



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **AMRO HAYEK AND SANA ISSA GULATI** Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 1, Plan 43M-1822 municipally known as **42 CACHET COURT** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing driveway width of 9.60m (31.50 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);
2. To permit 0.0m of permeable landscaping between the driveway and side property line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping along the side lot line.
3. To permit a proposed accessory structure (pool equipment/change room) to be located in the exterior side yard whereas the by-law does not permit an accessory structure to be located in the exterior side yard;
4. To permit an existing accessory structure (cabana) having a height of 3.30m (10.83 ft.) whereas the by-law permits a maximum height of 3.0m (9.84 ft.) for an accessory structure;
5. To permit an existing accessory structure (cabana) with a floor area of 32.34 sq. m (348.1sq. ft.) whereas the by-law permits an individual accessory structure to a maximum floor are of 15 sq. m (161.46 sq. ft.);
6. To permit a combined area of 43.48 sq. m (468 ft.) for two (2) accessory structures (gazebo and shed) whereas the by-law permits a maximum combined area of 20 sq. m (215.28 sq. ft.) for two (2) accessory structures;
7. To permit a swimming pool on a corner lot which extends into the exterior side yard and the defined triangular site line area whereas the by-law does not permit a swimming pool to extend into the exterior side yard or the defined triangular site line area when a corner lot abuts the side yard of an adjacent residential lot having habitable room on the front corner of the ground floor.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, February 16, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

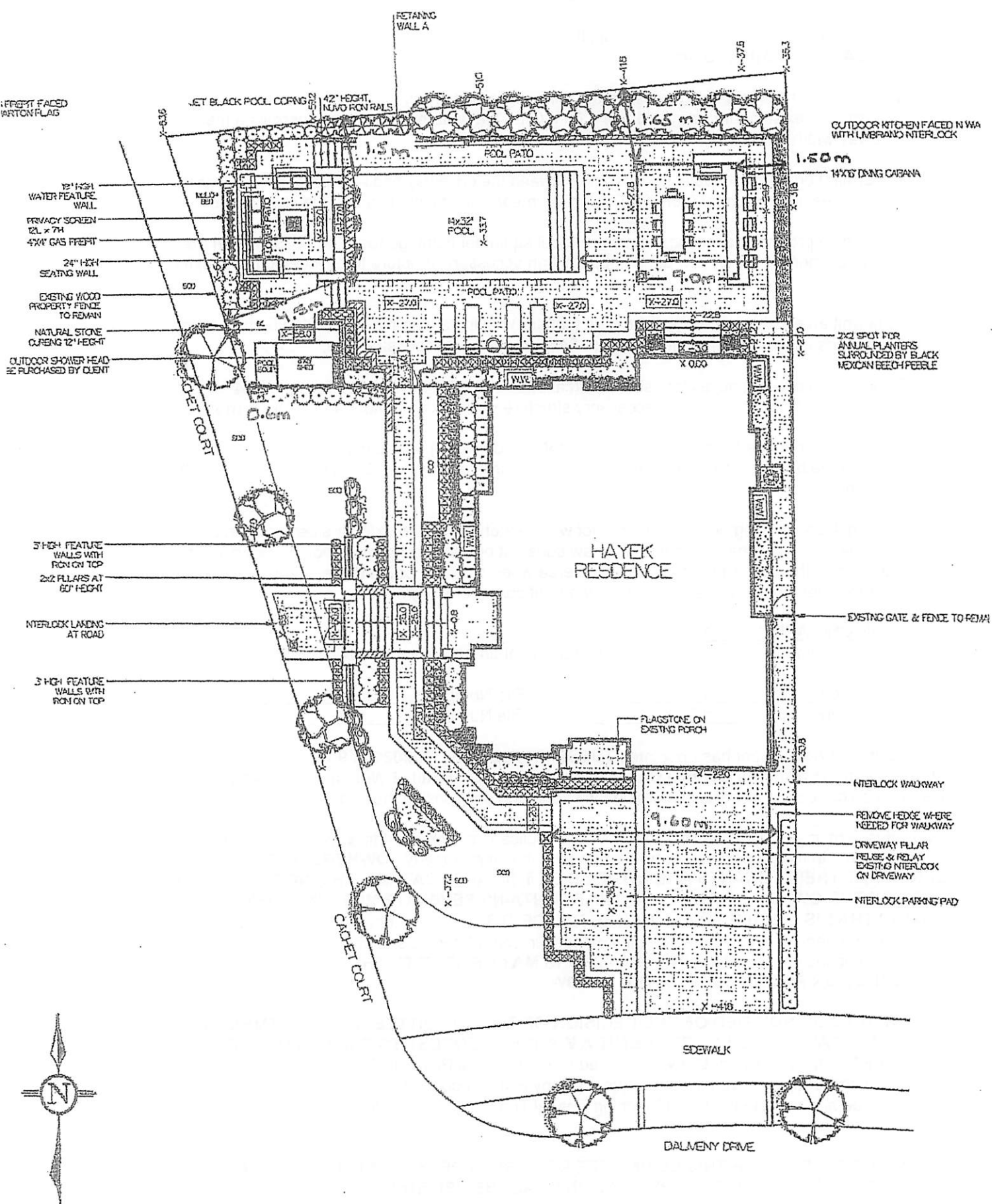
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 14th day of February, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer, Committee of Adjustment
City Clerk's Office, Brampton City Hall,
2 Wellington Street West,
Brampton, Ontario L6Y 4R2,
Phone: (905)874-2117, Fax: (905)874-2119
jeanie.myers@brampton.ca



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency.

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, February 11, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, February 11, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, February 11, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Mrs. Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City of Brampton

January 6, 2021

Re: Amendment to Application No. A-2020-0122
42 Cachet Court

To Whom It May Concern:

This letter is to inform you of the following amendments and additions to our Minor Variance Application with the above noted application number.

Amendments

1. To permit a maximum combined area of 43.48m² with a gazebo area of 32.34m² and a shed area of 11.14m², where-as a maximum combined area of 20m² is permitted with no structure exceeding 15m².

Additions:

1. To permit 0.0m of soft landscaping, where-as the by-law requires 0.6m between the edge of the driveway and property line;
2. To permit an accessory structure with a height of 3.30m, where-as the by-law allows an accessory structure with a maximum height of 3.0m.

