
7	ISSUED FOR COORDINATION	NOV. 27, 2024
8	ISSUED FOR COORDINATION	DEC. 03, 2024
9	ISSUED FOR COORDINATION	DEC. 09, 2024
10	ISSUED FOR COORDINATION	DEC. 18, 2024
11	ISSUED FOR BUILDING PERMIT	DEC. 20, 2024
12	RE-ISSUED FOR SPA	DEC. 20, 2024
13	RE-ISSUED FOR SPA	MAY. 17, 2025
14	RE-ISSUED FOR SPA	MAY. 06, 2025

3	NEW CURB CONFIGURATION FOR COUNTRYSIDE DRIVE	MAY. 17, 2025
7	REVISED AS PER GRADING DRAWING 35	FEB. 25, 2025
1	ISSUED FOR COORDINATION	NOV. 24, 2025

BALDASSARRA Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
1-800-463-0722 | www.baldassarra.ca



COUNTRYSIDE BRAMEAST HOLDINGS L.P.

BRAMPTON EAST

5200 Countryside Drive
BRAMPTON, ON

SITE PLAN

DATE	BY	CHKD	SCALE
MAR. 2024	MM/MB	JP	1:750

22-45 A-1.0

Appendix B:
SPA Transportation Review, dated April 11, 2024



April 11, 2024

Nedal Machou

Manager, Development

Dream Unlimited Corp

Email: nmachou@dream.ca

**RE: 5200 COUNTRYSIDE DRIVE, CITY OF BRAMPTON
SITE PLAN APPLICATION TRANSPORTATION REVIEW**

Dear Nedal,

BA Group is retained by Dream Industrial LP to provide transportation advisory services for the proposed industrial warehouse development located at 5200 Countryside Drive in the City of Brampton (the "site").

A report was initially prepared by BA Group, dated October 2021 (the "2021 report"), to accompany a Zoning By-law Amendment ("ZBA") application for a proposed industrial warehouse development on a 12.2 hectare parcel of land which now represents the west portion of the current site. The proposal as contemplated in the 2021 report comprised a single warehouse building with a floor area of 51,710 square metres (556,600 square feet).

Following the above, the site was expanded to include additional lands to the east, resulting in an increased size of 16.3 hectares. An updated report was prepared by BA Group, dated May 2022 (the "2022 report") to accompany a revised ZBA application for a proposed industrial warehouse development on the expanded site. The proposal as contemplated in the 2022 report comprised two warehouse buildings with a total floor area of 79,019 square metres (850,551 square feet).

Subsequently, a report was prepared by BA Group, dated June 16, 2023 (the "2023 report") to accompany a Site Plan Application ("SPA") for the proposed industrial warehouse development. The proposal as contemplated in the 2023 report remained generally consistent with the proposal contemplated in the 2022 report, and comprised two warehouse buildings with a total floor area of 78,872 square metres (848,970 square feet).

Comments were received from the City of Brampton in relation to the abovementioned SPA application, dated late 2023 and early 2024 and subsequent to receiving these comments, plans have been revised. The revised plans contemplate a single warehouse building with a floor area of 78,316 square metres (842,984 square feet), representing a reduction of 703 square metres (7,567 square feet) from the plans contemplated in the 2022 report, and a reduction of 556 square metres (5,986 square feet) from the plans contemplated in the 2023 report.

Accordingly, this report provides an assessment of the revised plans and a response to the transportation related comments in the following sections. For additional detail related to the site and proposed development, please refer to the 2022 report and 2023 report as required.

Sincerely,

BA Consulting Group Ltd.



Luke Richardson, P.Eng
Associate



Tim Arnott, MCIP, RPP
Principal

1.0 PROPOSED DEVELOPMENT

The proposed development comprises a single warehouse building with a floor area of 78,316 square metres (842,984 square feet) and will include office nodes comprising in the order of 3% of the floor area. The proposed floor area represents a reduction of 703 square metres (7,567 square feet) from the plans contemplated in the 2022 report, and a reduction of 556 square metres (5,986 square feet) from the plans contemplated in the 2023 report.

A total of 635 car parking spaces (including 15 accessible spaces) are proposed at-grade, generally located at the north, and south ends of the site.

Truck courts are proposed on the east and west sides of the building, comprising a total of 131 loading spaces and 142 trailer parking spaces.

Access arrangements remain consistent with the previous submissions and include a centrally located all-moves driveway (the “central driveway”), and a right in/right out driveway at the east end of the site (the “east driveway”). A median is proposed on Countryside Drive at the east driveway to reinforce the right in/right out restrictions. It’s also noted that truck traffic is restricted to arriving from and departing to the east due to existing City of Brampton truck restrictions along Countryside Drive.

Under near-term conditions (i.e. before the planned widening of Countryside Drive), both driveways are proposed to operate unsignalized.

Under long-term conditions (i.e. after the planned widening of Countryside Drive and the planned development of lands within the Highway 427 Industrial Secondary Plan area), the central driveway will align with a planned north-south collector road on the south side of Countryside Driveway and will be signalized. The east driveway will remain unsignalized and continue to be subject to right in/right out restrictions.

A circulation road is proposed around the east, north and west site boundaries which will provide access within the site and to each of the proposed site driveways.

A copy of the architectural plans (not to scale) are attached in **Appendix A** and a pavement marking and signage plan is attached in **Appendix B**.

2.0 CAR PARKING CONSIDERATIONS

2.1 Car Parking Requirements – City of Brampton Zoning By-Law 270-2004

The site is subject to the car parking requirements of the City of Brampton Zoning By-law 270-2004, as outlined in Table 1. Based on these requirements, the development has a requirement to provide a total of 512 car parking spaces.

Table 1 Car Parking Requirements – City of Brampton Zoning By-law 270-2004

Use	Car Parking Rate	GFA	Number of Car Parking Spaces
Warehouse	For office less than 15% and GFA more than 20,000 m ² : 168 spaces plus 1 space / 170 m ² over 20,000 m ² or portion thereof	78,316 m ² (incl. approx. 3% office)	512 spaces

2.2 Accessible Car Parking Requirements – City of Brampton By-law 93-93

City of Brampton By-law 93-93, section 48, subsection (4) outlines accessible car parking standards based on the total car parking supply, with the following standards relevant to the proposed development:

- (b) (i) Where an even number of parking spaces for the use of persons with disabilities are provided in accordance with the requirements of this paragraph, an equal number of parking spaces that meet the requirements of a Type A parking space and a Type B parking space must be provided.
- (d) Two parking spaces for the use of persons with disabilities and an additional two per cent of parking spaces for the use of persons with disabilities, where there are between 201 and 1,000 parking spaces must be parking spaces for the use of persons with disabilities in accordance with the ratio in subsections (b) (i) and (ii), rounding up to the nearest whole number.

Application of the above rates to the proposed supply of 635 car parking spaces equates to a requirement to provide 15 accessible spaces, of which 7 should be Type A accessible spaces and 8 should be Type B accessible spaces.

2.3 Proposed Parking Provision

A total of 635 car parking spaces are proposed, which exceeds the requirements of the City of Brampton Zoning By-law 270-2004 of 512 spaces.

In addition to the above, a total of 15 accessible spaces are proposed (including 7 Type A spaces and 8 Type B spaces), which satisfies the requirements of City of Brampton By-law 93-93 of 15 accessible spaces.

3.0 LOADING CONSIDERATIONS

3.1 Loading Requirements – City of Brampton Zoning By-Law 270-2004

The site is subject to the loading requirements of the City of Brampton Zoning By-law 270-2004, as outlined in **Table 2**. Based on these requirements, the development has a requirement to provide a total of 10 loading spaces. Loading spaces are required to measure at least 3.7 metres wide and 9 metres long, with a minimum vertical clearance of 4.25 metres.

Table 2 Loading Requirements – City of Brampton Zoning By-law 270-2004

Use	Loading Rate	GFA	Number of Loading Spaces
Warehouse	For GFA more than 14,000 m²: 3 spaces plus 1 space / 9,300 m ² over 14,000 m ² or part thereof	78,316 m ²	10 spaces

3.2 Proposed Loading Provision

A total of 131 loading spaces are proposed, which exceeds the requirements of the City of Brampton Zoning By-law 270-2004 of 10 spaces. The proposed loading docks are dimensioned in accordance with the requirements of City of Brampton Zoning By-law 270-2004.

In addition to the abovementioned loading spaces, a total of 142 trailer parking spaces are also proposed.

Vehicle manoeuvring diagrams have been prepared for the loading docks and are attached in **Appendix C**.

4.0 TRAFFIC ASSESSMENT

A detailed traffic analysis was undertaken in the 2022 report, which concluded that traffic associated with the proposed development can be appropriately accommodated.

The 2022 report was prepared on the basis of a floor area of 79,019 square metres (850,551 square feet). Given the current proposal with a floor area of 78,316 square metres (842,984 square feet) represents a minor reduction of 703 square metres (7,567 square feet) from the plans contemplated in the 2022 report and the proposed land use and access arrangements remain consistent, it is concluded that the outcomes of the detailed traffic analysis undertaken in the 2022 report remain valid.

5.0 COMMENT RESPONSES

5.1 Zoning Comments (dated December 15, 2023)

- 3. Several parking aisles are only 6 m in width, whereas the by-law requires a minimum parking aisle width of 6.6m.

Response: Parking aisles are 6.6 metres in width. Please see architectural plans (not to scale) attached in **Appendix A**.

- 5. Loading spaces do not meet the minimum loading space size for an industrial building. The minimum loading space size in an Industrial zone is 3.7m x 9m.

