Flower City

brampton.ca

FILE NUMBER: A-2025-0063

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** VIKAS LUTHRA & AMANPREET KAUR
   Address 31 GROUSE LANE BRAMPTON ON L6Y 5K9

   Phone # **Fax #**
   Email

2. **Name of Agent** KAREN MELOCOTONES OF ACADIA DESIGN CONSULTANTS INC.
   Address 204-364 Supertest Rd., North York ON M3J 2M2

   Phone # 647-478-9292 **Fax #**
   Email Office@acadiadrafting.ca

3. **Nature and extent of relief applied for (variances requested):**

   The proposed rear yard setback of 3.60m does not comply with the by law

4. **Why is it not possible to comply with the provisions of the by-law?**

   The By-law requires a minimum rear yard setback of 7.5meters

5. **Legal Description of the subject land:**
   Lot Number 65
   Plan Number/Concession Number PLAN M1523
   Municipal Address 31 GROUSE LANE BRAMPTON ON L6Y 5K9

6. **Dimension of subject land (in metric units)**
   Frontage 16.77 Meters
   Depth 26.5 Meters
   Area 444.405 MSQ

7. **Access to the subject land is by:**
   Provincial Highway
   Municipal Road Maintained All Year
   Private Right-of-Way
   Seasonal Road
   Other Public Road
   Water

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Existing two story dwelling Unit. The Lot Coverage of this building is 187.7 msq. Its width is 14.83 m.
The Length is 12.61m. The main floor area including garage is 181.53 msq.
This existing structure is to remain.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

The proposed structure is a one storey enclosure. The structure is wood framed posts, beams, and rafters.
The enclosure gross area is 30.31 sqm of addition to the back of the house. Its height is 3.7m.
The enclosure is 4.578m by 6.75m in dimension.
This structure shall be used for sitting and reading books for the family.

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.59m
Rear yard setback	8.42m
Side yard setback	1.23m
Side yard setback	0.72m

PROPOSED

Front yard setback	4.59m existing to remain
Rear yard setback	3.8m from structure and 3.6m from roof overhang of structure
Side yard setback	1.23 existing to remain
Side yard setback	0.72m existing to remain

0. Date of Acquisition of subject land: January 27, 2021

1. Existing uses of subject property: Residential Dwelling

2. Proposed uses of subject property: Existing Residential Dwelling to remain

3. Existing uses of abutting properties: Residential Dwelling

4. Date of construction of all buildings & structures on subject land: unknown

5. Length of time the existing uses of the subject property have been continued: unknown

16. (a) What water supply is existing/proposed?
Municipal (circled)
Well
Other (specify) _____

(b) What sewage disposal is/will be provided?
Municipal (circled)
Septic
Other (specify) _____

(c) What storm drainage system is existing/proposed?
Sewers (circled)
Ditches
Swales
Other (specify) _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes **No** ×

If answer is yes, provide details: **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

Yes **No** ×

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes **No** **Unknown** ×

If answer is yes, provide details:

File # _____ **Decision** _____ **Relief** _____
File # _____ **Decision** _____ **Relief** _____
File # _____ **Decision** _____ **Relief** _____

Karen Melocotones Digitally signed by Karen Melocotones

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 7 DAY OF July, 2025.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Maxim Merchasin, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 07 DAY OF

July, 2025

Mercelyn Osayamen Osaze
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 20, 2028.

A Commissioner etc.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

Enforcement Action File Number: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

DATE RECEIVED July 07, 2025

Mercelyn

PERMISSION TO ENTER

To. The Secretary Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND 31 GROUSE LANE BRAMPTON ON L6Y 5K9

I/We. VIKAS LUTHRA & AMANPREET KAUR
(please print/type the full name of the owner(s))

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12 day of June , 2025

(Signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(Where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND 31 GROUSE LANE BRAMPTON ON L6Y 5K9

I/We, VIKAS LUTHRA & AMANPREET KAUR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

MAX MERCHASIN / KAREN MELOCOTONES OF ACADIA DESIGN CONSULTANTS INC.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 12 day of June , 20 25 .

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

ACADIA
Design. Consultants

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E-mail: info@acadiadc.ca
Web: www.acadiadc.ca

June 18, 2025

Committee of Adjustment
City of Brampton
2 Wellington St W
Brampton, ON L6Y 4R2

Subject: Request for Relief from Rear Yard Setback for Sunroom Addition.

To Whom It May Concern:

We are submitting a Minor Variance application related to a proposed sunroom addition at the rear of the property located at 31 Grouse Lane The planned addition results in a rear yard setback of 3.60 metres, which does not conform to the requirements of the current Zoning By-law. As outlined in the examiner's notes, the by-law requires a minimum rear yard setback of 7.5 metres, or 6.0 metres where the rear yard area constitutes at least 25 percent of the minimum required lot area. Due to the configuration and depth of our lot, as well as the positioning of the existing home, achieving the required setback is not feasible without significantly compromising the functionality and purpose of the proposed addition. The sunroom is intended to serve as a passive, seasonal space that enhances the livability of our home by providing natural light and a sheltered transition between the indoors and backyard.

We believe that the requested variance meets all four tests set out under Section 45(1) of the Planning Act: it maintains the general intent and purpose of both the Official Plan and the Zoning By-law, represents an appropriate and desirable form of development for the site, and is minor in nature. For these reasons, we respectfully request the Committee's favorable consideration of our application. We remain available to provide any additional information or clarification as needed and thank you for your time and attention to this matter.

Sincerely,

Karen Melocotones Digitally signed by Karen Melocotones

Karen Melocotones
Acadia Design Consultants Inc.
647-478-9292

KEY PLAN: 31 Grouse Lane, Brampton, ON L6Y 5K93V6.

KEY PLAN

SCOPE: PROPOSED UNHEATED ADDITION

INDEX SHEET

A0	COVER PAGE
A0.1	SITE PLAN
A1	PROPOSED PLAN
A2	EXISTING REAR ELEVATION
A2.1	PROPOSED REAR ELEVATION
A3	PROPOSED SIDE ELEVATIONS
A4	SECTION AT PROPOSED ADDITION
A5	DETAILS

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17030018
P. GRAY
June 6, 2025

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2	21-06-2025	ISSUED FOR CLIENT REVIEW
3	09-06-2025	ISSUED FOR PERMIT
4	18-06-2025	ISSUED FOR MINOR VARIANCE APPLICATION

DRAWN BY:	CHECKED BY:
BS	MM

Drawing: COVER PAGE

A0

Scale:

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

SITE STATISTICS

ZONING INFORMATION & SITE STATISTICS:

R1B	EXISTING		PROPOSED		ZONING BYLAW ALLOWANCE	NOTES:
LOT AREA:	444.405m² (4783.575 ft²)					
LOT COVERAGE TOTAL	187.7m² (2020.4 ft²)	42.2%	218.01m² (2346.66 ft²)	49%	N/A	NO MAXIMUM LOT COVERAGE
BUILDING HEIGHT	6.4m (21')		EXISTING TO REMAIN		10.6m	AS PER EXISTING CONDITIONS
BUILDING LENGTH	12.61m (41'-4 3/8")		17.19m (56'-4 7/8")		N/A	
FRONT YARD SETBACK	4.5m		AS PER EXISTING CONDITIONS		6.0m	
SIDE YARD "A" SETBACK (INTERIOR)	1.23m		AS PER EXISTING CONDITIONS		1.2m	
SIDE YARD "B" SETBACK (INTERIOR)	0.7m		AS PER EXISTING CONDITIONS		1.2m	
REAR YARD SETBACK	8.42m		3.60m		7.5m	3.60m TO NEW FOUNDATION. 3.842m FROM ENCLOSURE TO PROPERTY LINE.

SURVEY INFORMATION:

DISCLOSURE: SITE SETBACKS AND LOT INFORMATION TAKEN FROM ORIGINAL SURVEY THAT WAS CREATED BY:

SURVEY INFORMATION TAKEN FROM: J. D. BARNES
DONE ON: NOVEMBER 3, 2004
LOT NUMBER: 65
PLAN NUMBER: 43M-1523

EXISTING PARKING

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- GREEN AREA
- PROPERTY LINE
- PL
- EXISTING MAIN DOOR
- EXISTING SIDE DOOR
- SL.DR LOCATION OF SLIDING DOOR AT REAR
- PROPOSED NEW DOOR

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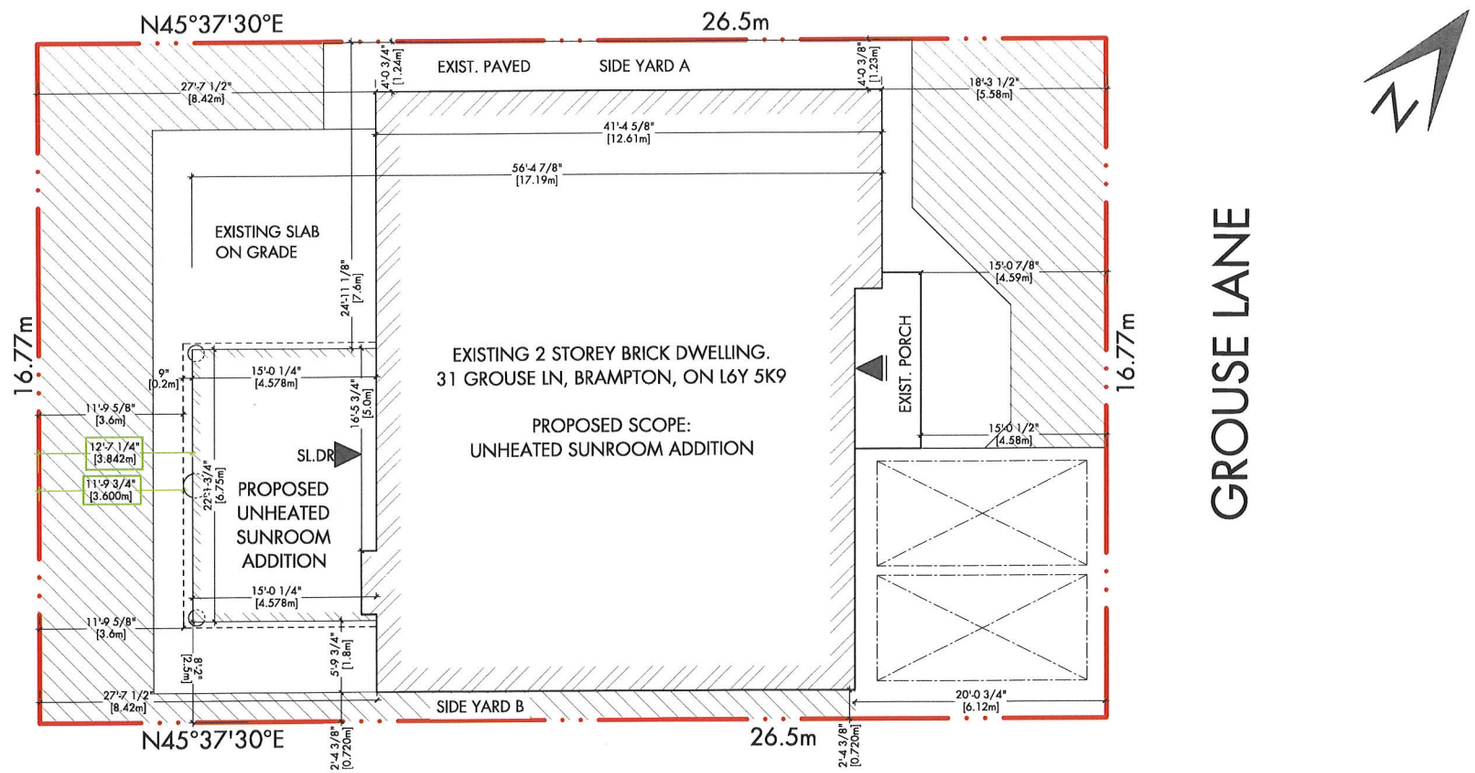
June 6, 2025



