



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2026-0014

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sukhjinder Mahal and Avninder Sidhu
Address [REDACTED] _____

Phone # _____ **Fax #** _____
Email _____

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
 request to reduce rearyard setback to existing deck

4. **Why is it not possible to comply with the provisions of the by-law?**
 the deck was constructed without the knowledge of the specific by laws

5. **Legal Description of the subject land:**
Lot Number 13
Plan Number/Concession Number 43M-1952
Municipal Address 18 Monkton Circle

6. **Dimension of subject land (in metric units)**
Frontage 11.6
Depth 34.02
Area 4247.56 sq. ft or 394.64 sq meter

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

two unit residential dwelling

PROPOSED BUILDINGS/STRUCTURES on the subject land:

existing rear yeard deck

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.38 meters
 Rear yard setback 3.93 meters
 Side yard setback .66 meters
 Side yard setback 1.2 meters

PROPOSED

Front yard setback 10.93 Meters
 Rear yard setback 3.93 meters
 Side yard setback .66 meters
 Side yard setback 1.2 meters

10. Date of Acquisition of subject land: Feb 2, 2015
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2025
15. Length of time the existing uses of the subject property have been continued: 11

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # <small>2025 064216 000 00 OC</small>	Decision <u>under investigation</u>	Relief _____
File # <small>2025 000602 000 00 OT</small>	Decision <u>Order issued and registered on title</u>	Relief _____
File # _____	Decision _____	Relief _____

Sukhi Mahal
Signature of Applicant(s) or Authorized Agent

DATED AT THE 10 _____ OF February _____

THIS _____ DAY OF _____, 2026.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Anvinder Sidhu OF THE city OF Brampton

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

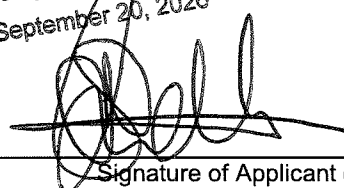
IN THE Region OF _____

Peel THIS 5th DAY OF _____

March, 2026

A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

Enforcement Action File Number: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED _____

Date Application Deemed Complete by the Municipality March 5, 2026

PERMISSION TO ENTER

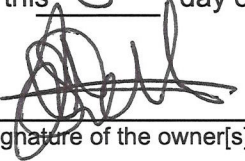
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 18 Markham Circle

I/We, Avninder Sidhu / Sukhi Mehal
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members; to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 5 day of March, 2020

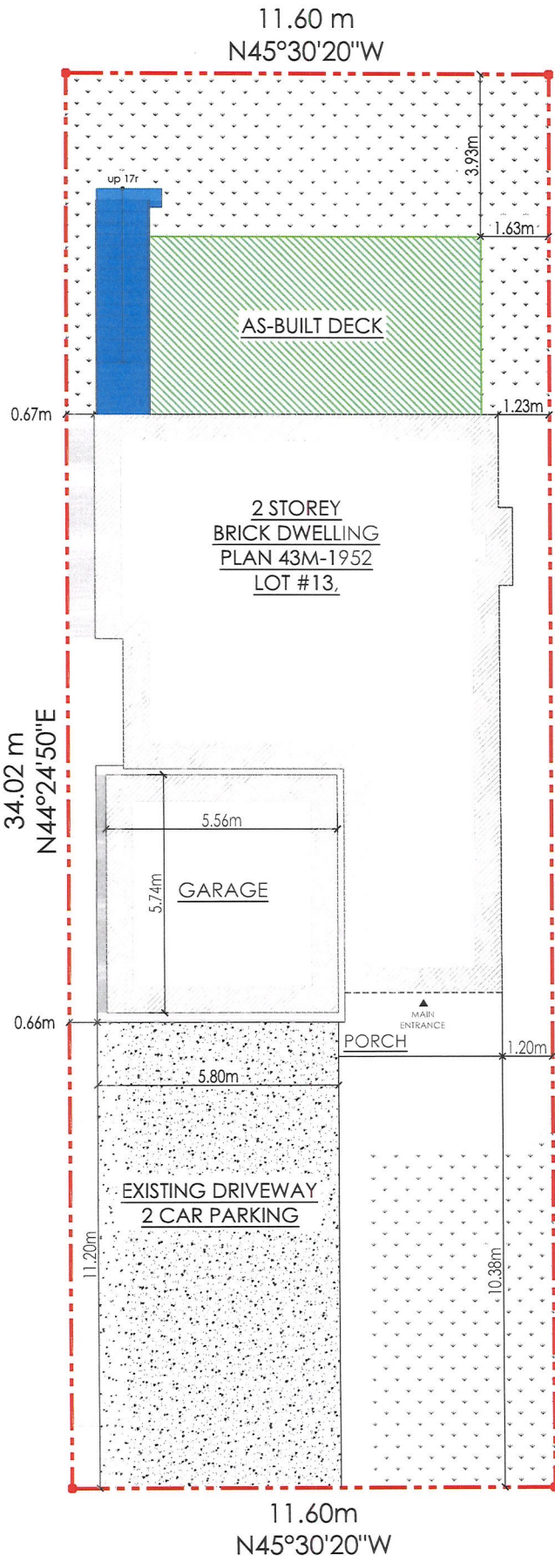


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

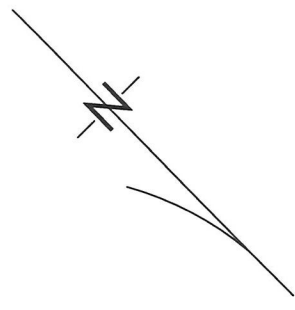
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



LEGEND

- EXISTING CONSTRUCTION
- AS-BUILT CONSTRUCTION



LEGEND

- PROPERTY LINE
- ASPHALT DRIVEWAY
- LANDSCAPE AREA
- HARDSCAPE WALKWAY
- GRAVEL WALKWAY
- EXISTING HOUSE ENTRANCE DOOR
- EXISTING SIDE ENTRANCE