Response: Loading spaces are dimensioned with a width of 3.7 metres and a length of 9 metres. Practically, the dimensions available for loading exceed this in order to accommodate tractor trailers. Please see architectural plans (not to scale) attached in **Appendix A**.

5.2 Traffic Comments (dated January 2, 2024)

Final Comments

- 2. The western curb radius of the easterly Countryside Drive access is to measure 9.0-metres. The Owner is to submit a revised site plan drawing depicting the curb radius accordingly.

Response: The west curb on the east driveway has been revised to 9 metres. Please see architectural plans (not to scale) attached in **Appendix A**.

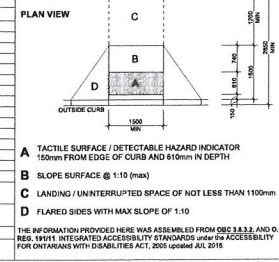
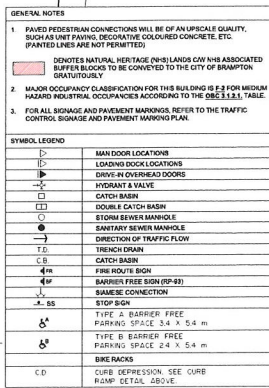
- 3. The Owner is to submit an Auto-Turn analysis of the easterly Countryside Drive access with an eastern curb radius of 9.0-metres and an eastern curb radius of 12.5 metres. The analyses are to include a deceleration taper lane into the easterly Countryside Drive access.

Response: All drawings have been revised to provide a 9 metre radius as per the City requirement. Please see vehicle manoeuvring diagrams attached in **Appendix C**. A right turn deceleration taper is shown for the proposed east driveway.

- 4. Prior to the release of approved site plan drawings, the Owner is to submit a revised site plan drawing with the following note, "For all signage and pavement markings, refer to the Traffic Control Signage and Pavement Marking Plan".

Response: Please see architectural plans (not to scale) attached in **Appendix A** and pavement marking and signage plan attached in **Appendix B**.

Appendix A:
Architectural Plans (Not to Scale)



22-45	A-1.0
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Appendix B:

Pavement Marking and Signage Plan



SITE LAYOUT PLAN
1/50

TRAFFIC CONTROL SIGN DETAILS

Ra-1
(600 x 600)mm

FIRE ROUTE
(300 x 450)mm

FIRE ROUTE
(300 x 450)mm

FIRE ROUTE
(300 x 450)mm

BY PERMIT ONLY
(300 x 450)mm

VAN ACCESSIBLE
Rb-93t
(150 x 300)mm
MAX FINE
(300 x 175)mm

Wc-7R
(750 x 750)mm

Wc-7L
(750 x 750)mm

Rb-21
(300 x 900)mm

PAVEMENT MARKING DETAILS

ADA TYPE 'A' AND TYPE 'B' ACCESSIBLE PARKING
PAINTED STENCIL LAYOUT
N/S

TYPICAL CROSSWALK
ZEBRA PAVEMENT MARKING DETAIL
N/S

TYPICAL CROSSWALK PARALLEL TO BUILDING
PAVEMENT MARKING LAYOUT
N/S

TYPICAL STRIPED END ISLANDS
N/S

TYPICAL RAISED END ISLANDS
N/S

TRAFFIC LINE & ARROW DETAILS

(NOTE: ALL MARKINGS MUST CONFORM TO THE ONTARIO TRAFFIC MANUAL (OTM) BOOK 11)

TRAFFIC CONTROL SIGNAGE & PAVEMENT MARKING PLAN

DATE: APRIL 1, 2024
PROJECT NO: 7101-23
SCALE: 1:500

SIGN INSTALLATION:

- ALL SIGNS MUST CONFORM TO AND/OR EQUIVALENT TO THE BRAMPTON AND PEEL CITY TRAFFIC SIGN BY THE ONTARIO TRAFFIC MANUAL (OTM) BOOK 11 THROUGH TO USE IT WHERE OTHER SIGNS NOTED
- ALL SIGNS ARE SHOWN IN APPROXIMATE LOCATIONS AND TO BE DETERMINED ON SITE. SIGN MAPS BE VISIBLE TO DRIVER NOT OBSTRUCTED BY LANDSCAPE
- REFER TO INTERIOR DETAILS AS SHOWN ON THE PLAN FOR SIGN MOUNTING, SIGN PLANS AND MESSAGE
- FIRE ROUTE SIGN, LOCATION, PLANS AND MESSAGE SUBJECT TO CONDUCTIVITY DESIGNATED FIRE ROUTE BY PLAN REQUIREMENTS

SIGN MOUNT LEGEND

ALL SIGNS AND MOUNTS IN APPROXIMATE LOCATIONS AND TO BE DETERMINED ON SITE. SIGNS MUST BE VISIBLE TO DRIVER AND NOT OBSTRUCTED BY LANDSCAPE

- PROPOSED POST MOUNTED SIGN
- PROPOSED WALL MOUNTED SIGN
- PROPOSED WALL MOUNTED SIGN

PAVEMENT MARKING

PAVEMENT MARKINGS MUST CONFORM TO THE ONTARIO TRAFFIC MANUAL (OTM) BOOK 11

PAVING SPACE DIMENSIONS TO CONFORM TO THE MINIMUM REQUIREMENTS AS SET OUT IN CITY OF BRAMPTON ZONING BY-LAW

- STOP (P) YELLOW SOLID
- ALL STOP BARS TO BE 60cm (2 ft) WHITE SOLID
- INTERNATIONAL SYMBOL OF ACCESS (1.5m x 1.5m)
- STOP AND STOPPED TRAFFIC MUST BE VISIBLE TO DRIVER
- ALL STOP BARS TO BE 60cm (2 ft) WHITE SOLID

ON-SITE FIRE ROUTE:

ON-SITE FIRE ROUTE TO CONFORM WITH REQUIREMENTS AND REGULATIONS SET OUT IN CITY OF BRAMPTON FIRE ACCESS ROUTE BY-LAW 2015

PROPOSED FIRE ACCESS ROUTE

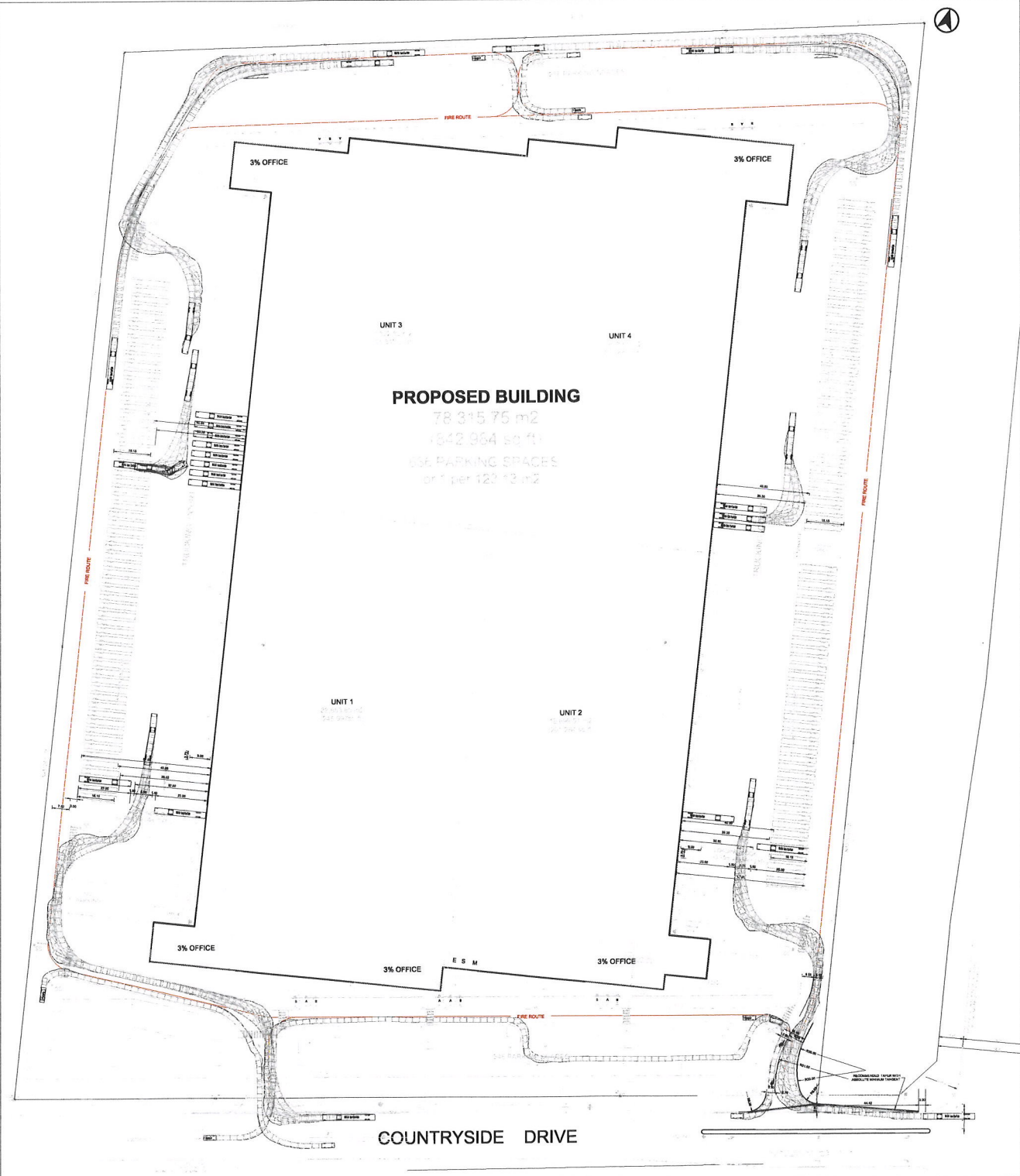
DATE: 04-11-24 VEC: ISSUED FOR SITE PLAN RE-SUBMISSION APPLICATION

BA Group

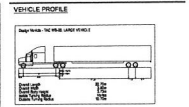
**BRAMPTON EAST
PROPOSED INDUSTRIAL
WAREHOUSE**

TRAFFIC CONTROL SIGNAGE & PAVEMENT MARKING PLAN

Appendix C:
Vehicle Manoeuvring Diagrams



PROPOSED BUILDING
78 315.75 m²
(842 964 sq ft)
0.5% PARKING SPACES
on 1 per 123 m²



