

**Application for Minor Variance**  
Section 45 of the *Planning Act*, R.S.O. 1990 c.P.13

**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

**Application Number:** A-2026-0014  
**Property Address:** 18 Monkton Circle  
**Legal Description:** Plan 43M1952, Lot 13, Ward 4  
**Agent:**  
**Owner(s):** Sukhjinder Mahal, Avninder Sidhu  
**Other applications:** nil  
**under the *Planning Act***

**Meeting Date and Time:** Tuesday, April 28, 2026, at 9:30 am  
**Meeting Location:** Hybrid in-person and virtual meeting – Council Chambers, 4<sup>th</sup> Floor Brampton City Hall, 2 Wellington Street West

**Purpose of the Application:**

1. To permit an existing deck to project 3.57 metres into the required rear yard setback, resulting in a setback of 3.93 metres from the deck to the rear lot line. whereas the by-law permits a deck to project a maximum of 1.8 metres into the required rear yard setback, resulting in a setback of 5.7 metres from the deck to the rear lot line;
2. To permit an existing privacy screen on a deck with a height of 1.9 metres, whereas the by-law does not permit a privacy screen to exceed the height of 1.8 metres when located on a deck;
3. To permit an existing privacy screen to project 4.2 metres from the wall of the dwelling, whereas the by-law does not permit an individual side or segment of a screening to project more than 2 metres from the wall of the dwelling or the depth of the walking platform to which it is affixed, whichever is less; and
4. To permit an existing accessory structure (pergola) on a deck to have a gross floor area of 13.3 square metres, whereas the by-law permits one accessory structure (pergola) on a deck to have a maximum gross floor area of 10 square metres.

**Participate in the Meeting:**

- Send an email with your written comments to [coa@brampton.ca](mailto:coa@brampton.ca). Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday April 23, 2026**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing [coa@brampton.ca](mailto:coa@brampton.ca) and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via Teams, you must register in advance, no later than **12:00 pm on Thursday April 23, 2026**, by emailing [coa@brampton.ca](mailto:coa@brampton.ca), and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

**Note:** Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

**Viewing Application Materials:** The application and related materials are available online at <https://www.brampton.ca/EN/City-Hall/Council-Committees/meetings-agendas/Pages/Welcome.aspx> and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at [www.brampton.ca](http://www.brampton.ca).

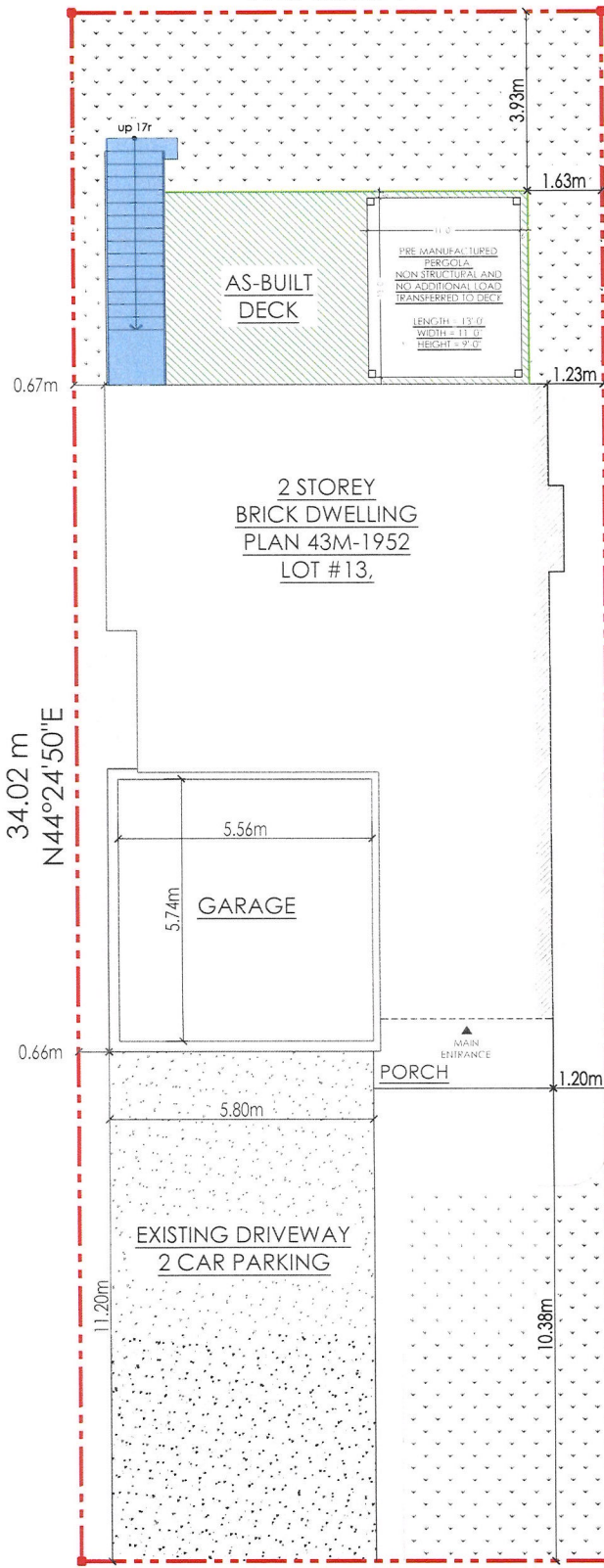
**Appeal Process:** If you wish to be notified of the decision of Committee, you must submit a written request to [coa@brampton.ca](mailto:coa@brampton.ca). This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting [olt.clo@ontario.ca](mailto:olt.clo@ontario.ca).

