



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **FRANK GASPER AND KARLENE GASPER**, under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 6, Concession 3 WHS, municipally known as **17 JEROME CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an interior side yard setback of 1.42m (4.66 ft.) to a proposed second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
2. To permit an interior side yard setback of 1.42m (4.66 ft.) to a proposed deck off the second storey whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
3. To permit a building height of 8.99m (29.50 ft.) whereas the by-law permits a maximum building height of 7.6m (24.94 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, February 16, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

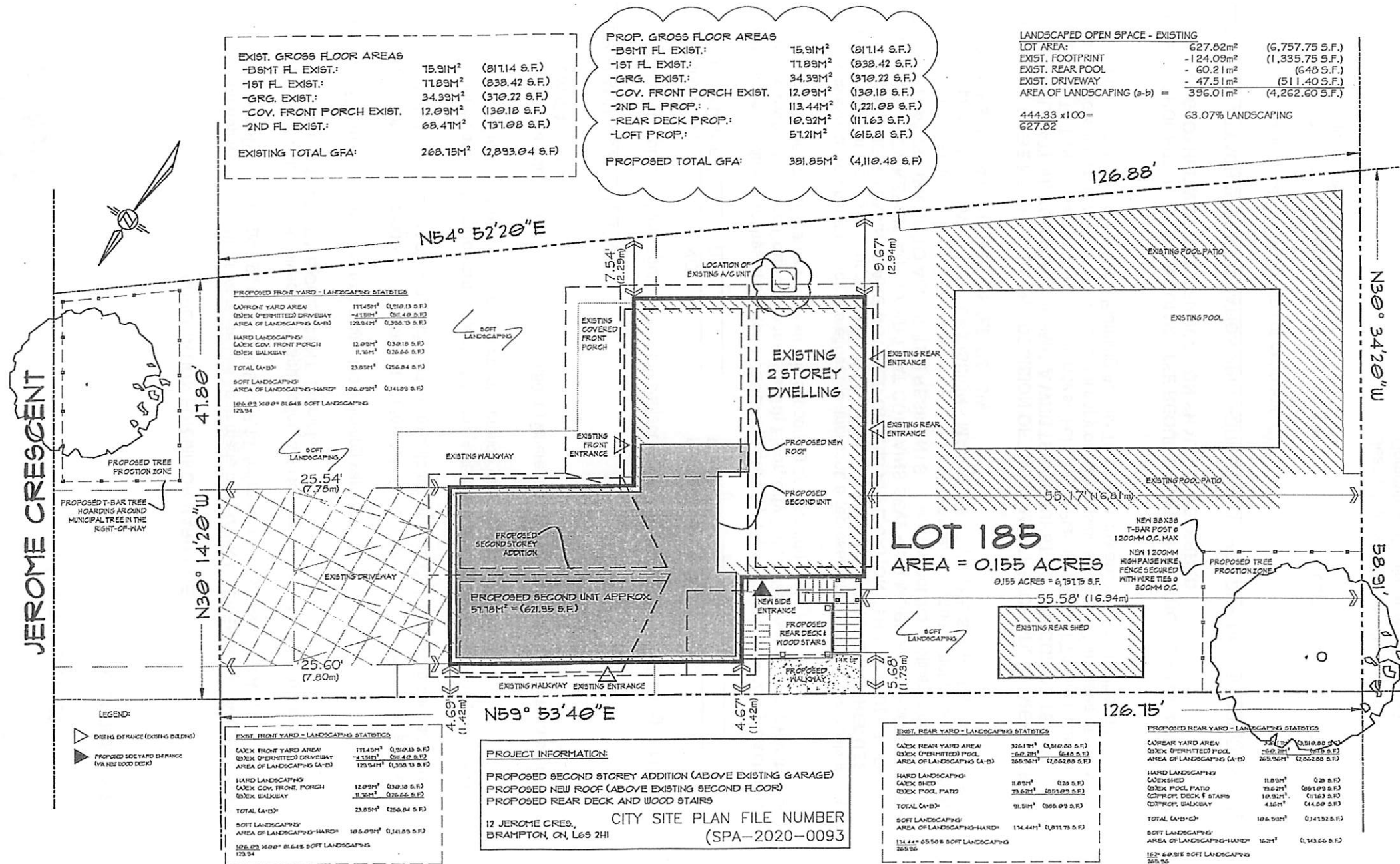
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 4th day of February, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
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- ALL DIMENSIONS ARE FROM FACES OF FINISHED PARTITION, UNLESS OTHERWISE INDICATED.
- PLANT SPREAD RATING AND SMOKE DEVELOPED CLASSIFICATION FOR ALL MATERIALS NOT TO EXCEED THE MAXIMUM SPECIFIED IN THE ONTARIO BUILDING CODE.
- READ THIS DRAWING IN CONJUNCTION WITH OTHER DRAWINGS: ARCH, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

CITY OF BRAMPTON
LANDSCAPE PLAN
 APPROVED
 subject to an agreement ☐
 On This ___ Day of _____

Alan Parsons
 Director, Development Services

NO.	REVISION NOTED	DATE

PROJECT:
 12 JEROME CRES
 BRAMPTON, ON
 SCOPE: SECOND STOREY
 ADDITION / RENOVATION
 DRAWING TITLE:
 SITE PLAN
 PREPARED

CITY SITE PLAN FILE NUMBER
 (SPA-2020-0093)

DRAWN BY: K.S. **PAGE:** 1
DATE: 2020/02/20 **AOI**
SCALE: 3/32" = 1'-0"

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, February 11, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, February 11, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, February 11, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Frank Gasper and Karlene Gasper
Address 17 Jerome Cres. Brampton Ontario. L6S 2G9

Phone # 905-792-8112 (res) 647 226 8921 (Mob) **Fax #** 905 793 8599
Email frank@csrwealth.ca

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**

Designated mature neighbourhood - guideline is second storey wall must be 1.8M from the property line.

*Request variance of 1.429m sideyard setback to construct 2nd storey addition and rear yard deck instead of 1.8M. The existing setback is 1.429m on ground floor.

*Proposed deck interior yard setback of 1.429m

*Roof height for zoning is 7.6m. Proposed roof height is 8.992m to peak. Requesting variance to peak height of 8.992m

4. **Why is it not possible to comply with the provisions of the by-law?**

The structure will be more appealing to the neighbourhood if the offset is not there. The 2nd storey will be a loft addition which will include dormers and will not shadow the neighbouring home as a normal 2 storey with additional roof structure would. Similarly with the loft structure on the 3rd floor of the main house. The roof height includes no attic, we may have latitude to lower ceilings in loft, minimally reducing roof height.