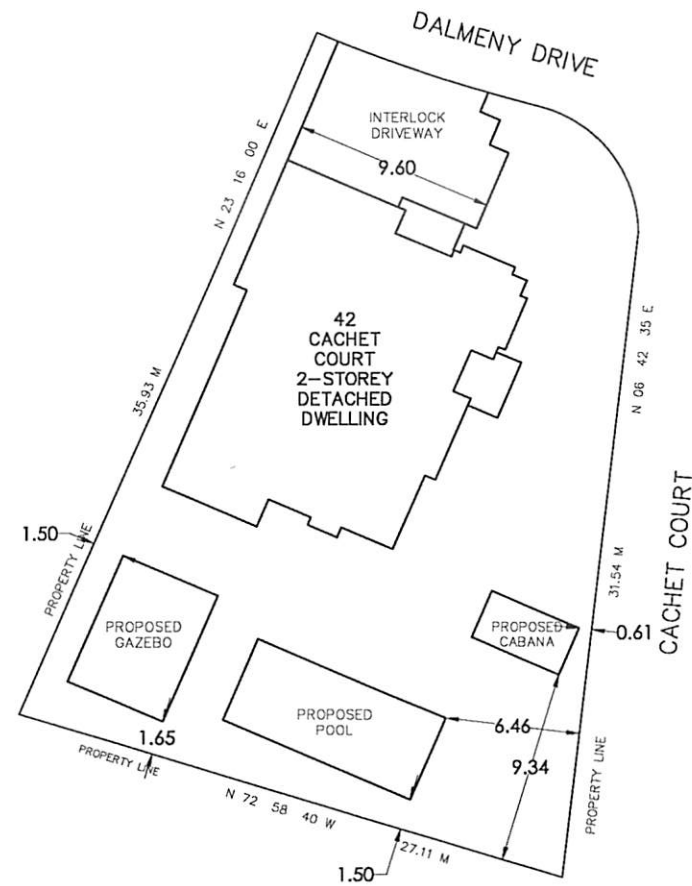
If you have any questions or concerns, please do not hesitate to contact the undersigned.

Yours truly,



Daniel Falzon, P.Eng.
Lasonne Engineering Limited





INFORMATION TAKEN FROM SURVEY:
 SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN SHOWING LOT 1
 REGISTERED PLAN 434-1822
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 BY: SCHAEFFER DZALDOV BENNETT LTD.
 DATED: JANUARY 5, 2011

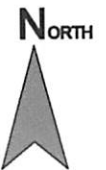
CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 232/12.

General Notes

METRIC

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED.



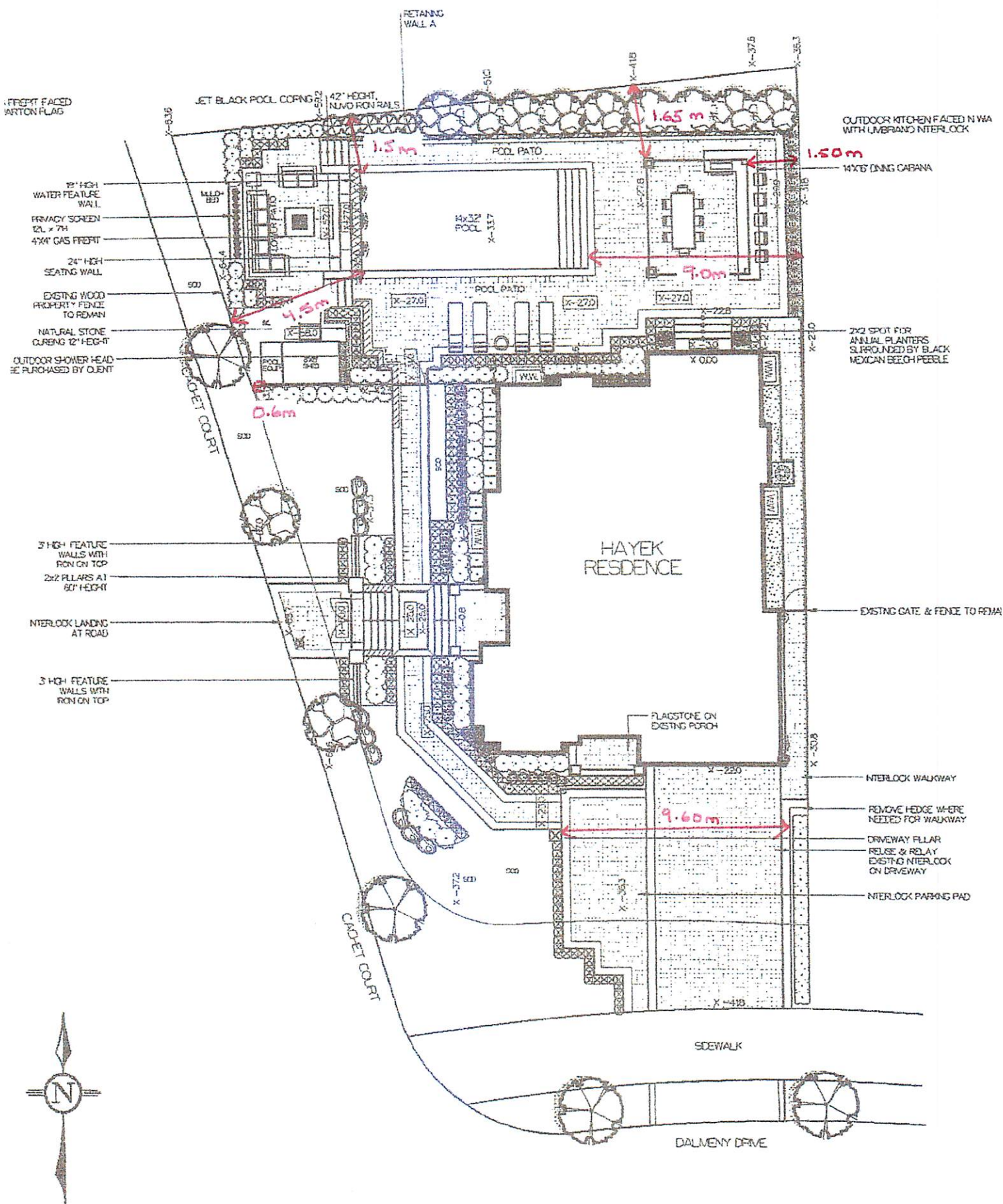
LASONNE
ENGINEERING LTD.
KLEINBURG 416.882.2673

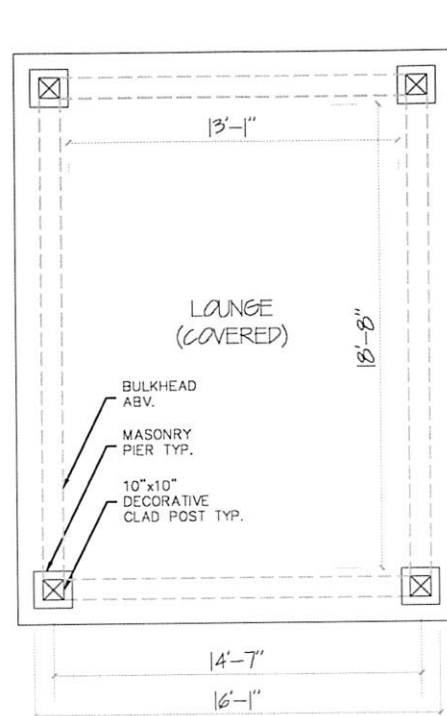
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SITE PLAN