SITE STATISTICS

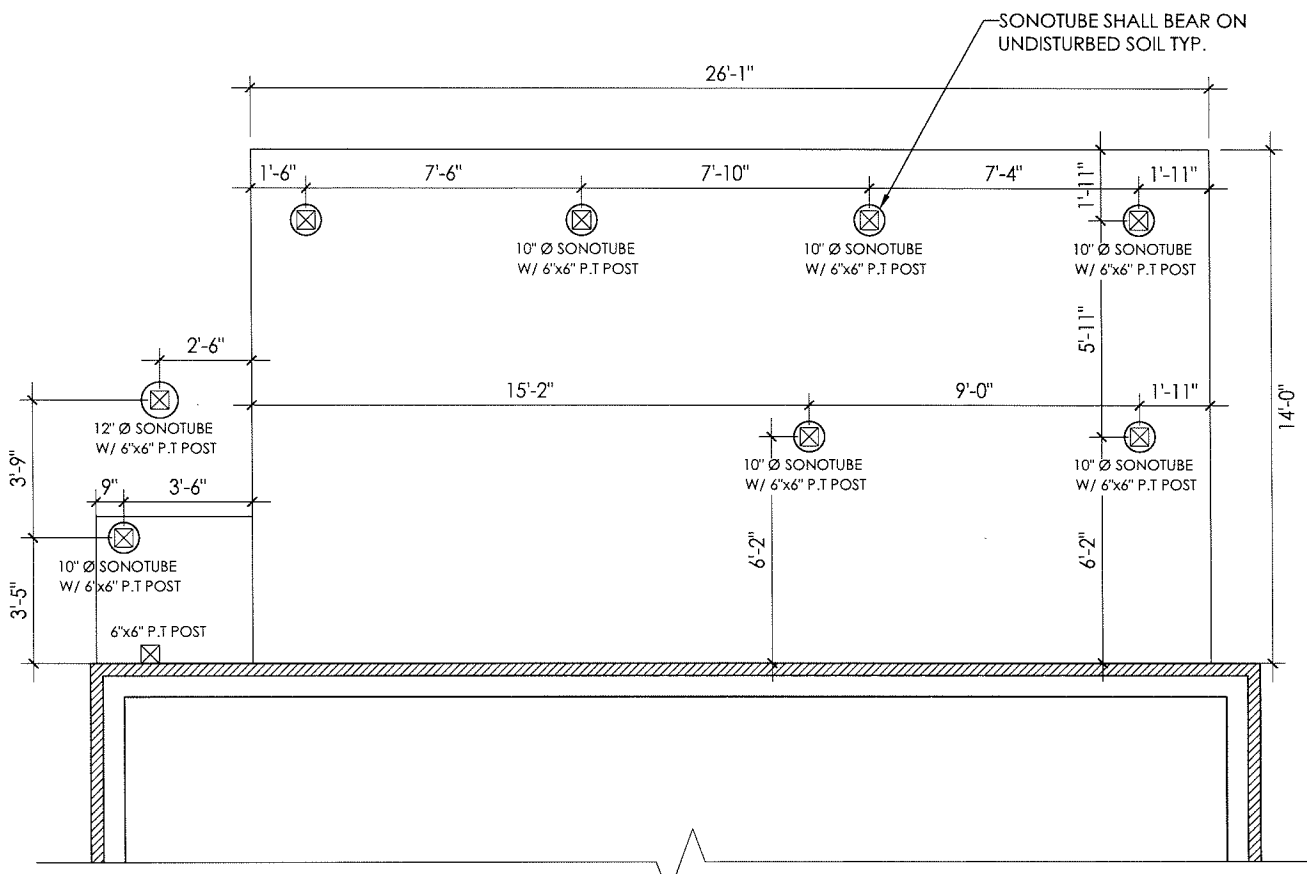
LOT NO.: 13
 PLAN NO: 43M-1952
 LOT AREA: 4247.56ft² (394.61m²)
 LOT FRONTAGE: 11.60m
 LOT DEPTH: 34.02m
 LOT COVERAGE: 1483.86ft² (34.93% OF LOT AREA)
 NO. OF STORIES: 2 STOREY

SETBACKS

PROPERTY SETBACKS
 FRONT YARD (MONKTON CIRCLE): 10.38m
 INTERIOR SIDE YARD: 0.66m
 INTERIOR SIDE YARD: 1.20m
 REAR YARD: 8.20m

MONKTON CIRCLE

			LEGENDS:		FIRM NAME:	SHEET TITLE: SITE PLAN	
			AIR REGISTER -	RETURN AIR GRILL -		DRAWN BY:	CHECKED BY:
			EXHAUST FAN -	ABOVE FINISHED FLOOR - AFF			
NO.	REVISION	DATE	BY	SMOKE ALARM -	CARBON MONOXIDE DETECTOR -	PROJECT 18 MONKTON CIRCLE,	PROJECT NO.: 0506
General Notes				THREE WAY SWITCH - \$3	SINGLE POLE SWITCH - \$A	NAME: BRAMPTON, ON	SCALE: NTS
<small>RELEASED FOR BUILDING PERMIT CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. DRAWINGS ARE NOT TO BE SCALED.</small>				LIGHT FIXTURE(WALL MOUNTED) -	LIGHT FIXTURE(PULL CHAIN) -	L6Y 0X1	DATE: JUNE/25
				EMERGENCY LIGHT FIXTURE -	DUPLEX OUTLET -		SHEET NO.:
				DUCT SMOKE DETECTOR -	SPRINKLER -		SP1
				WATER METER -			
					CLIENT CONTACT:		