VEHICLE MANOEUVERING DIAGRAM:
VEHICLE MANOEUVERING DIAGRAMS ARE PREPARED TO ASSIST
IN THE DESIGN OF THE BUILDING AND ITS PARKING LOTS. THE
DIAGRAMS SHOW THE VEHICLES AND THEIR MANOEUVERING
PATHS. THE VEHICLES ARE SHOWN IN THE PARKING LOTS
AND THE MANOEUVERING PATHS ARE SHOWN IN THE
PARKING LOTS. THE VEHICLES ARE SHOWN IN THE
PARKING LOTS AND THE MANOEUVERING PATHS ARE
SHOWN IN THE PARKING LOTS.

ON-SITE FIRE ROUTE:
ON-SITE FIRE ROUTE TO COMPLY WITH REQUIREMENTS AND
REQUIREMENTS SET OUT IN CITY OF BRAMPTON FIRE ACCESS ROUTE
BY-LAW 2014.



- 01 01-10-01 VAC BUILD FOR SPA RE-DESIGN
- 02 02-10-01 VAC SITE BASE FLEX UPGRADE AND ADAPTATIONS
- 03 03-10-01 VAC SITE PLANNING REVIEW



**BRAMPTON EAST
PROPOSED INDUSTRIAL
WAREHOUSE**

**PROPOSED 1 BUILDING CONCEPT
VEHICLE MANOEUVERING DIAGRAM**
TAC PASSENGER CAR & TAC
WB20 SEMI-TRACTOR-TRAILER

Date: FEBRUARY 13, 2024
Project No: 2101-03
Scale: 1:500



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 174 - 2023

To amend By-law 270-2004, as amended

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the *Planning Act*, R.S.O. 1990, c.P. 13, hereby enacts as follows;

1. By-law 270-2004, as amended, is hereby further amended:

(1) By changing on Schedule A thereto, the zoning designations of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Agricultural (A)	Industrial Four (Holding) – Section 3727 (M4(H)-3727); and Floodplain (F)

(2) By adding thereto the following sections:

“3727 The lands designated M4(H) – Section 3727 of Schedule A to this by-law:

3727.1 Shall only be used for the purposes:

(1) Industrial:

- a. A warehouse;
- b. Outside storage of oversized motor vehicles not actively engaged in loading and unloading of goods and materials;

3727.2 Shall be subject to the following requirements and restrictions:

- i. Maximum number of truck and trailer parking spaces: 100 spaces.
- ii. Outside storage of motor vehicles shall only be permitted as an accessory use, and shall not be located in the required front yard.
- iii. Outside storage shall be screened from public view by architectural screening, landscape buffer, building placement, berms or a combination of such treatments.

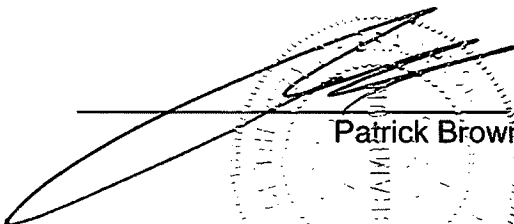
3727.3 Holding (H):


1. Until the Holding (H) symbol is removed, the lands shall only be used in accordance with the Agricultural (A) zone.
2. The Holding (H) symbol shall not be removed until the following conditions have been fulfilled:
 - i. Confirmation that a satisfactory Functional Servicing Report be provided and approved to the satisfaction of the Toronto and Region Conservation Authority, the Region of Peel, and the City of Brampton.
 - ii. That appropriate arrangements are made to address site servicing to the satisfaction of the City of Brampton and Region of Peel.
 - iii. That appropriate arrangements are made between the applicant, the City of Brampton, and its consultant, to the satisfaction of the Commissioner of Planning, Building and Growth Management, for the Countryside Drive design project to provide a single storm sewer system to service both development lands and Countryside Drive on an ultimate basis, including but not limited to design, front-end financing, construction, maintenance and securities. If the timing does not work to install the combined storm sewer system, the applicant shall install an interim storm sewer system and associated infrastructures to service the development lands until the ultimate storm sewer servicing system for Countryside Drive has been implemented, including but not limited to design, front-end financing, construction, maintenance, securities, decommissioning and subsequent connection to the ultimate storm sewer system.”

ENACTED and PASSED this 18th day of October, 2023.

Approved as to
form.
2013/09/13
SDSR

Approved as to
content.
2013/09/13
AAP

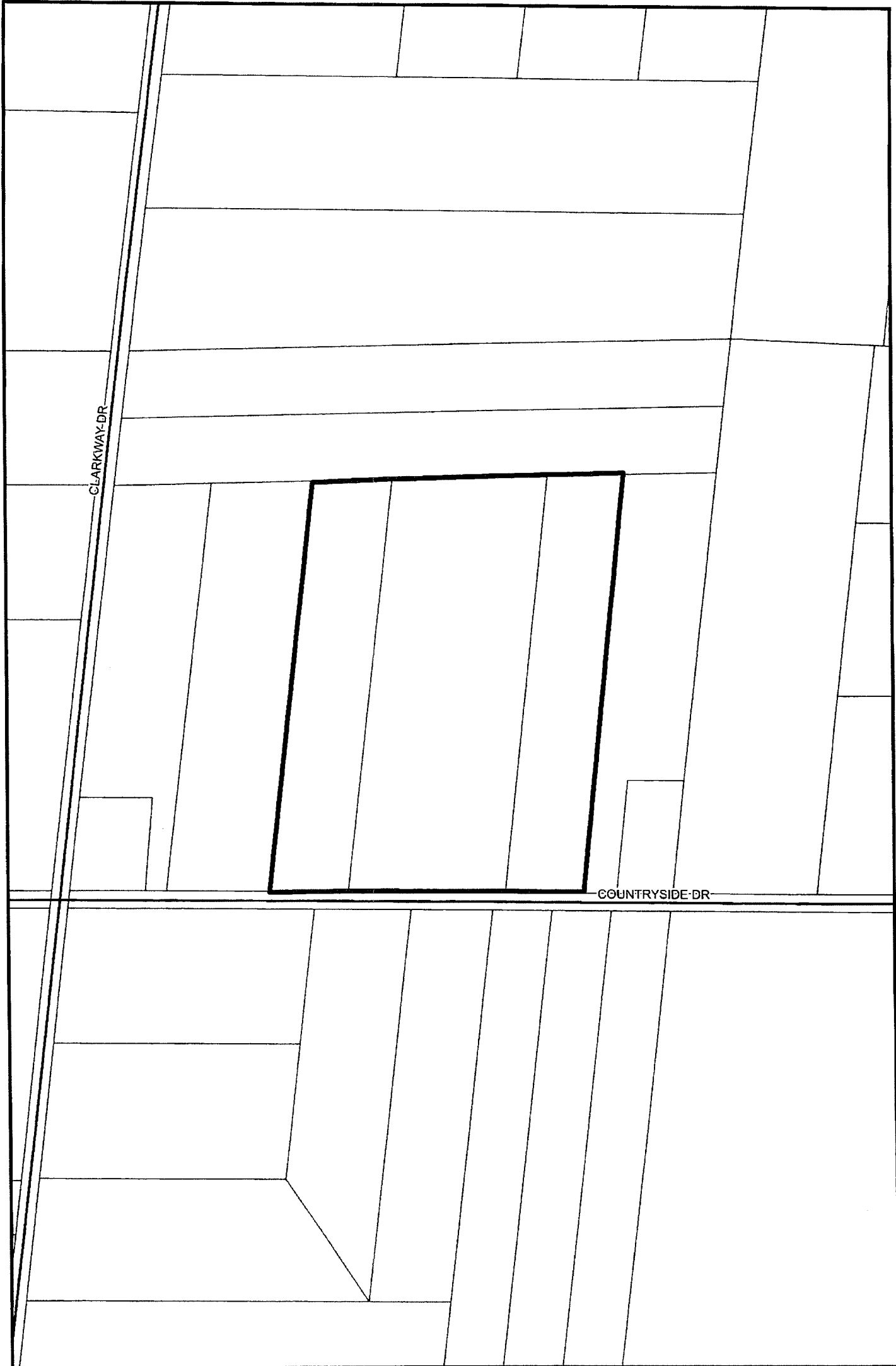


Patrick Brown, Mayor


Peter Fay, City Clerk

(OZS-2022-0029)