1 | SITE PLAN
A0.1 | 3/32" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: SITE PLAN

A0.1

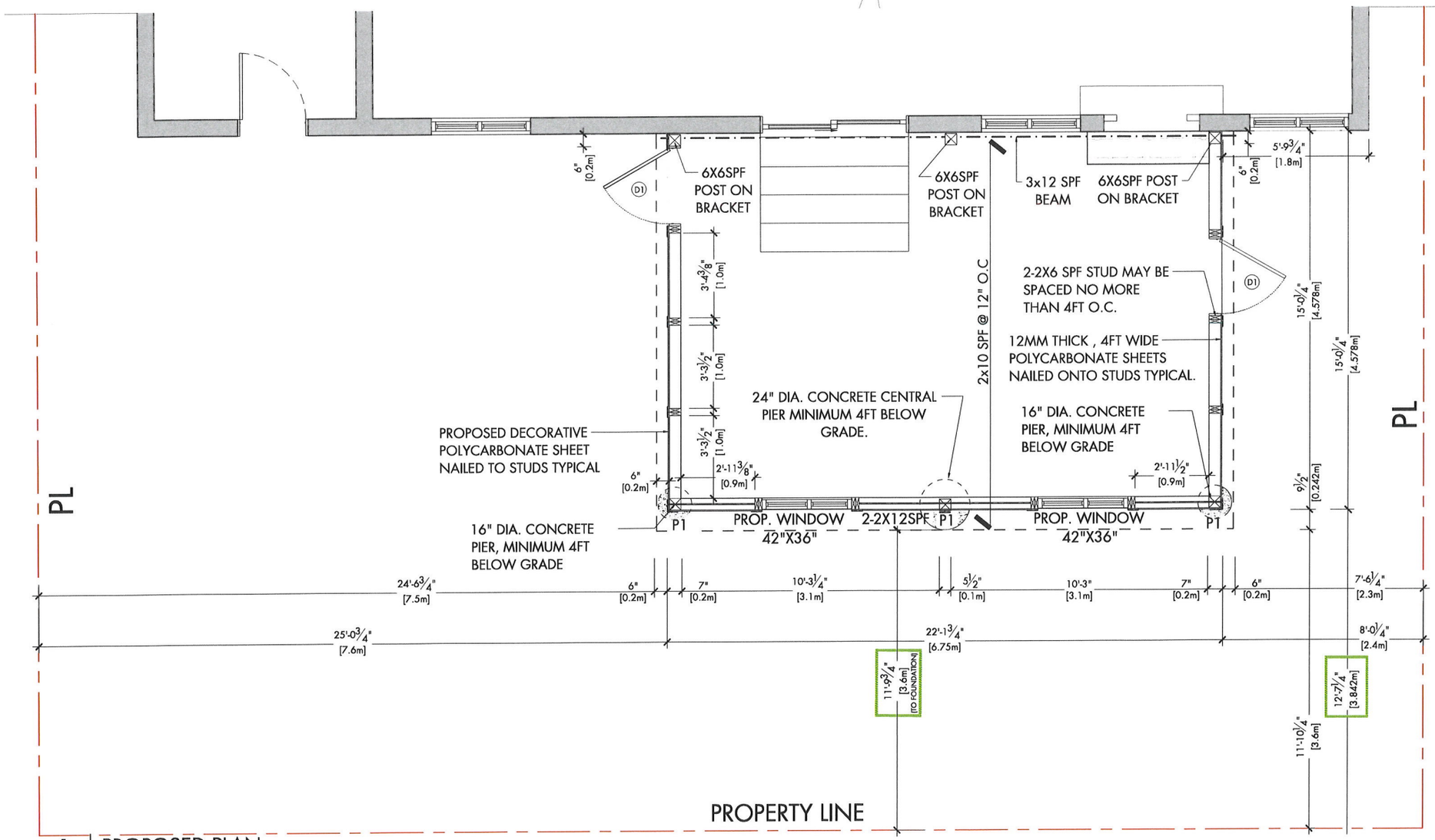
Scale: 3/32" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

LEGEND:

P1 6X6 P.T POST WITH PIER FOUNDATION
PL PROPERTY LINE
EXISTING PARTITIONS
(D1) 38" x 80" EXTERIOR DOOR



1 PROPOSED PLAN
A1 1/4" = 1'-0"

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June 6, 2025

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: PROPOSED PLAN
A1

Scale: 1/4" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

1 | EXISTING REAR ELEVATION
A2 | 3/16" = 1'-0"

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REGISTERED PROFESSIONAL ENGINEER
17030018
D.E. GRAY
PROVINCE OF ONTARIO
June 6, 2025

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DRAWN BY:	CHECKED BY:
BS	MM

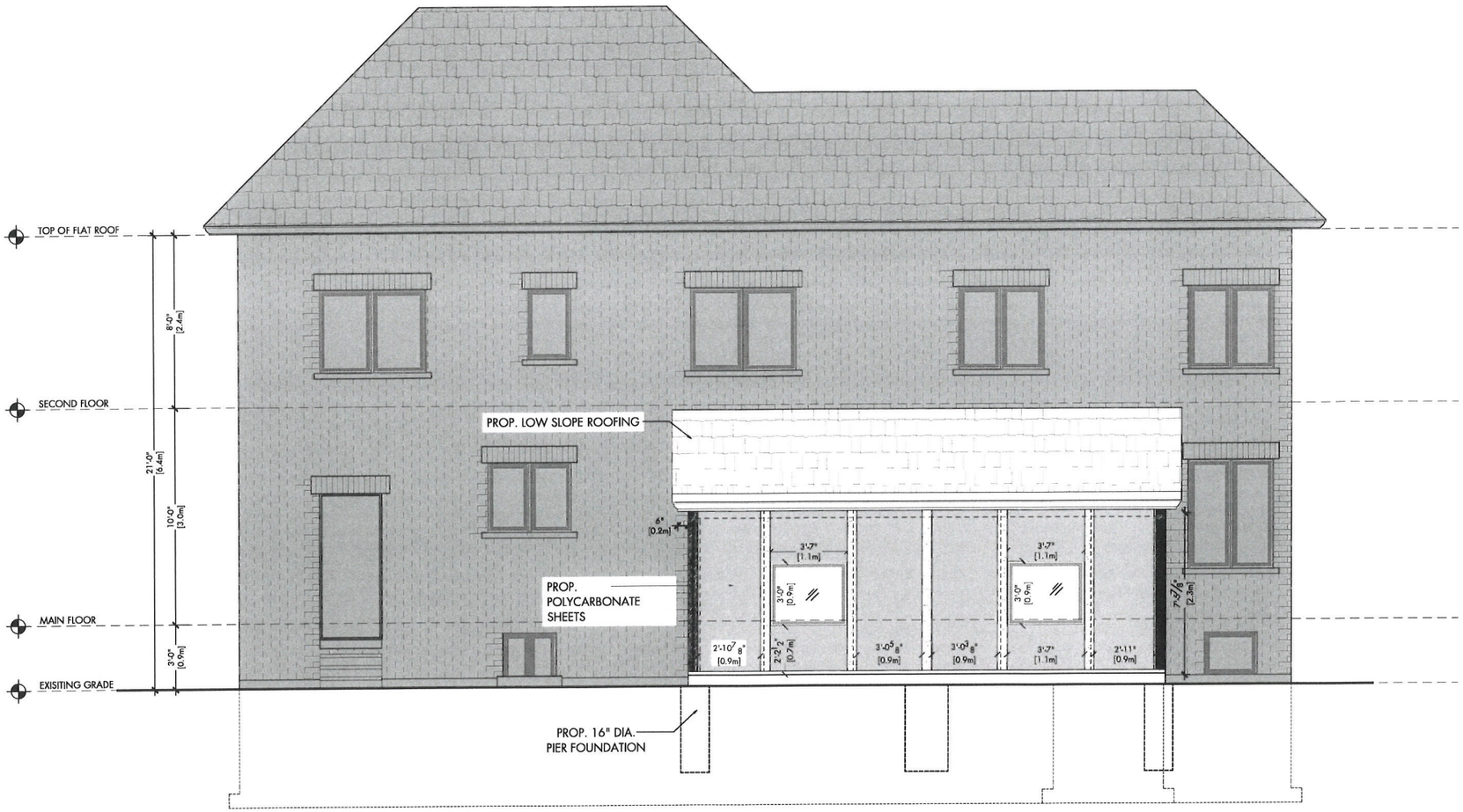
Drawing: EXISTING ELEVATION

A2

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9



OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 3.7 M
- Area of Exposed Building Face..... =22.2 SQM (239.4 SF)
- Table 9.10.15.4 (With Max. Area = 20 SQM, Ld = 3 M) Allowable Percentage of Glazed Openings = 30% (21.5 SF)

