

Flower City



brampton.ca

FILE NUMBER:

A-2025-0115

The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

Luciana Lorini

1. Name of Owner(s) Bruno Lorini  
Address \_\_\_\_\_  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
Email \_\_\_\_\_

2. Name of Agent DANIEL LORINI  
Address \_\_\_\_\_  
Phone # \_\_\_\_\_  
Email \_\_\_\_\_

3. Nature and extent of relief applied for (variances requested):  
Maintain a rear yard setback of 1.64m for the deck, whereas 3.6m is the required

4. Why is it not possible to comply with the provisions of the by-law?  
Insufficient rear yard depth

5. Legal Description of the subject land:  
Lot Number 130  
Plan Number/Concession Number 43M-1616  
Municipal Address 50 Carmel Crescent

6. Dimension of subject land (in metric units)  
Frontage 14.021 m  
Depth 26.0  
Area 364.55 m<sup>2</sup>

7. Access to the subject land is by:  
 Provincial Highway  
 Municipal Road Maintained All Year  
 Private Right-of-Way  
 Seasonal Road  
 Other Public Road  
 Water

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

2 Storey Detached Dwelling, Ground Floor Area 125.60 m<sup>2</sup>, Gross Floor Area 160.92 m<sup>2</sup>, Width, 11.55m, Length 14.9 m

Rear Porch 5.56 m<sup>2</sup>, Height 1.91 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Rear Deck 21.22 m<sup>2</sup>, Height 1.91 m

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 4.5 m

Rear yard setback 5.0 m

Side yard setback 1.24 m

Side yard setback 1.21 m

PROPOSED


Front yard setback

Rear yard setback 1.64 m

Side yard setback 1.26 m

Side yard setback 6.72 m

0. Date of Acquisition of subject land: JANUARY 2005
1. Existing uses of subject property: Single Family Dwelling
2. Proposed uses of subject property: Single Family Dwelling
3. Existing uses of abutting properties: Single Family Dwelling
4. Date of construction of all buildings & structures on subject land: 2004
5. Length of time the existing uses of the subject property have been continued: Forever

16. (a) What water supply is existing/proposed?  
 Municipal Well Other (specify) \_\_\_\_\_
- (b) What sewage disposal is/will be provided?  
 Municipal Septic Other (specify) \_\_\_\_\_
- (c) What storm drainage system is existing/proposed?  
 Sewers  Other (specify) \_\_\_\_\_
- Ditches \_\_\_\_\_
- Swales \_\_\_\_\_

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

|              |                |              |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS \_\_\_\_\_ DAY OF NOVEMBER, 2025

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, \_\_\_\_\_ OF THE City OF Toronto  
IN THE Toronto Region SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
City OF Brampton  
IN THE Region OF  
Peel THIS Dec DAY OF  
oth 2025  
Clara Ward  
A Commissioner etc



Signature of Applicant or Authorized Agent

| FOR OFFICE USE ONLY  |            |
|--|------------|
| Present Official Plan Designation:   | _____      |
| Present Zoning By-law Classification:  | _____      |
| Enforcement Action File Number:  | _____      |
| This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist. |            |
| _____ Zoning Officer   | _____ Date |

DATE RECEIVED Clara  
December 9, 2025

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 50 CARMEL CRESCENT

I/We, BRUNO + LUCIANA LORINI  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

DANIEL LORINI  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land

Dated this            day of NOVEMBER            2025

Luciana Ivanini Blois  
(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: if the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 50 Carmel CRE5

I/We, BRUNO and Luciana Lorini  
please print/type the full name of the owner(s)

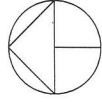
the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this            day of November, 2025  
Luciana Lorini  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation please print or type the full name of the person signing.)

*NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.*

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



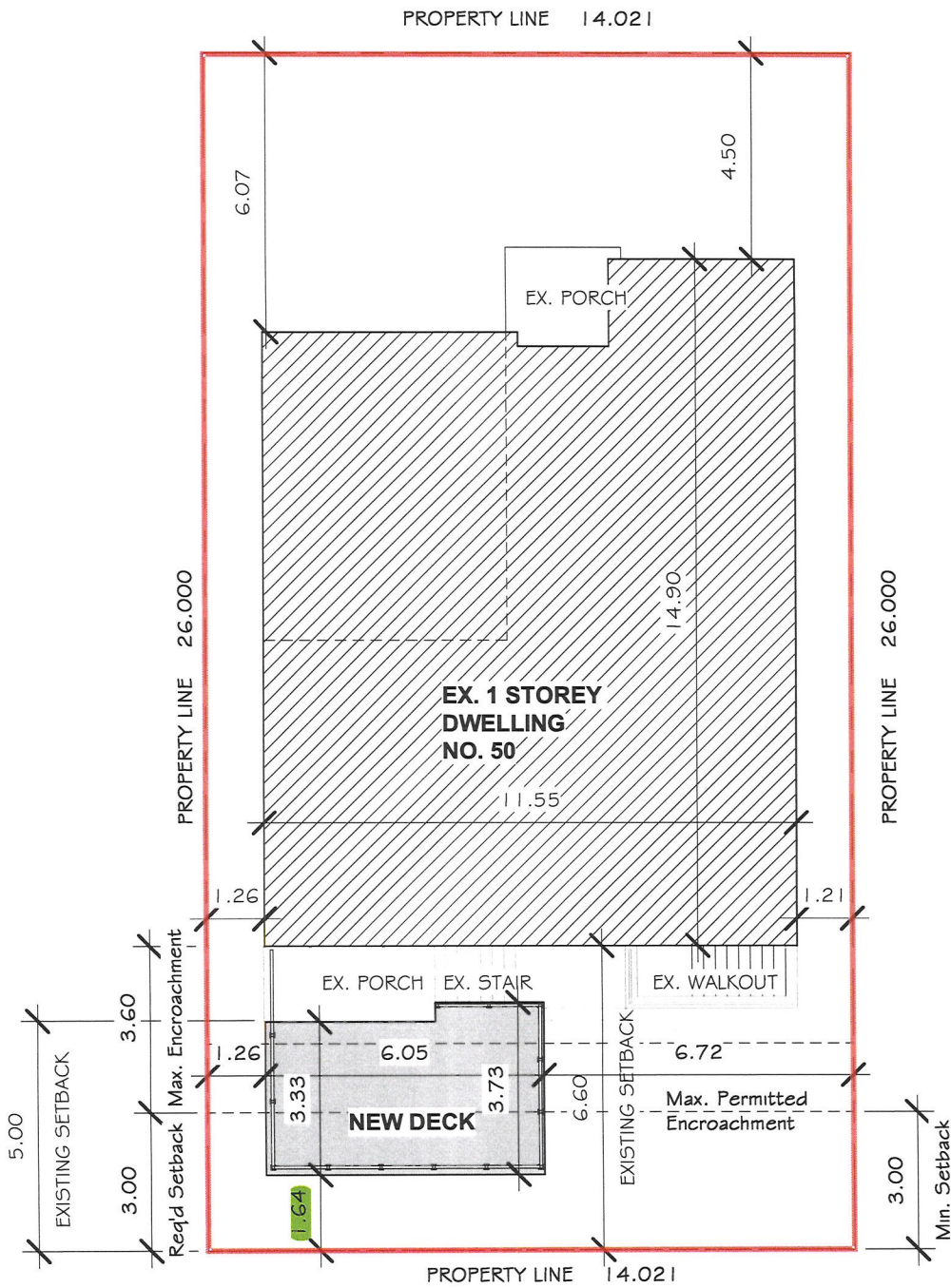
**PROJECT NORTH**

**LEGAL DESCRIPTION**  
LOT 130  
PLAN 43M-1616  
CITY OF BRAMPTON  
MUNICIPALITY OF PEEL

**SITE STATISTICS**

LOT AREA 364.55 m<sup>2</sup>  
FRONT PORCH 4.76 m<sup>2</sup>  
FIRST FLOOR 160.76 m<sup>2</sup>  
REAR PORCH 5.56 m<sup>2</sup>  
NEW DECK 21.22 m<sup>2</sup>