 SUBJECT LANDS



BRAMPTON
Flower City

PLANNING, BUILDING AND GROWTH MANAGEMENT

File: OZS-2022-0029_ZKM

Date: 2023/08/28



KEY MAP

Drawn by: ckovac

BY-LAW 174-2023



BRAMPTON

Mayoral Decision

Number 2023-007

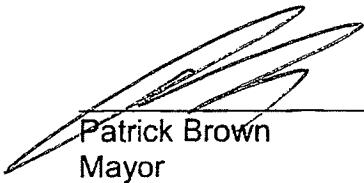
City Council Meeting – Adoption of By-laws

Under the *Municipal Act, 2001*,

I, Patrick Brown, Mayor of the City of Brampton, hereby approve the following by-laws passed at the Brampton City Council meeting of October 18, 2023, in accordance with subsection 284.11(4)(a)(i) of the *Municipal Act, 2001*:

- By-laws as considered and enacted under the By-laws Section (Council Agenda Item 18)
- Confirming By-law (Council Agenda Item 20)

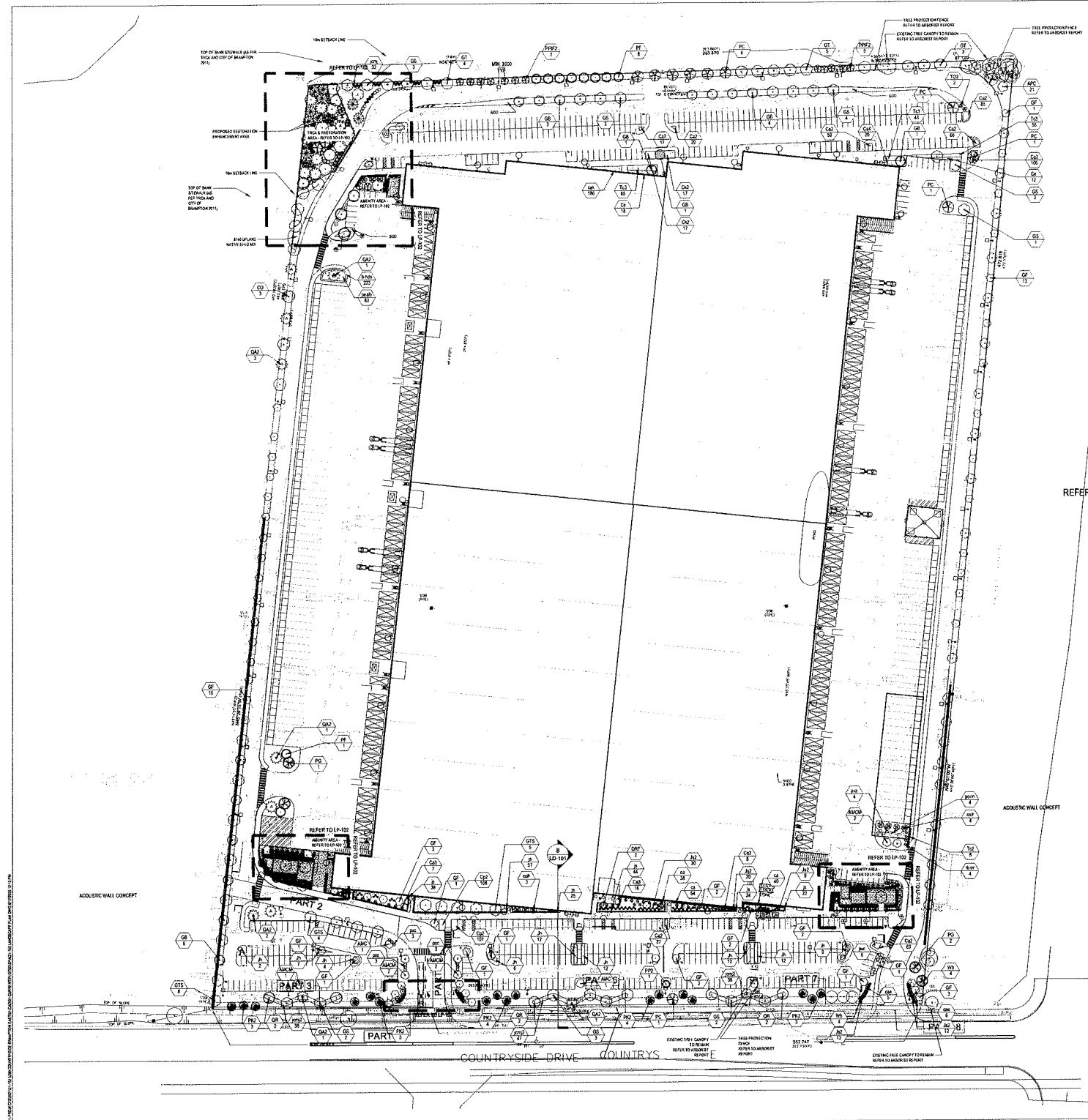
Dated at Brampton, this 18th day of October, 2023.



Patrick Brown
Mayor

The Corporation of the City of Brampton

2 Wellington Street West, Brampton, ON L6Y 4R2 T: 905.874.2000 TTY: 905.874.2130

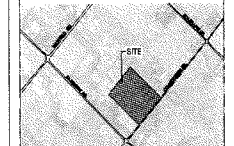


REFER TO LP-103 FOR PLANTING SCHEDULES AND NOTES

NOT FOR CONSTRUCTION

LEGEND

- PROPOSED DEODAR TREE
PROPOSED CONIFEROUS TREE
PROPOSED BUSHES/PERENNIALS
EXISTING TREES REFLECTED IN L-154
- 600
- PROPOSED MONOCOTYLEDON PAVING
PROPOSED LIMB PAVING
CRUSHED GRANITE AGGREGATE
BLAD NATURE UPLAND FORAGE & WILLOW W/4
- THEY PROTECT ON FENCING
WITH 1/2 SLOANING FENCE



Көзтөз

3	ISSUED FOR MAJOR VARIANCE	2005-06-17	OK		
3	ISSUED FOR E&P	2005-05-13	OK		
3	ISSUED FOR E&P	2004-12-16	AK		
6	ISSUED FOR EPA	2004-04-30			
5	ISSUED FOR EPA	2003-10-13			
4	ISSUED FOR EPA	2003-06-08	FF		
3	ISSUED FOR RIZONING	2003-11-08	FF		
3	ISSUED FOR RIZONING	2003-06-09	FF		
1	ISSUED FOR RIZONING	2001-06-29	FF		
NO	ISSUED				

CONTRACTOR MUST STAFF ALL DRIVING ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT. WORK MUST BE RETURNED AT THE COMPLETION OF THE WORK.

ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN DONE BY THE LANDSCAPE ARCHITECT.

Signed _____ **Date** _____

STUDIO **tl**

1. 姓名: _____ 性别: _____ 年龄: _____ 职业: _____ 2. 住址: _____ 电话: _____ 电子邮箱: _____ 3. 工作单位: _____ 职务: _____ 部门: _____ 4. 身份证号: _____ 护照号: _____ 驾驶证号: _____ 5. 其他证件: _____ 其他信息: _____	
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29 Chapman St. Suite 100 - Toronto, ON M5P 2Z7 Tel: 416-593-8888 Fax: 416-593-8889

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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CLIENT _____

BRAMPTON EAST
5200 COUNTRYSIDE DRIVE

PROJECT


PLANTING PLAN

<p>  </p>	<p> BLM BUREAU OF LAND MANAGEMENT U.S. DEPARTMENT OF THE INTERIOR </p>
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DEAN _____
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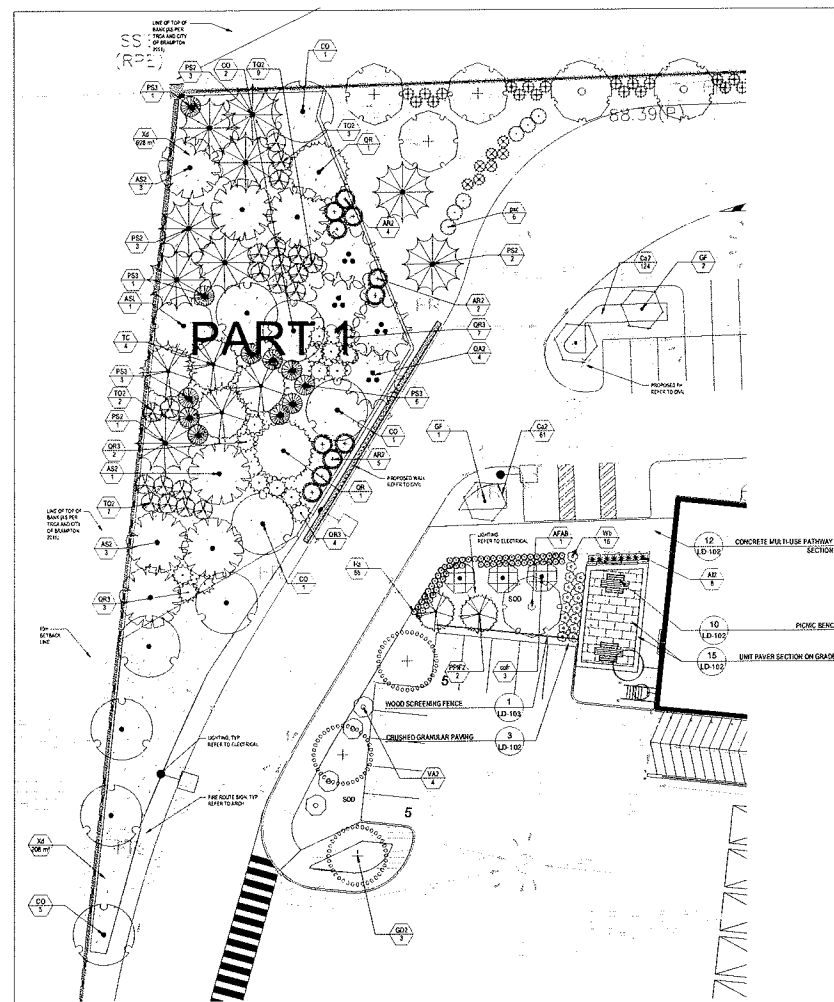
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DATE	2021-08-17