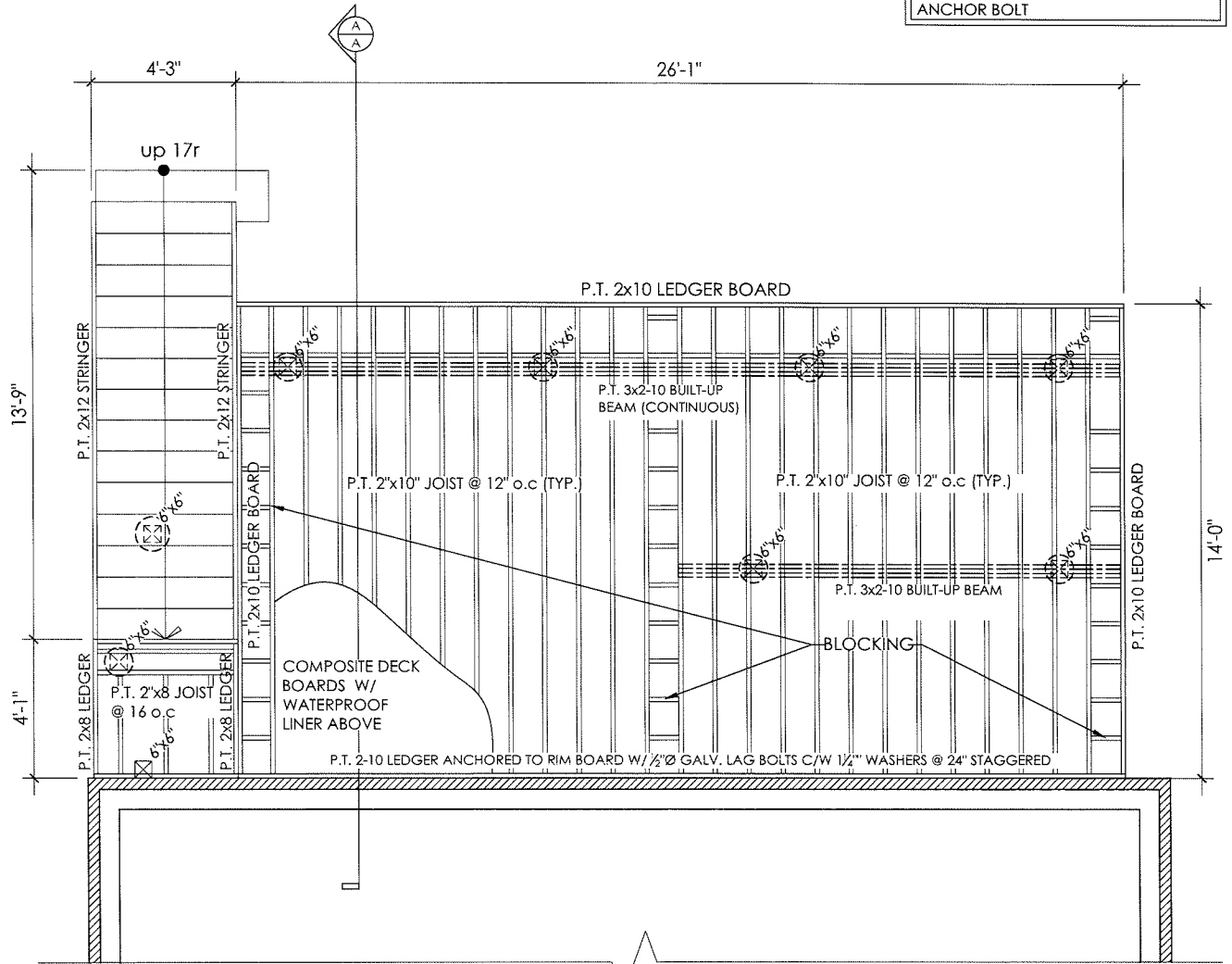


AS-BUILT DECK FOUNDATION PLAN

NO.	REVISION	DATE	BY	LEGENDS:		FIRM NAME:	SHEET TITLE: AS-BUILT DECK FOUNDATION PLAN	
				AIR REGISTER - [Symbol]	RETURN AIR GRILL - [Symbol]	PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1	DRAWN BY:	CHECKED BY:
				EXHAUST FAN - [Symbol]	ABOVE FINISHED FLOOR - AFF		PROJECT NO.: 0506	SCALE: NTS
				SMOKE ALARM - [Symbol]	CARBON MONOXIDE DETECTOR - [Symbol]	CLIENT EMAIL:	DATE: JUNE/25	SHEET NO.:
General Notes				THREE WAY SWITCH - \$3	SINGLE POLE SWITCH - \$A	CLIENT CONTACT:	FILE NO.:	A1
RELEASED FOR BUILDING PERMIT CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. DRAWINGS ARE NOT TO BE SCALED.				LIGHT FIXTURE(WALL MOUNTED) - [Symbol]	LIGHT FIXTURE(PULL CHAIN) - [Symbol]			
				EMERGENCY LIGHT FIXTURE - [Symbol]	DUPLEX OUTLET - [Symbol]			
				DUCT SMOKE DETECTOR - [Symbol]	SPRINKLER - [Symbol]			
				WATER METER - [Symbol]				

NOTE:
DECK GUARDS AND FASTENING
TO CONFORM TO OBC SB-7

NOTE:
WOOD POST SCREWED W/ METAL SHOE
ANCHORED TO SONOTUBE
MIN. 4" INTO CONC. W/ 1/2" DIA. THRU
ANCHOR BOLT



AS-BUILT DECK FRAMING PLAN

NO.	REVISION	DATE	BY	LEGENDS:		FIRM NAME:	SHEET TITLE: AS-BUILT DECK FRAMING PLAN	
				AIR REGISTER - [Symbol]	RETURN AIR GRILL - [Symbol]	PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1	DRAWN BY:	CHECKED BY:
				EXHAUST FAN - [Symbol]	ABOVE FINISHED FLOOR - AFF		PROJECT NO.: 0506	SCALE: NTS
				SMOKE ALARM - [Symbol]	CARBON MONOXIDE DETECTOR - [Symbol]	CLIENT EMAIL:	DATE: JUNE/25	SHEET NO.:
				THREE WAY SWITCH - \$3	SINGLE POLE SWITCH - \$A	CLIENT CONTACT:	FILE NO.:	A2
				LIGHT FIXTURE (WALL MOUNTED) - [Symbol]	LIGHT FIXTURE (PULL CHAIN) - [Symbol]			
				EMERGENCY LIGHT FIXTURE - [Symbol]	DUPLEX OUTLET - [Symbol]			
				DUCT SMOKE DETECTOR - [Symbol]	SPRINKLER - [Symbol]			
				WATER METER - [Symbol]				














General Notes
RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK
SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS
BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS
ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED
AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE
USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
DRAWINGS ARE NOT TO BE SCALED.

FLOOR JOIST SPAN TABLE

JOIST SIZE	SPACING (o/c)	MAX. JOIST SPAN	MAX. JOIST CANTILEVER
2"x6" ⑥	12"	10'-4"	NOT PERMITTED
	16"	9'-4"	
	24"	8'-2"	
2"x8"	12"	12'-5"	LESSER OF 16" OR 1/7 OF TOTAL JOIST LENGTH
	16"	11'-9"	
	24"	10'-9"	
2"x10"	12"	14'-6"	LESSER OF 24" OR 1/7 OF TOTAL JOIST LENGTH
	16"	13'-9"	
	24"	12'-10"	
2"x12"	12"	16'-4"	LESSER OF 24" OR 1/7 OF TOTAL JOIST LENGTH
	16"	15'-5"	
	24"	14'-6"	

BEAM SPAN TABLE

SUPPORTED JOIST LENGTH	MAX. 2-PLY BEAM SPAN				MAX. 3-PLY BEAM SPAN			
	2"x6"	2"x8"	2"x10"	2"x12"	2"x6"	2"x8"	2"x10"	2"x12"
4'-0"	8'-0"	10'-4"	12'-7"	14'-7"	9'-7"	12'-7"	16'-1"	19'-7"
6'-0"	6'-10"	8'-4"	10'-4"	11'-9"	8'-4"	11'-0"	14'-1"	17'-1"
8'-0"	5'-11"	7'-2"	8'-10"	10'-3"	7'-7"	10'-0"	11'-10"	14'-1"
10'-0"	5'-3"	6'-5"	7'-10"	9'-2"	7'-1"	9'-4"	10'-10"	12'-7"
12'-0"	4'-10"	5'-11"	7'-2"	8'-4"	6'-8"	8'-7"	9'-11"	11'-6"
14'-0"	4'-6"	5'-5"	6'-8"	7'-9"	6'-4"	7'-11"	9'-2"	10'-8"