5. **Legal Description of the subject land:**

Lot Number LOT 185
Plan Number/Concession Number PLAN 862
Municipal Address 17 Jerome Crescent, Brampton

6. **Dimension of subject land (in metric units)**

Frontage 14.56m
Depth 38.63m
Area 6,058.65 Sq Ft

7. **Access to the subject land is by:**

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

- existing building - footprint = 124.09m² - existing height = 6.93m
(basement floor area=75.91m² - first floor area=77.89m² - second floor area=68.47m²)
- existing rear shed = 11.89m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- new rear (side yard) deck and wood stairs = 10.92m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	7.785m
Rear yard setback	16.789m
Side yard setback	1.429m
Side yard setback	2.298

PROPOSED

Front yard setback	7.785m	(no change)
Rear yard setback	16.789m	(no change)
Side yard setback	1.429m	(no change)
Side yard setback	2.298	(no change)

10. Date of Acquisition of subject land: Dec. 15th 2013

11. Existing uses of subject property: Single Family residential

12. Proposed uses of subject property: Residential (with Nanny suite - 2nd unit)

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1974, 1975 (pool), 2015 (shed)

15. Length of time the existing uses of the subject property have been continued: 47 yrs

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐

(b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐

(c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Frank Gasper
Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton

THIS 15 DAY OF January, 2021. EBF

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Frank Gasper, OF THE City _____ OF Brampton

IN THE Region _____ OF Peel _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 15th DAY OF

January, 2021.

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021 J.M.

Frank Gasper
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B(1), Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

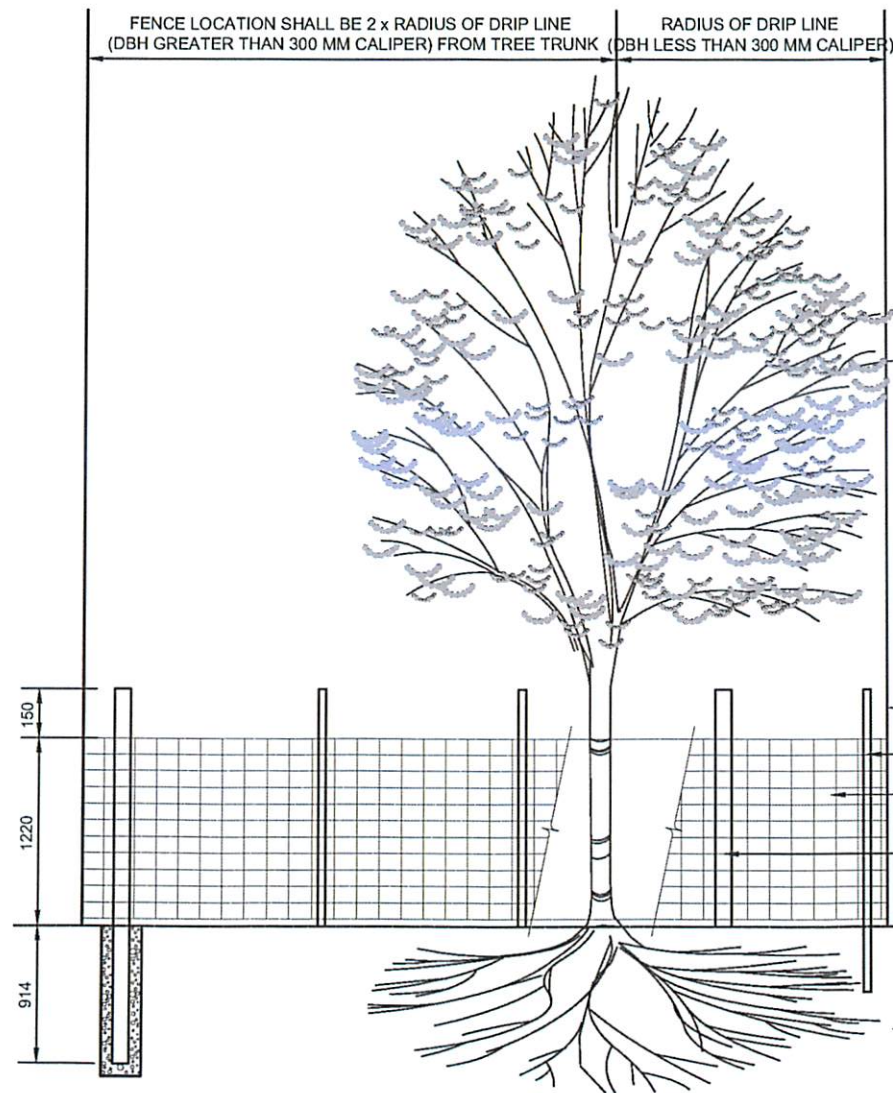
J. Chau
Zoning Officer

January 15, 2021
Date

DATE RECEIVED January 15, 2021.

Date Application Deemed Complete by the Municipality January 15, 2021

Revised 2020/01/07



NOTES:

- EXISTING TREES SHALL BE PROPERLY PROTECTED WITH TEMPORARY FENCING AS PER THE APPROVED LANDSCAPE PLAN UNTIL PRELIMINARY ACCEPTANCE.
- MAINTAIN EXISTING GRADE WITHIN FENCING LINE OF ALL TREES TO BE PRESERVED.
- THE AREA WITHIN THE PROTECTED FENCING SHALL REMAIN UNDISTURBED AND FREE OF DEBRIS, BUILDING MATERIALS AND EQUIPMENT.
- PRUNE DEAD WOOD ONLY UNLESS DIRECTED OTHERWISE BY THE CITY. DO NOT PRUNE LEADERS. WATERING AND FERTILIZING PROGRAM SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.
- THE COST OF REPLACING DEAD AND SEVERELY DAMAGED TREES, AS DETERMINED BY THE CITY, SHALL BE BORNE BY THE DEVELOPER AND/OR GENERAL CONTRACTOR. THE SPECIES AND SIZE(S) MUST BE APPROVED BY THE CITY.
- ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.

TEMPORARY TREE PROTECTION FENCING

L110

N.T.S

SEPTEMBER 2014

SITE PREPARATION - SERIES 100

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CITY OF BRAMPTON LANDSCAPE PLAN APPROVED

subject to an agreement ☐ On This _____ Day of _____

Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
TREE HOARDING DETAILS
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.
DATE: 2002/2020
SCALE: 3/32" = 1'-0"

PAGE:
A00

JEROME CRESCENT

EXIST. GROSS FLOOR AREAS		
-BSMT FL. EXIST.:	15.91M ²	(811.14 S.F.)
-1ST FL. EXIST.:	11.89M ²	(838.42 S.F.)
-GRG. EXIST.:	34.39M ²	(370.22 S.F.)
-COV. FRONT PORCH EXIST.:	12.09M ²	(130.18 S.F.)
-2ND FL. EXIST.:	68.47M ²	(131.08 S.F.)
EXISTING TOTAL GFA:	268.15M ²	(2,893.04 S.F.)