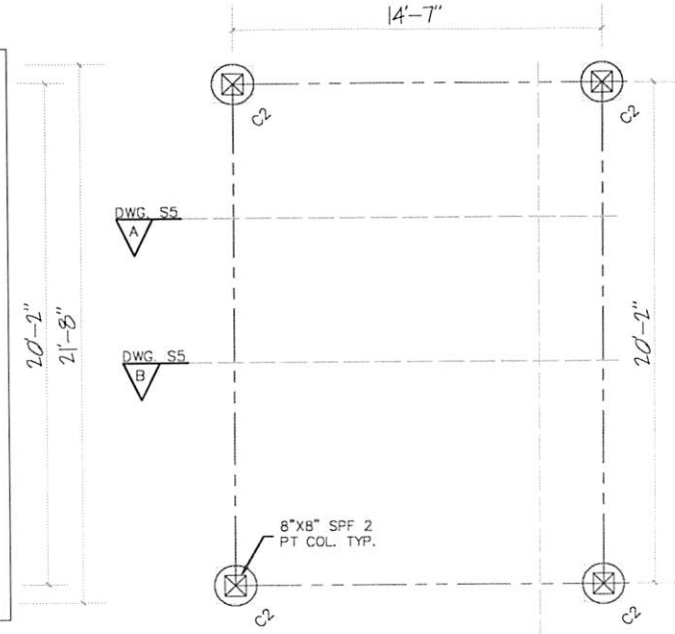
42 CACHET COURT
MISC. EXTERIOR ALTERATIONS
Brampton, Ontario

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| Date | FEB '21 | S1 |
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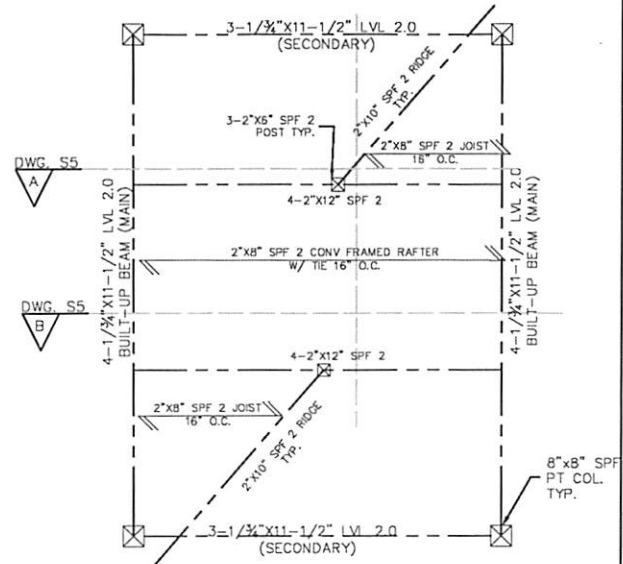




PLAN ARCHITECTURAL



PLAN FOUNDATIONS



PLAN FRAMING

SB3 - 3-2"x6" SOLID BEARING
SB4 - 4-2"x6" SOLID BEARING
SB5 - 5-2"x6" SOLID BEARING
SB6 - 5-2"x8" SOLID BEARING
ALL SOLID BEARING TO BE BRACED
AT TOP AND BOTTOM

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR
APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LG.
COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2
ROWS FOR DEPTHS UP TO 11-7/8" AND 3 ROWS FOR
GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm
DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT
400mm O.C.

GENERAL NOTES:

2.1 LUMBER:

1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR
BETTER UNLESS NOTED OTHERWISE.

2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS
OTHERWISE NOTED.

2.2 STEEL:

1. STRUCTURAL STEEL SHALL CONFORM TO
CAN/CSA-C40-21 GRADE 300W. HOLLOW
STRUCTURAL SECTIONS SHALL CONFORM TO
CAN/CSA-C40-21 GRADE 350W CLASS 'H'.

2. REINFORCING STEEL SHALL CONFORM TO
CSA-G30-18M GRADE 400W.

2.3 CONCRETE:

1. THE MINIMUM COMPRESSIVE STRENGTH f'c OF
ALL CONCRETE SHALL BE 30MPa.

2. CLEAR COVER TO REINFORCING STEEL SHALL BE
AS FOLLOWS:

100mm +/- 20mm FOOTINGS CAST
AGAINST EARTH

70mm +/- 20mm REMAINDER
UNLESS NOTED

2.3 MECHANICAL:

1. MECHANICAL VENTILATION SHALL PROVIDE 1 AIR
CHANGE PER HOUR IF NOT AIR CONDITIONED 0.5
PER HOUR IF AIR CONDITIONED AVERAGED OVER 25
HOURS.

2. HOT WATER TANK MANUFACTURER SPECS SHALL
CONFORM TO SBG 9.31.6.

2.4 FLASHINGS:

1. FLASHING MATERIALS AND DISTALLATION SHALL
CONFORM TO O.B.C SECTIONS 9.20.13, 9.26.4 &
9.27.3

2.5 ELECTRICAL FACILITIES:

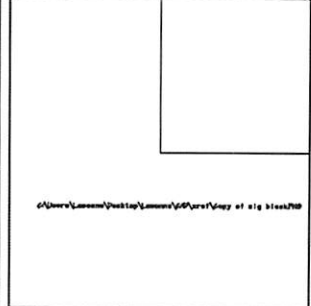
1. ALL ELECTRICAL FACILITIES SHALL BE INSTALLED
IN ACCORDANCE WITH SECTION 9.34

2.6 GRADING:

1. THE BUILDING SHALL BE LOCATED OR THE
BUILDING SITE GRADED SO THAT WATER WILL NOT
ACCUMULATE AT OR NEAR THE BUILDING AND WILL
NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
GRADING SHALL CONFORM TO 9.14.6.

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
FIELD. ANY DISCREPANCIES MUST BE REPORTED
BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS
AND/OR SPECIFICATIONS AND TO CONFORM TO THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE
CODES AND AUTHORITIES HAVING JURISDICTION. THESE
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS. ONT. REG. 332/12.