1 | PROPOSED REAR ELEVATION
A2.1 | 3/16" = 1'-0"

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B. GRAY
June 6, 2025

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DRAWN BY: BS
CHECKED BY: MM

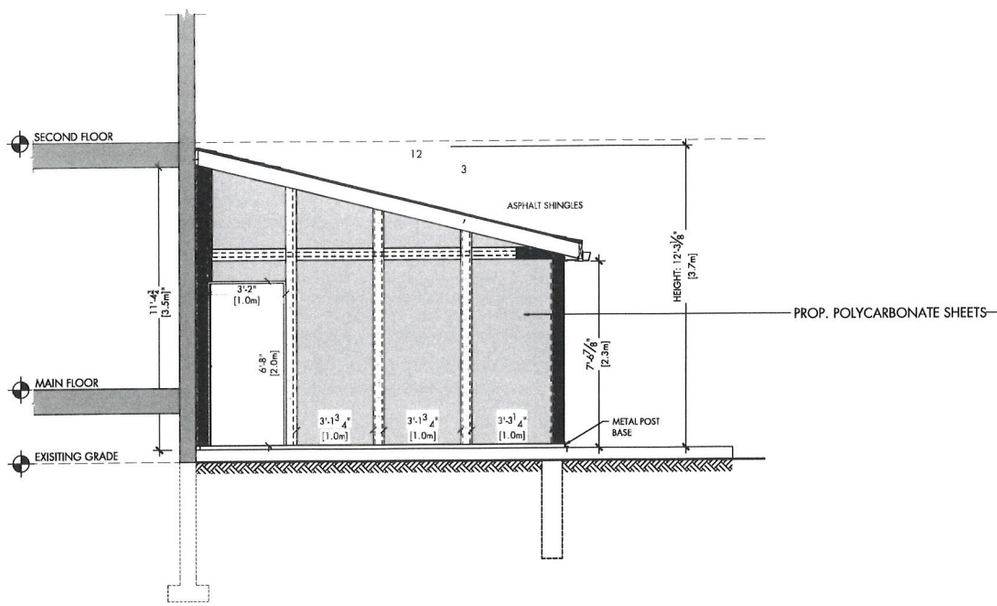
Drawing: PROPOSED REAR ELEVATION

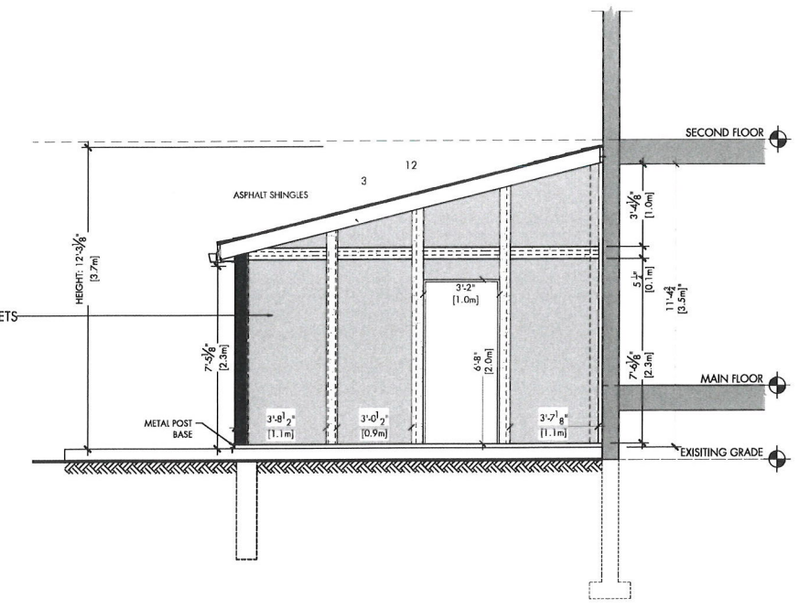
A2.1

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9





OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 7.5 M
- Area of Exposed Building Face..... =14 SQM (151.4 SF)
- Table 9.10.15.4 (With Max. Area = 10 SQM, Ld = 6 M) Allowable Percentage of Glazed Openings = 100% (151.4 SF)
- Actual Percentage of Glazed Openings = 12.5 % (1.77 SQM)

OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 2.5 M
- Area of Exposed Building Face..... =14 SQM (151.4 SF)
- Table 9.10.15.4 (With Max. Area = 10 SQM, Ld = 2.5 M) Allowable Percentage of Glazed Openings = 33% (49.9SF)
- Actual Percentage of Glazed Openings = 12.5% (1.77 SQM)

1	PROPOSED SIDE ELEVATIONS
A3	3/16" = 1'-0"

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E. GRAY
June 6, 2025

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DRAWN BY:	CHECKED BY:
BS	MM

PROPOSED SIDE ELEVATIONS

Drawing: A3

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

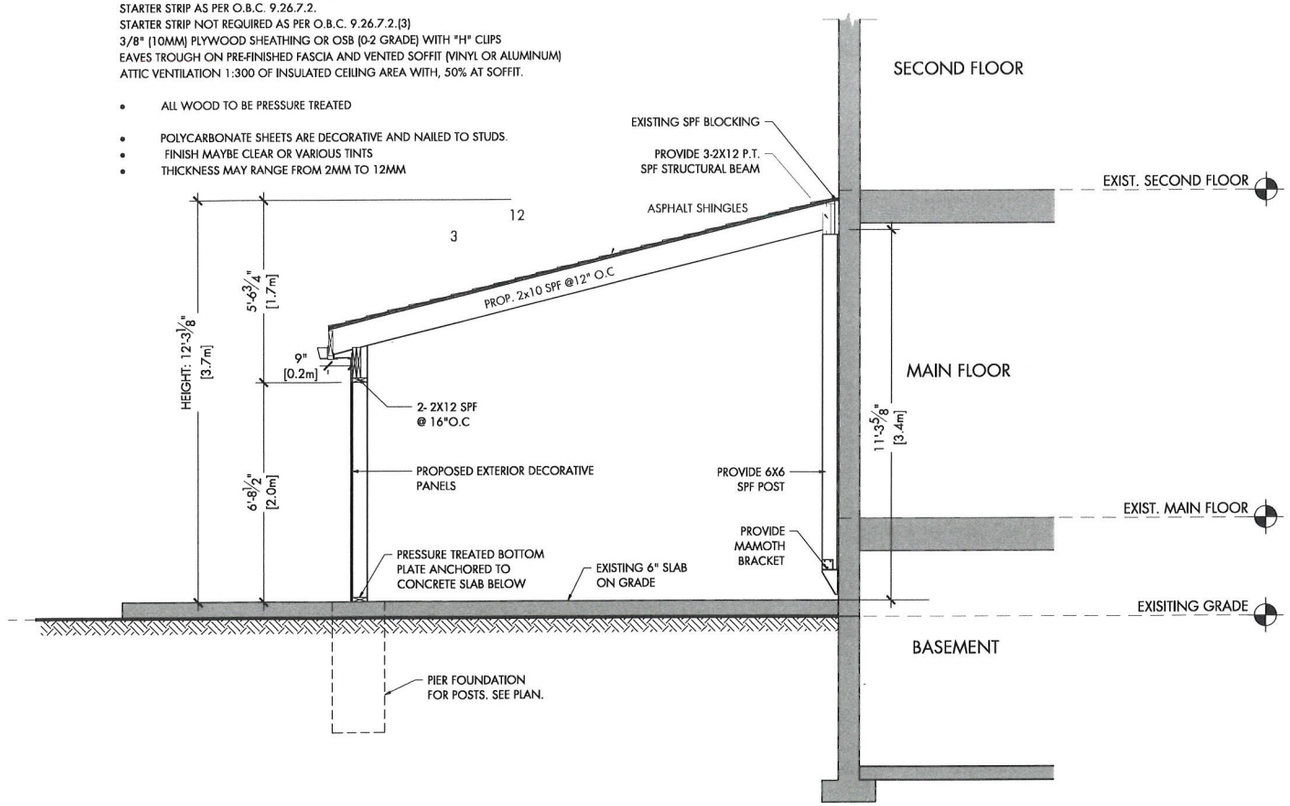
NOTES:

- ASPHALT SHINGLES

O.B.C 9.26. & TABLE A4
NO.210 (30. 5KG/M2) ASPHALT SHINGLES
FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900MM) FROM EDGE TO A LINE NOT LESS THAN 12" (300MM) PAST THE INSIDE FACE OF EXTERIOR WALL.
EAVES PROTECTION LAID BENEATH STARTER STRIP.
EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
STARTER STRIP AS PER O.B.C. 9.26.7.2.
STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
3/8" (10MM) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
EAVES TROUGH ON PRE-FINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

- ALL WOOD TO BE PRESSURE TREATED

- POLYCARBONATE SHEETS ARE DECORATIVE AND NAILED TO STUDS.
- FINISH MAYBE CLEAR OR VARIOUS TINTS
- THICKNESS MAY RANGE FROM 2MM TO 12MM



1 | SECTION AT PROPOSED ADDITION
A4 | 3/8" = 1'-0"

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17030016
P. GRAY
June 6, 2025

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: SECTION
A4

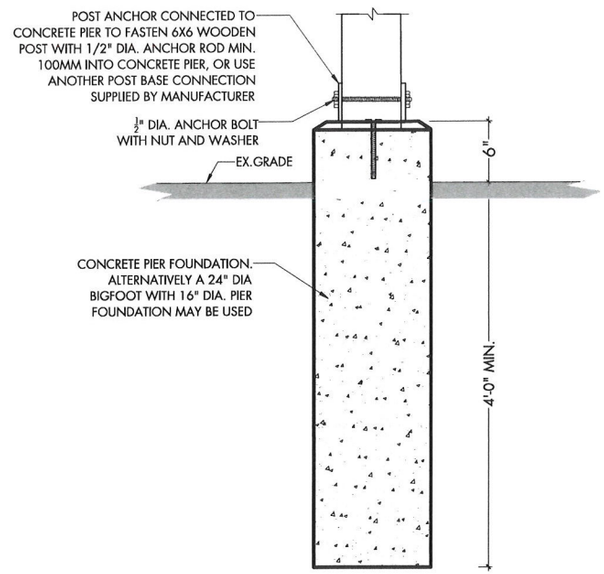
Scale: 3/8" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

LEGEND

- EXISTING TO REMAIN
- PROPOSED CONCRETE
- PROPOSED CONSTRUCTION



1 | SECTION AT PIER TYPICAL
A5 | 3/16" = 1'-0"

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17030016
B. GRAY
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2	21-06-2025	ISSUED FOR CLIENT REVIEW
3	09-06-2025	ISSUED FOR PERMIT
4	18-06-2025	ISSUED FOR MINOR VARIANCE APPLICATION

DRAWN BY:	CHECKED BY:
BS	MM

DETAILS

Drawing: A5

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED UNHEATED SUNROOM ADDITION
31 GROUSE LANE
MISSISSAUGA, ON
L5N 3V6

Zoning Non-compliance Checklist

File No. A-2025-0063

Owner: VIKAS LUTHRA
Address: 31 GROUSE LANE
Zoning: R1B-2730
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 3.60m to a proposed sunroom addition	whereas the by-law requires a minimum rear yard setback of 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.	2730.2 (e)
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

June 25, 2025
Date

KEY PLAN: 31 Grouse Lane, Brampton, ON L6Y 5K93V6.