PROJECT NO. 21-182

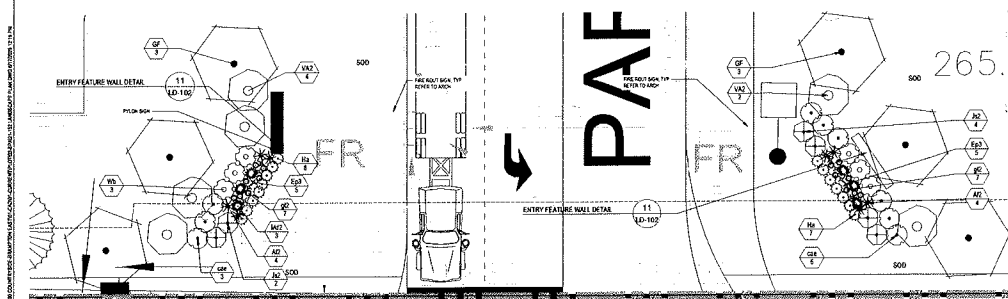


LP-101

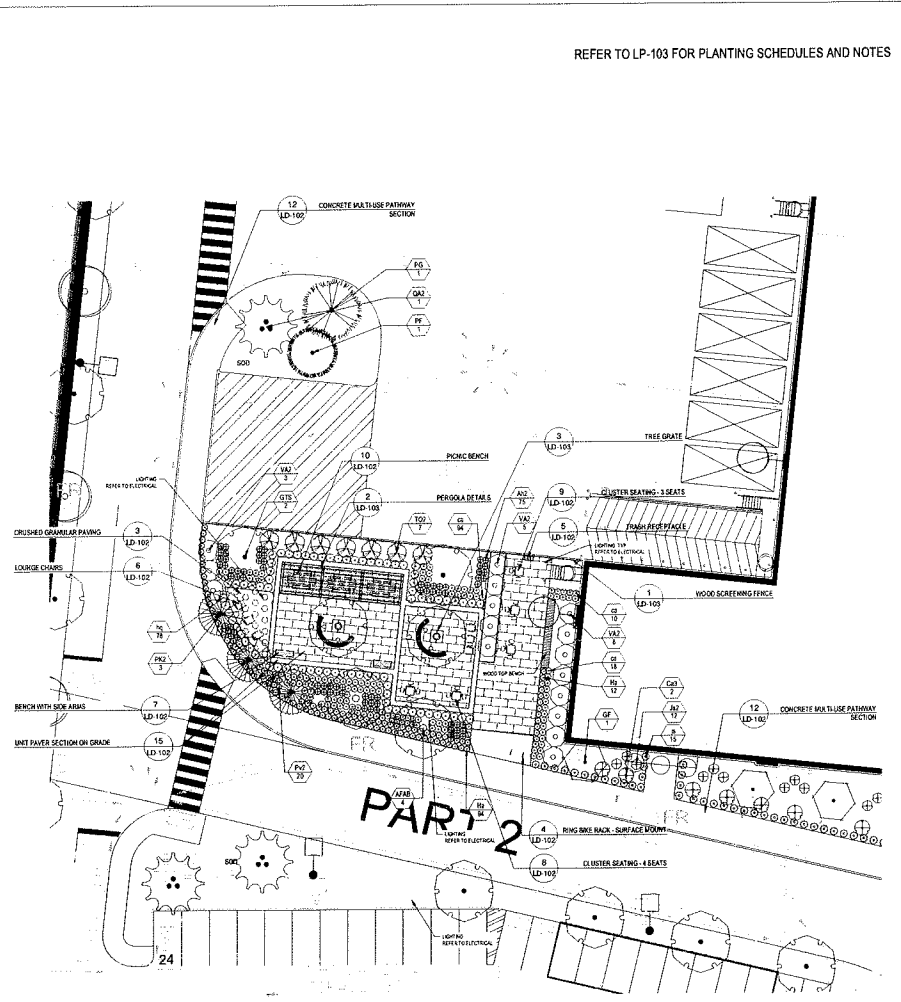
Figure 1



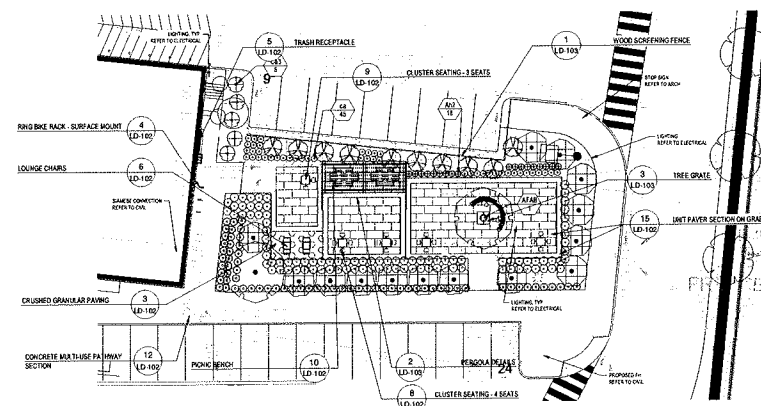
01 NORTH WEST AMENITY DETAIL PLAN AND TRCA PLANTING PLAN
1:200



02 ENTRY FEATURES WALL PLANTING TYPICAL
1:100



03 SOUTH WEST AMENITY DETAIL PLAN
1:200



SOIL COMPOSITION: A SANDY LOAM TEXTURE, PROFILE: (50-60% SAND, 20-30% S&T, AND 8-10% CLAY), 2-6% ORGANIC MATTER BY DRY WEIGHT, AND A MAXIMUM PH OF 7.5

ALL OUTDOOR LIGHTS SHALL BE SHIELDED AND FULLY CUT-OFF WITH NO UPLIGHTING

ANY GROUND LEVEL GRATES, INTAKES AND EXHAUST SHAFTS WILL HAVE MAXIMUM POROSITY OF 30MM x 30MM OR SMALLER

REFER TO TRCA SEED MIX GUIDELINES FOR REQUIREMENTS AND
INSTALLATION METHODS

SEED MIXES TO BE INSTALLED HYDRAULICALLY WITH SOIL GUARD BONDING FIBRE MATRIX BY FIBRAMUL (800/781-6668) OR EQUIVALENT HYDROSEEDING TO BE INSTALLED BY COMPETENT AND QUALIFIED CONTRACTOR. THE CONTRACTOR SHALL NOT CARRY OUT THE WORK UNDER ADVERSE WEATHER CONDITIONS SUCH AS HIGH WIND, FROZEN GROUND OR GROUND COVERED WITH SNOW, ICE OR STANDING WATER. A SOIL TEST SHOULD BE PERFORMED BY A COMPETENT HYDROSEEDING CONTRACTOR TO VERIFY MIXTURE AND PERCENTAGES REQUIRED.

STABILIZATION: STABILIZE TOPSOIL WITHIN THE CONSTRUCTION YEARS GROWING SEASON. IF THIS CANNOT BE ACHIEVED, THEN TOPSOIL SHOULD NOT BE SPREAD UNTIL THE FOLLOWING SPRING AND SOME INTERIM STABILIZATION MEASURE SHOULD BE USED TO PREVENT EROSION OF GRADED SUBSTRATE. STABILIZE TOPSOIL PRIOR TO PLANTING WOODY MATERIAL USING AN OTOMAREX REGION CONSERVATION AUTHORITY APPROVED SEED MIX. SEED MIXES TO BE INSTALLED HYDRAULICALLY WITH SOIL GUARD BONDED FIBRE MATRIX X FIBRA MULCH (905 751-6998) OR EQUIVALENT FOR SLOPE STABILIZATION. UPON COMPLETION OF GRADING AND TOPSOIL INSTALLATION, STABILIZATION OF TOPSOIL WITH SEED MIX INSTALLATION MUST OCCUR WITHIN 24 HOURS.

SEED MIX PREPARATION: GRADE SUB-GRADE, ELIMINATE UNEVEN AREAS AND LOW SPOTS, ENSURE POSITIVE DRAINAGE. REMOVE DEBRIS, ROOTS, BRANCHES, STONES IN EXCESS OF 50MM DIAMETER AND OTHER DELETERIOUS MATERIALS. REMOVE SUBSOIL THAT HAS BEEN CONTAMINATED WITH OIL, GASOLINE OR CALCIUM CHLORIDE. DISPOSE OF REMOVED MATERIAL AS DIRECTED BY LANDSCAPE ARCHITECTS.

GRADE SUB-GRADE FOR HYDRO-SEEDING TO A UNIFORM SURFACE AND REMOVE VEGETATION WHICH MAY INTERFERE WITH SEEDING OPERATIONS. LOOSEN SOIL TO DEPTH OF 25MM MINIMUM AND REMOVE STONES AND FOREIGN MATERIAL WHICH PROTRUDE MORE THAN 75MM ABOVE THE SURFACE.