**CARMEL CRESCENT**



① Site  
1 : 150

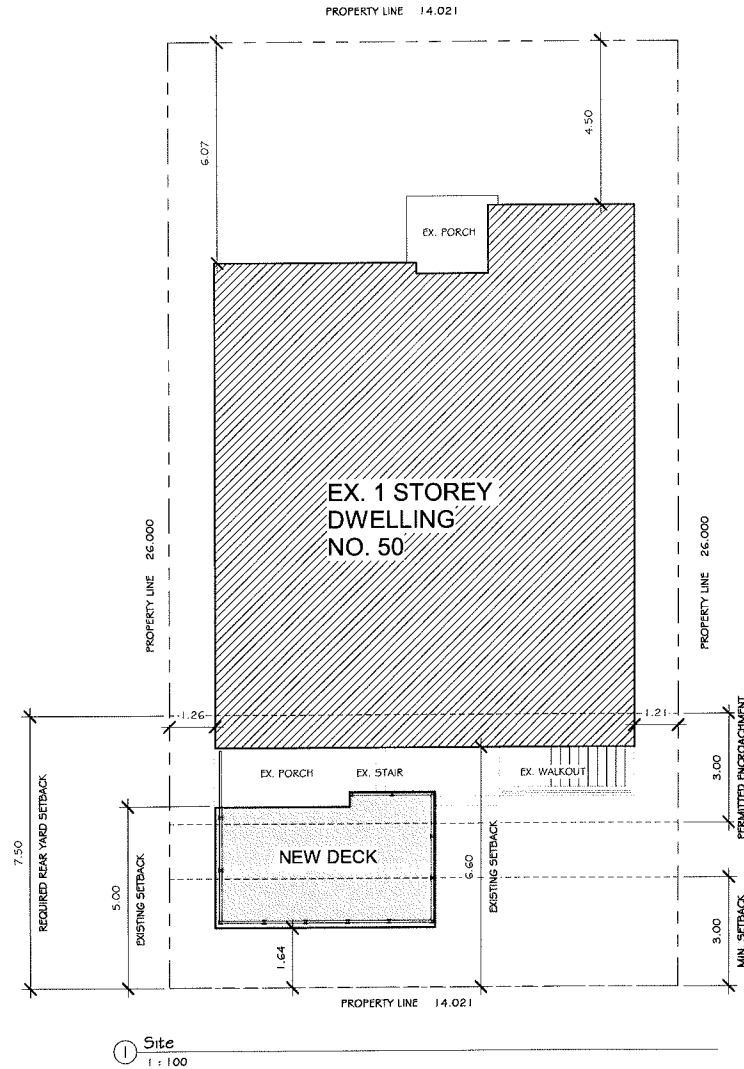


Project:  
**Deck Addition to  
Lorini Residence**  
50 Carmel Crescent  
Brampton, ON L6P 1Y2

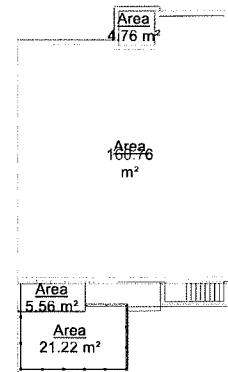
**Site Plan**

|                        |             |
|------------------------|-------------|
| Project number 2025-13 | <b>A101</b> |
| Date August 18, 2025   |             |
| Drawn by J.S.          |             |
| Checked by J.S.        |             |
| Scale As indicated     |             |

CARMEL CRESCENT



① Site  
1 : 100



② First Floor  
1 : 200

**LEGAL DESCRIPTION**

LOT 130  
PLAN 43M-1616  
CITY OF BRAMPTON  
MUNICIPALITY OF PEEL

**SITE STATISTICS**

|             |                       |
|-------------|-----------------------|
| LOT AREA    | 364.55 m <sup>2</sup> |
| FRONT PORCH | 4.76 m <sup>2</sup>   |
| FIRST FLOOR | 160.76 m <sup>2</sup> |
| REAR PORCH  | 5.56 m <sup>2</sup>   |
| NEW DECK    | 21.22 m <sup>2</sup>  |

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.4.1. of the building code  
John Sibenk 31533  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under 3.2.4.1. of the building code  
John Sibenk 33406  
FIRM NAME BCIN



Project Name: Deck Addition to Lorini Residence  
50 Carmel Crescent  
Brampton, ON

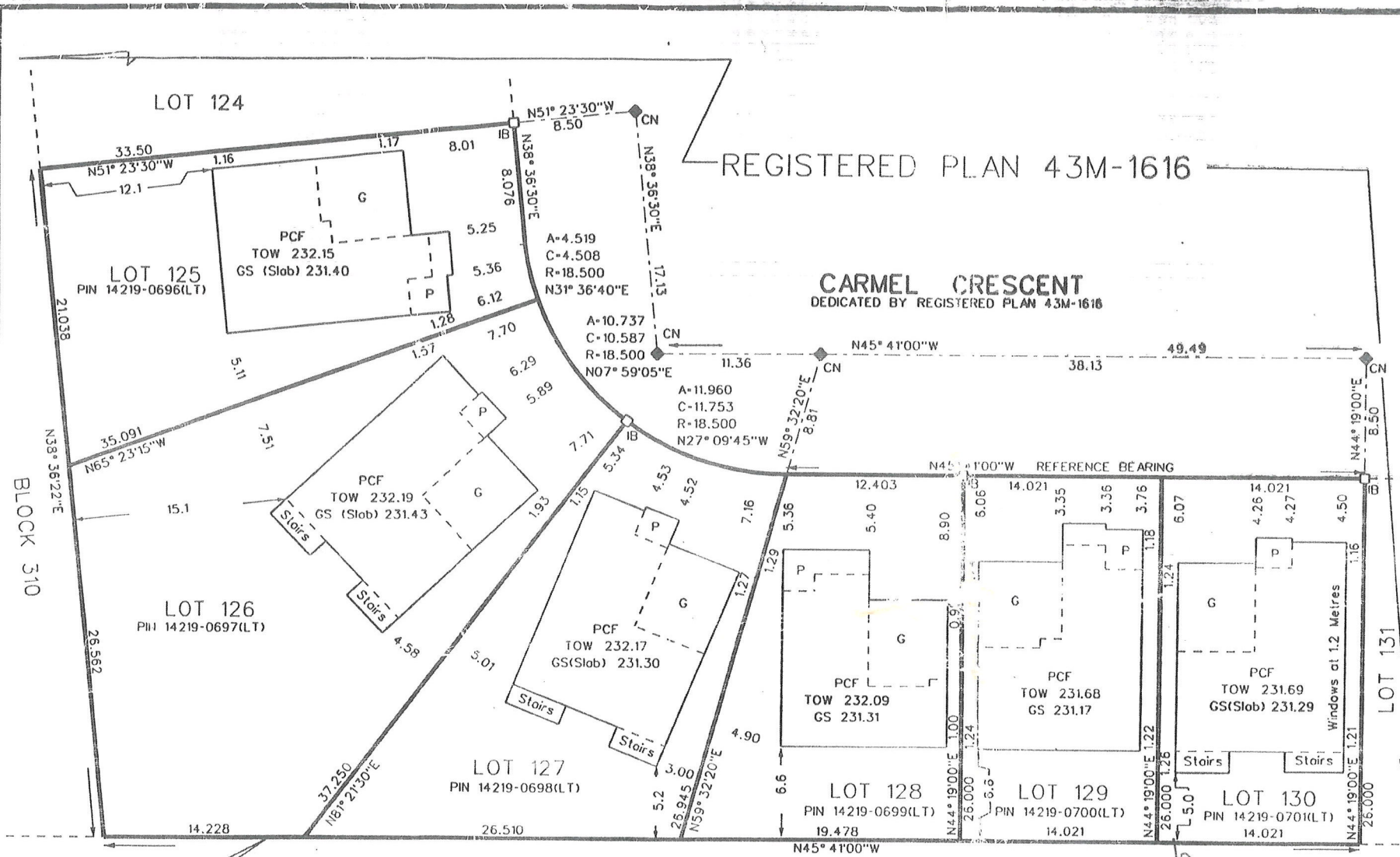
Project Description:

| No. | Description | Date |
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|                |                 |
|----------------|-----------------|
| Site Plan      |                 |
| Project number | 2025-13         |
| Date           | August 18, 2025 |
| Drawn by       | J.S.            |
| Checked by     | J.S.            |
| Scale          | As indicated    |