KEY PLAN

SCOPE: PROPOSED SUNROOM ADDITION

INDEX SHEET

A0	COVER PAGE
A0.1	SITE PLAN
A1	PROPOSED PLAN
A2	EXISTING REAR ELEVATION
A2.1	PROPOSED REAR ELEVATION
A3	PROPOSED SIDE ELEVATIONS
A4	SECTION AT PROPOSED ADDITION
A5	DETAILS

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17030016
GRAY
June 6, 2025

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DRAWN BY: BS
CHECKED BY: MM

Drawing: COVER PAGE
A0

Scale:

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

SITE STATISTICS

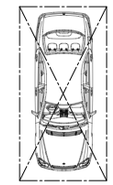
ZONING INFORMATION & SITE STATISTICS:

R1B	EXISTING		PROPOSED		ZONING BYLAW ALLOWANCE	NOTES:
LOT AREA:	444.405m² (4783.575 ft²)					
LOT COVERAGE TOTAL	187.7m² (2020.4 ft²)	42.2%	218.01m² (2346.66 ft²)	49%	N/A	NO MAXIMUM LOT COVERAGE
BUILDING HEIGHT	6.4m (21')		EXISTING TO REMAIN		10.6m	AS PER EXISTING CONDITIONS
BUILDING LENGTH	12.61m (41'-4 5/8")		17.19m (56'-4 5/8")		N/A	
FRONT YARD SETBACK	4.5m		AS PER EXISTING CONDITIONS		6.0m	
SIDE YARD "A" SETBACK (INTERIOR)	1.23m		AS PER EXISTING CONDITIONS		1.2m	
SIDE YARD "B" SETBACK (INTERIOR)	0.7m		AS PER EXISTING CONDITIONS		1.2m	
REAR YARD SETBACK	8.42m		3.60m		7.5m	3.60m TO NEW FOUNDATION. 3.842m FROM ENCLOSURE TO PROPERTY LINE.

SURVEY INFORMATION:

DISCLOSURE: SITE SETBACKS AND LOT INFORMATION TAKEN FROM ORIGINAL SURVEY THAT WAS CREATED BY:

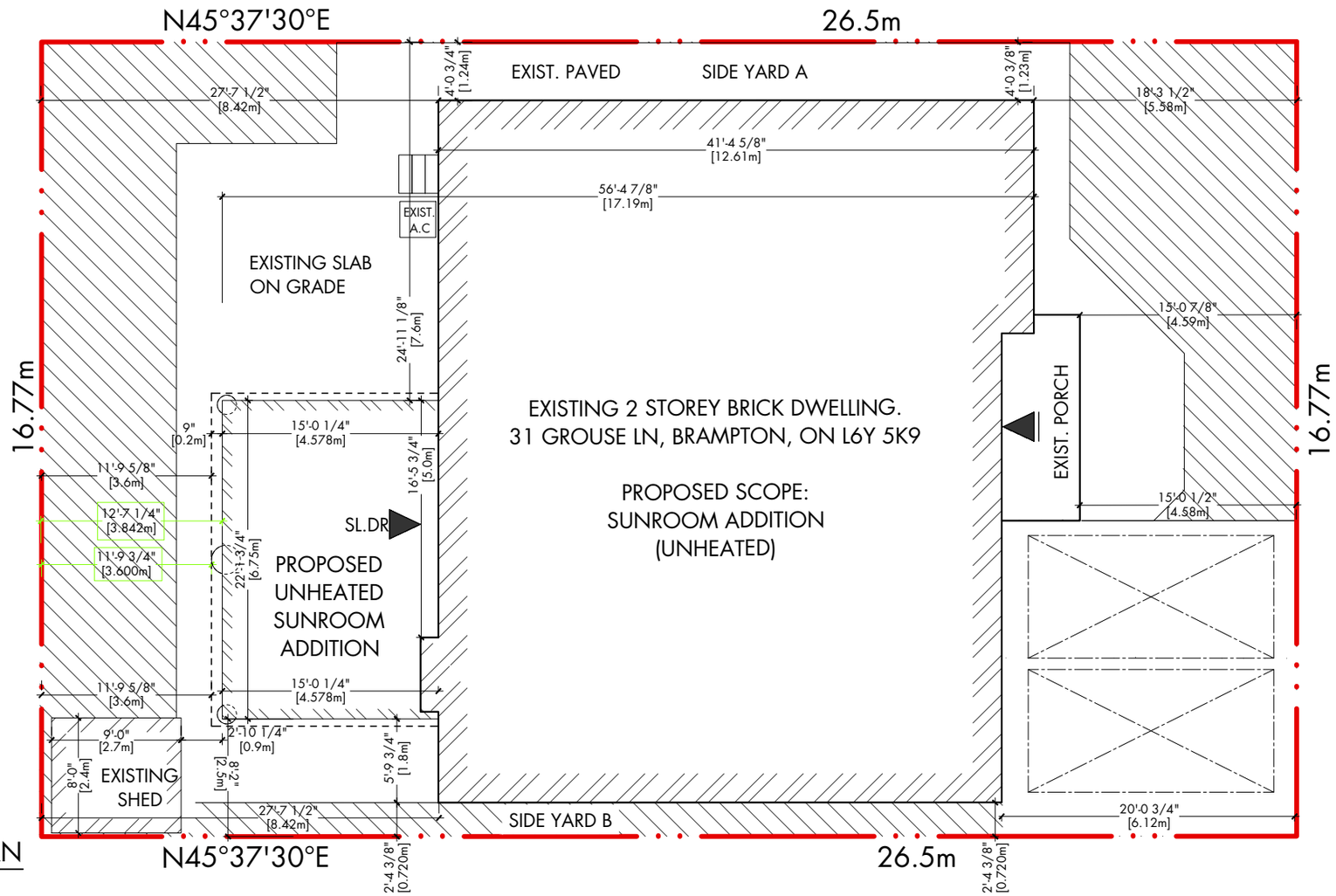
SURVEY INFORMATION TAKEN FROM: J. D. BARNES
DONE ON: NOVEMBER 3, 2004
LOT NUMBER: 65
PLAN NUMBER: 43M-1523



EXISTING PARKING

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- GREEN AREA
- PL — PROPERTY LINE
- EXISTING MAIN DOOR
- EXISTING SIDE DOOR
- SL.DR — LOCATION OF SLIDING DOOR AT REAR
- PROPOSED NEW DOOR



GROUSE LANE

1 | SITE PLAN
A0.1 | 3/32" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: SITE PLAN
A0.1

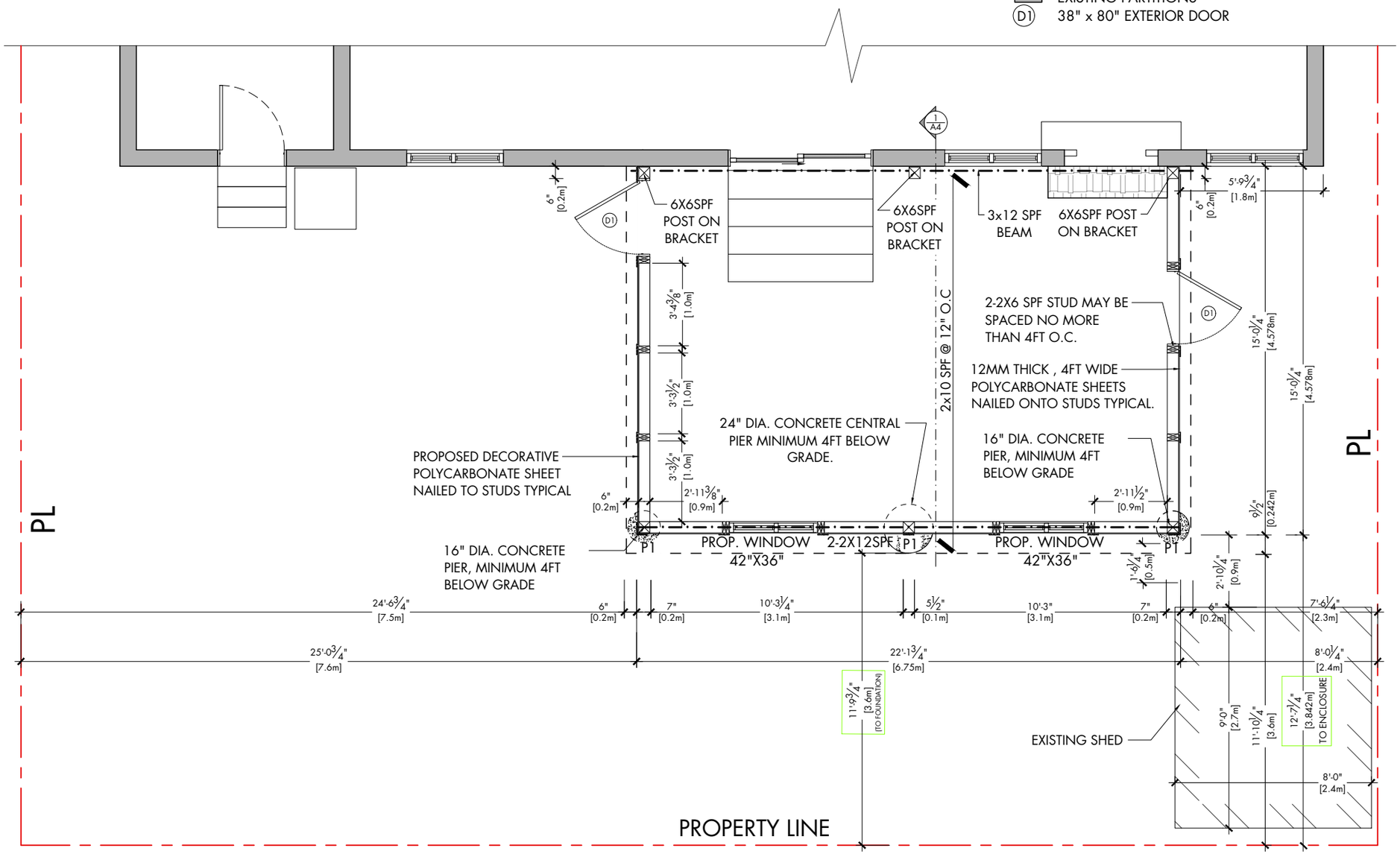
Scale: 3/32" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