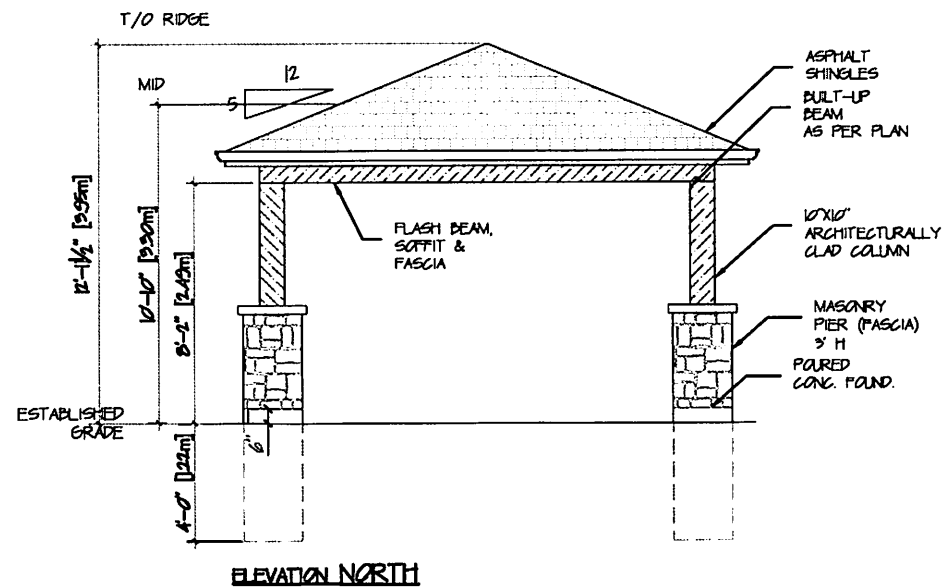
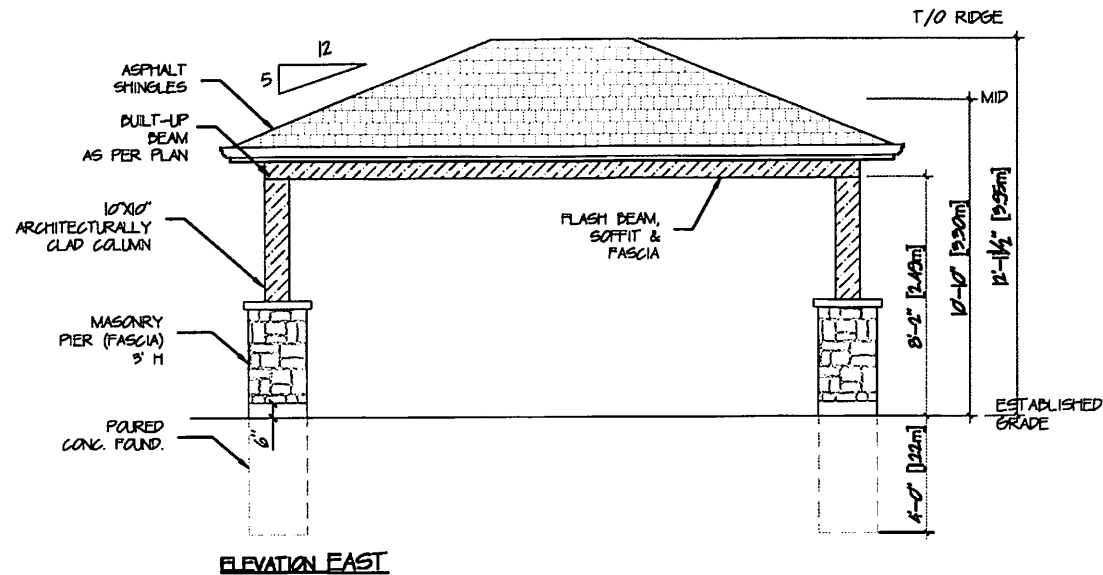


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42 CACHET COURT
REAR YARD MISC. STRUCTURES
Brampton, Ontario

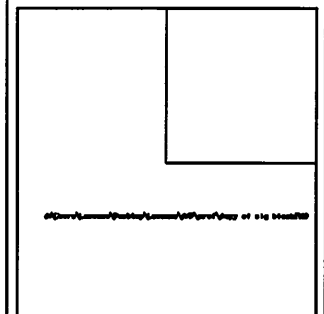
PLAN
GAZEBO

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| Project No. | 20114 |
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| Checked by: | DF |



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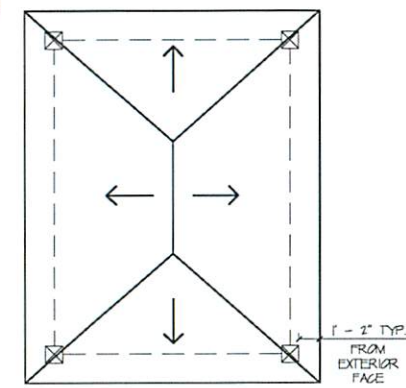
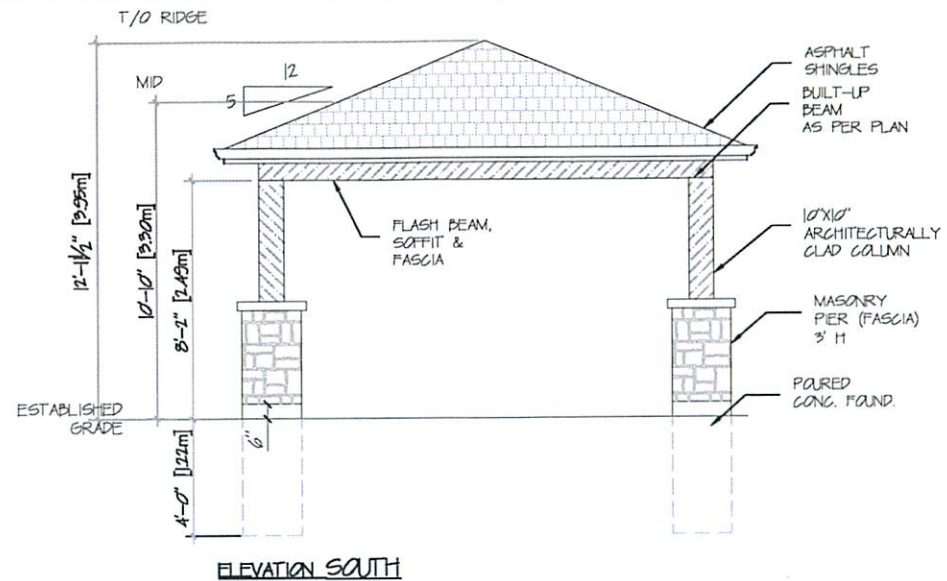
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| No. | Revision/Issue | Date |



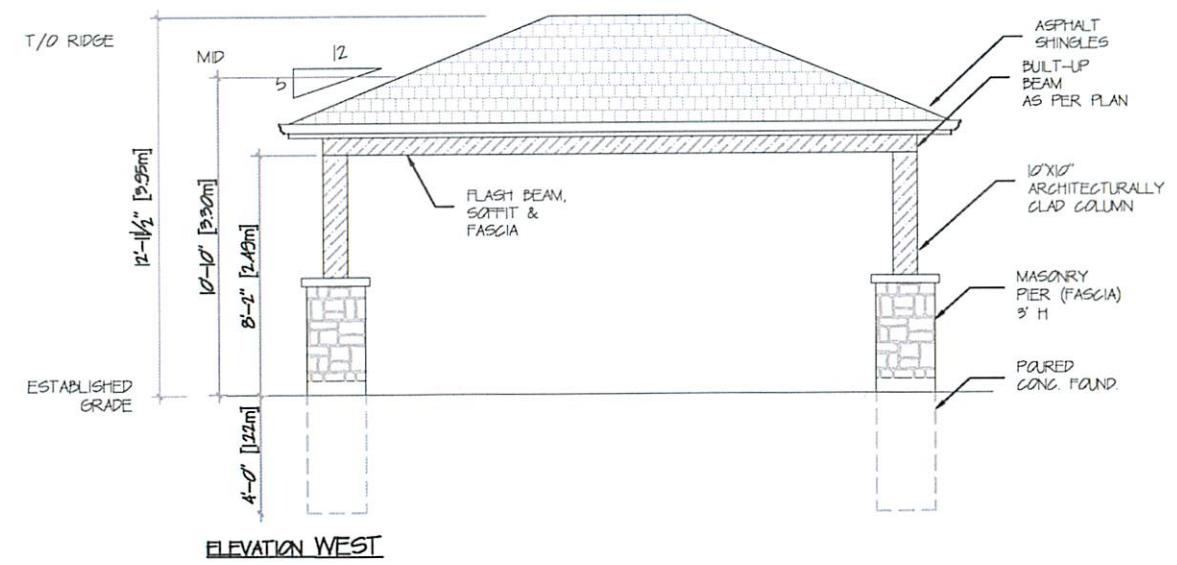
42 CACHET COURT
REAR YARD MISC. STRUCTURES
Brampton, Ontario