ALL AREAS TO BE HYDROSEED TO RECEIVE 200mm OF TOPSOIL AND UNCOMPACTED SOIL DEPTH OF 300MM (TOPSOIL + SUBSOIL)

MAINTENANCE: SEEDING AREAS TO BE MAINTAINED BY CONTRACTOR ENSURING ADEQUATE WATER, FERTILIZER, MAINTENANCE AND REPAIR UNTIL SEEDING AREAS ARE PROPERLY ESTABLISHED. AREAS SEEDING IN FALL WILL BE ACCEPTED IN FOLLOWING SPRING, ONE MONTH AFTER START OF GROWING SEASON PROVIDED ACCEPTANCE CONDITIONS ARE FULFILLED

NOTE: DO NOT APPLY FERTILIZERS TO SEED MIXES OR WILDLIFE REPELLANT FOR PLANTINGS WITHIN 30M OF THE AREAS OF PROVINCIAL INTEREST.

WATERING PROGRAM NOTES:

WATERING TO BE PROVIDED FOR A MINIMUM OF THE FIRST 2 CONSECUTIVE YEARS.
PLANTING SCHEDULE TO BE COORDINATED WITH IRRIGATION CONTRACTOR TO ENSURE APPROPRIATE
WATERING OF PLANTING AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR TO COORDINATE
PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS BETWEEN PLANTS AND SPRINKLER
HEADS AND LINES.

WEEKLY WATERING GUIDE:
WATER SHOULD BE APPLIED AT A RATE OF LESS THAN 2-3 GALLONS OF WATER PER MINUTE.
CARE SHOULD BE TAKEN NOT TO WASH AWAY ANY WATERING BERMS OR MULCH WHEN
WATERING. TREES NEED 5 GALLONS OF WATER PLUS 5 GALLONS FOR EACH INCH CALIPER. ADHERE
TO THE FOLLOWING SCHEDULE:

1 inch = 10 gallons per week
2 inch = 15 gallons per week
3 inch = 20 gallons per week
4 inch = 25 gallons per week
5 inch = 30 gallons per week



An aerial photograph of a rural landscape. A diamond-shaped area, outlined in black and filled with a cross-hatch pattern, is labeled 'SITE'. This site is situated at the intersection of two main roads that run diagonally across the frame. The surrounding area is a mix of green fields and some buildings or structures in the distance.

Key messages

9	ISSUED FOR MINOR VARIANCE	2025-06-17	CR	
8	ISSUED FOR EPA IN	2020-05-13	CR	
7	ISSUED FOR EPA	2024-12-16	AK	
6	ISSUED FOR EPA	2024-04-20	JR	
5	ISSUED FOR EPA	2023-10-13	JR	
4	ISSUED FOR EPA	2023-06-06	JR	
3	ISSUED FOR REZONING	2022-12-09	JR	
2	ISSUED FOR REZONING	2022-04-29	JR	
1	ISSUED FOR REZONING	2021-09-29	JR	
NO	rebuild	date	by	

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT

_____	_____
Signed	Date

STUDIO tla

20 Chesham Blvd. Suite 102 - Toronto ON M3H 2Z1 info@studiola.ca www.studiola.ca

CLIENT

PROJECT
BRAMPTON EAST
5200 COUNTRYSIDE DRIVE
BRAMPTON, ON
SPA-2023-0079

PLANTING SCHEDULES

DRAWING

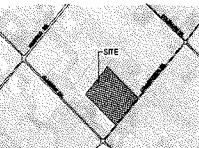


LP-103

NOT FOR CONSTRUCTION

LEGEND

- PROPOSED INDIVIDUAL TREE
- PROPOSED CONCENTRIC TREE
- PROPOSED PLANTER WALLS
- PROPOSED TREES REFER TO LP-103
- SOIL
- PEDESTAL CONCRETE WAY
- PEDESTAL UNIT TRAILER
- CRUSHED GRANITE ACCESS GRATE
- 4" DIA. NATIVE UPLAND FENCE & WOODEN W.
- TREE PROTECTION FENCE
- 1" DIA. 1" SCREW END FENCE



Key map

NO.	DESCRIPTION	DATE	BY
1	DESIGN FOR LANDSCAPE	2024-06-11	CR
2	DESIGN FOR EIA	2024-06-11	CR
3	DESIGN FOR EIA	2024-12-14	AE
4	DESIGN FOR EIA	2024-06-11	AE
5	DESIGN FOR EIA	2024-06-11	AE
6	DESIGN FOR EIA	2024-06-11	AE
7	DESIGN FOR EIA	2024-06-11	AE
8	DESIGN FOR EIA	2024-06-11	AE
9	DESIGN FOR EIA	2024-06-11	AE
10	DESIGN FOR EIA	2024-06-11	AE
11	DESIGN FOR EIA	2024-06-11	AE
12	DESIGN FOR EIA	2024-06-11	AE
13	DESIGN FOR EIA	2024-06-11	AE
14	DESIGN FOR EIA	2024-06-11	AE
15	DESIGN FOR EIA	2024-06-11	AE
16	DESIGN FOR EIA	2024-06-11	AE
17	DESIGN FOR EIA	2024-06-11	AE
18	DESIGN FOR EIA	2024-06-11	AE
19	DESIGN FOR EIA	2024-06-11	AE
20	DESIGN FOR EIA	2024-06-11	AE

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE ALL PLANTINGS AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