LEGEND:

P1 6X6 P.T POST WITH PIER FOUNDATION
PL PROPERTY LINE
EXISTING PARTITIONS
D1 38" x 80" EXTERIOR DOOR



1 | PROPOSED PLAN
A1 | 3/16" = 1'-0"

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DRAWN BY: BS
CHECKED BY: MM

PROPOSED PLAN

Drawing: A1

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

PROPOSED SUNROOM ADDITION

Project: 31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

1 | EXISTING REAR ELEVATION

A2 | 3/16" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

EXISTING ELEVATION

Drawing: A2

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

PROPOSED SUNROOM ADDITION

Project: 31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

1 | PROPOSED REAR ELEVATION

A2.1 | 3/16" = 1'-0"

OBC 9.10.15.4 (1)

- Limiting Distance (Ld)..... 3.7 M
- Area of Exposed Building Face..... =22.2 SQM (239.4 SF)
- Table 9.10.15.4 (With Max. Area = 20 SQM, Ld = 3 M) Allowable Percentage of Glazed Openings = 30% (21.5 SF)

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June 6, 2025

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DRAWN BY: BS
CHECKED BY: MM

Drawing: PROPOSED REAR ELEVATION

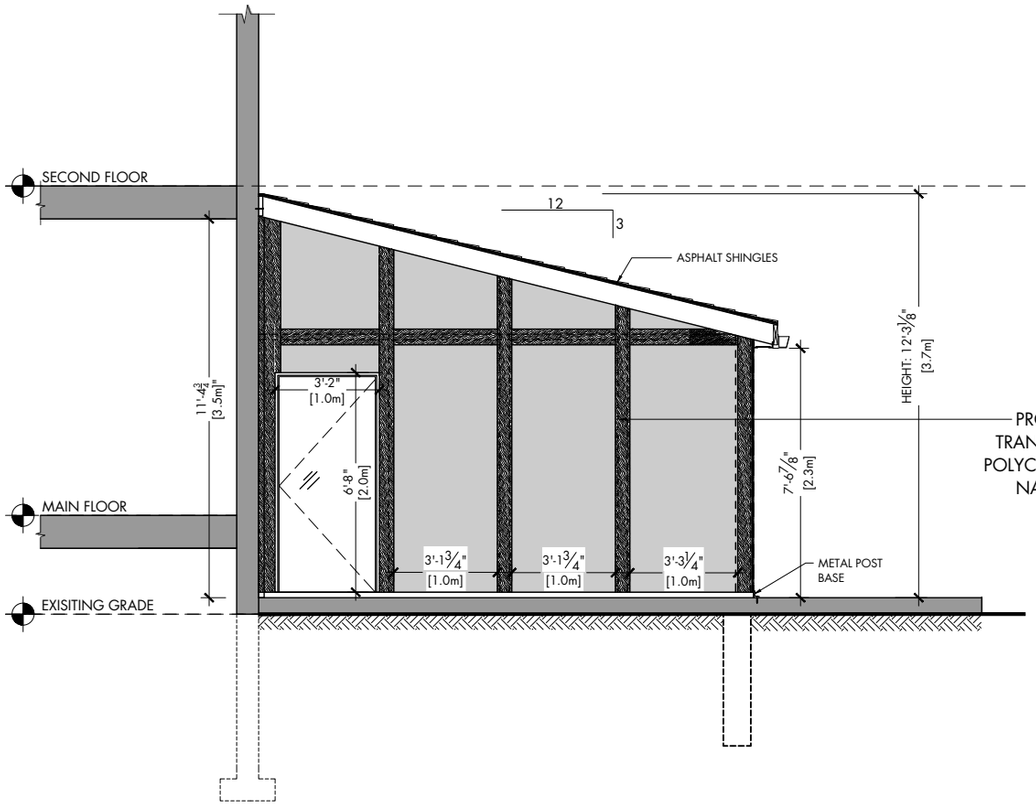
A2.1

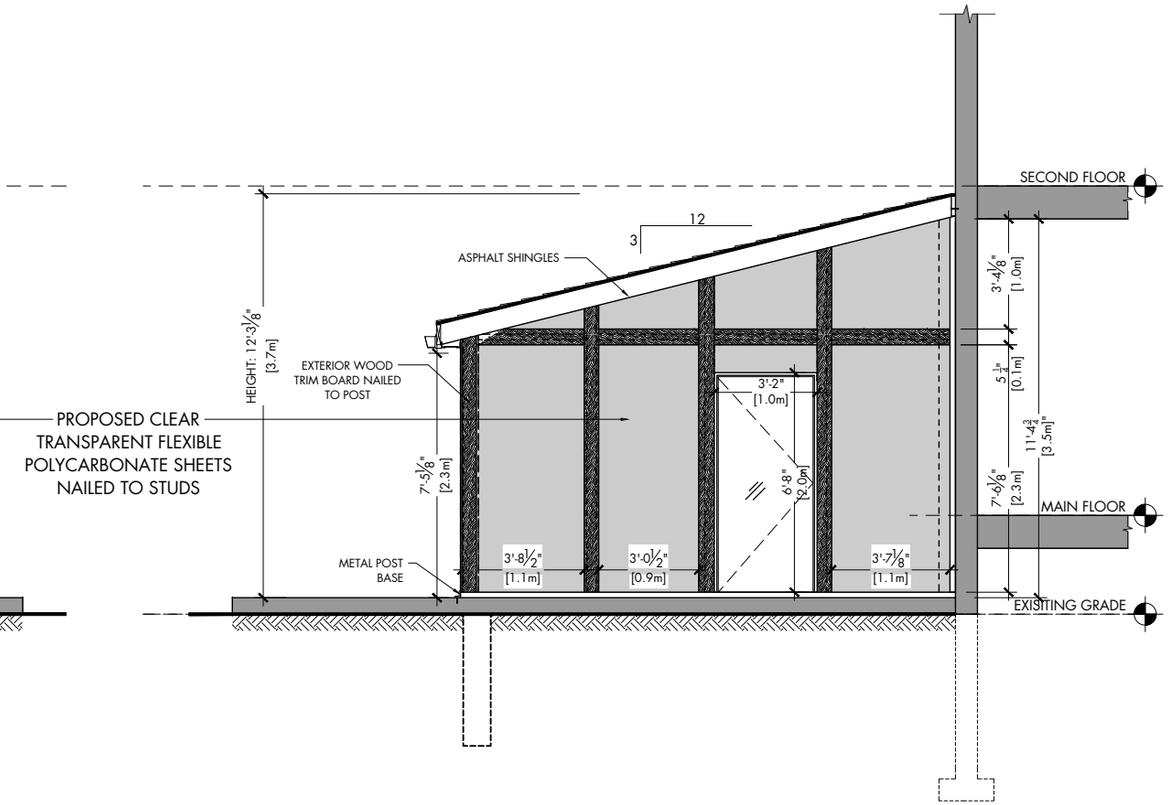
Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9





PROPOSED CLEAR
TRANSPARENT FLEXIBLE
POLYCARBONATE SHEETS
NAILED TO STUDS

WEST ELEVATION

OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 7.5 M
- Area of Exposed Building Face..... =14 SQM (151.4 SF)
- Table 9.10.15.4 (With Max. Area = 10 SQM, Ld = 6 M)
  Allowable Percentage of Glazed Openings = 100% (151.4 SF)
- Actual Percentage of Glazed Openings = 12.5 % (1.77 SQM)

EAST ELEVATION

OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 2.5 M
- Area of Exposed Building Face..... =14 SQM (151.4 SF)
- Table 9.10.15.4 (With Max. Area = 10 SQM, Ld = 2.5 M)
  Allowable Percentage of Glazed Openings = 33% (49.9SF)
- Actual Percentage of Glazed Openings = 12.5% (1.77 SQM)

