

**Application for Minor Variance**Section 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

**Application Number:** A-2025-0063  
**Property Address:** 31 Grouse Lane  
**Legal Description:** Plan 43M1523, Lot 65, Ward 6  
**Agent:** Karen Melocotones of Acadia Design Consultants Inc.  
**Owner(s):** Vikas Luthra, Amanpreet Kaur  
**Other applications:** nil  
**under the *Planning Act***

**Meeting Date and Time:** Tuesday, August 26, 2025, at 9:30 am  
**Meeting Location:** Hybrid in-person and virtual meeting – Council Chambers,  
4<sup>th</sup> Floor Brampton City Hall, 2 Wellington Street West

**Purpose of the Application:**

1. To permit a rear yard setback of 3.60 metres to a proposed sunroom addition, whereas the by-law requires a minimum rear yard setback of 7.5 metres, which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.

**Participate in the Meeting:**

- Send an email with your written comments to [coa@brampton.ca](mailto:coa@brampton.ca). Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, August 21, 2025**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing [coa@brampton.ca](mailto:coa@brampton.ca) and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, August 21, 2025**, by emailing [coa@brampton.ca](mailto:coa@brampton.ca), and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

**Note:** Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

**Viewing Application Materials:** The application and related materials are available online at [www.brampton.ca/en/city-hall/meetings-agendas](http://www.brampton.ca/en/city-hall/meetings-agendas) and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at [www.brampton.ca](http://www.brampton.ca).

**Appeal Process:** If you wish to be notified of the decision of Committee, you must submit a written request to [coa@brampton.ca](mailto:coa@brampton.ca). This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting [olt.clo@ontario.ca](mailto:olt.clo@ontario.ca).

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 12th day of August 2025

Secretary Treasurer  
Committee of Adjustment, City Clerk's Office  
2 Wellington Street West, Brampton, L6Y 4R2  
E: [coa@brampton.ca](mailto:coa@brampton.ca)



SITE STATISTICS

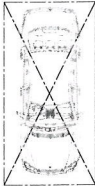
ZONING INFORMATION & SITE STATISTICS:

R1B	EXISTING	PROPOSED	ZONING BYLAW ALLOWANCE	NOTES:
LOT AREA:	444.405m² (4783.575 ft²)			
LOT COVERAGE TOTAL	187.7m² (2020.4 ft²) 42.2%	218.01m² (2346.66 ft²) 49%	N/A	NO MAXIMUM LOT COVERAGE
BUILDING HEIGHT	6.4m (21')	EXISTING TO REMAIN	10.6m	AS PER EXISTING CONDITIONS
BUILDING LENGTH	12.61m (41'-4 3/8")	17.19m (56'-4 5/8")	N/A	
FRONT YARD SETBACK	4.5m	AS PER EXISTING CONDITIONS	6.0m	
SIDE YARD "A" SETBACK (INTERIOR)	1.23m	AS PER EXISTING CONDITIONS	1.2m	
SIDE YARD "B" SETBACK (INTERIOR)	0.7m	AS PER EXISTING CONDITIONS	1.2m	
REAR YARD SETBACK	8.42m	3.60m	7.5m	3.60m TO NEW FOUNDATION. 3.842m FROM ENCLOSURE TO PROPERTY LINE.

SURVEY INFORMATION:


DISCLOSURE: SITE SETBACKS AND LOT INFORMATION TAKEN FROM ORIGINAL SURVEY THAT WAS CREATED BY:


SURVEY INFORMATION TAKEN FROM: J. D. BARNES  
DONE ON: NOVEMBER 3, 2004  
LOT NUMBER: 65  
PLAN NUMBER: 43M-1523





EXISTING PARKING


LEGEND


 EXISTING BUILDING


 PROPOSED BUILDING


 GREEN AREA

 PROPERTY LINE

 EXISTING MAIN DOOR

 EXISTING SIDE DOOR


 SL.DR LOCATION OF SLIDING DOOR AT REAR

 PROPOSED NEW DOOR

ACADIA

design-consultants

Phone: +1 (647) 478-9292  
Fax: +1 (877) 347-3479  
www.AcadiaDC.ca



June 6, 2025

The site plan illustrates the layout of an existing 2-storey brick dwelling and a proposed sunroom addition. The property is bounded by Grouse Lane to the north and east, and a rear yard to the south. The existing building is a rectangular structure with a main entrance and a side porch. The proposed sunroom addition is located to the west of the existing building, connected by a sliding door (SL.DR). The plan includes detailed dimensions for setbacks, lot coverage, and building footprints. Key features include an existing paved side yard, an existing slab on grade, and an existing shed. The proposed sunroom addition is unheated and will be integrated into the existing structure.

GROUSE LANE

1 | SITE PLAN

A0.1 | 3/32" = 1'-0"

DO NOT SCALE

CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ACADIA DESIGN CONSULTANTS INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

REVISIONS & ISSUES:

#	DATE	DESCRIPTION
1	08-06-2025	ISSUED FOR CLIENT REVIEW
2	21-06-2025	ISSUED FOR CLIENT REVIEW
3	09-06-2025	ISSUED FOR PERMIT
4	18-06-2025	ISSUED FOR MINOR VARIANCE APPLICATION

DRAWN BY: BS

CHECKED BY: MM

SITE PLAN

A0.1

Scale: 3/32" = 1'-0"

Date: JUNE 04, 2025

PROPOSED SUNROOM ADDITION

Project: 31 GROUSE LANE  
BRAMPTON, ON  
L6Y 5K9