2025-08-20 7:00:05 AM

|   |  |
|---|--|
| PART 2  |  |
| DESCRIPTION OF LAND   |  |
| Lots 125 to 130 Both Inclusive<br>Registered Plan 43M-1616<br>City of Brampton<br>Regional Municipality of Peel |  |
| COMPLIANCE WITH MUNICIPAL ZONING  |  |
| NOT CERTIFIED BY THIS REPORT  |  |
| REGISTERED EASEMENTS AND/OR<br>RIGHT OF WAYS  |  |
| NONE  |  |
| ENCROACHMENTS   |  |
| NONE  |  |
| ADDITIONAL REMARKS  |  |
| NEW DWELLINGS   |  |

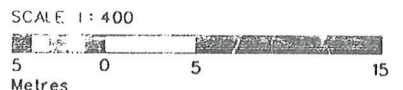


REGISTERED PLAN 43M-1616

CARMEL CRESCENT  
DEDICATED BY REGISTERED PLAN 43M-1616

SURVEYOR'S REAL PROPERTY REPORT (PART 1)  
PLAN OF  
LOTS 125 TO 130 Both Inclusive  
REGISTERED PLAN 43M-1616  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

YOUNG & YOUNG SURVEYING INC.  
© 2004



METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- 1/ THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - 2/ THE SURVEY WAS COMPLETED ON THE 21<sup>ST</sup> DAY OF OCTOBER 2004.

*Oct 21/04*  
DATE  
JOHN F.C. YOUNG B.Sc.  
ONTARIO LAND SURVEYOR

**BEARING NOTE**

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWEST LIMB OF CARMEL CRESCENT HAVING A BEARING OF N45°41'00"W AS SHOWN ON REGISTERED PLAN 43M-1616.

THIS REPORT WAS PREPARED FOR CENTURY GROVE HOMES  
**YOUNG & YOUNG SURVEYING INC.**  
PROFESSIONAL LAND SURVEYORS

DRAWN BY: DMAC  
PROJECT 04-B4745

PART OF PART 1 PLAN 43R-27814  
PIN 14219-0159(LT)

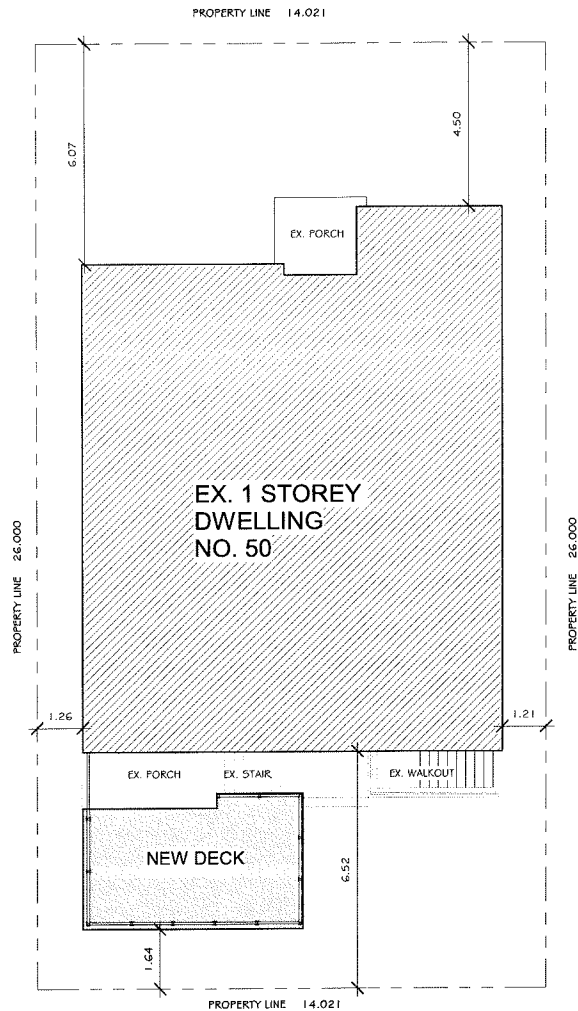
PART OF PART 2 PLAN 43R-1556

LOT 17, CONCESSION 7  
NORTHERN DIVISION

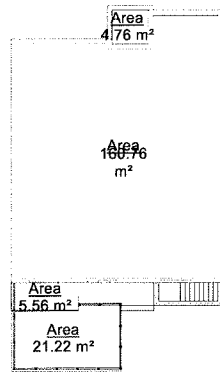
**LEGEND**

- PCF DENOTES POURED CONCRETE FOUNDATION
- G DENOTES GARAGE
- P DENOTES PORCH
- TOW DENOTES TOP OF WALL ELEVATION
- GS DENOTES GARAGE SILL ELEVATION
- CN DENOTES CONCRETE NAIL SET BY (1493)

CARMEL CRESCENT



① Site  
1 : 100



② First Floor  
1 : 200

**LEGAL DESCRIPTION**

LOT 130  
PLAN 43M-1616  
CITY OF BRAMPTON  
MUNICIPALITY OF PEEL

**SITE STATISTICS**

|             |                       |
|-------------|-----------------------|
| LOT AREA    | 364.55 m <sup>2</sup> |
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| FIRST FLOOR | 160.76 m <sup>2</sup> |
| REAR PORCH  | 5.56 m <sup>2</sup>   |
| NEW DECK    | 21.22 m <sup>2</sup>  |

The undersigned has reviewed and takes responsibility for the design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1. of the building code

John Sibenk  
NAME SIGNATURE BCIN 31533

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1. of the building code

John Sibenk  
FIRM NAME 33406 BCIN



Project Name:  
Deck Addition to Lanni Residence

50 Carmel Crescent  
Brampton, ON

Project Description:

| No. | Description | Date |
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| Site Plan          |                 |
| Project number     | 2025-13         |
| Date               | August 18, 2025 |
| Drawn by           | J.S.            |
| Checked by         | J.S.            |
| A101               |                 |
| Scale As indicated |                 |