**GAZEBO
ELEVATIONS I**

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| Project No. | 20114 | |
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| Drawn by | DF | Checked by: DF |

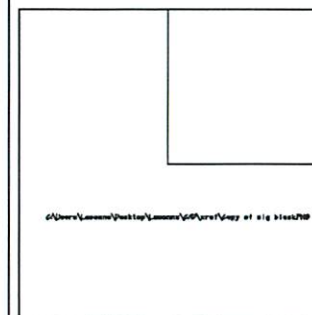


PLAN ROOF



CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

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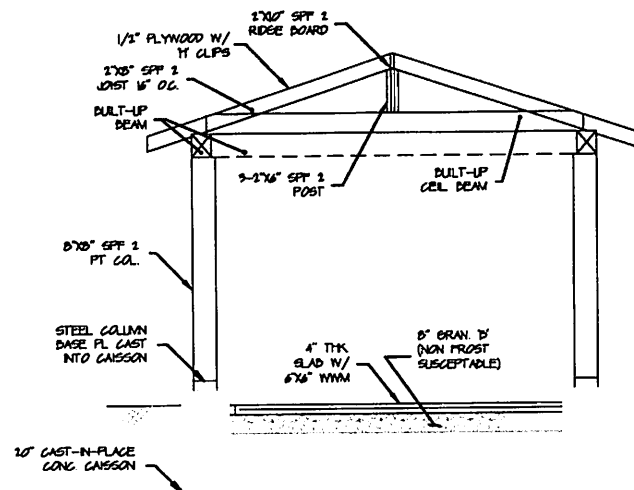
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| No. | Revision/Issue | Date |



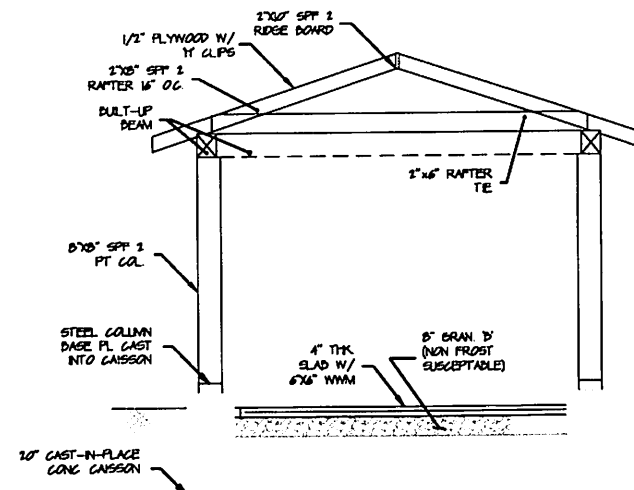
42 CACHET COURT
REAR YARD MISC. STRUCTURES
Brampton, Ontario

TITLE
**GAZEBO
ELEVATIONS II**

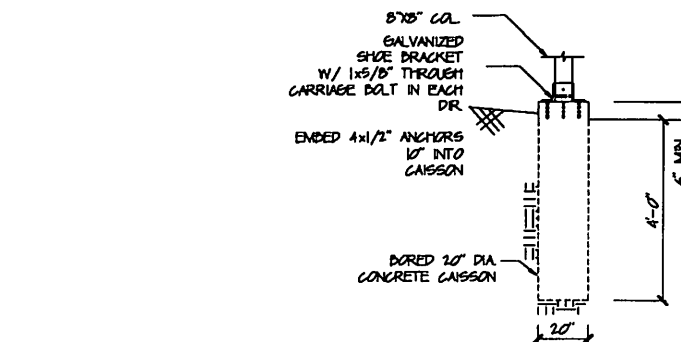
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| Checked by: | DF |



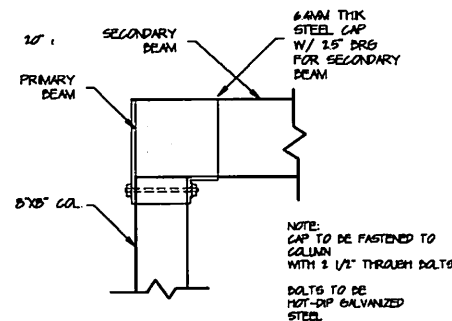
CROSS SECTION: A



CROSS SECTION: B



CAISSON - COLUMNS 'C'
DETAILS
NTS



DET A: BEAM TO COL
CONNECTION DETAILS

GENERAL NOTES:

- 2.1 LUMBER:
1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (4004) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.
- 2.2 STEEL:
1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-C40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-C40-21 GRADE 350W CLASS 'H'.
2. REINFORCING STEEL SHALL CONFORM TO CSA-C30-18M GRADE 400W.
- 2.3 CONCRETE:
1. THE MINIMUM COMPRESSIVE STRENGTH F'_c OF ALL CONCRETE SHALL BE 30MPa.

2. CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:

- | | |
|----------------|-----------------------------|
| 100mm +/- 20mm | FOOTINGS CAST AGAINST EARTH |
| 70mm +/- 20mm | REMAINDER UNLESS NOTED |

2.3 MECHANICAL:

1. MECHANICAL VENTILATION SHALL PROVIDE 1 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 0.5 PER HOUR IF AIR CONDITIONED AVERAGED OVER 25 HOURS.
2. HOT WATER TANK MANUFACTURER SPECS SHALL CONFORM TO OSC 9.31.6.

2.4 FLASHINGS:

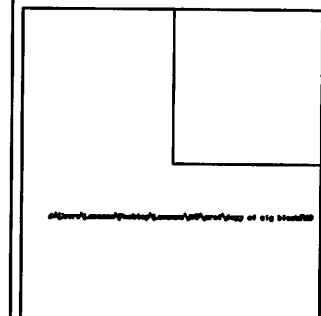
1. FLASHING MATERIALS AND INSTALLATION SHALL CONFORM TO O.B.C. SECTIONS 9.20.13, 9.20.4 & 9.27.3