PROP. GROSS FLOOR AREAS		
-BSMT FL. EXIST.:	15.91M ²	(811.14 S.F.)
-1ST FL. EXIST.:	11.89M ²	(838.42 S.F.)
-GRG. EXIST.:	34.39M ²	(370.22 S.F.)
-COV. FRONT PORCH EXIST.:	12.09M ²	(130.18 S.F.)
-2ND FL. PROP.:	113.44M ²	(1,221.08 S.F.)
-REAR DECK PROP.:	10.92M ²	(117.63 S.F.)
-LOFT PROP.:	51.21M ²	(615.81 S.F.)
PROPOSED TOTAL GFA:	381.85M ²	(4,110.48 S.F.)

LANDSCAPED OPEN SPACE - EXISTING		
LOT AREA:	627.82m ²	(6,757.75 S.F.)
EXIST. FOOTPRINT	-124.09m ²	(1,335.75 S.F.)
EXIST. REAR POOL	-60.21m ²	(648 S.F.)
EXIST. DRIVEWAY	-47.51m ²	(511.40 S.F.)
AREA OF LANDSCAPING (a-b) =	396.01m ²	(4,262.60 S.F.)

444.33 x 100 = 627.82
627.82

63.07% LANDSCAPING

PROPOSED FRONT YARD - LANDSCAPING STATISTICS		
LAWN/FRONT YARD AREA	111.45M ²	(1,190.13 S.F.)
EXIST. PERMITTED DRIVEWAY	-43.10M ²	(461.48 S.F.)
AREA OF LANDSCAPING (a-b)	129.94M ²	(1,398.13 S.F.)
HARD LANDSCAPING	12.09M ²	(130.18 S.F.)
EXIST. COV. FRONT PORCH	11.16M ²	(120.66 S.F.)
EXIST. WALKWAY	11.16M ²	(120.66 S.F.)
TOTAL (a-b)	23.85M ²	(256.84 S.F.)
SOFT LANDSCAPING	106.09M ²	(1,141.09 S.F.)
AREA OF LANDSCAPING-HARD	106.09M ²	(1,141.09 S.F.)
106.09 x 100 = 81.64% SOFT LANDSCAPING	129.94	

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106.09 x 100 = 81.64% SOFT LANDSCAPING	129.94	

PROJECT INFORMATION:

PROPOSED SECOND STOREY ADDITION (ABOVE EXISTING GARAGE)
PROPOSED NEW ROOF (ABOVE EXISTING SECOND FLOOR)
PROPOSED REAR DECK AND WOOD STAIRS

12 JEROME CRES., CITY SITE PLAN FILE NUMBER
BRAMPTON, ON, L6S 2H1 (SPA-2020-0093)

LOT 185
AREA = 0.155 ACRES
0.155 ACRES = 6,151.75 S.F.

EXIST. REAR YARD - LANDSCAPING STATISTICS		
LAWN/REAR YARD AREA	326.11M ²	(3,510.88 S.F.)
EXIST. PERMITTED POOL	-60.21M ²	(648 S.F.)
AREA OF LANDSCAPING (a-b)	265.90M ²	(2,862.88 S.F.)
HARD LANDSCAPING	11.89M ²	(127.63 S.F.)
EXIST. SHED	11.89M ²	(127.63 S.F.)
EXIST. POOL PATIO	11.89M ²	(127.63 S.F.)
TOTAL (a-b)	31.07M ²	(334.13 S.F.)
SOFT LANDSCAPING	234.83M ²	(2,528.75 S.F.)
AREA OF LANDSCAPING-HARD	11.89M ²	(127.63 S.F.)
11.89 x 100 = 3.70% SOFT LANDSCAPING	265.90	

PROPOSED REAR YARD - LANDSCAPING STATISTICS		
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FRAME SPREAD PAVING AND SMOKE DEVELOPED CLASSIFICATION FOR ALL MATERIALS NOT TO EXCEED THE MAXIMUM SPECIFIED IN THE ONTARIO BUILDING CODE.
READ THIS DRAWING IN CONJUNCTION WITH OTHER DRAWINGS: ARCH, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

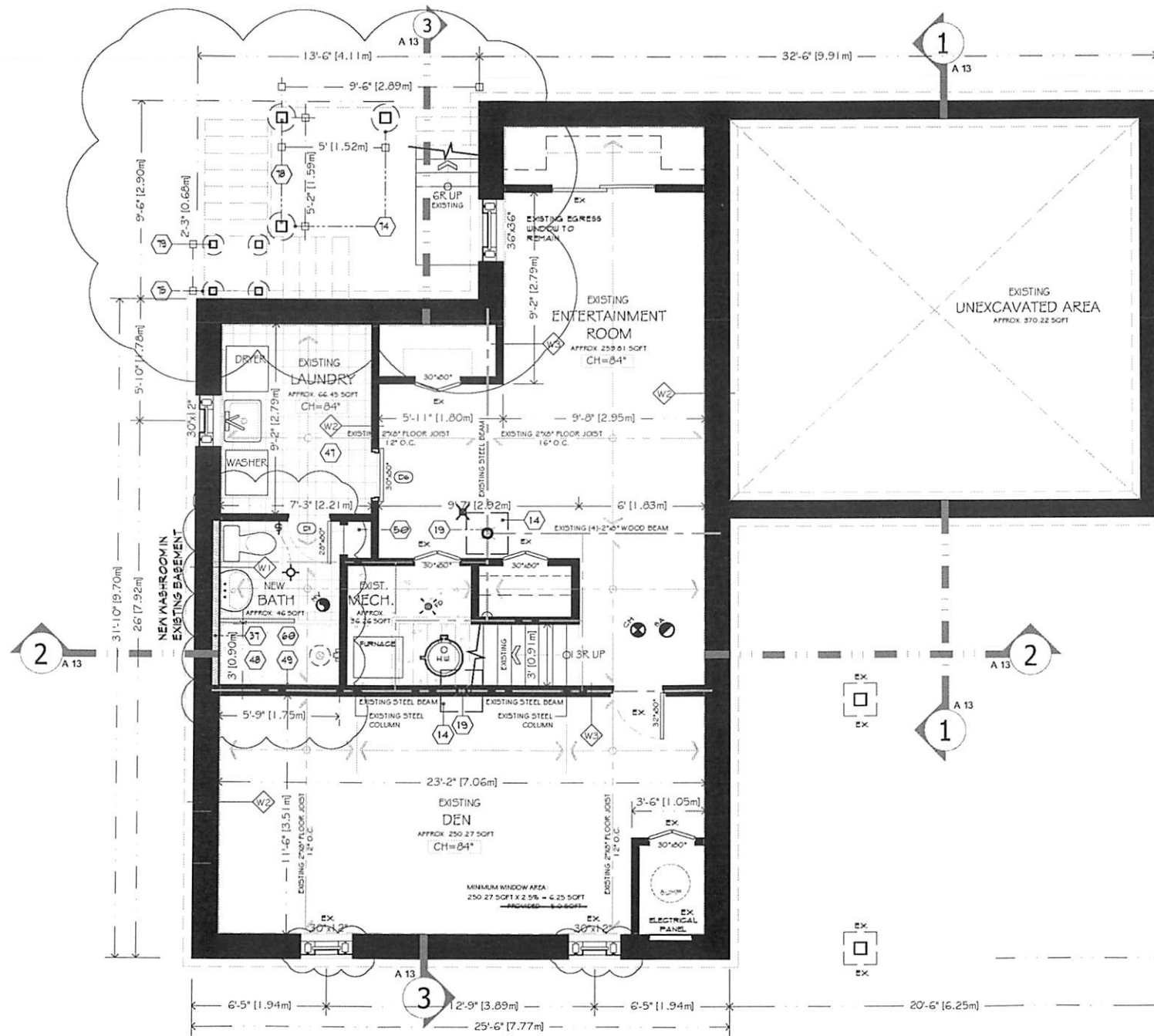
CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This ___ Day of ___