STUDIO

311 Campbell Rd. Suite 101, Toronto, ON M4B 1Y1 | 416-463-1111 | info@studio.ca | www.studio.ca

CLIENT

BRAMPTON EAST
5200 COUNTRYSIDE DRIVE
BRAMPTON, ON
L6Y 4G7

PROJECT

SOIL VOLUME PLAN

BRAMPTON EAST

5200 COUNTRYSIDE DRIVE

BRAMPTON, ON

L6Y 4G7

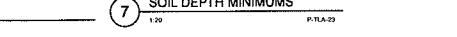
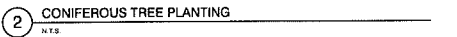
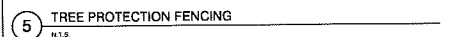
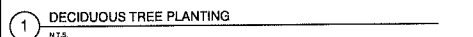
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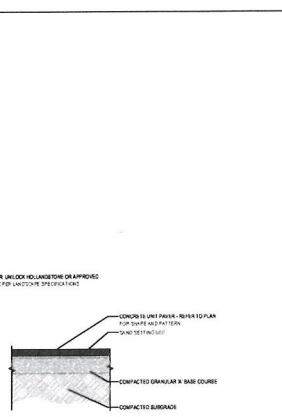
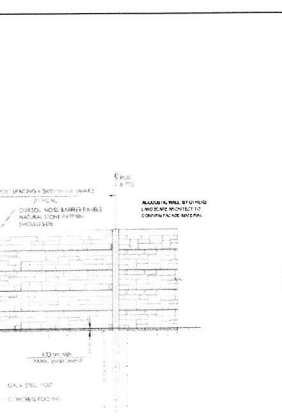
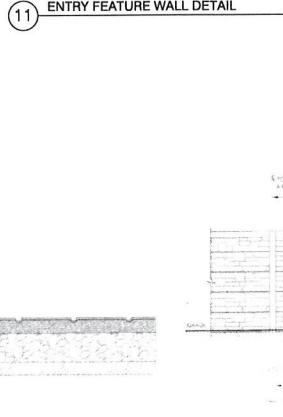
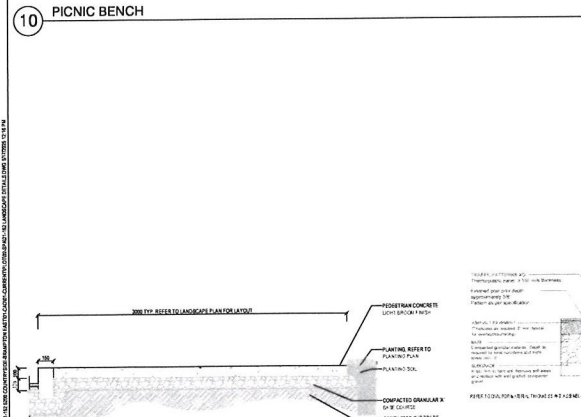
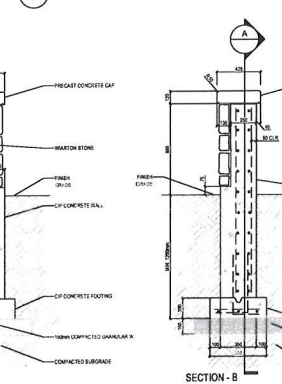
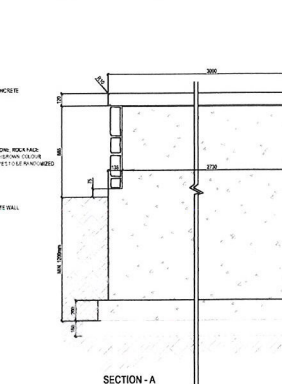
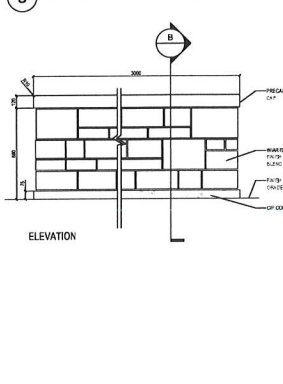
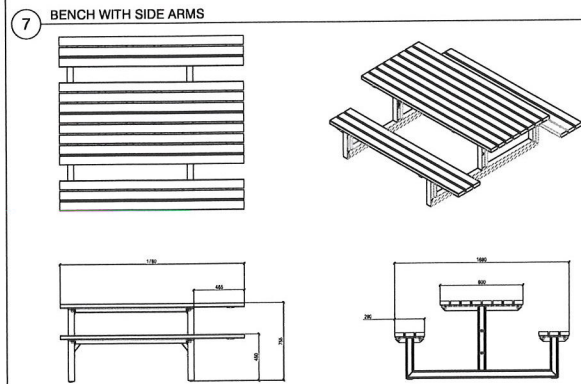
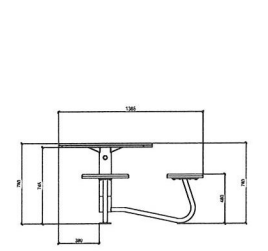
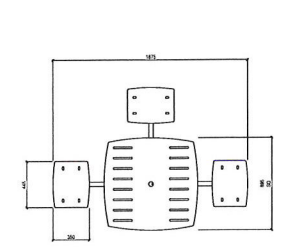
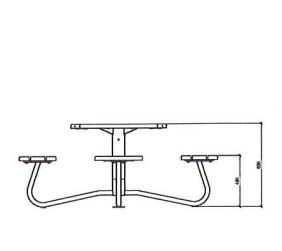
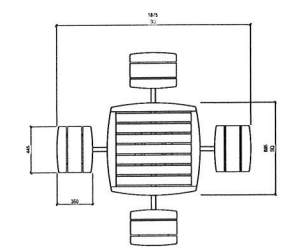
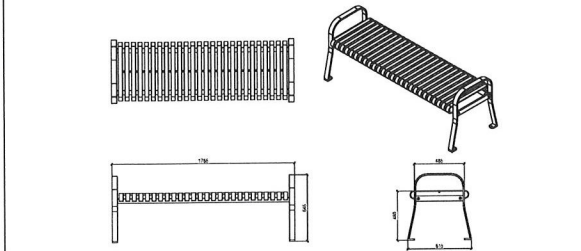
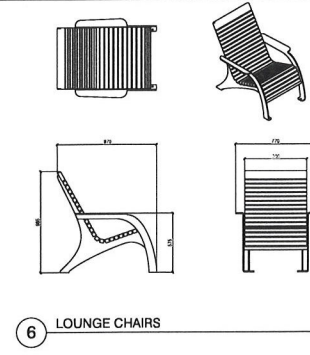
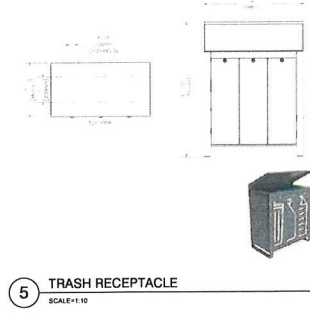
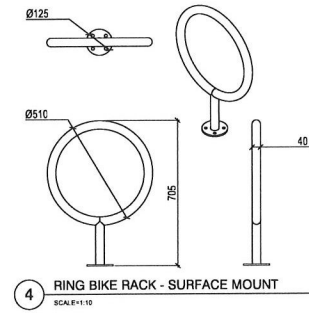
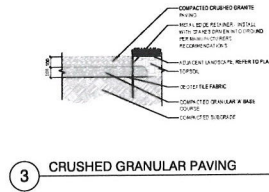
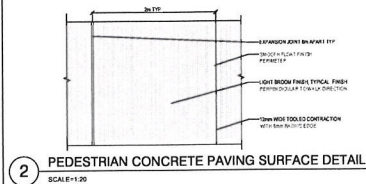
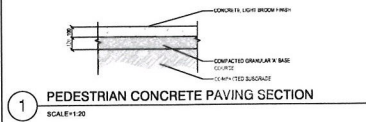
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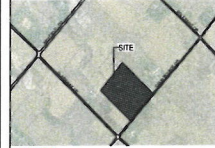
STUDIO **tla**

79 Chapman St. Suite 102 • Toronto ON • M5H 3Z1 info@studio.ca www.studio.ca

CLIENT		BRAMPTON EAST 6000 COLUMBIAN DRIVE BIRMINGHAM, ON	
PROJECT		DCA 2007-00000000	
LANDSCAPE DETAILS			
COUNTRY	CA		
CITY/TOWN	AS SHOWN		
SCALE	1:100		
PROJECT NO.	10000		
DATE	10/10/10		
LD-101			



NOT FOR CONSTRUCTION



NO.	REVISION	DATE	BY
1	ISSUED FOR VARIANCE	2023-06-17	CS
2	REVISED FOR SPIN 1	2023-03-17	CS
3	REVISED FOR SPIN 1	2024-03-18	AK
4	REVISED FOR SPIN 1	2024-03-18	JBA
5	REVISED FOR SPIN 1	2023-03-17	AK
6	REVISED FOR SPIN 1	2023-03-17	AK
7	REVISED FOR SPIN 1	2023-03-17	AK
8	REVISED FOR SPIN 1	2023-03-17	AK
9	REVISED FOR SPIN 1	2023-03-17	AK
10	REVISED FOR SPIN 1	2023-03-17	AK
11	REVISED FOR SPIN 1	2023-03-17	AK
12	REVISED FOR SPIN 1	2023-03-17	AK
13	REVISED FOR SPIN 1	2023-03-17	AK
14	REVISED FOR SPIN 1	2023-03-17	AK
15	REVISED FOR SPIN 1	2023-03-17	AK

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE LANDSCAPE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE LANDSCAPE. ALL DIMENSIONS SHALL BE IN METERS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE LANDSCAPE. ALL DIMENSIONS SHALL BE IN METERS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE LANDSCAPE.

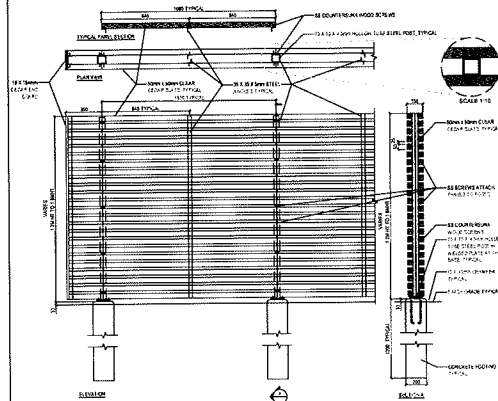


CLIENT: BRAMPTON EAST
5200 COURTNEY DRIVE
BRAMPTON, ON
L6Y 4R7

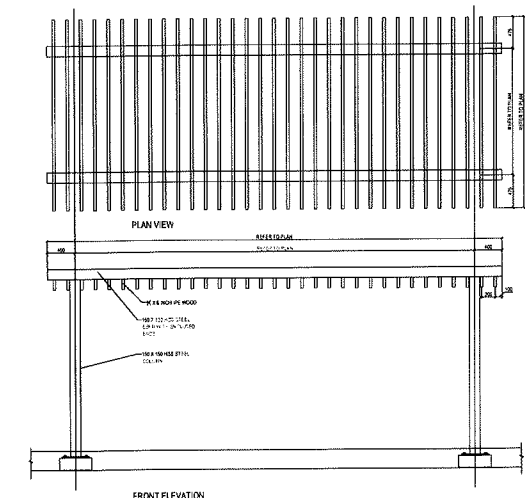
PROJECT: LANDSCAPE DETAILS

DESIGNER	STUDIO rla
DATE	2023-03-17
SCALE	AS SHOWN
PROJECT NO.	LD-102
REVISION	

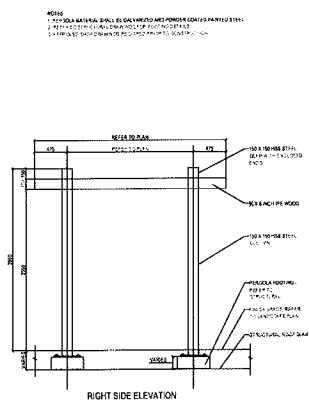
LD-102



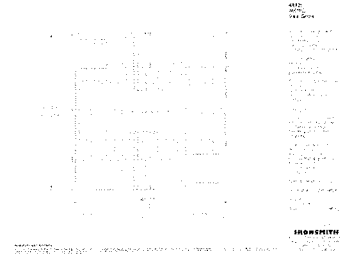
1 WOOD SCREENING FENCE
SCALE 1:30



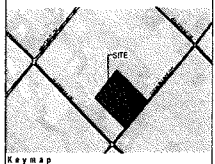
2 PERGOLA DETAILS
SCALE 1:30



3 TREE GRATE
SCALE 1:30



NOT FOR CONSTRUCTION



NO.	DESCRIPTION	QUANTITY	UNIT
1	GRASS FOR MOUND SURROUND	200.00	M ²
2	100.00 M ² OF 100 MM DIA. PERGOLA POSTS	200.00	M ²
3	100.00 M ² OF 100 MM DIA. PERGOLA BEAMS	200.00	M ²
4	100.00 M ² OF 100 MM DIA. PERGOLA SLATS	200.00	M ²
5	100.00 M ² OF 100 MM DIA. PERGOLA BRACE	200.00	M ²
6	100.00 M ² OF 100 MM DIA. PERGOLA BRACE	200.00	M ²
7	100.00 M ² OF 100 MM DIA. PERGOLA BRACE	200.00	M ²
8	100.00 M ² OF 100 MM DIA. PERGOLA BRACE	200.00	M ²
9	100.00 M ² OF 100 MM DIA. PERGOLA BRACE	200.00	M ²
10	100.00 M ² OF 100 MM DIA. PERGOLA BRACE	200.00	M ²