			LEGENDS:		FIRM NAME:		SHEET TITLE: JOIST AND BEAM SPAN TABLE	
			AIR REGISTER - 	RETURN AIR GRILL - 			DRAWN BY:	
			EXHAUST FAN - 	ABOVE FINISHED FLOOR - AFF			CHECKED BY:	
NO.	REVISION	DATE	BY	SMOKE ALARM - 	CARBON MONOXIDE DETECTOR - 	PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1		PROJECT NO.: 0506
General Notes				THREE WAY SWITCH - 	SINGLE POLE SWITCH - 	CLIENT EMAIL:		SCALE: NTS
RELEASED FOR BUILDING PERMIT				LIGHT FIXTURE[WALL MOUNTED] - 	LIGHT FIXTURE[PULL CHAIN] - 	DATE: JUNE/25		SHEET NO.:
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. DRAWINGS ARE NOT TO BE SCALED.				EMERGENCY LIGHT FIXTURE - 	DUPLEX OUTLET - 	FILE NO.:		A4
				DUCT SMOKE DETECTOR - 	SPRINKLER - 	CLIENT CONTACT:		

BY 17000-9102 (L1)

11.60
N45°30'20"W
(RP & M)

BLOCK 417
REGISTERED PLAN 43M-1883

PIN 14086-2301 (LT)

BENCHMARK NOTE: No. 0011954U594F
RESIDENCE OF TED BECKFORD, ON NORTH SIDE
OF C. N. RY., JUST EAST OF CROSSING OF
HIGHWAY No. 7 (TORONTO-GUELPH), TABLET
IN SOUTHEAST CONCRETE FOUNDATION WALL,
BESIDE STEPS TO CELLAR, 43 CM FROM SOUTH
CORNER AND 30 CM ABOVE GROUND
ELEVATION(CGVD 28:78): 247.281

TOP OF FOUNDATION WALL ELEVATION = 218.96

SURVEYOR'S REAL PROPERTY REPORT
PART 1 PLAN
PART 2 THIS PLAN MUST BE READ IN
CONJUNCTION WITH THE SURVEY
REPORT DATED N/A

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
NONE

SURVEYOR'S REAL PROPERTY REPORT
(PART 1) PLAN OF
LOT 13
CREDIT RIDGE
REGISTERED PLAN No. 43M-1952
IN THE
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:250 METRES
0 5 10 15

ASHENHURST NOUWENS & ASSOCIATES INC.

THIS REPORT WAS PREPARED FOR: LANDMART HOMES
THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES
© THIS PLAN IS PROTECTED BY COPYRIGHT

SURVEYOR'S CERTIFICATE
I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT
AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT, AND THE
LAND TITLES ACT, AND THE REGULATIONS
MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE
13th. DAY OF AUGUST, 2014.
SEPTEMBER 4, 2014
DATE
HARRY KALANTZAKOS
O.L.S.

BEARING NOTE: BEARINGS ARE GRID AND ARE REFERRED
TO THE SOUTH WESTERLY LIMIT OF MONKTON CIRCLE, AS SHOWN ON
REGISTERED PLAN 43M-1952, HAVING A BEARING OF N45°35'10"W
METRIC NOTE DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASHENHURST NOUWENS & ASSOCIATES INC.

DRAWN BY E.W.A. CALC'D BY E.W.A. CHK'D BY H.K.
DATE DWG. SEPT 4, 2014 FILE No. 13331 BLS 13

**ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM**
1915766

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

LEGEND
SIB - STANDARD IRON BAR
IB - IRON BAR
■ - FOUND
□ - PLANTED
RP - REG'D PLAN 43M-1952
P1 - PLAN BY ASHENHURST
NOUWENS & ASSOCIATES
LTD. DATED MAY 30, 2014
P2 - PLAN BY ASHENHURST
NOUWENS & ASSOCIATES
LTD. DATED MAY 30, 2014
JDB - J.D. BARNES LTD, O.L.S.
1497 - J.P. NOUWENS, O.L.S.