Allan Parsons
Director, Development Services

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
SITE PLAN
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.
DATE: 2/20/2020
SCALE: 3/32" = 1'-0"
PAGE: A01



PROP. BASEMENT PLAN

SCALE: 3/16" = 1'-0"



TRUE NORTH PROJECT NORTH

WALL LEGEND:

W1	EXISTING EXTERIOR FOUNDATION WALL WITH NEW RIP RAP INSULATION
W2	EXISTING EXTERIOR FOUNDATION WALL WITH 2"x4" PARTITION
W3	EXISTING 2"x4" PARTITION WALL

WINDOW SCHEDULE :

NEW WINDOWS & SKYLIGHTS

W1- (WHITE) -AWNING:	= 56" x 40"
W2- (WHITE) -AWNING:	= 76" x 40"
W3- (WHITE) -AWNING:	= 56" x 40"
W4- (WHITE) -AWNING:	= 68" x 40"
W5- (F.R.J.) -FIXED GLASS:	= 38" x 40"
S1- (WHITE) -velux SKYLIGHT:	= 48" x 24"

DOOR SCHEDULE :

NEW INTERIOR/EXTERIOR DOORS

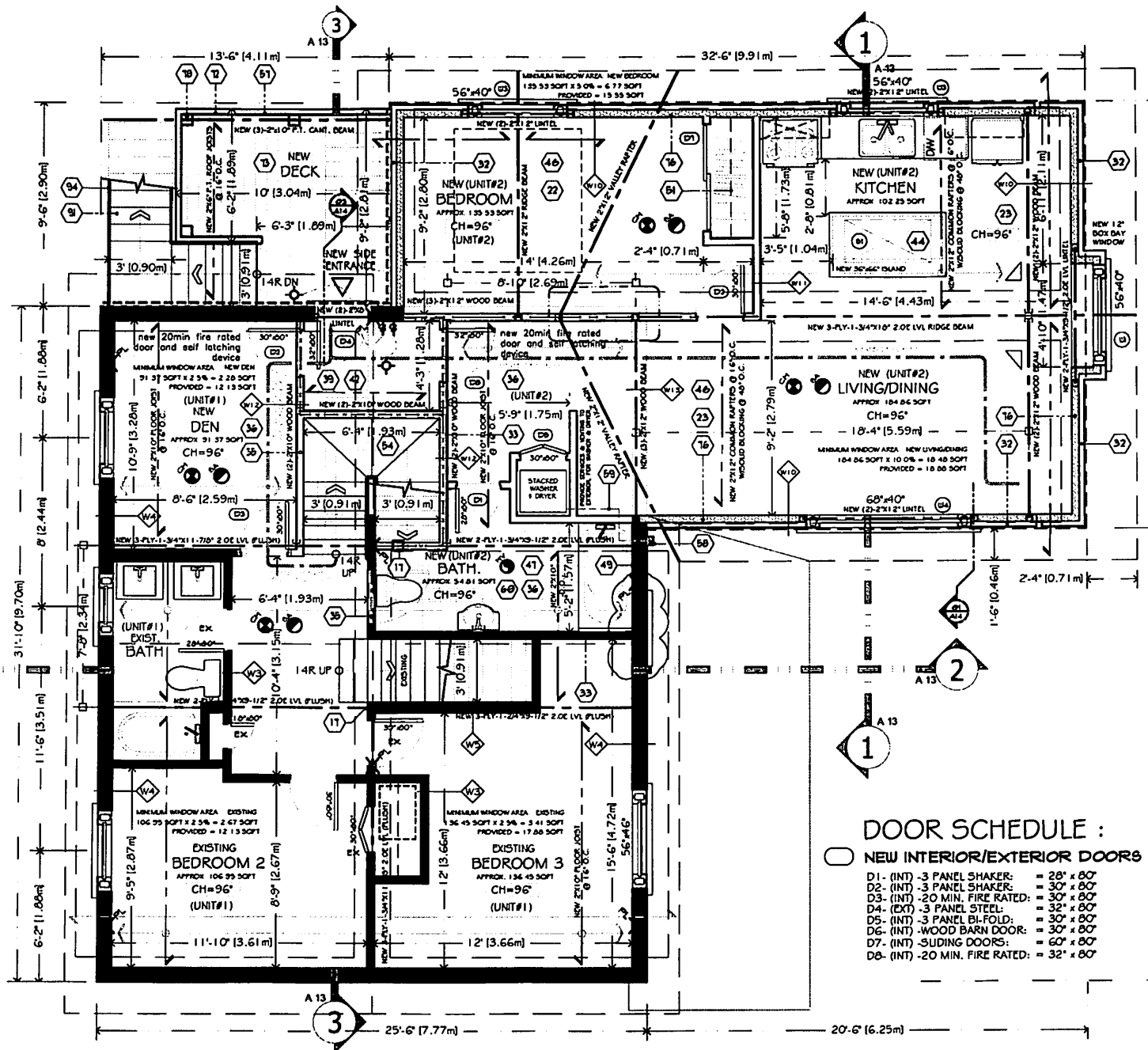
D1- (INT) -3 PANEL SHAKER:	= 28" x 80"
D2- (INT) -3 PANEL SHAKER:	= 30" x 80"
D3- (INT) -20 MIN. FIRE RATED:	= 30" x 80"
D4- (EXT) -3 PANEL STEEL:	= 32" x 80"
D5- (INT) -3 PANEL BI-FOLD:	= 30" x 80"
D6- (INT) -WOOD BARN DOOR:	= 30" x 80"
D7- (INT) -SLIDING DOORS:	= 60" x 80"
D8- (INT) -20 MIN. FIRE RATED:	= 32" x 80"