1 | PROPOSED SIDE ELEVATIONS
A3 | 3/16" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: PROPOSED SIDE ELEVATIONS

A3

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

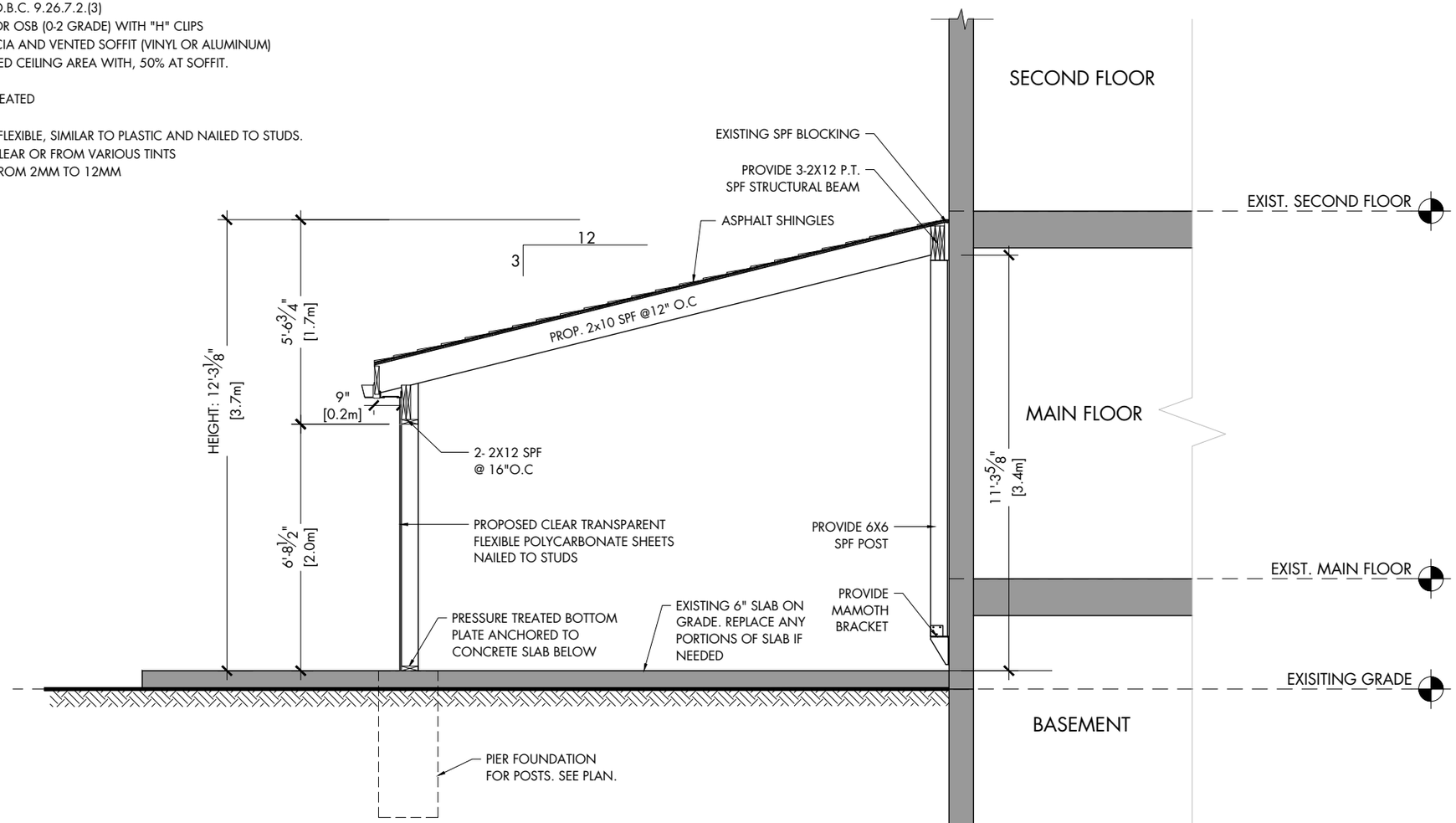
NOTES:

- ASPHALT SHINGLES:

O.B.C 9.26. & TABLE A4
NO.210 (30. 5KG/M2) ASPHALT SHINGLES
FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900MM) FROM EDGE TO A LINE NOT LESS THAN 12" (300MM) PAST THE INSIDE FACE OF EXTERIOR WALL.
EAVES PROTECTION LAID BENEATH STARTER STRIP.
EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
STARTER STRIP AS PER O.B.C. 9.26.7.2.
STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
3/8" (10MM) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
EAVES TROUGH ON PRE-FINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

- ALL WOOD TO BE PRESSURE TREATED

- POLYCARBONATE SHEETS ARE FLEXIBLE, SIMILAR TO PLASTIC AND NAILED TO STUDS.
- THE FINISH COLOUR MAY BE CLEAR OR FROM VARIOUS TINTS
- THE THICKNESS MAY RANGE FROM 2MM TO 12MM



1 | SECTION AT PROPOSED ADDITION
A4 | 1/4" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: SECTION AT PROPOSED ADDITION

A4

Scale: 1/4" = 1'-0"

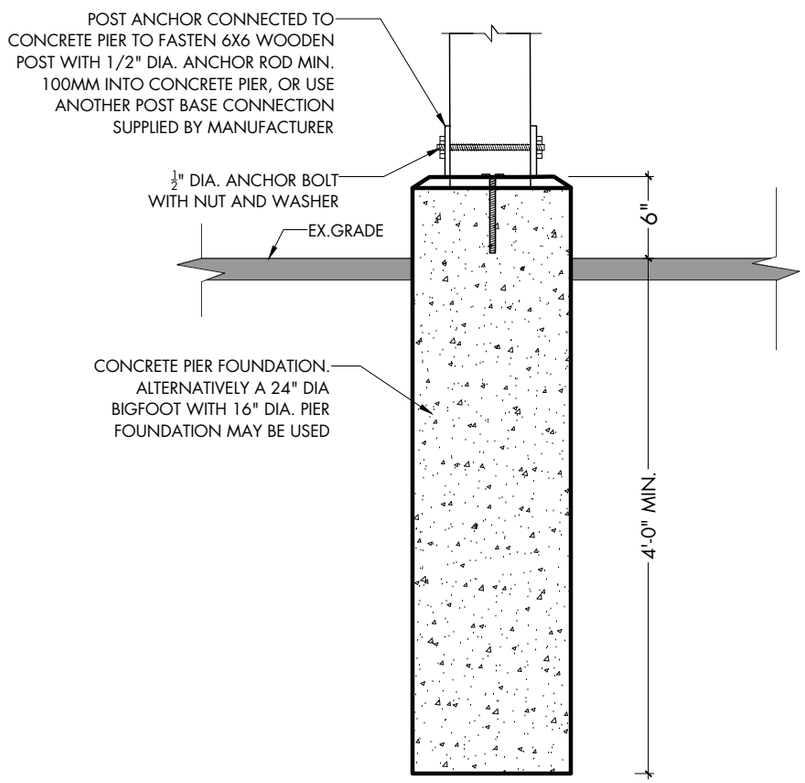
Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

LEGEND

- EXISTING TO REMAIN
- PROPOSED CONCRETE
- PROPOSED CONSTRUCTION



1 | SECTION AT PIER TYPICAL

A5 | 1" = 1'-0"

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Drawing: DETAILS

A5

Scale: 1" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

KEY PLAN: 31 Grouse Lane, Brampton, ON L6Y 5K93V6.

KEY PLAN

SCOPE: PROPOSED SUNROOM ADDITION

INDEX SHEET

A0	COVER PAGE
A0.1	SITE PLAN
A1	PROPOSED PLAN
A2	EXISTING REAR ELEVATION
A2.1	PROPOSED REAR ELEVATION
A3	PROPOSED SIDE ELEVATIONS
A4	SECTION AT PROPOSED ADDITION
A5	DETAILS

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CHECKED BY: MM

Drawing: COVER PAGE
A0

Scale:

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31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

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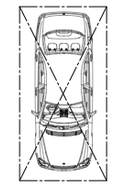

EXISTING PARKING

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- GREEN AREA
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- EXISTING MAIN DOOR
- EXISTING SIDE DOOR
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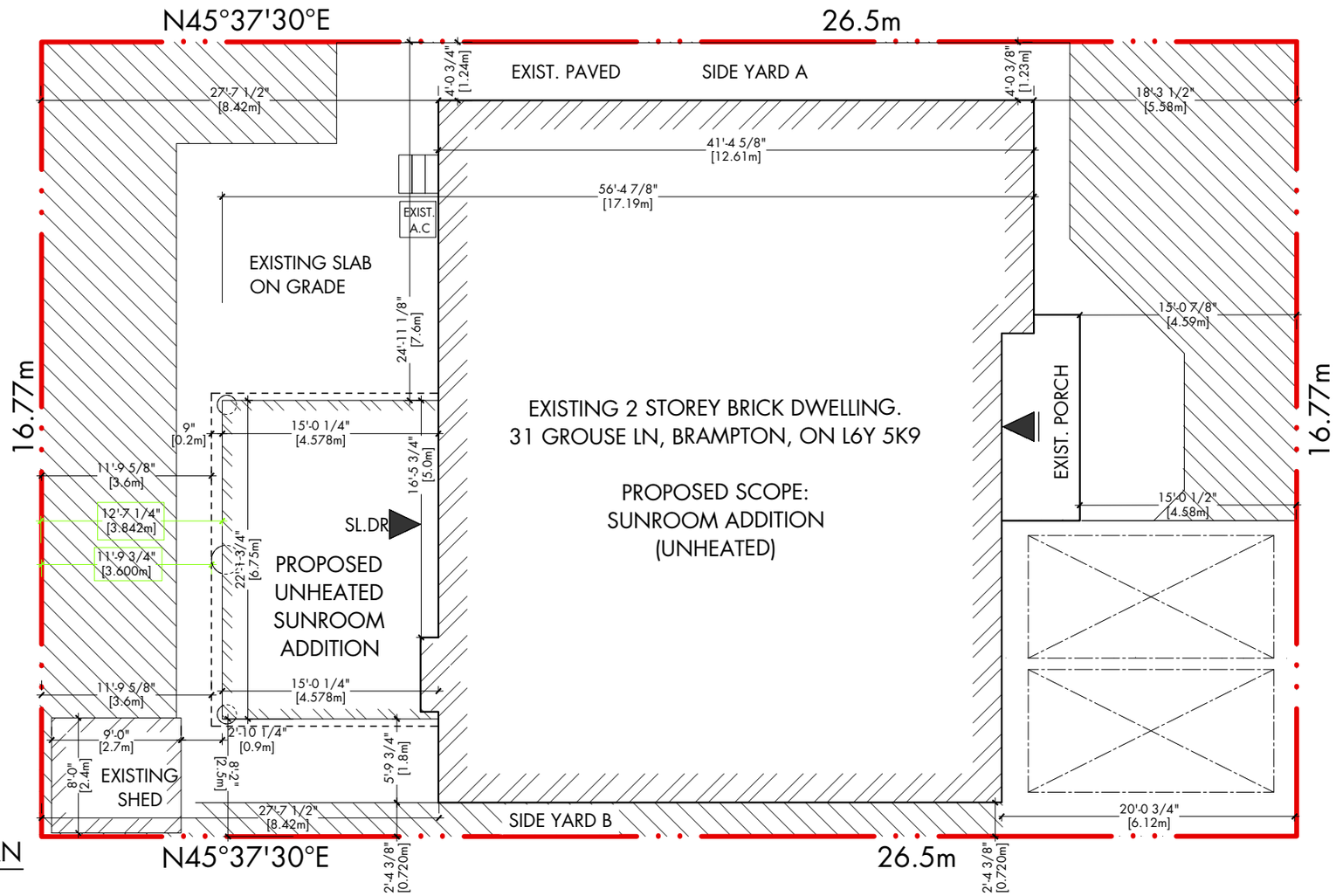