Zoning Non-compliance Checklist

File No. A-2026-0014

Owner: SIDHU AVNINDER, MAHAL SUKHJINDER

Address: 18 Monkton Cir

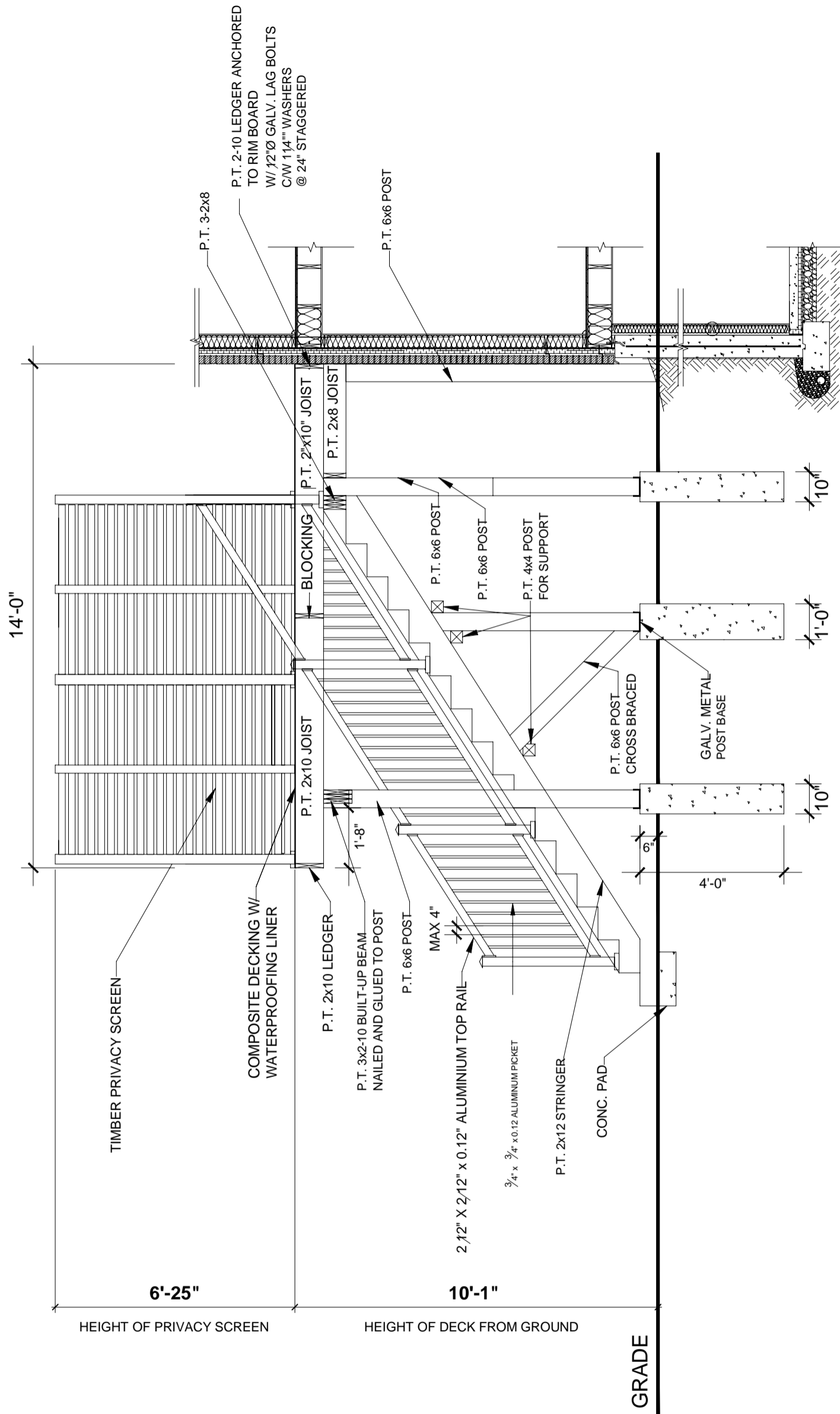
Zoning: R1E-11.6-2402

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
SETBACK/ENCROACHMENT	To permit an existing deck to project 3.57m (11.71 ft.) into the required rear yard setback, resulting in a setback of 3.93m (12.89ft) from the deck to the rear lot line.	Whereas the by-law permits a deck to project a maximum of 1.8 metres (5.90 ft.) into the required rear yard setback, resulting in a setback of 5.7m (18.70 ft.) from the deck to the rear lot line;	2402.2 (i)
PARKING			
SCHEDULE "C"			

Emily Mailling
Reviewed by Zoning

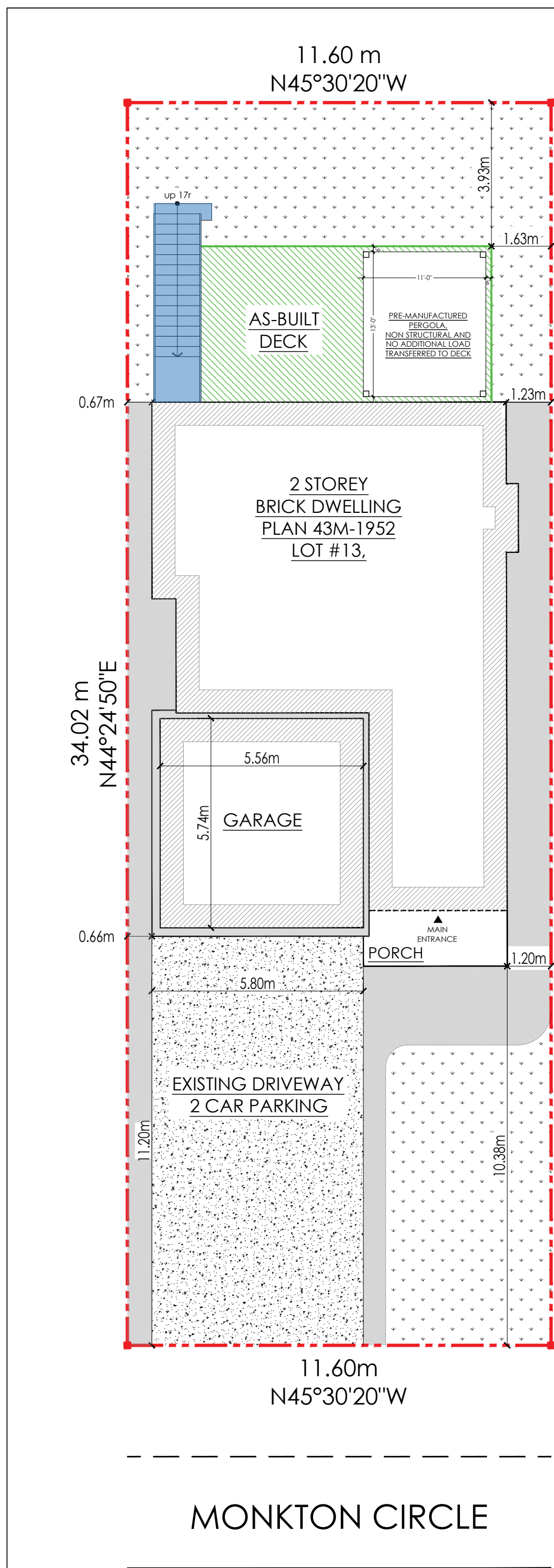
March 02, 2026
Date



SECTION A-A

NO.	REVISION	DATE	BY	LEGENDS:		FIRM NAME:	SHEET TITLE: SECTION A-A	
				AIR REGISTER - [Symbol]	RETURN AIR GRILL - [Symbol]	PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1	DRAWN BY:	CHECKED BY:
				EXHAUST FAN - [Symbol]	ABOVE FINISHED FLOOR - AFF		PROJECT NO. 0506	SCALE: NTS
				SMOKE ALARM - [Symbol]	CARBON MONOXIDE DETECTOR - [Symbol]	CLIENT EMAIL:	DATE: JUNE/25	SHEET NO.:
				THREE WAY SWITCH - S3	SINGLE POLE SWITCH - SA	CLIENT CONTACT:	FILE NO.:	A3
				LIGHT FIXTURE (WALL MOUNTED) - [Symbol]	LIGHT FIXTURE (PULL CHAIN) - [Symbol]			
				EMERGENCY LIGHT FIXTURE - [Symbol]	DUPLEX OUTLET - [Symbol]			
				DUCT SMOKE DETECTOR - [Symbol]	SPRINKLER - [Symbol]			
				WATER METER - [Symbol]				

General Notes
 RELEASED FOR BUILDING PERMIT
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LEGEND

- EXISTING CONSTRUCTION
- AS-BUILT CONSTRUCTION



LEGEND

- PROPERTY LINE
- ASPHALT DRIVEWAY
- LANDSCAPE AREA
- HARDSCAPE WALKWAY
- GRAVEL WALKWAY
- EXISTING HOUSE ENTRANCE DOOR
- EXISTING SIDE ENTRANCE