SYMBOL LEGEND:

☼	CARBON MONOXIDE DETECTOR
⚡	SMOKE ALARM
⚙	MECHANICAL VENT
⚡	FLOOR DRAIN
⚡	POINT LOAD FROM ABOVE

ELECTRICAL LEGEND:

⚡	SWITCH
⚡	3-WAY SWITCH
⚡	LIGHT FIXTURE
⚡	RECEPTACLE
⚡	GFI RECEPTACLE



PROP. 2ND FLOOR PLAN

SCALE: 3/16" = 1'-0"



TRUE NORTH

PROJECT NORTH

WALL LEGEND:

- W1 - EXISTING 2x4 PARTITION WALL
- W2 - EXISTING EXTERIOR FRAME WALL
- W3 - EXISTING 2x6 LOAD BEARING WALL
- W4 - EXISTING EXTERIOR FRAME WALL WITH NEW VINYL SIDING
- W5 - PROPOSED 2"x6" EXTERIOR WALL WITH R54 SPRAY FOAM INSULATION NEW VINYL SIDING
- W6 - PROPOSED 2"x4" PARTITION WALL OF U/F DRYWALL ON BOTH SIDES
- W7 - PROPOSED 2"x4" PARTITION WALL OF U/F DRYWALL ON BOTH SIDES
- W8 - EXISTING WALL TO BE REMOVED

WINDOW SCHEDULE :

NEW WINDOWS & SKYLIGHTS

- W1 - (WHITE) -AWNING: = 56" x 40"
- W2 - (WHITE) -AWNING: = 7'0" x 40"
- W3 - (WHITE) -AWNING: = 56" x 40"
- W4 - (WHITE) -AWNING: = 60" x 40"
- W5 - (F.R.) -FIXED GLASS: = 38" x 40"
- S1 - (WHITE) -velux SKYLIGHT: = 48" x 24"

DOOR SCHEDULE :

NEW INTERIOR/EXTERIOR DOORS

- D1 - (INT) -3 PANEL SHAKER: = 28" x 80"
- D2 - (INT) -3 PANEL SHAKER: = 30" x 80"
- D3 - (INT) -20 MIN. FIRE RATED: = 30" x 80"
- D4 - (EXT) -3 PANEL STEEL: = 32" x 80"
- D5 - (INT) -3 PANEL BI-FOLD: = 30" x 80"
- D6 - (INT) -WOOD BARN DOOR: = 30" x 80"
- D7 - (INT) -SLIDING DOORS: = 60" x 80"
- D8 - (INT) -20 MIN. FIRE RATED: = 32" x 80"

SYMBOL LEGEND:

- CARBON MONOXIDE DETECTOR
- SMOKE ALARM
- MECHANICAL VENT
- FLOOR DRAIN
- POINT LOAD FROM ABOVE

ELECTRICAL LEGEND:

- SWITCH
- 3-WAY SWITCH
- LIGHT FIXTURE
- RECEPTACLE
- GFI RECEPTACLE

GENERAL NOTES

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CITY OF BRAMPTON LANDSCAPE PLAN APPROVED