GROUSE LANE

1 | SITE PLAN
A0.1 | 3/32" = 1'-0"

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BS	MM

Drawing: SITE PLAN
A0.1

Scale: 3/32" = 1'-0"

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Project: PROPOSED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

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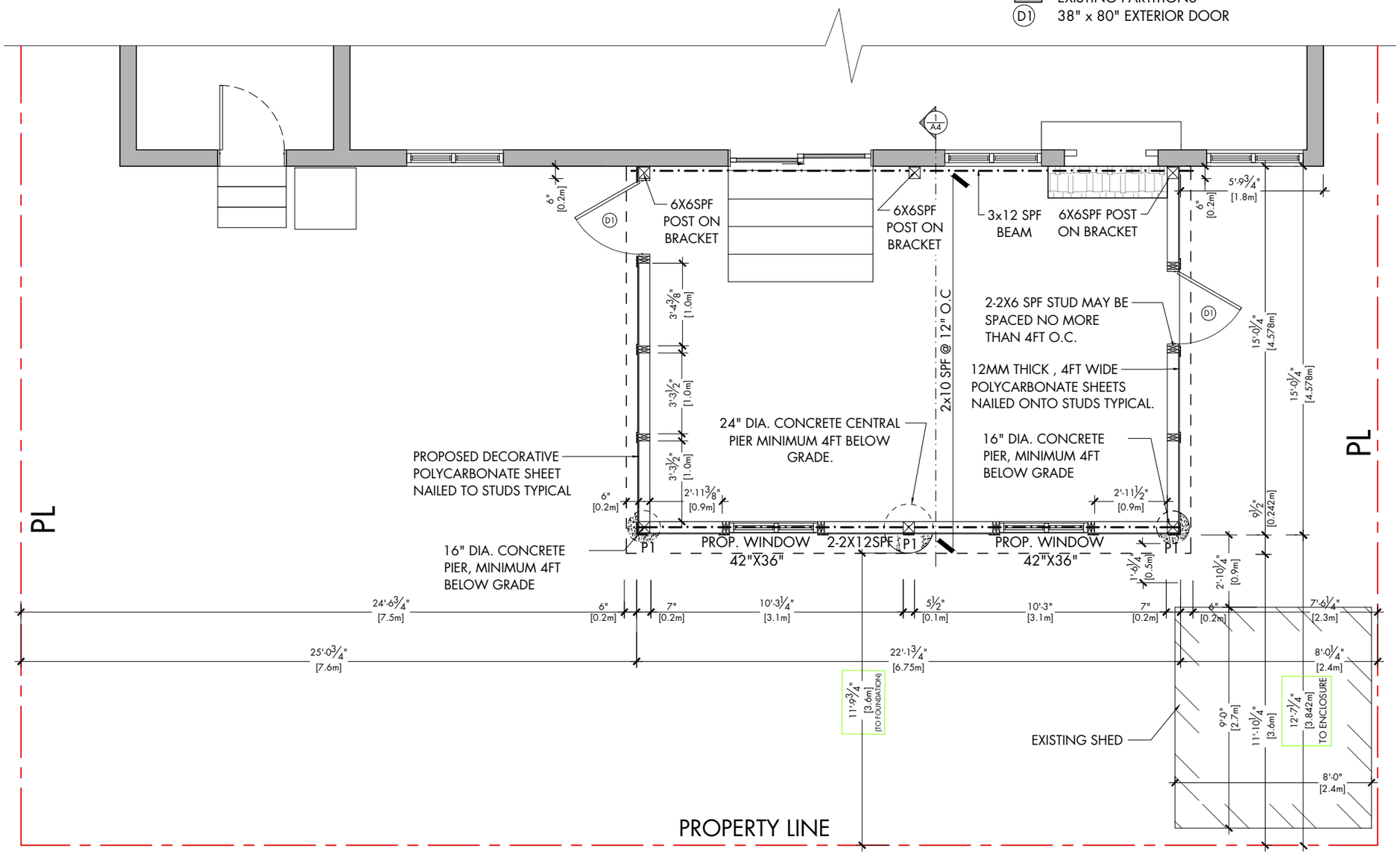

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DRAWN BY: BS
CHECKED BY: MM

PROPOSED PLAN

Drawing: A1

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

PROPOSED SUNROOM ADDITION

Project: 31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

1 | EXISTING REAR ELEVATION

A2 | 3/16" = 1'-0"

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REVISIONS & ISSUES:

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1	08-06-2025	ISSUED FOR CLIENT REVIEW
2	21-06-2025	ISSUED FOR CLIENT REVIEW
3	09-06-2025	ISSUED FOR PERMIT
4	18-06-2025	ISSUED FOR MINOR VARIANCE APPLICATION

DRAWN BY:	CHECKED BY:
BS	MM

EXISTING ELEVATION

Drawing: A2

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

PROPOSED SUNROOM ADDITION

Project: 31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

1 | PROPOSED REAR ELEVATION

A2.1 | 3/16" = 1'-0"

OBC 9.10.15.4 (1)

- Limiting Distance (Ld)..... 3.7 M
- Area of Exposed Building Face..... =22.2 SQM (239.4 SF)
- Table 9.10.15.4 (With Max. Area = 20 SQM, Ld = 3 M) Allowable Percentage of Glazed Openings = 30% (21.5 SF)

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17030018
B. GRAY
June 6, 2025