2.5 ELECTRICAL FACILITIES:

1. ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

2.6 GRADING:

1. THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL CONFORM TO 9.14.6.



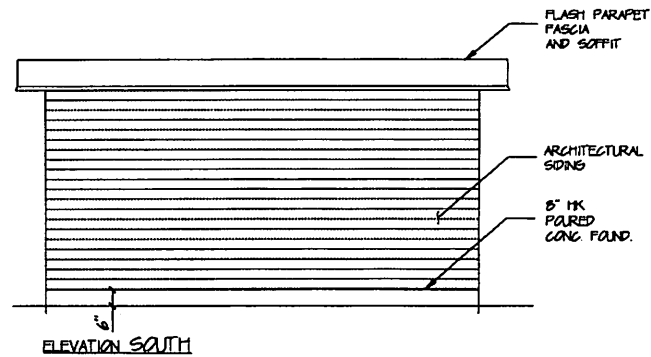
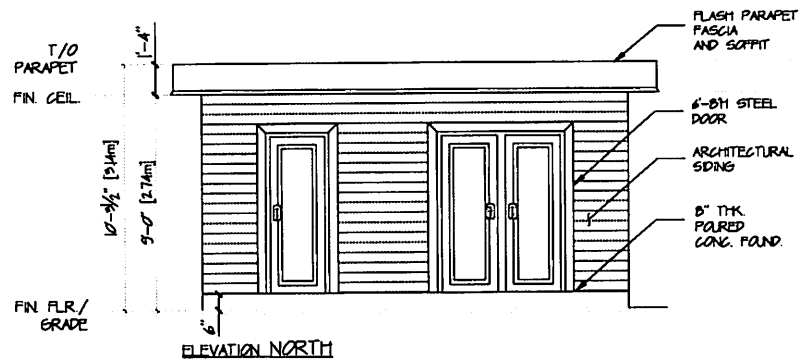
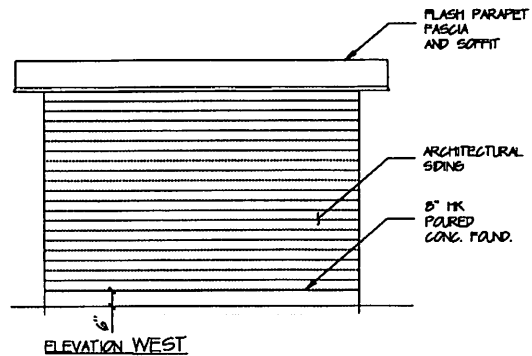
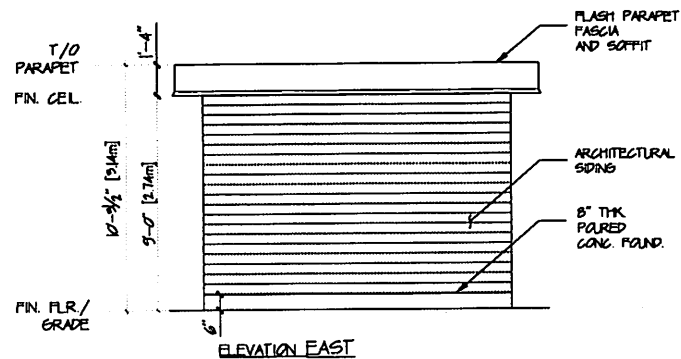
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| 2 | | |
| No. | Revision/Issue | Date |



**42 CACHET COURT
REAR YARD MISC. STRUCTURES
Brampton, Ontario**

DETAILS

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|-------------|-------------|
| Drawing No. | 85 |
| Project No. | 20114 |
| Date | DEC '20 |
| Scale | 3/16"=1'-0" |
| Drawn by | DP |
| Checked by | DP |



GENERAL NOTES:
 1. FINISHES SHALL BE AS SHOWN ON THE DRAWING.
 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE PROTECTION CODE.
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL PROTECTION ACT.
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL OCCUPATIONAL SAFETY AND HEALTH ACT.
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL ACCESSIBILITY ACT.
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING ACT.

LEGEND:
 1. CHAIRS FOR - 300% REINFORCED TO OUTSIDE
 2. CARBON MONOXIDE DETECTOR
 3. COLLARS IDENTIFIED BEFORE ALARM (NOT CONNECTED)
 4. SOLID BEARING TO BE AS NOTED AS SUPPORTED MEMBER (NOT 3 PEGGED)
 5. SOLID WOOD BEARING TO MATCH FROM ABOVE
 6. DOUBLE JOINT
 7. TRIPLE JOINT
 8. LVL LAMINATED VENEER LUMBER
 9. PT PRESSURE TREATED LUMBER
 10. GT GROUND TRAILER BY HAVIL

ALL MATERIALS PROVIDED TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

| DOOR SCHEDULE | | |
|---------------|-------------|------|
| NO. | SIZE | FIN. |
| 01 | 3'0" x 7'0" | FIN. |
| 02 | 3'0" x 7'0" | WOOD |
| 03 | 3'0" x 7'0" | WOOD |
| 04 | 3'0" x 7'0" | WOOD |

| | |
|-----|-----------------------------|
| 001 | 3'-0" x 7'-0" SOLID BEARING |
| 002 | 3'-0" x 7'-0" SOLID BEARING |
| 003 | 3'-0" x 7'-0" SOLID BEARING |
| 004 | 3'-0" x 7'-0" SOLID BEARING |
| 005 | 3'-0" x 7'-0" SOLID BEARING |
| 006 | 3'-0" x 7'-0" SOLID BEARING |
| 007 | 3'-0" x 7'-0" SOLID BEARING |
| 008 | 3'-0" x 7'-0" SOLID BEARING |
| 009 | 3'-0" x 7'-0" SOLID BEARING |
| 010 | 3'-0" x 7'-0" SOLID BEARING |

General Notes

LASONNE
 ENGINEERING LTD.
 KILMERBURG 416.882.2573

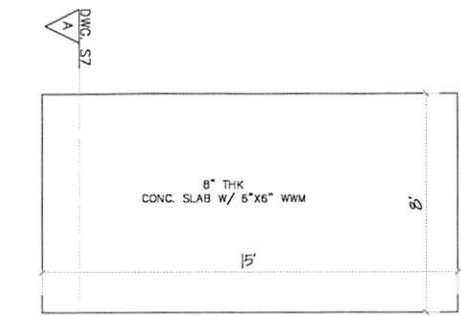
No. Revision/Issue Date

ELEVATIONS
CABANA

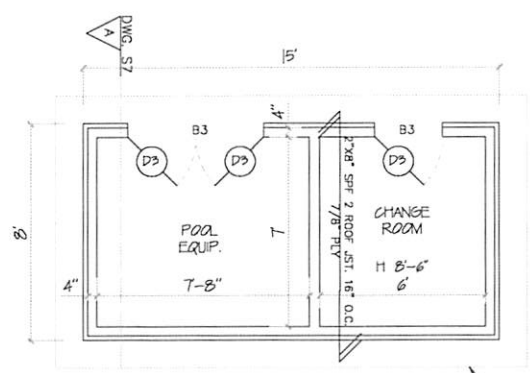
42 CACHET COURT
 REAR YARD ACCESSORIES
 Brampton, Ontario