subject to an agreement ☐
On This ___ Day of _____

Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

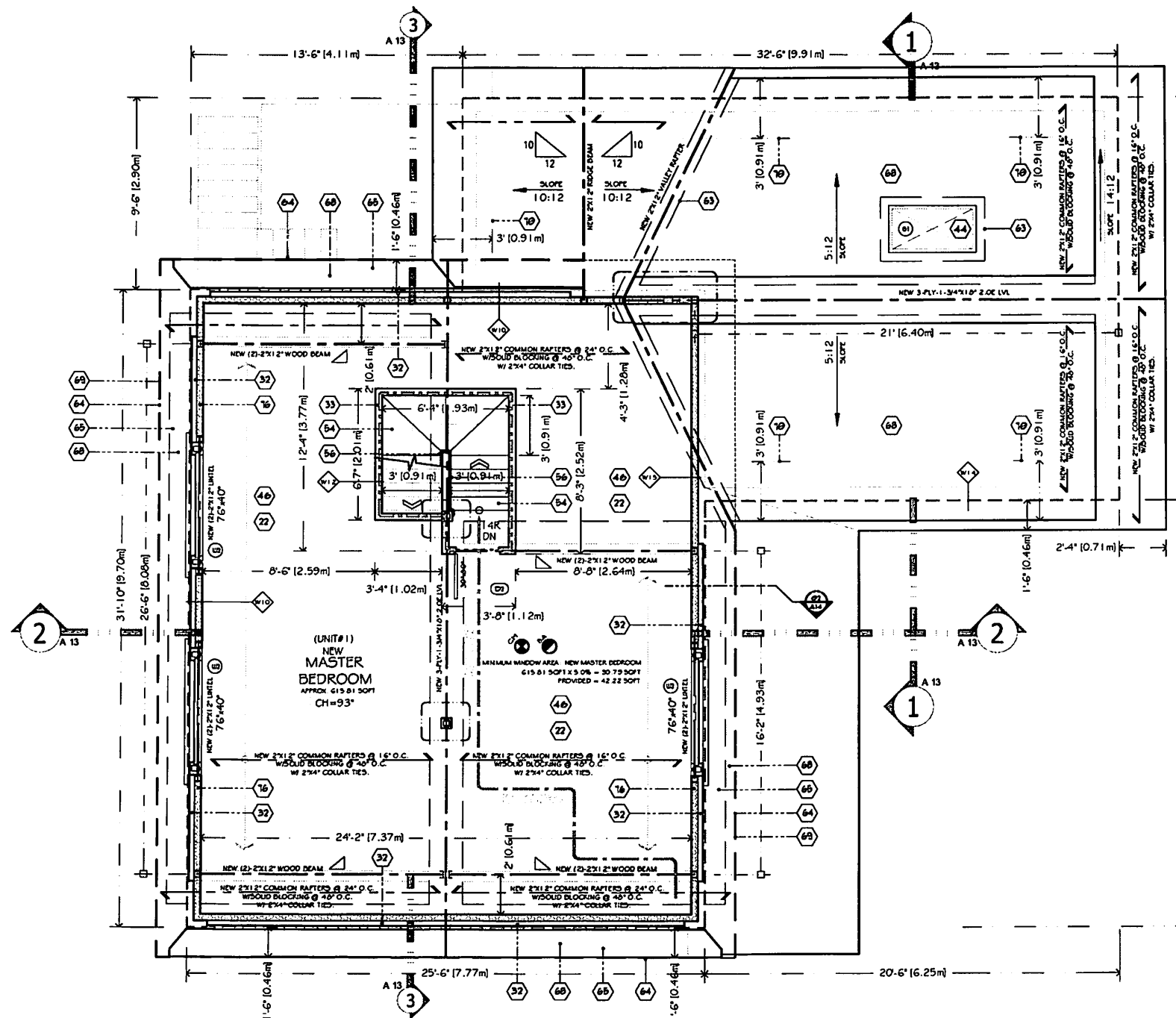
PROJECT: 12 JEROME CRESCENT BRAMPTON, ON

SCOPE: SECOND STOREY
ADDITION / RENOVATION

DRAWING TITLED
2ND FLOOR PLAN
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.	PAGE: A04
DATE: 2002/02/02	
SCALE: 3/16" = 1'-0"	



PROP. 3RD FLOOR PLAN

SCALE: 3/16" = 1'-0"



TRUE NORTH PROJECT NORTH

WALL LEGEND:

- W10 PROPOSED 1" x 10" EXTERIOR WALL WITH R34 SPRAY FOAM INSULATION NEW VINYL SIDING
- W11 PROPOSED 1" x 11" PARTITION WALL 1/2" DRYWALL BOTH SIDES
- W12 PROPOSED 1" x 12" PARTITION WALL 1/2" DRYWALL BOTH SIDES
- W13 PROPOSED 1" x 13" PARTITION WALL 1/2" DRYWALL BOTH SIDES
- W14 PROPOSED 1" x 14" PARTITION WALL 1/2" DRYWALL BOTH SIDES
- W15 PROPOSED 1" x 15" PARTITION WALL 1/2" DRYWALL BOTH SIDES

WINDOW SCHEDULE :

NEW WINDOWS & SKYLIGHTS

- W1. (WHITE) - AWNING: = 56" x 40"
- W2. (WHITE) - AWNING: = 76" x 40"
- W3. (WHITE) - AWNING: = 56" x 40"
- W4. (WHITE) - AWNING: = 68" x 40"
- W5. (F.R.) - FIXED GLASS: = 38" x 40"
- S1. (WHITE) - VELUX SKYLIGHT: = 48" x 24"

DOOR SCHEDULE :

NEW INTERIOR/EXTERIOR DOORS

- D1. (INT) - 3 PANEL SHAKER: = 28" x 80"
- D2. (INT) - 3 PANEL SHAKER: = 30" x 80"
- D3. (INT) - 20 MIN. FIRE RATED: = 30" x 80"
- D4. (EXT) - 3 PANEL STEEL: = 32" x 80"
- D5. (INT) - 3 PANEL BL-FOLD: = 30" x 80"
- D6. (INT) - WOOD BARN DOOR: = 30" x 80"
- D7. (INT) - SLIDING DOORS: = 60" x 80"
- D8. (INT) - 20 MIN. FIRE RATED: = 32" x 80"

SYMBOL LEGEND:

- CARBON MONOXIDE DETECTOR
- SMOKE ALARM
- MECHANICAL VENT
- FLOOR DRAIN
- POINT LOAD FROM ABOVE

ELECTRICAL LEGEND:

- SWITCH
- 3-WAY SWITCH
- LIGHT FIXTURE
- RECEPTACLE
- GFI RECEPTACLE

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CITY OF BRAMPTON LANDSCAPE PLAN APPROVED

subject to an agreement ☐

On This ___ Day of _____

Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT: 12 JEROME CRESCENT BRAMPTON, ON

SCOPE: SECOND STOREY
ADDITION / RENOVATION

DRAWING TITLE:
LOFT PLAN
PROPOSED

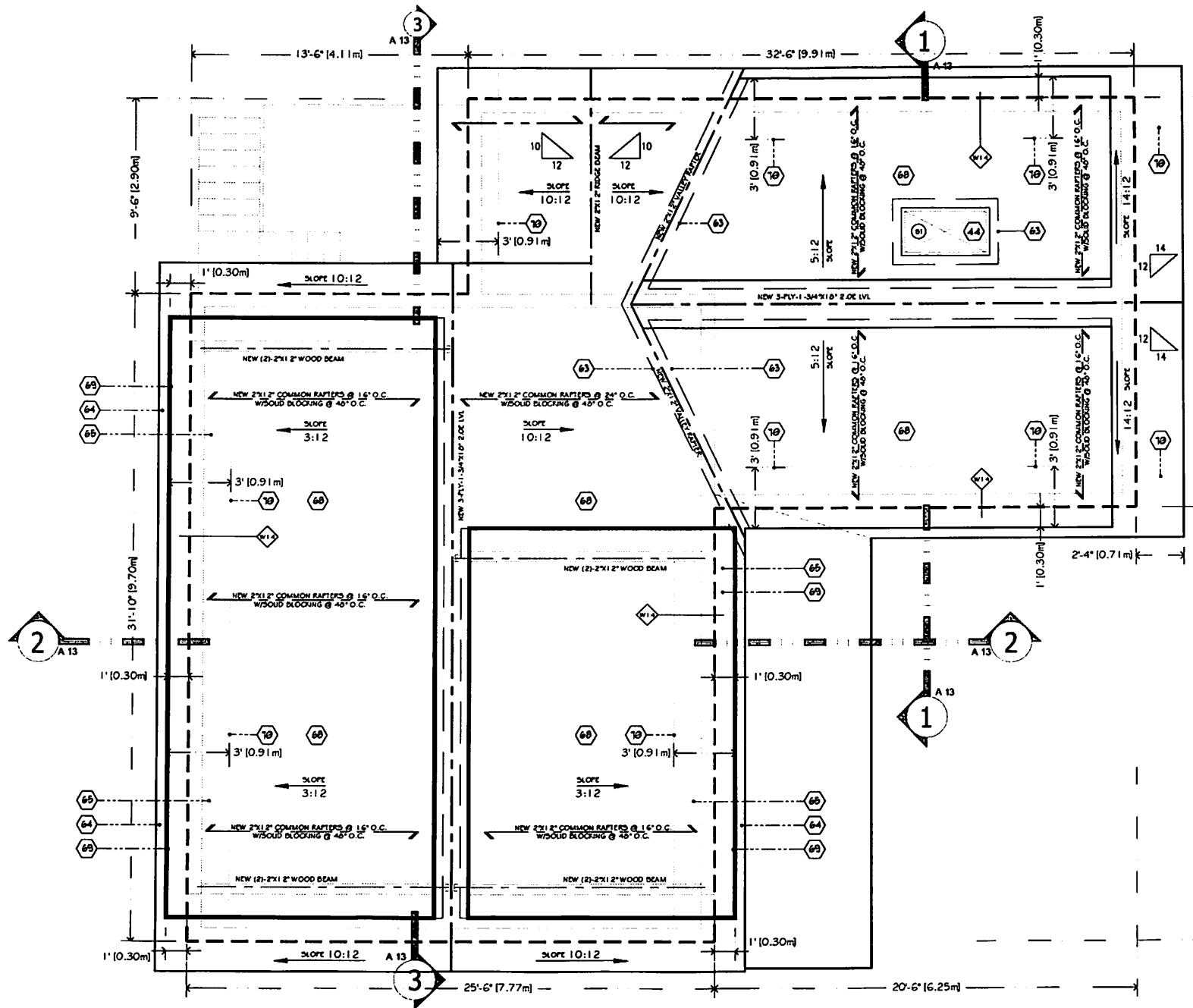
CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.