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 15th day of April 2026

Secretary Treasurer  
Committee of Adjustment, City Clerk's Office  
2 Wellington Street West, Brampton, L6Y 4R2  
E: [coa@brampton.ca](mailto:coa@brampton.ca)

11.60 m  
N45°30'20"W



LEGEND

- EXISTING CONSTRUCTION
- AS-BUILT CONSTRUCTION

LEGEND

- PROPERTY LINE
- ASPHALT DRIVEWAY
- LANDSCAPE AREA
- HARDSCAPE WALKWAY
- GRAVEL WALKWAY
- EXISTING HOUSE ENTRANCE DOOR
- EXISTING SIDE ENTRANCE

SITE STATISTICS

LOT NO.: 13  
 PLAN NO: 43M-1952  
 LOT AREA: 4247.56ft<sup>2</sup> (394.61m<sup>2</sup>)  
 LOT FRONTAGE: 11.60m  
 LOT DEPTH: 34.02m  
 LOT COVERAGE: 1483.86ft<sup>2</sup> (34.93% OF LOT AREA)  
 NO. OF STORIES: 2 STOREY

SETBACKS

PROPERTY SETBACKS  
 FRONT YARD (MONKTON CIRCLE): 10.38m  
 INTERIOR SIDE YARD: 0.66m  
 INTERIOR SIDE YARD: 1.20m  
 REAR YARD: 8.20m

MONKTON CIRCLE

LEGENDS:				AIR REGISTER -	RETURN AIR GRILL -	FIRM NAME:		SHEET TITLE: SITE PLAN	
				EXHAUST FAN -	ABOVE FINISHED FLOOR - AFF	PROJECT 18 MONKTON CIRCLE, NAME: BRAMPTON, ON L6Y 0X1		DRAWN BY:	CHECKED BY:
NO.	REVISION	DATE	BY	SMOKE ALARM -	CARBON MONOXIDE DETECTOR -	CLIENT EMAIL:		PROJECT NO.: 0506	SCALE: NTS
General Notes				THREE WAY SWITCH - \$3	SINGLE POLE SWITCH - \$A	DATE: JUNE/25		SHEET NO.:	
RELEASED FOR BUILDING PERMIT				LIGHT FIXTURE(WALL MOUNTED) -	LIGHT FIXTURE(PULL CHAIN) -	CLIENT CONTACT:		FILE NO.:	
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK				EMERGENCY LIGHT FIXTURE -	DUPLEX OUTLET -			SP1	
SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS				DUCT SMOKE DETECTOR -	SPRINKLER -				
BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS				WATER METER -					
ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED									
AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE									
USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.									
DRAWINGS ARE NOT TO BE SCALED.									