Project 20114
 Date DEC '20
 Scale 1:40

S6

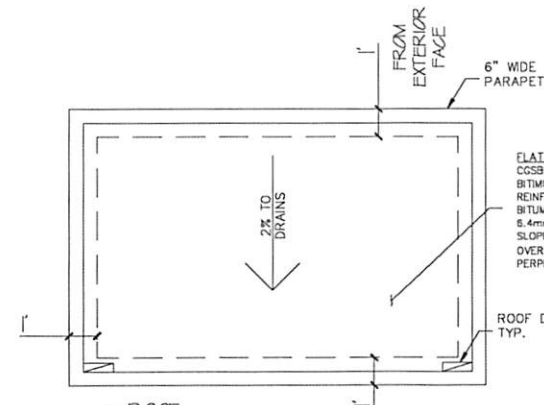


PLAN FOUNDATIONS



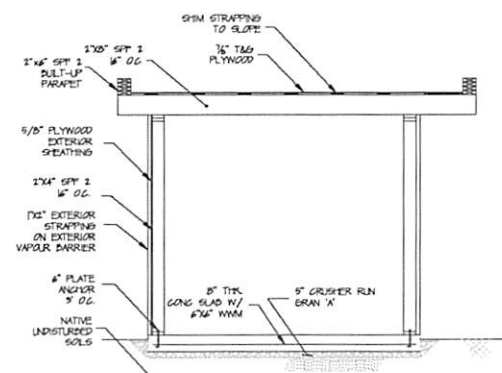
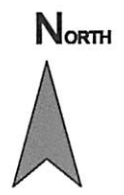
PLAN CABANA

OUTLINE OF ROOF ABOVE



PLAN ROOF

FLAT ROOF AS PER CBC 9.26.2.1(1) CGSB 37-PC58M1985 MEMBRANE, MODIFIED BITUMINOUS PREFABRICATED AND REINFORCED ROOFING, 250 MODIFIED BITUMINUM BASE SHEET, MOPPED TO 6.4mm THICK, INSULATION OVERLAY BOARD SLOPED TO SCUPPERS, 12.5MM PLYWOOD OVER 2x4\"/>



CROSS SECTION: A

- GENERAL NOTES:**
1. ALL DIMENSIONS SHALL BE SPREAD UNLESS OTHERWISE NOTED.
 2. EXISTING WALLS AT 2\"/>

- LEGEND:**
- EXHAUST FAN - ROOM VENTED TO OUTSIDE
 - CARBON MONOXIDE DETECTOR
 - CEILING MOUNTED SMOKE ALARM (WIRE-CONNECTED)
 - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES)
 - SOLID WOOD BEARING TO MATCH FROM ABOVE
 - DOUBLE JOIST
 - TRIPLE JOIST
 - LAMINATED VENEER LUMBER
 - PRESURFACED TREATED LUMBER
 - ORDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

| DOOR SCHEDULE | | |
|---------------|--------------------|--------|
| NO. | SIZE | FINISH |
| D1 | 3'0" x 8'0" | 5/8" |
| D2 | 2'8" x 5'8" - WOOD | N/A |
| D3 | 3'0" x 5'8" - WOOD | N/A |
| D4 | 3'2" x 5'8" - WOOD | N/A |

| |
|---|
| S183 = 3-2"x6" SOLID BEARING |
| S184 = 4-2"x6" SOLID BEARING |
| S185 = 5-2"x6" SOLID BEARING |
| S186 = 5-2"x8" SOLID BEARING |
| ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM |

| BEAM SCHEDULE | | |
|---------------|-------------|--------|
| B1 | 2-2"x8" | SPF #2 |
| B2 | 3-2"x8" | SPF #2 |
| B3 | 2-2"x10" | SPF #2 |
| B4 | 3-2"x10" | SPF #2 |
| B5 | 2-2"x12" | SPF #2 |
| B6 | 3/2"x12" | SPF #2 |
| B7 | 2-136"x116" | 1x6 |

| LUMBER SCHEDULE (METRIC) | | |
|--------------------------|-----------|--------|
| NO. | SIZE | FINISH |
| L1 | 90x90x6.0 | mm |

LASONNE ENGINEERING LTD.
KLEINBURG 416.882.2673

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |

PLANS & SECTION CABANA

42 CACHET COURT
REAR YARD ACCESSORIES
Brampton, Ontario

| | | | |
|---------|---------|-------|------|
| Project | 20114 | Sheet | S7 |
| Date | DEC '20 | Scale | 1:30 |

FILE NUMBER: A-2020-0122

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) AMEO HATEK & SANA ISSA
Address 42 CACKET COURT, BRAMPTON L6X 0W2

Phone # 647 406 7474 Fax # _____
Email _____

2. Name of Agent LASONNE ENGINEERING LIMITED
Address C/O DANIEL FALZON
44-9131 BEELE ST, VAUGHAN

Phone # 416 662 2673 Fax # _____
Email DANIEL@LASONNE.CA

3. Nature and extent of relief applied for (variances requested):

1. CONSTRUCTION OF POOL IN EXT. SIDE YARD
2. CONSTRUCTION OF SHED IN EXT. SIDE YARD
3. MAX COMBINED AREA OF ACC. STRUCTURES OF 20 M² w/ NO STRUCTURE TO EXCEED 15 M² PERMITTED. 20.81m² CABANA + 11.14m² SHED

4. DRIVEWAY WIDTH OF 9.14m permitted, 9.60m REQUESTED

4. Why is it not possible to comply with the provisions of the by-law?
WEST PROPERTY LINE DOES NOT RUN
PARALLEL TO DWELLING. FENCED REAR
YARD PERIMETER (ORIGINAL CONSTRUCTION)
IS TECHNICALLY EXT. SIDE YARD

5. Legal Description of the subject land:

Lot Number 1
Plan Number/Concession Number 43M-1822
Municipal Address 42 CACKET COURT

6. Dimension of subject land (in metric units)

Frontage 12.56 m
Depth 35.93 m
Area 778.63 m² (APPROX.)

7. Access to the subject land is by:

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

DETACHED DWELLING (RESIDENTIAL) - 369.85 Sq. m.
(APPROXIMATE)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

SHED - 4.45 Sq. m
CARAVAN - 20.81 Sq. m
POOL - 41.62 Sq. m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

WEST EAST
Front yard setback 5.84 m DWELL
Rear yard setback 12.00 m DWELL
Side yard setback 1.28 m DWELL
Side yard setback 4.84 m DWELL

PROPOSED

WEST EAST
Front yard setback 5.84 m DWELL
Rear yard setback 12.00 m DWELL
Side yard setback 1.28 m DWELL
Side yard setback 4.84 m DWELL

10. Date of Acquisition of subject land: 2010
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2010
15. Length of time the existing uses of the subject property have been continued: SINCE NEW

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

| | | |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23RD DAY OF OCTOBER, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sama Issa, OF THE CITY OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton

IN THE Region OF Peel

THIS 29th DAY OF

October, 2020

A Commissioner etc.