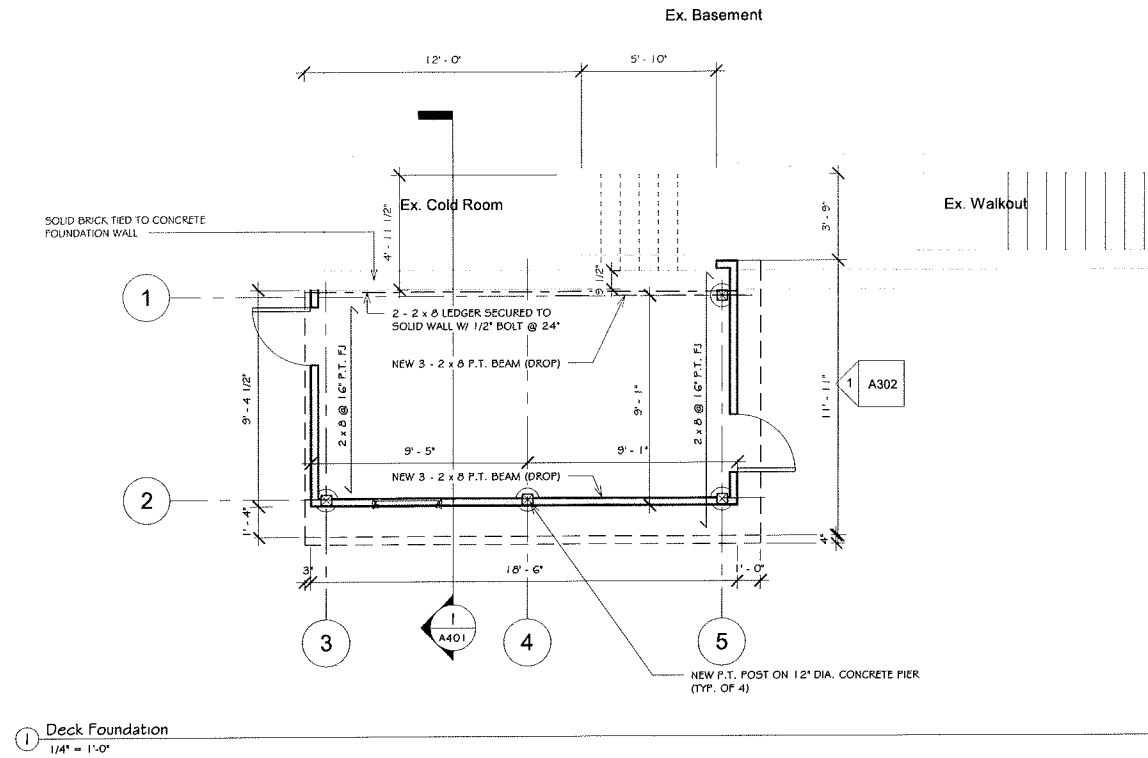
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QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1. of the building code

John Sibenk *John Sibenk* 31533  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1. of the building code

John Sibenk 33406  
FIRM NAME BCIN



1 Deck Foundation  
1/4" = 1'-0"



Project Name:  
Deck Addition to Lorini Residence

50 Carmel Crescent  
Brampton, ON

Project Description:

| No. | Description | Date |
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| Deck Foundation    |                 |
|--------------------|-----------------|
| Project number     | 2025-13         |
| Date               | August 18, 2025 |
| Drawn by           | J.S.            |
| Checked by         | J.S.            |
| A201               |                 |
| Scale 1/4" = 1'-0" |                 |

2025-08-18 2:23:54 PM

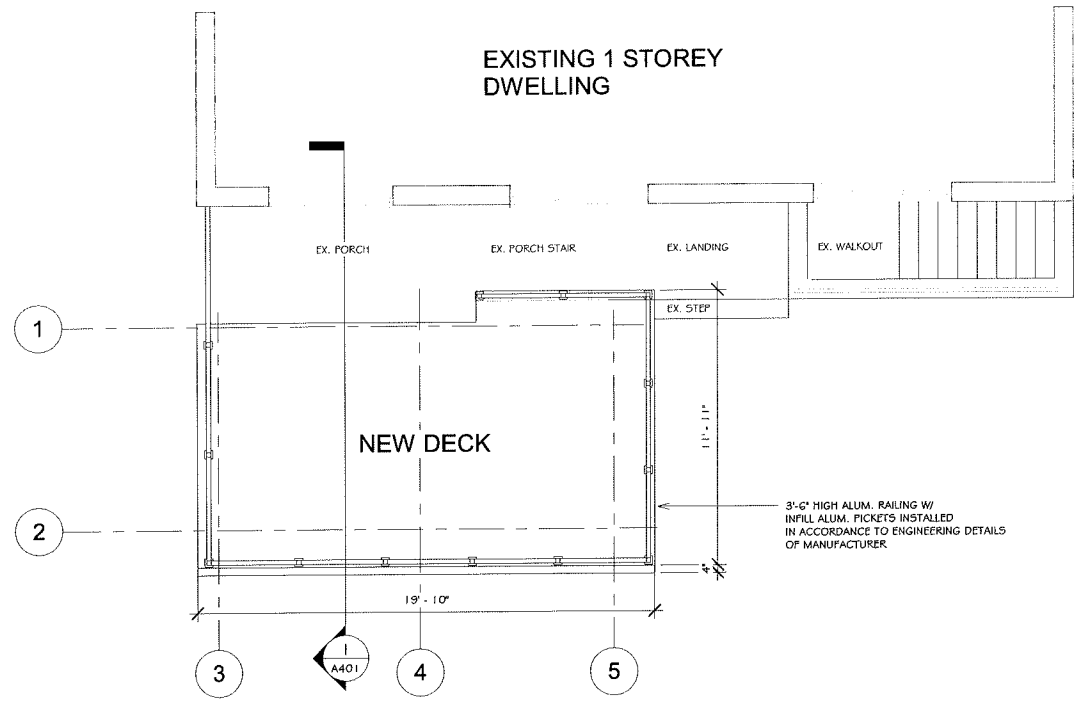
The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.5.1. of the building code

John Sibenk *John Sibenk* 31533  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under 3.2.4.1. of the building code

John Sibenk 33406  
FIRM NAME BCIN



1 Deck Plan  
1/4" = 1'-0"



Project Name:  
**Deck Addition to Lorini Residence**

50 Carmel Crescent  
Brampton, ON

Project Description:

| No. | Description | Date |
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| Deck Plan      |                 |                    |
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| Project number | 2025-13         | A202               |
| Date           | August 18, 2025 |                    |
| Drawn by       | J.S.            | Scale 1/4" = 1'-0" |
| Checked by     | J.S.            |                    |

2025-08-18 2:23:55 PM

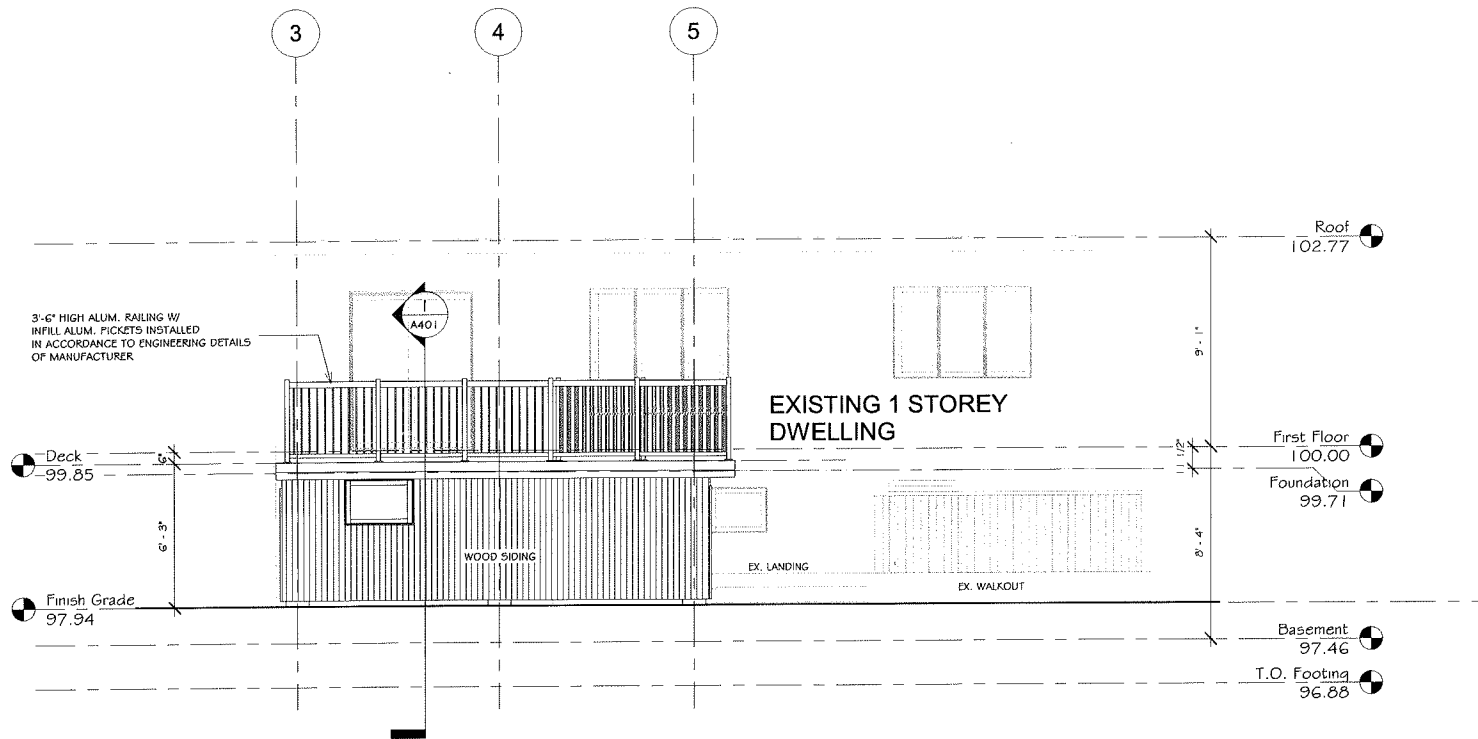
The undersigned has reviewed and takes responsibility for the design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1. of the building code