SITE STATISTICS

LOT NO.: 13
 PLAN NO: 43M-1952
 LOT AREA: 4247.56ft² (394.61m²)
 LOT FRONTAGE: 11.60m
 LOT DEPTH: 34.02m
 LOT COVERAGE: 1483.86ft² (34.93% OF LOT AREA)
 NO. OF STORIES: 2 STOREY

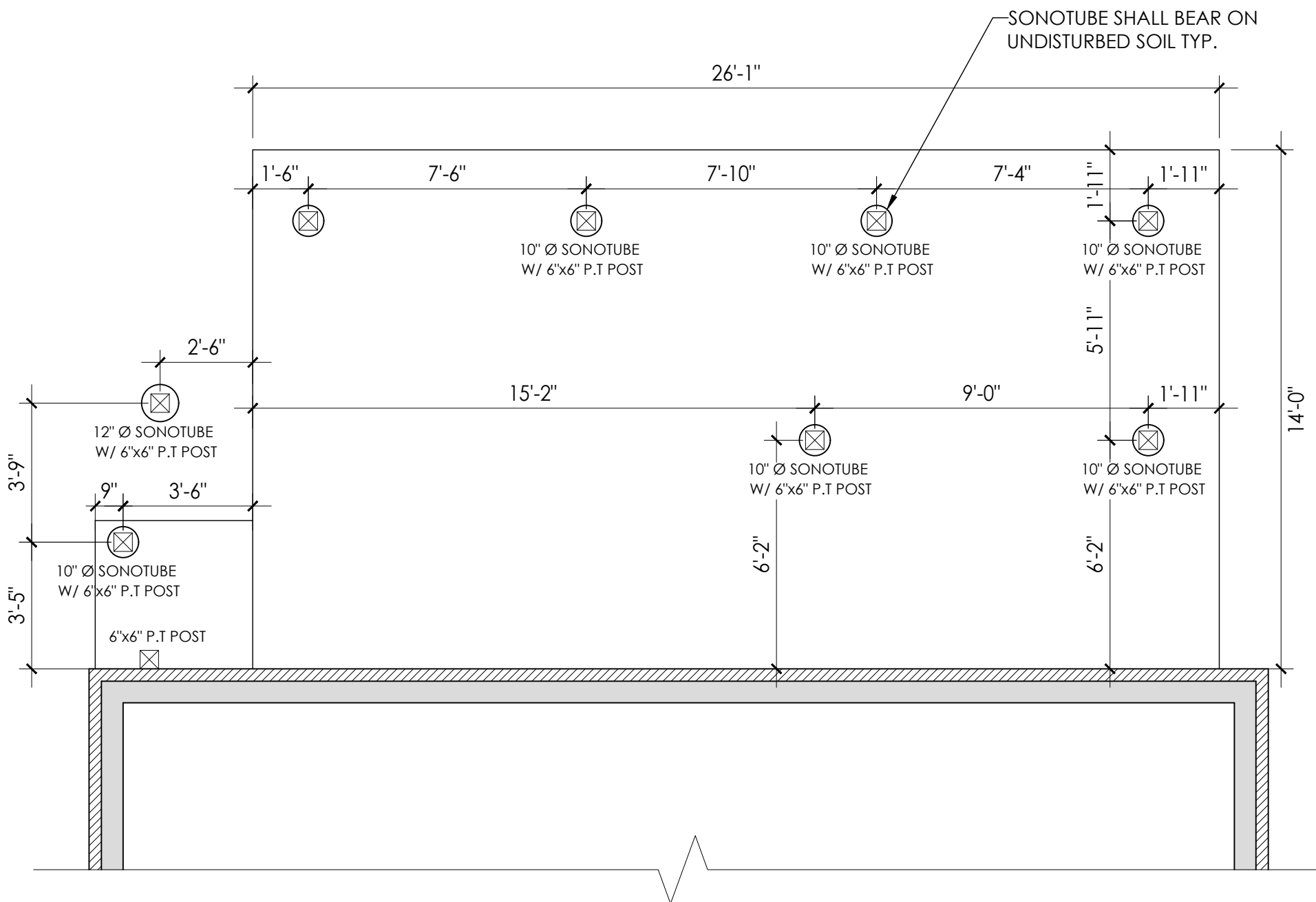
SETBACKS

PROPERTY SETBACKS
 FRONT YARD (MONKTON CIRCLE): 10.38m
 INTERIOR SIDE YARD: 0.66m
 INTERIOR SIDE YARD: 1.20m
 REAR YARD: 8.20m

NO.	REVISION	DATE	BY
<p>General Notes RELEASED FOR BUILDING PERMIT CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. DRAWINGS ARE NOT TO BE SCALED.</p>			

LEGENDS:	
AIR REGISTER -	RETURN AIR GRILL -
EXHAUST FAN -	ABOVE FINISHED FLOOR - AFF
SMOKE ALARM -	CARBON MONOXIDE DETECTOR -
THREE WAY SWITCH -	SINGLE POLE SWITCH -
LIGHT FIXTURE(WALL MOUNTED) -	LIGHT FIXTURE(PULL CHAIN) -
EMERGENCY LIGHT FIXTURE -	DUPLEX OUTLET -
DUCT SMOKE DETECTOR -	SPRINKLER -
WATER METER -	

FIRM NAME:		SHEET TITLE: SITE PLAN	
PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1		DRAWN BY:	CHECKED BY:
CLIENT EMAIL:		PROJECT NO.: 0506	SCALE: NTS
CLIENT CONTACT:		DATE: JUNE/25	SHEET NO.:
		FILE NO.:	SP1



AS-BUILT DECK FOUNDATION PLAN

LEGENDS:

AIR REGISTER - [Symbol]	RETURN AIR GRILL - [Symbol]
EXHAUST FAN - [Symbol]	ABOVE FINISHED FLOOR - AFF
SMOKE ALARM - [Symbol]	CARBON MONOXIDE DETECTOR - [Symbol]
THREE WAY SWITCH - [Symbol]	SINGLE POLE SWITCH - [Symbol]
LIGHT FIXTURE(WALL MOUNTED) - [Symbol]	LIGHT FIXTURE(PULL CHAIN) - [Symbol]
EMERGENCY LIGHT FIXTURE - [Symbol]	DUPLEX OUTLET - [Symbol]
DUCT SMOKE DETECTOR - [Symbol]	SPRINKLER - [Symbol]
WATER METER - [Symbol]	

FIRM NAME:

SHEET TITLE: AS-BUILT DECK FOUNDATION PLAN

PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1

DRAWN BY:

PROJECT NO.: 0506 SCALE: NTS

CLIENT EMAIL:

DATE: JUNE/25

SHEET NO.:

CLIENT CONTACT:

FILE NO.:

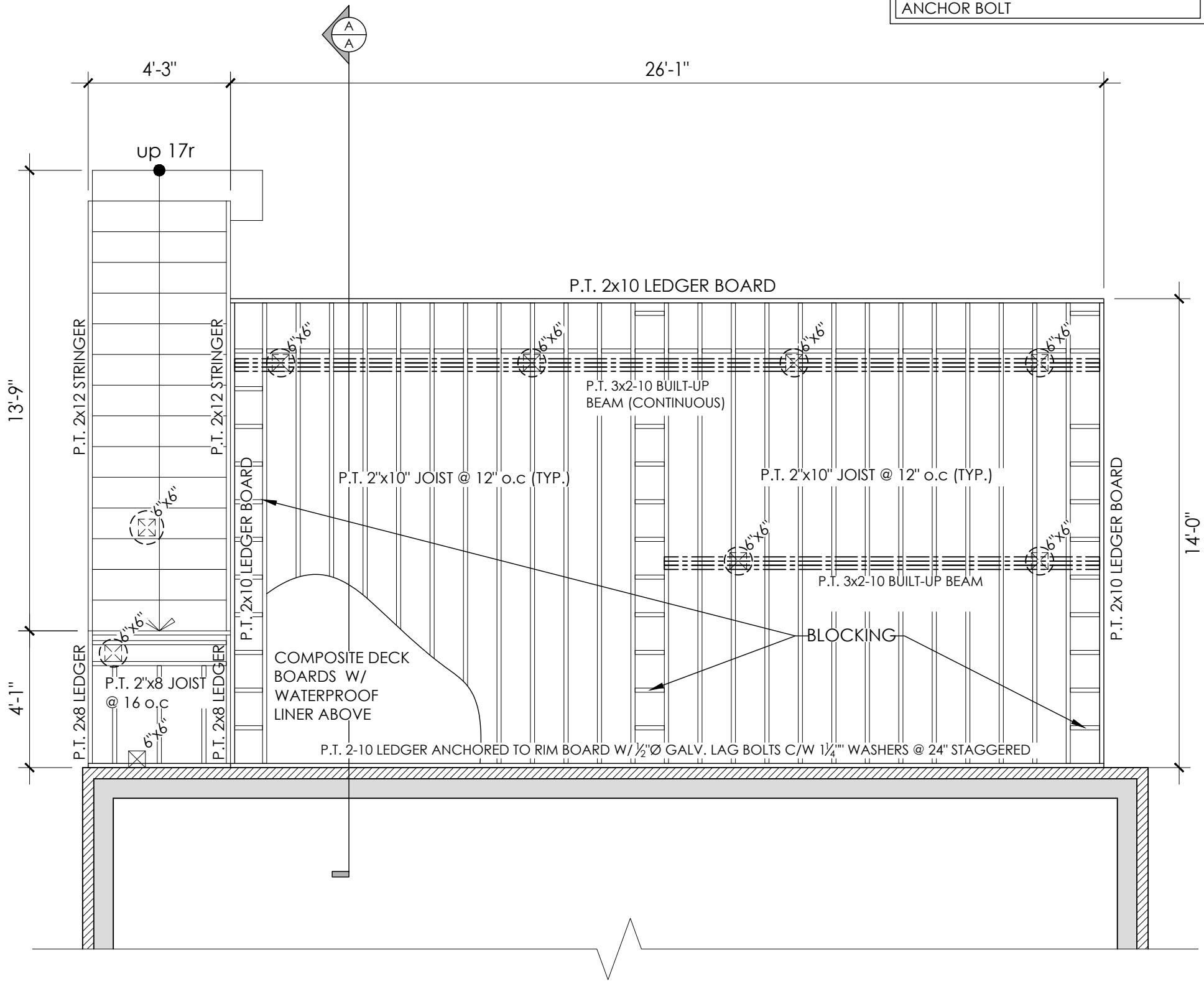
A1

General Notes

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NOTE:
DECK GUARDS AND FASTENING
TO CONFORM TO OBC SB-7

NOTE:
WOOD POST SCREWED W/ METAL SHOE
ANCHORED TO SONOTUBE
MIN. 4" INTO CONC. W/ 1/2" DIA. THRU
ANCHOR BOLT



AS-BUILT DECK FRAMING PLAN

LEGENDS:

AIR REGISTER -	RETURN AIR GRILL -
EXHAUST FAN -	ABOVE FINISHED FLOOR - AFF
SMOKE ALARM -	CARBON MONOXIDE DETECTOR -
THREE WAY SWITCH -	SINGLE POLE SWITCH -
LIGHT FIXTURE(WALL MOUNTED) -	LIGHT FIXTURE(PULL CHAIN) -
EMERGENCY LIGHT FIXTURE -	DUPLEX OUTLET -
DUCT SMOKE DETECTOR -	SPRINKLER -
WATER METER -	

FIRM NAME:

SHEET TITLE: AS-BUILT DECK FRAMING PLAN

PROJECT 18 MONKTON CIRCLE,
NAME: BRAMPTON, ON
L6Y 0X1

DRAWN BY:

PROJECT NO.: 0506 SCALE: NTS

CLIENT EMAIL:

DATE: JUNE/25

SHEET NO.:

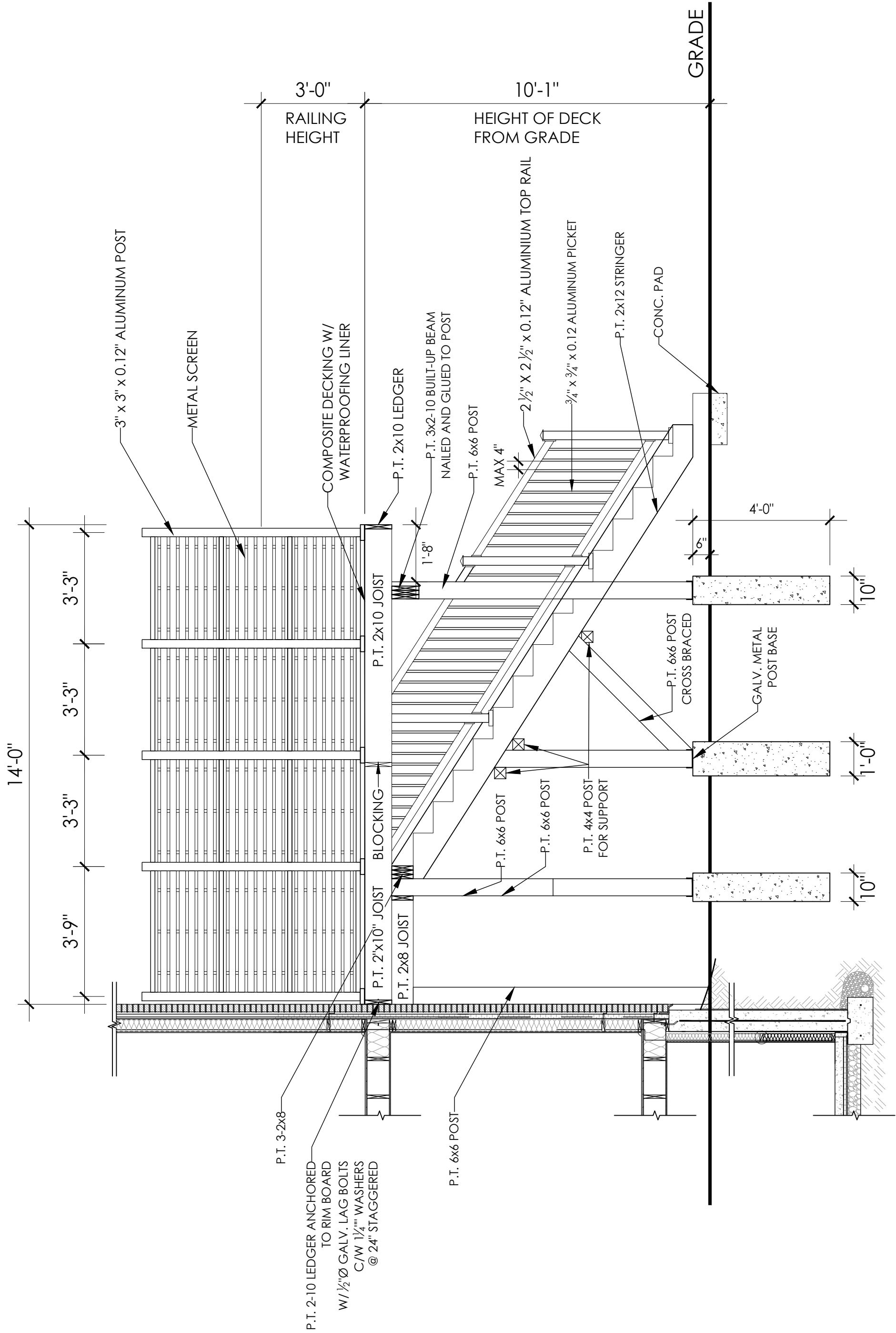
CLIENT CONTACT:

FILE NO.:

A2

General Notes

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SECTION A-A

LEGENDS:

AIR REGISTER -	RETURN AIR GRILL -
EXHAUST FAN -	ABOVE FINISHED FLOOR - AFF
SMOKE ALARM -	CARBON MONOXIDE DETECTOR -
THREE WAY SWITCH -	SINGLE POLE SWITCH -
LIGHT FIXTURE(WALL MOUNTED) -	LIGHT FIXTURE(PULL CHAIN) -
EMERGENCY LIGHT FIXTURE -	DUPLEX OUTLET -
DUCT SMOKE DETECTOR -	SPRINKLER -
WATER METER -	

FIRM NAME:

SHEET TITLE: SECTION A-A

General Notes

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PROJECT 18 MONKTON CIRCLE,
 NAME: BRAMPTON, ON
 L6Y 0X1

DRAWN BY: CHECKED BY:

CLIENT EMAIL:

DATE: JUNE/25

SHEET NO.:

CLIENT CONTACT:

FILE NO.:

A3

FLOOR JOIST SPAN TABLE

JOIST SIZE	SPACING (o/c)	MAX. JOIST SPAN	MAX. JOIST CANTILEVER
2"x6" ⑥	12"	10'-4"	NOT PERMITTED
	16"	9'-4"	
	24"	8'-2"	
2"x8"	12"	12'-5"	LESSER OF 16" OR 1/7 OF TOTAL JOIST LENGTH
	16"	11'-9"	
	24"	10'-9"	
2"x10"	12"	14'-6"	LESSER OF 24" OR 1/7 OF TOTAL JOIST LENGTH
	16"	13'-9"	
	24"	12'-10"	
2"x12"	12"	16'-4"	LESSER OF 24" OR 1/7 OF TOTAL JOIST LENGTH
	16"	15'-5"	
	24"	14'-6"	

BEAM SPAN TABLE

SUPPORTED JOIST LENGTH	MAX. 2-PLY BEAM SPAN				MAX. 3-PLY BEAM SPAN			
	2"x6"	2"x8"	2"x10"	2"x12"	2"x6"	2"x8"	2"x10"	2"x12"
4'-0"	8'-0"	10'-4"	12'-7"	14'-7"	9'-7"	12'-7"	16'-1"	19'-7"
6'-0"	6'-10"	8'-4"	10'-4"	11'-9"	8'-4"	11'-0"	14'-1"	17'-1"
8'-0"	5'-11"	7'-2"	8'-10"	10'-3"	7'-7"	10'-0"	11'-10"	14'-1"
10'-0"	5'-3"	6'-5"	7'-10"	9'-2"	7'-1"	9'-4"	10'-10"	12'-7"
12'-0"	4'-10"	5'-11"	7'-2"	8'-4"	6'-8"	8'-7"	9'-11"	11'-6"
14'-0"	4'-6"	5'-5"	6'-8"	7'-9"	6'-4"	7'-11"	9'-2"	10'-8"

LEGENDS:

AIR REGISTER -	RETURN AIR GRILL -
EXHAUST FAN -	ABOVE FINISHED FLOOR - AFF
SMOKE ALARM -	CARBON MONOXIDE DETECTOR -
THREE WAY SWITCH -	SINGLE POLE SWITCH -
LIGHT FIXTURE(WALL MOUNTED) -	LIGHT FIXTURE(PULL CHAIN) -
EMERGENCY LIGHT FIXTURE -	DUPLEX OUTLET -
DUCT SMOKE DETECTOR -	SPRINKLER -
WATER METER -	

FIRM NAME:

SHEET TITLE: JOIST AND BEAM SPAN TABLE

PROJECT **18 MONKTON CIRCLE,**
NAME: **BRAMPTON, ON**
L6Y 0X1

DRAWN BY: CHECKED BY:

CLIENT EMAIL:

PROJECT NO.:0506 SCALE:NTS

CLIENT CONTACT:

DATE: JUNE/25 SHEET NO.:

FILE NO.: **A4**

General Notes
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