Signature of Applicant or Authorized Agent

Janet Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1E-15.1-1451

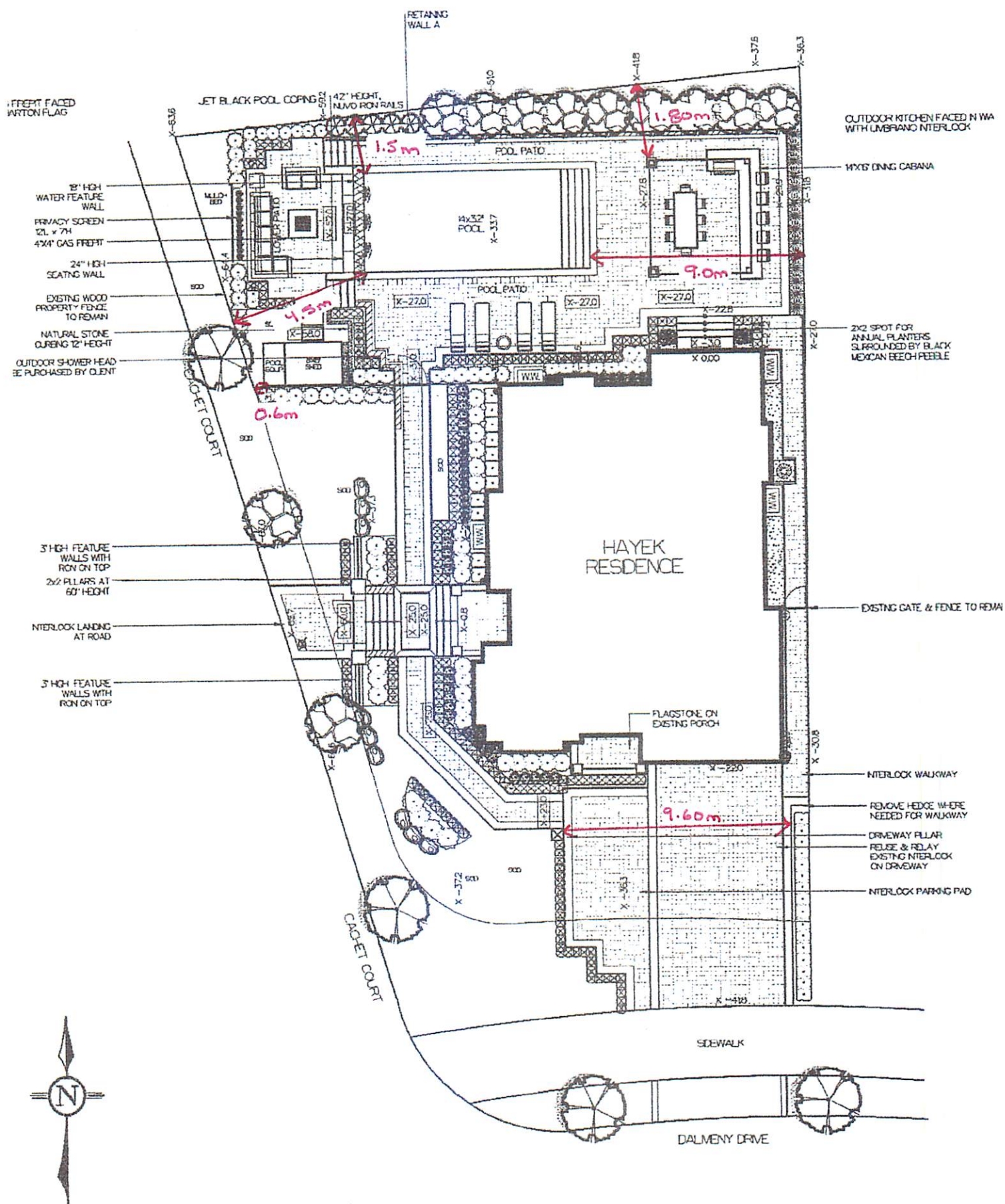
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

November 3, 2020

Date

DATE RECEIVED October 29, 2020



C2

Mount Pleasant
Village Community
Centre & Library

a

b

A-2020-0122

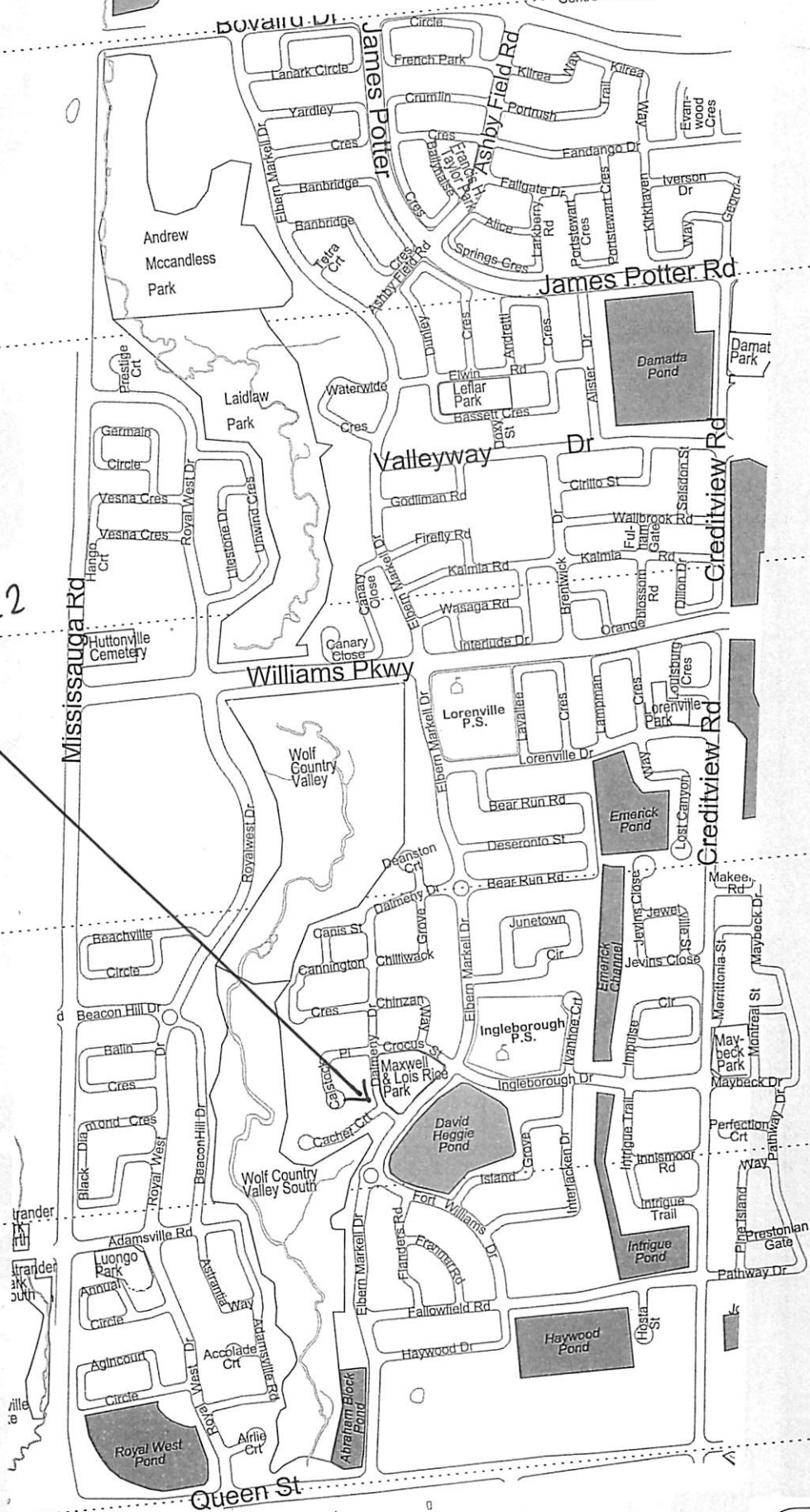
B3

c

d

e

D3



C4

C3