John Sheak *John Sheak* 31533  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1. of the building code

John Sheak 33406  
FIRM NAME BCIN



1 South  
1/4" = 1'-0"



Project Name:  
Deck Addition to Lorini Residence

50 Carmel Crescent  
Brampton, ON

Project Description:

| No. | Description | Date |
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| South Elevation    |                 |
|--------------------|-----------------|
| Project number     | 2025-13         |
| Date               | August 18, 2025 |
| Drawn by           | J.S.            |
| Checked by         | J.S.            |
| A301               |                 |
| Scale 1/4" = 1'-0" |                 |

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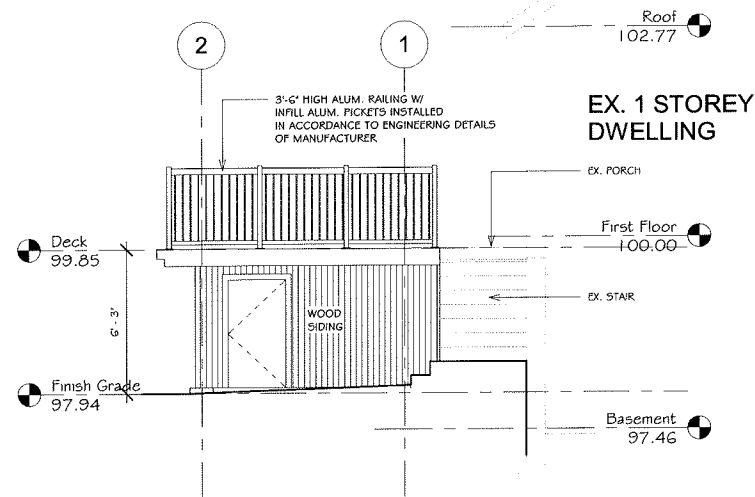
The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
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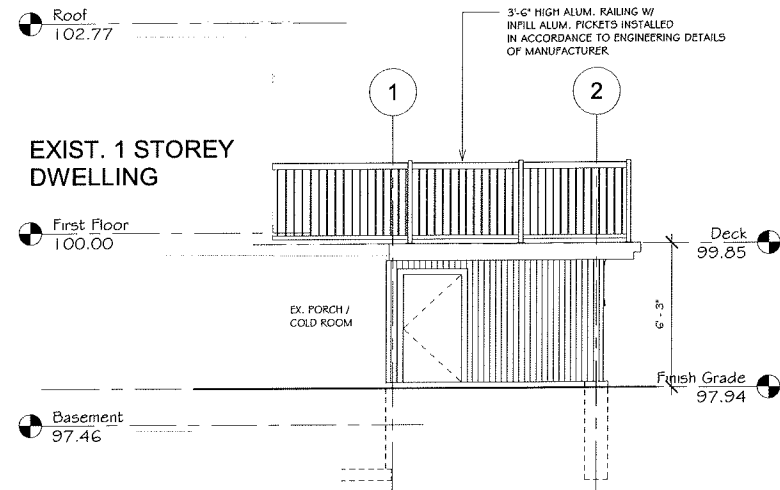
John Sibenk 31533  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1. of the building code

John Sibenk 33406  
FIRM NAME BCIN



1 East Elevation 1 - a  
1/4" = 1'-0"



2 West  
1/4" = 1'-0"



Project Name: Deck Addition to Lorini Residence  
50 Carmel Crescent  
Brampton, ON

Project Description:

| No. | Description | Date |
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| East & West Elevations |                 |
|------------------------|-----------------|
| Project number         | 2025-13         |
| Date                   | August 10, 2025 |
| Drawn by               | J.S.            |
| Checked by             | J.S.            |
| A302                   |                 |
| Scale 1/4" = 1'-0"     |                 |

2025-08-10 2:23:55 PM

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**

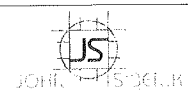
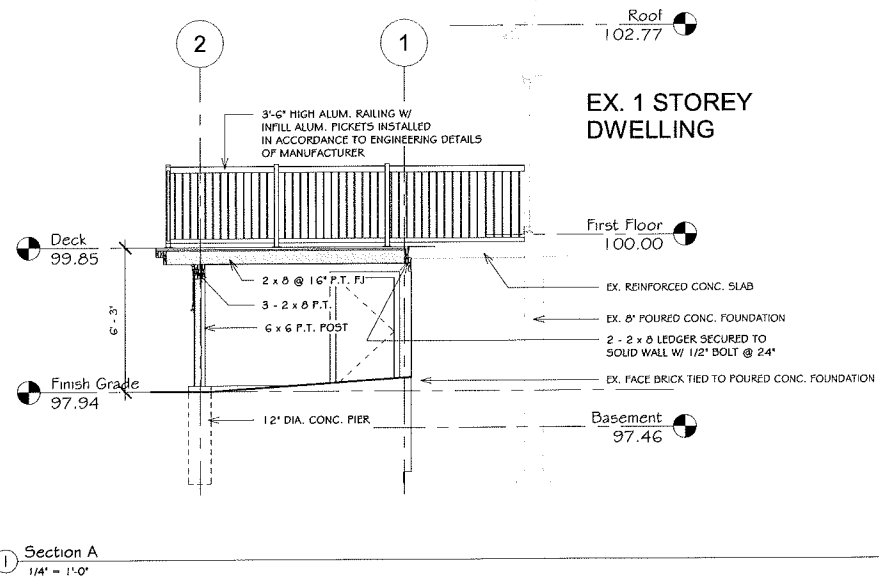
Required unless design is exempt under 3.2.5.1. of the building code

John Sibenk *John Sibenk* 31533  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