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND THE COMPLETION OF THE WORK. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

STUDIO 

30 Dufferin St. Suite 102 - Toronto, ON M5T 1Z1 | info@studio.ca | www.studio.ca

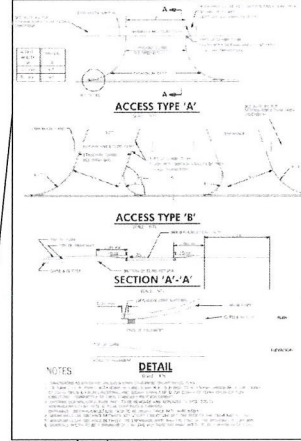
CLIENT
BRAMPTON EAST
5200 COURTNEY DRIVE
BRAMPTON, ON
L6Y 4R4

PROJECT
LANDSCAPE DETAILS

DRAWN BY
CHECKED BY
DATE
SCALE
PROJECT NO.
LD-103

AS SHOWN
1/1/2024
1/1/2024
1/1/2024

SECTION OF LANDSCAPE
PMA
LANDSCAPE ARCHITECTS

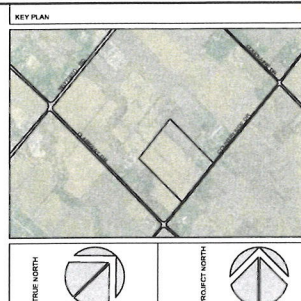


GENERAL NOTES

- PAVED FEEDSTRAN CONNECTIONS WILL BE OF AN UPSICALE QUALITY. SUCH AS UNPAVING, DEGRADATIVE COLOURED CONCRETE ETC. PAINTED LINES ARE NOT PERMITTED.
- GENUINE NATURAL HERBAGE (NHS) LANDS COWS ASSOCIATED BUFFER BELT TO BE CONVEYED TO THE CITY OF BRAMPTON (COWTOWN) PLOTS
- MAJOR OF CUFANCY (CLASSIFICATION FOR THIS BUILDING IS E-2 FOR MEDIMUM HAZARD INDUSTRIAL OCCUPANCY) AND CEMENTED TO THE 0.00 1:1 TABLE
- FOR COWTOWN AND COWTOWN ADDRESS: REFER TO THE TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKING PLAN

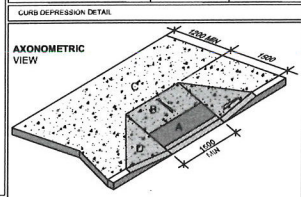
SYMBOL LEGEND

	MAN DOOR LOCATIONS
	LOADING DOCK LOCATIONS
	DRIVE-IN OVERHEAD DOORS
	HYDRANT VALVE
	CATCH BASIN
	DOUBLE CATCH BASIN
	STEAM SERVICE MANHOLE
	SANITARY SEWER MANHOLE
	DIRECTION OF TRAFFIC FLOW
	TRENCH DRUN
	CATCH BASIN
	FIRE RETORT SIGN
	BARRIER FREE SIGN (RP-93)
	BLANK SIGN CONNECTION
	STOP SIGN
	GOLF: FILLED STEEL BOLLARDS
	ELECTRIC VEHICLE PARKING SPACE
	CAR POOL: GREEN VEHICLE PARKING SPACE
	TYPE A BARRIER FREE PARKING SPACE 3.4 X 5.4 m
	TYPE B BARRIER FREE PARKING SPACE 2.4 X 5.4 m
	SPRINKLER RISER
	CURB BULKS
	CURB DEPRESSION SEE CURB RAMP DETAIL ABOVE.
	HV: SEE CIVIL DWG

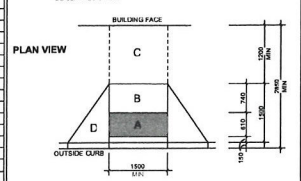


LEGAL DESCRIPTION	INFORMATION TAKEN FROM
	PLAN OF SURVEY OF
	PART OF LOT 16, CONCESSION 11, NORTHERN DIVISION
	(GEOGRAPHIC TOWNSHIP OF TORONTO (ORE))
	CITY OF BRAMPTON
	REGIONAL MUNICIPALITY OF PEELE
	RADY PENTEK & EDWARD SURVEYORS LTD.

SITE STATISTICS			
ZONING			
TOTAL SITE AREA	163,356.78 sq. m	or	40.36 acres
	REQUIRED		PROVIDED
FRONT YARD SETBACK	N/A		11.14 m
SIDE YARD (EAST) SETBACK	N/A		0.41 m
SIDE YARD (WEST) SETBACK	N/A		52.21 m
REAR YARD SETBACK	N/A		49.50 m
PLANTING STRIP - COUNTRYSIDE	N/A		0.00 m
PLANTING STRIP - REAR YARD	N/A		3.00 m
BUILDING AREA	78,089.25 sq. m	or	640,545 sq. ft.
DEDUCTIBLE AREA	244.45 sq. m		2,603 sq. ft.
BUILDING FPA	78,333.71 sq. m	or	643,177 sq. ft.
SITE COVER/NOI	78,333.71 sq. m		47.91%
LANDSCAPED AREA	15,260.00 sq. m		0.15%
PAVED / CONCRETE APRON AREA	71,639.62 sq. m		42.00%
PARKING			PROVIDED
PROPOSED BUILDING			
15,000 m ² x 181 spaces			
25,000 m ² x 1 space / 170 m ²			
(60,203 m ² x 170 m ² = 240 spaces)			
	511 spaces		
TOTAL PARKING	511 spaces		633 spaces
ELECTRIC VEHICLE PARKING			13 spaces
ACCESSIBLE SPACES			13 spaces
LOADING SPACES			120 spaces
TRAILER PARKING			147 spaces



- CURB RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 1500mm, EXCLUSIVE OF ANY LANDED FLOE
- THE RUNNING SLOPE OF THE CURB RAMP
 - BE A MAX OF 1:6 WHERE ELEVATION IS LESS THAN 75mm, AND
 - BE A MAX OF 1:10 WHERE ELEVATION IS LESS THAN 75mm OR GREATER AND 200mm OR MORE
- THE MAX SLOPE ON THE LANDED FLOE OF THE CURB RAMP MUST BE NO MORE THAN 1:10
- CURB RAMP MUST HAVE A TACTILE WALKING SURFACE INDICATOR THAT,
 - HAVE RAISED PROFILE PROFILES COMPOSED OF TRIANGULATED DOMES,
 - BE IN THE TOTAL CROSS SECTION WITH THE ADJACENT WALKWAY,
 - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP
 - BE 100mm EACH SIDE OF THE RAMP TO REINFORCE THE CURB EDGE, & EXTEND THE FULL WIDTH OF THE CURB RAMP
 - BE A MIN OF 60mm IN DEPTH AND
 - BE 50mm HEIGHT



A TACTILE SURFACE / DETECTABLE HAZARD INDICATOR
150mm FROM EDGE OF CURB AND 810mm IN DEPTH

B SLOPE SURFACE @ 1:10 (max)

C LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm

D FLARED SIDES WITH MAX SLOPE OF 1:10

THE INFORMATION PROVIDED HEREIN WAS ASSEMBLED FROM IBC 308.1.2 AND D. R. C. 19114 INTENDED TO PROVIDE THE MINIMUM REQUIREMENTS FOR ACCESSIBILITY FOR CONTAINERS WITH DISABILITIES ACT, 2009 (UPDATED JUL. 2016)

No	ISSUED	DATE
3	ISSUED FOR SPA	APR 29, 2020
7	ISSUED FOR COORDINATION	MAY 27, 2020
9	ISSUED FOR COORDINATION	DEC 6, 2020
9	ISSUED FOR COORDINATION	DEC 09, 2020
10	ISSUED FOR COORDINATION	DEC 18, 2020
11	ISSUED FOR BUILDING PERMIT	DEC 20, 2020
12	RE-ISSUED FOR SPA	DEC 20, 2020
14	RE-ISSUED FOR SPA	MAR 17, 2020
14	RE-ISSUED FOR SPA	MAY 06, 2020
15	ISSUED FOR COORDINATION	JUN 04, 2020
15	ISSUED FOR MINOR VARIANCE	JULY 13, 2020

3	NEW CURB CONFIGURATION FOR COUNTRYSIDE ADDED	MAR. 17, 2020
2	REVISED AS PER GRADING DRAININGS	FEB. 25, 2020
1	ISSUED FOR COORDINATION	NOV. 24, 2020
No.	REVISION	DATE

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T 905.660.0722 | www.baldassarra.ca



COUNTRYSIDE BRAMEAST HOLDINGS LP.

BRAMPTON EAST

5200 Countryside Drive
BRAMPTON, ON

SITE PLAN

DATE: MAR. 2024	DRAWN BY: MM/MP	CHECKED: JP	SCALE: 1:750
PROJ. DET. NO. 22-45		DRAWING NO. A-1.0	

Zoning Non-compliance Checklist

File No.
A2025-0062

Applicant: Countryside BramEast Holdings LP, Countryside BramEast Holdings GP
Address: 5200 Countryside Dr, Brampton, ON L6P 0T8
Zoning: M4-3727
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE	To permit a maximum of 140 trailer parking spaces	Whereas the by-law permits a maximum of 100 truck / trailer parking spaces.	Special Section 3727.2(i)
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
SETBACKS			
BUILDING HEIGHT			
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
GARAGE DOOR HEIGHT			

John C. Cabral

Reviewed by Zoning

2025-06-30