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DRAWN BY: BS
CHECKED BY: MM

Drawing: PROPOSED REAR ELEVATION

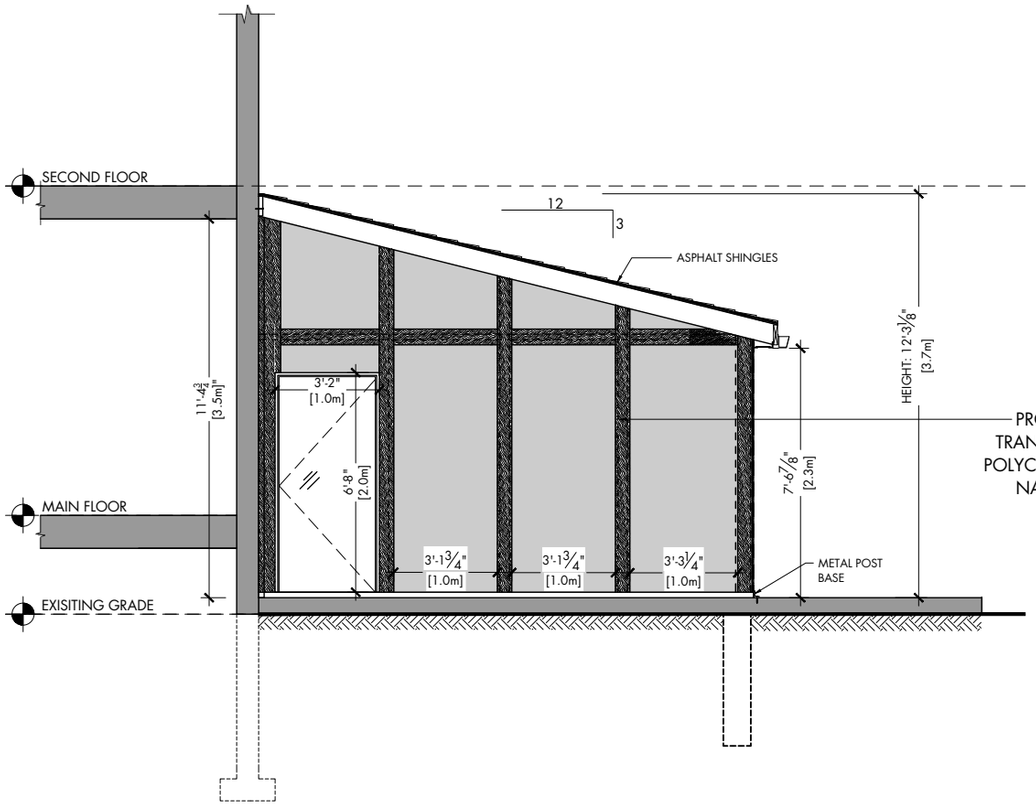
A2.1

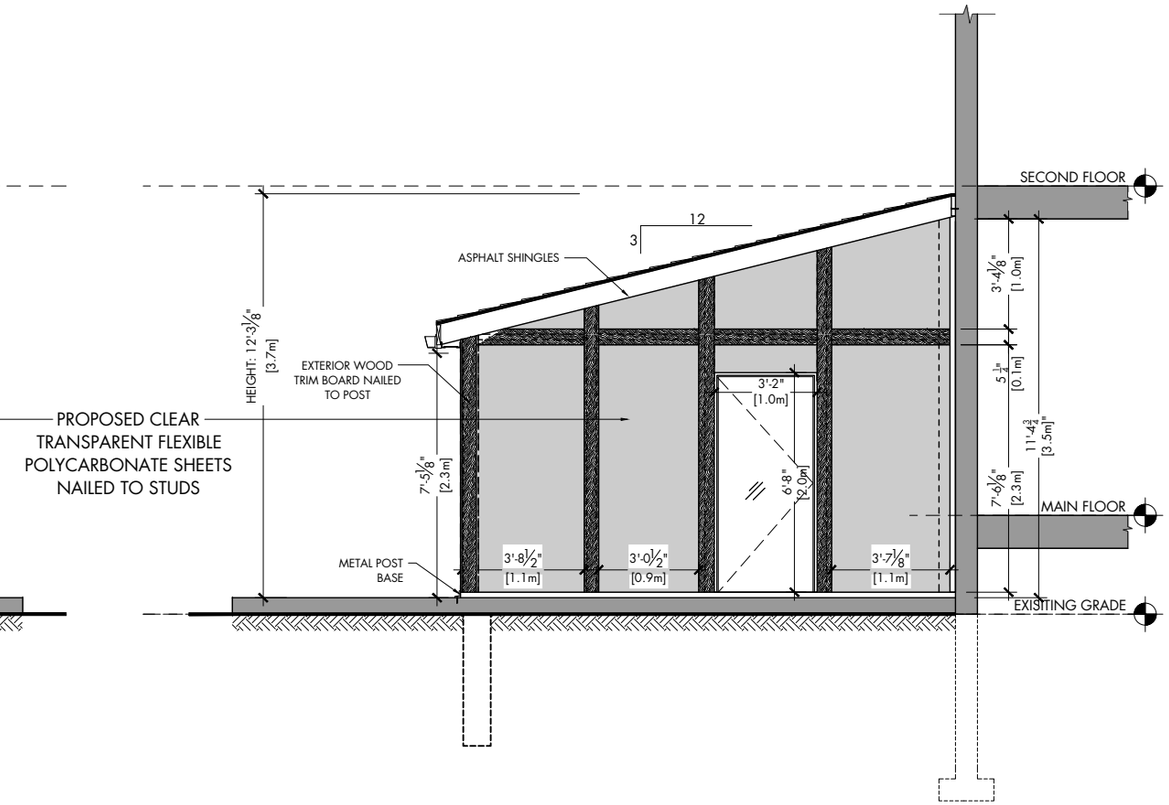
Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9





PROPOSED CLEAR
TRANSPARENT FLEXIBLE
POLYCARBONATE SHEETS
NAILED TO STUDS

WEST ELEVATION

OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 7.5 M
- Area of Exposed Building Face..... =14 SQM (151.4 SF)
- Table 9.10.15.4 (With Max. Area = 10 SQM, Ld = 6 M)
  Allowable Percentage of Glazed Openings = 100% (151.4 SF)
- Actual Percentage of Glazed Openings = 12.5 % (1.77 SQM)

EAST ELEVATION

OBC 9.10.15.4 (1)
- Limiting Distance (Ld)..... 2.5 M
- Area of Exposed Building Face..... =14 SQM (151.4 SF)
- Table 9.10.15.4 (With Max. Area = 10 SQM, Ld = 2.5 M)
  Allowable Percentage of Glazed Openings = 33% (49.9SF)
- Actual Percentage of Glazed Openings = 12.5% (1.77 SQM)

1 | PROPOSED SIDE ELEVATIONS
A3 | 3/16" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: PROPOSED SIDE ELEVATIONS

A3

Scale: 3/16" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION
31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

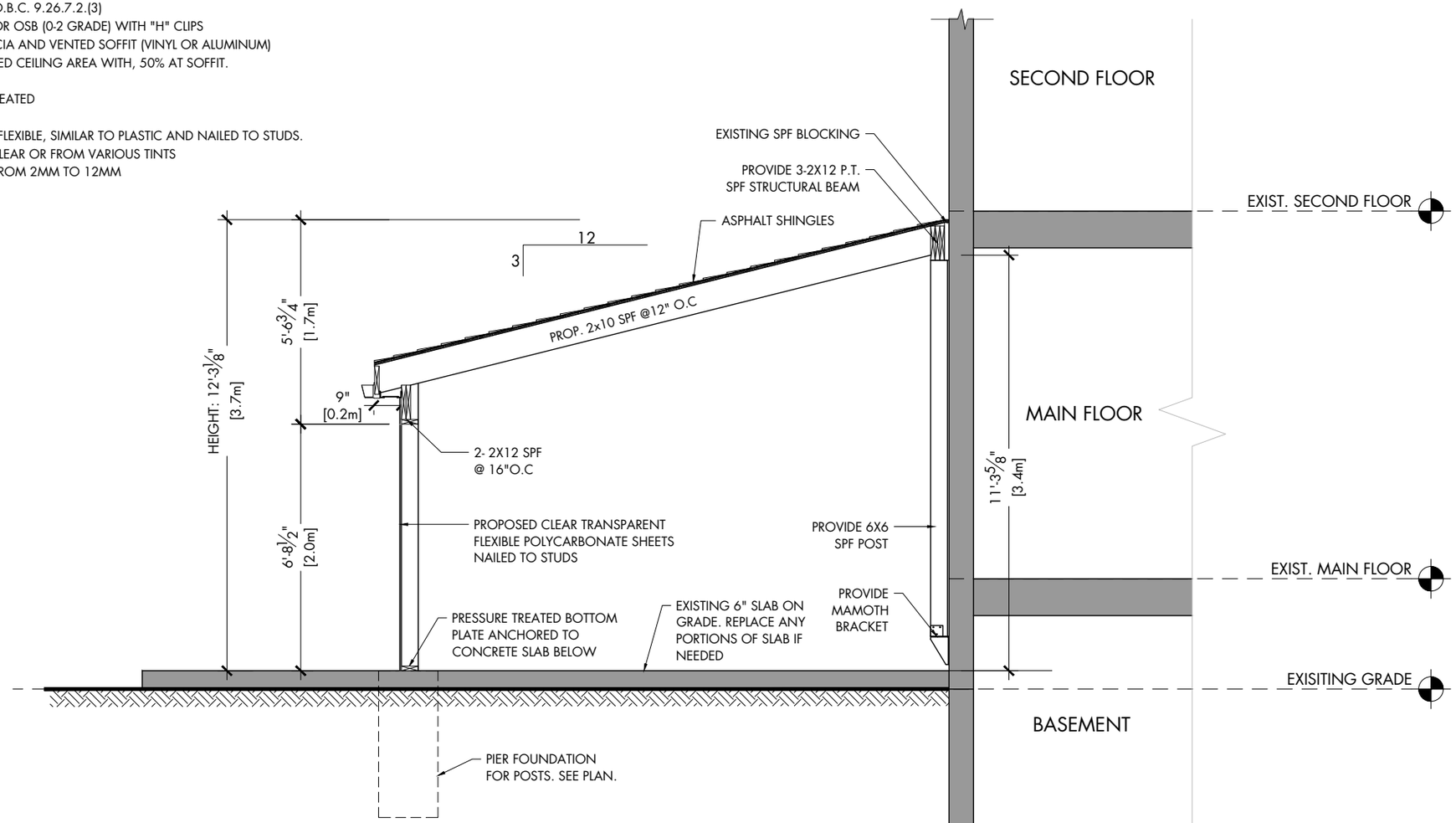
NOTES:

- ASPHALT SHINGLES:

O.B.C 9.26. & TABLE A4
NO.210 (30. 5KG/M2) ASPHALT SHINGLES
FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900MM) FROM EDGE TO A LINE NOT LESS THAN 12" (300MM) PAST THE INSIDE FACE OF EXTERIOR WALL.
EAVES PROTECTION LAID BENEATH STARTER STRIP.
EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
STARTER STRIP AS PER O.B.C. 9.26.7.2.
STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
3/8" (10MM) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
EAVES TROUGH ON PRE-FINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

- ALL WOOD TO BE PRESSURE TREATED

- POLYCARBONATE SHEETS ARE FLEXIBLE, SIMILAR TO PLASTIC AND NAILED TO STUDS.
- THE FINISH COLOUR MAY BE CLEAR OR FROM VARIOUS TINTS
- THE THICKNESS MAY RANGE FROM 2MM TO 12MM



1 | SECTION AT PROPOSED ADDITION
A4 | 1/4" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: SECTION AT PROPOSED ADDITION

A4

Scale: 1/4" = 1'-0"

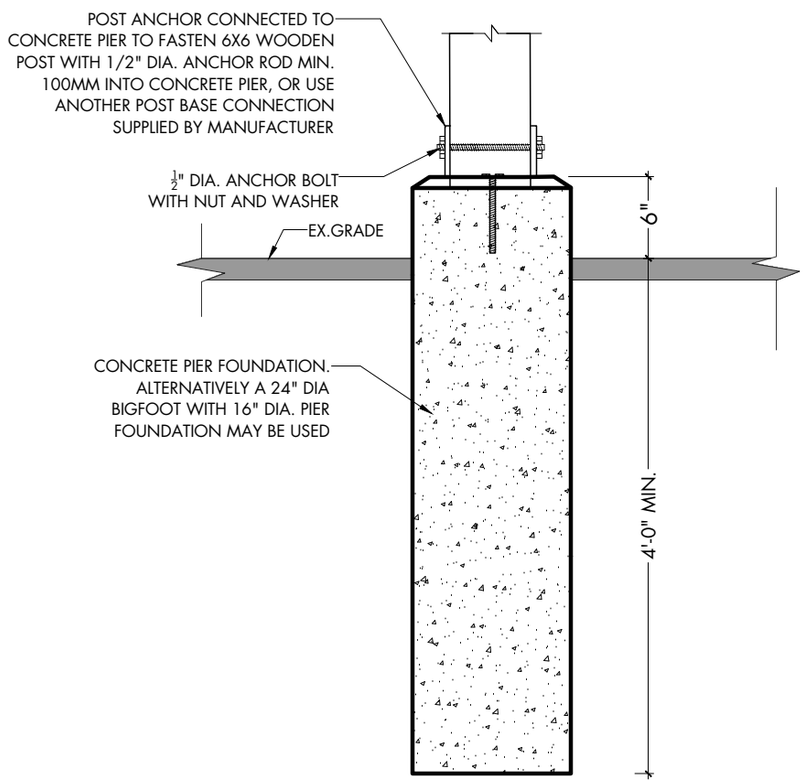
Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9

LEGEND

- EXISTING TO REMAIN
- PROPOSED CONCRETE
- PROPOSED CONSTRUCTION



1 | SECTION AT PIER TYPICAL

A5 | 1" = 1'-0"

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DRAWN BY:	CHECKED BY:
BS	MM

Drawing: DETAILS

A5

Scale: 1" = 1'-0"

Date: JUNE 04, 2025

Project: PROPOSED SUNROOM ADDITION

31 GROUSE LANE
BRAMPTON, ON
L6Y 5K9