Required unless design is exempt under 3.2.4.1. of the building code

John Sibenk 33406  
 FIRM NAME BCIN



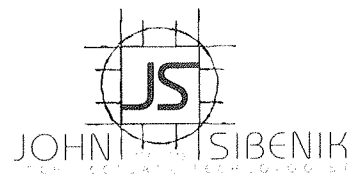
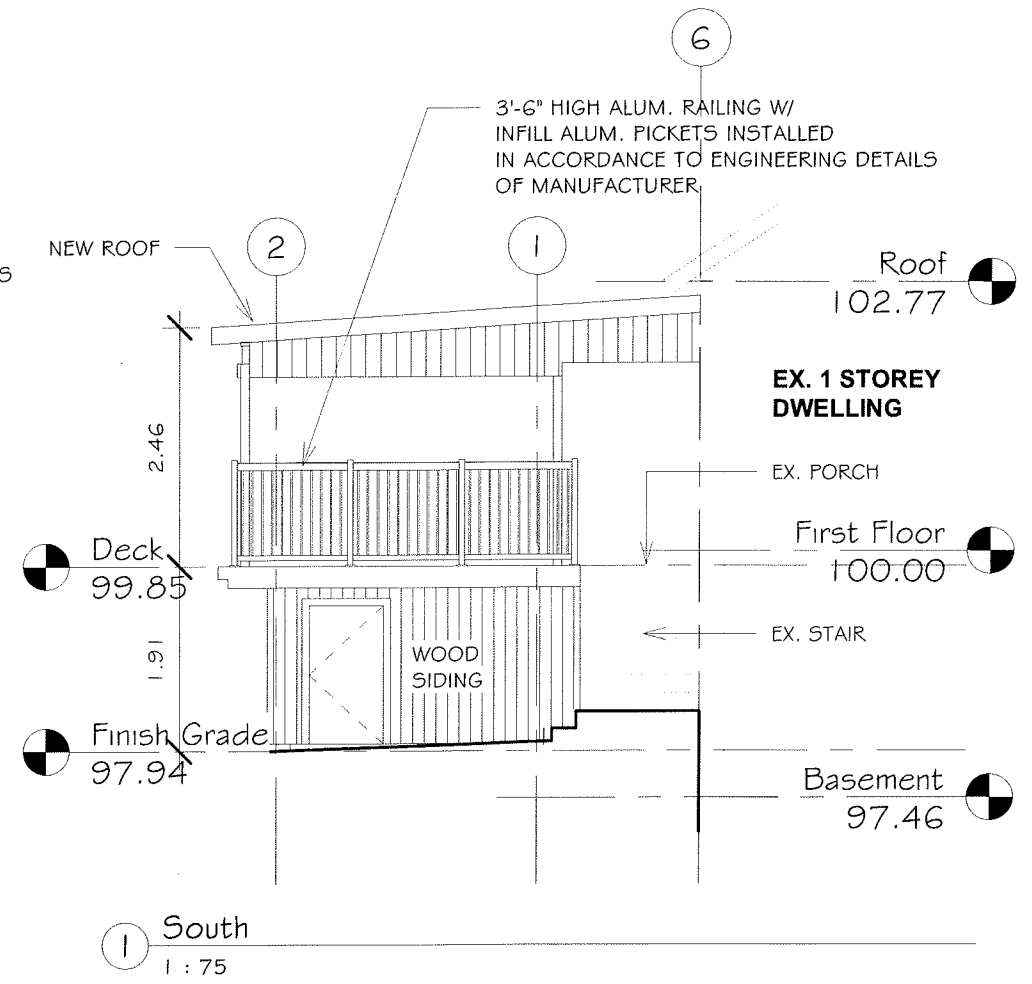
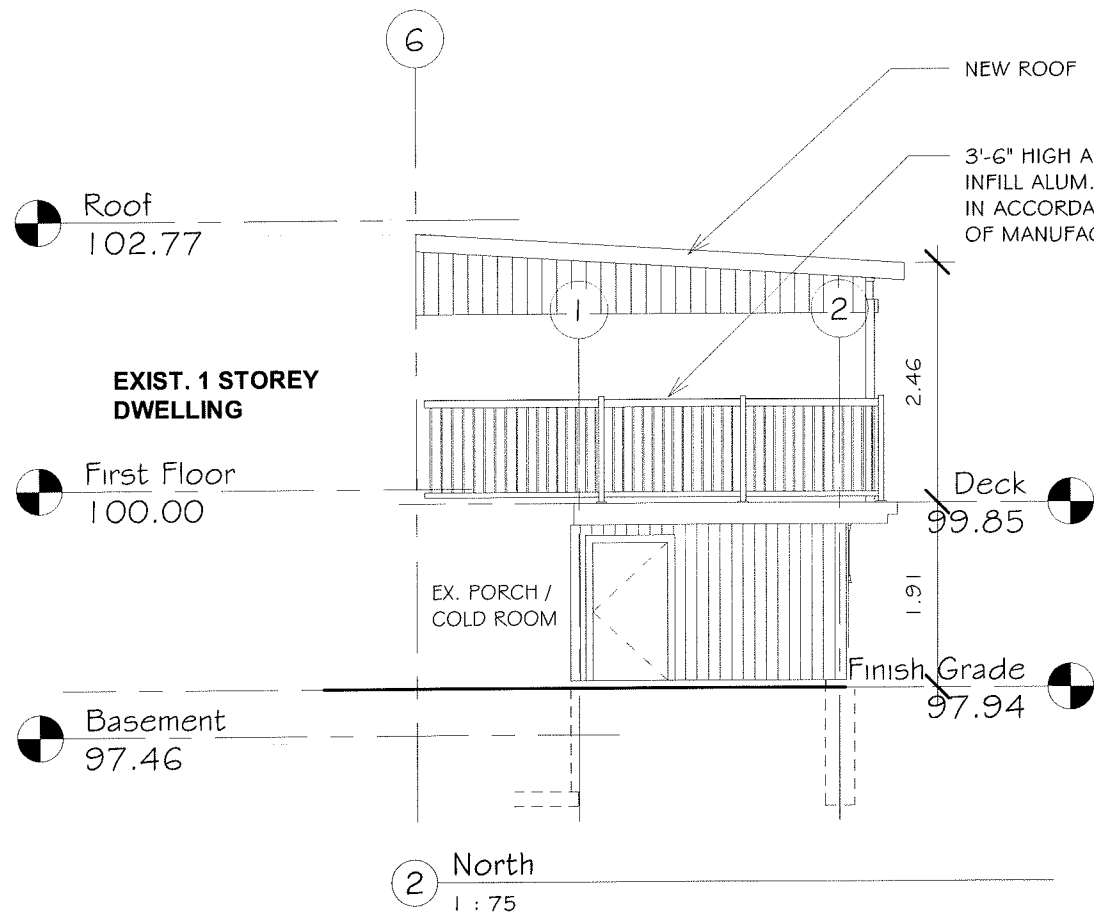
Project Name: Deck Addition to Lorini Residence  
 50 Carmel Crescent  
 Brampton, ON

Project Description:

| No. | Description | Date |
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| Section A      |                 |                    |
|----------------|-----------------|--------------------|
| Project number | 2025-13         | A401               |
| Date           | August 16, 2025 |                    |
| Drawn by       | J.S.            | Scale 1/4" = 1'-0" |
| Checked by     | J.S.            |                    |

2025-08-16 2:29:55 PM



Project:  
**Covered Deck Addition**

50 Carmel Crescent  
Brampton, ON L6P 1Y2

Received / Revised

FEB 11 2026

Committee of Adjustment

**South & North  
Elevations**

Project no. 2025-13

Date August 18, 2025

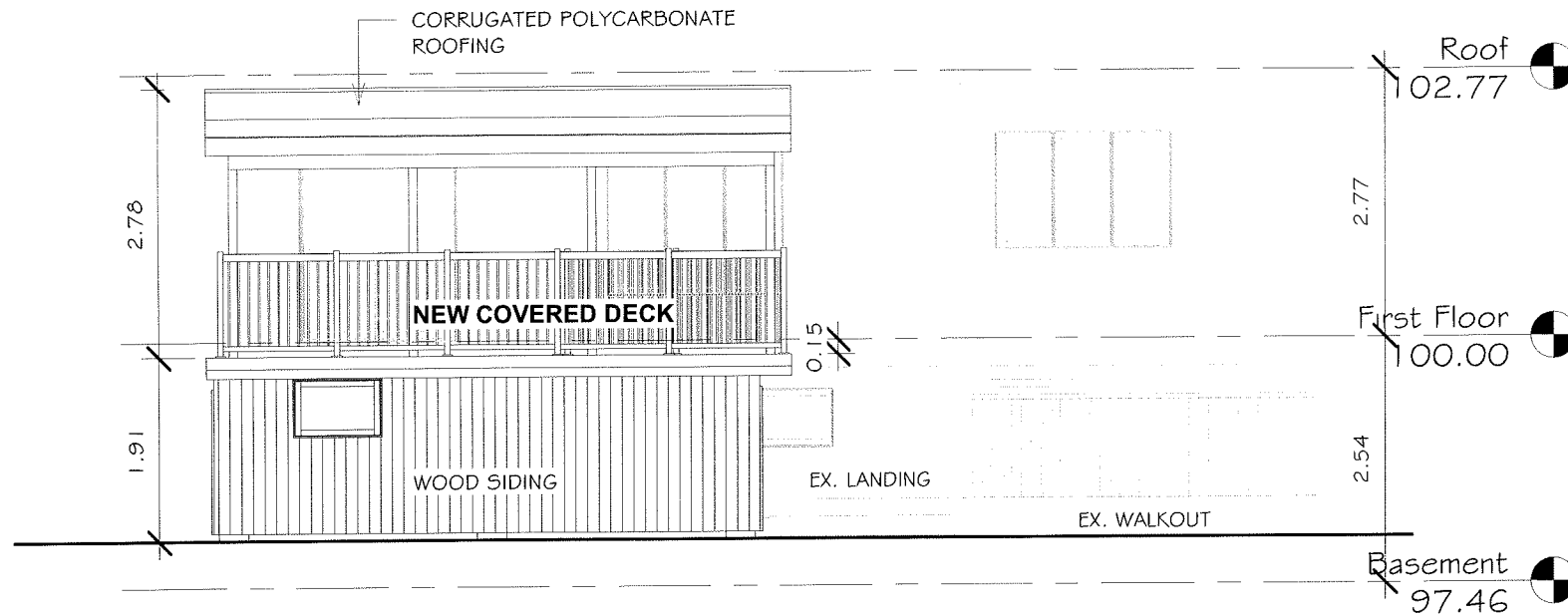
Drawn by Author

Checked by Checker

**A302**

Scale 1 : 75

**EXISTING 1 STOREY DWELLING**



West  
1 : 75

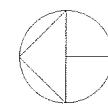


Project:  
**Covered Deck Addition**

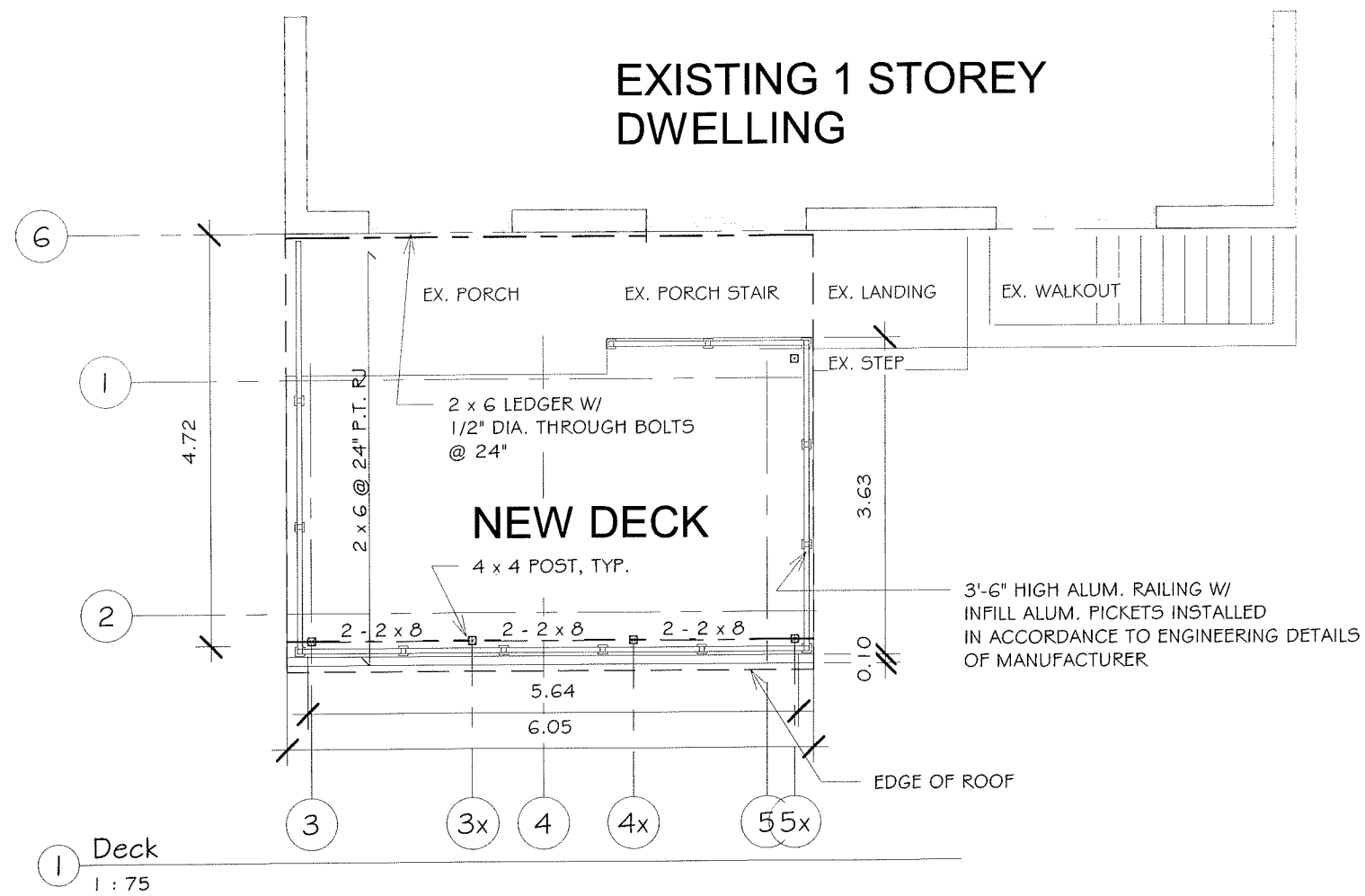
50 Carmel Crescent  
Brampton, ON L6P 1Y2

Received / Revised  
**FEB 11 2026**  
Committee of Adjustment

|                       |              |
|-----------------------|--------------|
| <b>West Elevation</b> |              |
| Project no. 2025-13   | <b>A301</b>  |
| Date August 18, 2025  |              |
| Drawn by J.S.         | Scale 1 : 75 |
| Checked by J.S.       |              |



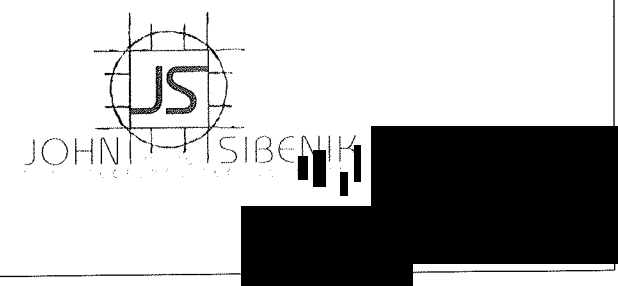
# EXISTING 1 STOREY DWELLING



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FEB 11 2026

Committee of Adjustment



Project:  
**Covered Deck Addition**

50 Carmel Crescent  
Brampton, ON L6P 1Y2

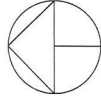
## Deck Plan

|                      |              |
|----------------------|--------------|
| Project no. 2025-13  | A202         |
| Date August 18, 2025 |              |
| Drawn by J.S.        | Scale 1 : 75 |
| Checked by J.S.      |              |

Received / Revised

FEB 11 2026

Committee of Adjustment



**PROJECT NORTH**

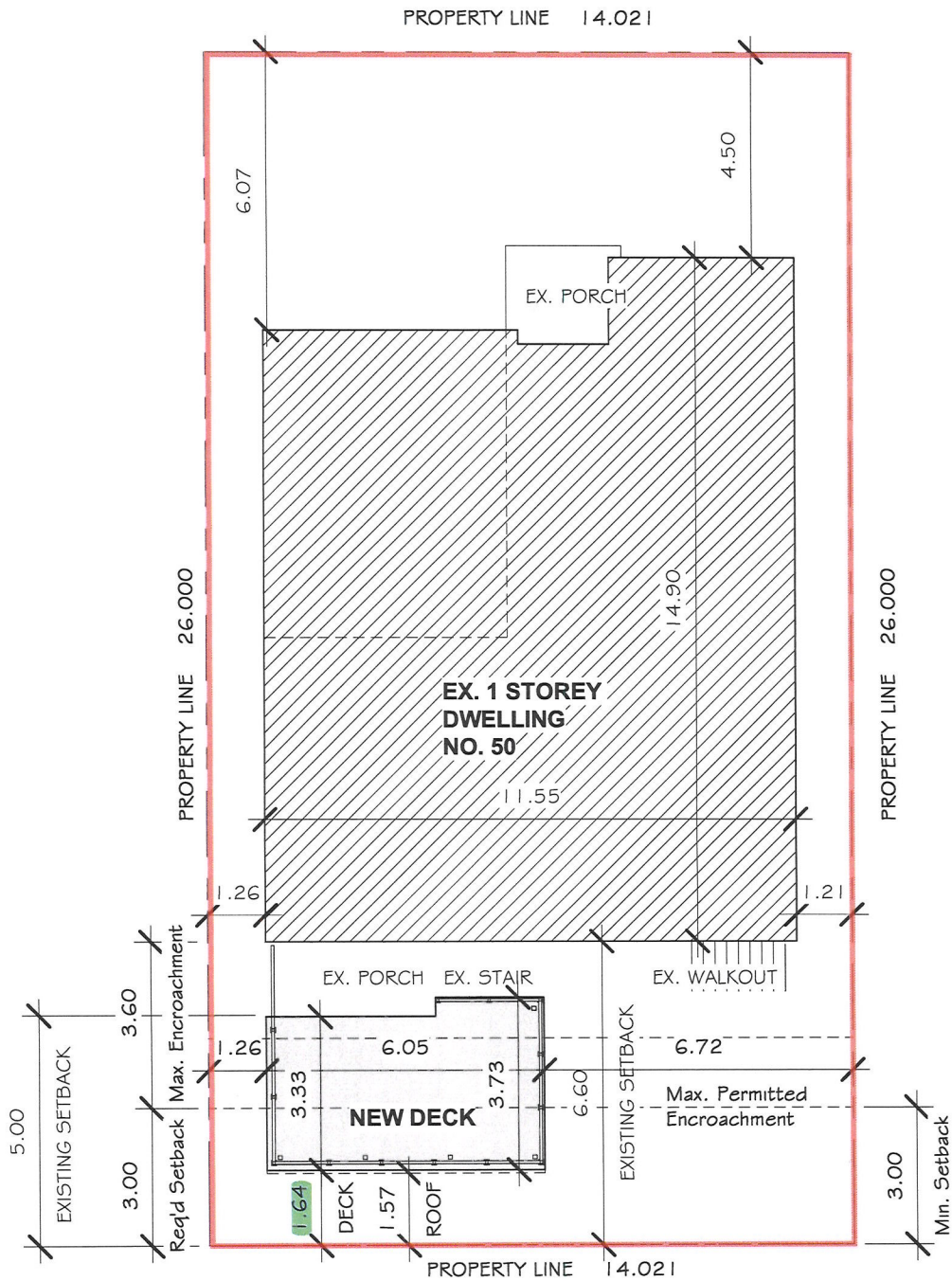
**LEGAL DESCRIPTION**

**LOT 130  
PLAN 43M-1616  
CITY OF BRAMPTON  
MUNICIPALITY OF PEEL**

**SITE STATISTICS**

|                    |                  |
|--------------------|------------------|
| <b>LOT AREA</b>    | <b>364.55 m2</b> |
| <b>FRONT PORCH</b> | <b>4.76 m2</b>   |
| <b>FIRST FLOOR</b> | <b>160.76 m2</b> |
| <b>REAR PORCH</b>  | <b>5.56 m2</b>   |
| <b>NEW DECK</b>    | <b>21.22 m2</b>  |
| <b>NEW ROOF</b>    | <b>30.39 m2</b>  |

**CARMEL CRESCENT**



① Site  
1 : 150



Project:  
**Covered Deck  
Addition**

50 Carmel Crescent  
Brampton, ON L6P 1Y2

Site Plan

|                        |                    |
|------------------------|--------------------|
| Project number 2025-13 | <b>A101</b>        |
| Date August 18, 2025   |                    |
| Drawn by J.S.          | Scale As indicated |
| Checked by J.S.        |                    |

# Zoning Non-compliance Checklist

|  |
|--|
| File No.<br>A-2025-0115<br>REVISED (JAN 22,<br>2026) |
|--|

Owner: Bruno Lorini  
 Address: 50 Carmel Crescent  
 Zoning: R1C Section 1770  
 By-law 270-2004, as amended

| Category                                 | Proposal  | By-law Requirement  | Section #                         |
|--|---|---|-----------------------------------|
| USE                                      |   |   |                                   |
| LOT DIMENSIONS<br>AREA / DEPTH / WIDTH   |   |   |                                   |
| BUILDING SETBACKS<br>FRONT / SIDE / REAR | <p>To permit a proposed deck to encroach 4.36 metres (14.30 feet) into the rear yard setback, resulting in a setback of 1.64 metres (5.38 feet) from the deck to the rear lot line.</p> <p>To permit a rear yard setback of 1.64 metres to an existing one storey addition.</p> | <p>Whereas the by-law permits a deck to encroach a maximum 3.0 m (9.84 feet) into the rear yard setback, resulting in a required setback of 3.6 m (11.81 feet).</p> <p>Whereas the by-law requires a minimum rear yard setback of 6 metres.</p> | <p>1770.2(e)</p> <p>1770.2(e)</p> |
| BUILDING SIZE                            |   |   |                                   |
| BUILDING HEIGHT                          |   |   |                                   |
| GFA                                      |   |   |                                   |
| TOWER SEPARATION                         |   |   |                                   |
| BELOW GRADE<br>ENTRANCE                  |   |   |                                   |
| ACCESSORY STRUCTURE<br>SIZE / HEIGHT     |   |   |                                   |
| MULTIPLE ACCESSORY<br>STRUCTURES         |   |   |                                   |
| DRIVEWAY WIDTH                           |   |   |                                   |
| LANDSCAPED OPEN<br>SPACE                 |   |   |                                   |
| ENCROACHMENTS                            |   |   |                                   |
| PARKING                                  |   |   |                                   |
| SCHEDULE "C"                             |   |   |                                   |

Rose Bruno  
 Reviewed by Zoning

January 22, 2026  
 Date