DATE: 2002/2020

SCALE: 3/16" = 1'-0"

PAGE
A05



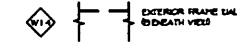
PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



TRUE NORTH PROJECT NORTH

SMALL LEGEND



WINDOW SCHEDULE :

NEW WINDOWS & SKYLIGHTS

W1 - (WHITE) -AWNING:	= 56" x 40"
W2 - (WHITE) -AWNING:	= 76" x 40"
W3 - (WHITE) -AWNING:	= 56" x 40"
W4 - (WHITE) -AWNING:	= 68" x 40"
W5 - (F.R.) -FIXED GLASS:	= 38" x 40"
S1 - (WHITE) -velux SKYLIGHT:	= 48" x 24"

DOOR SCHEDULE :

NEW INTERIOR/EXTERIOR DOORS

D1 - (INT) -3 PANEL SHAKER:	= 28" x 80"
D2 - (INT) -3 PANEL SHAKER:	= 30" x 80"
D3 - (INT) -20 MIN. FIRE RATED:	= 30" x 80"
D4 - (EXT) -3 PANEL STEEL:	= 32" x 80"
D5 - (INT) -3 PANEL BI-FOLD:	= 30" x 80"
D6 - (INT) -WOOD BARN DOOR:	= 30" x 80"
D7 - (INT) -SLIDING DOORS:	= 60" x 80"
D8 - (INT) -20 MIN. FIRE RATED:	= 32" x 80"

* THE STRUCTURAL TIMBER & LUMBER SHALL BE NO 1 OR 2 GRADE SPECIES 6PF OR BETTER UNLESS NOTED OTHERWISE. USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.

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On This ___ Day of ___

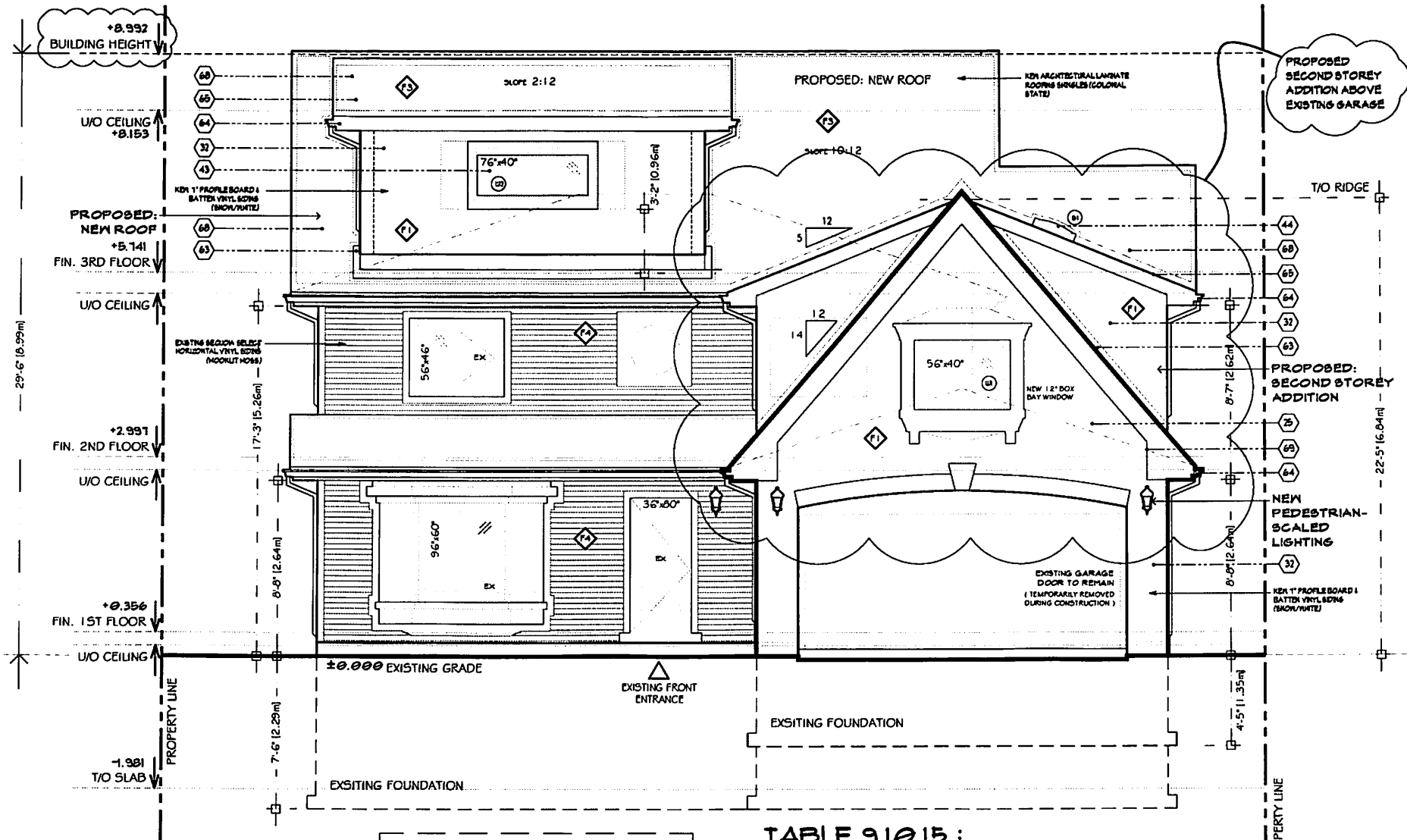
Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
ROOF PLAN
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.	PAGE A06
DATE 2002/2020	
SCALE 3/16" = 1'-0"	



PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHING MATERIAL SCHEDULE			
CODE	MATERIAL	COLOR	MANUFACTURER
1	NEW 1" PROFILE BOARD AND BATTEN VINYL SIDING	SHOWWHITE	GENEX BUILDING PRODUCTS
2	NEW SEDONA SELECT HORIZONTAL VINYL SIDING	MOONSET MOSS	GENEX BUILDING PRODUCTS
3	NEW ARCHITECTURAL LAMINATE ROOFING SHINGLE	COLONIAL STATE	CERTAINTEED
4	EXISTING SEDONA SELECT HORIZONTAL VINYL SIDING	MOONSET MOSS	GENEX BUILDING PRODUCTS

TABLE 9.10.15 :	
8 AREA OF UNPROTECTED OPENINGS	
- LIMITING DISTANCE :	= 25'-1" [7.68m]
- AREA OF EXPOSING BUILDING FACE	= 341.69 SQ.FT [31.68m²] = [30m²]
- MAXI AREA OF UNPROTECTED OPENING (%)	= 88% = 300.16 SQ.FT
W [28.5 SQ.FT] x	28.5 SQ.FT
	28.5 SQ.FT * CONFORMS

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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED

subject to an agreement ☐

On This ___ Day of _____

Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

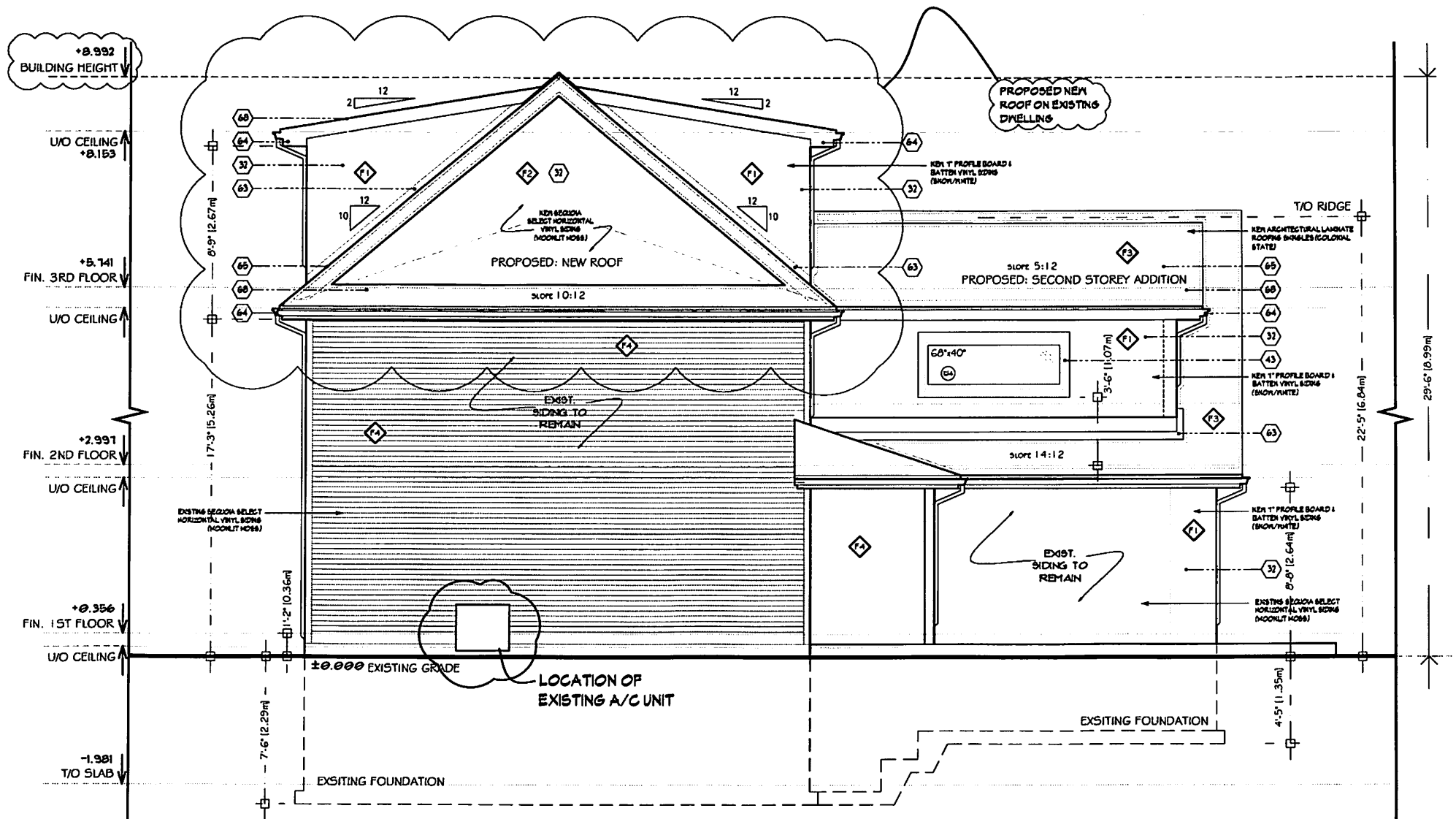
PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON

SCOPE: SECOND STOREY
ADDITION / RENOVATION

DRAWING TITLE:
EAST ELEVATION
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY:	K.S.	PAGE
DATE	2002/2020	A07
SCALE	3/16" = 1'-0"	



EXTERIOR FINISHING MATERIAL SCHEDULE			
CODE	MATERIAL	COLOR	MANUFACTURER
F1	NEW 1" PROFILE BOARDS AND BATTEN VINYL SIDING	SHOWWHITE	GENTEX BUILDING PRODUCTS
F2	NEW SEQUOIA SELECT HORIZONTAL VINYL SIDING	MOONLIT MOSS	GENTEX BUILDING PRODUCTS
F3	NEW ARCHITECTURAL LAMINATE ROOFING SHINGLE	COLORAL STATE	CERTAINTEED
F4	EXISTING SEQUOIA SELECT HORIZONTAL VINYL SIDING	MOONLIT MOSS	GENTEX BUILDING PRODUCTS

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NO	REVISION NOTES	DATE

PROJECT:

12 JEROME CRESCENT

DRAWING, CH

SCOPE: SECOND STOREY ADDITION / RENOVATION

DRAWING TITLE:

SOUTH ELEVATION

PROPOSED

DRAWN BY:

K.S.

PAGE:

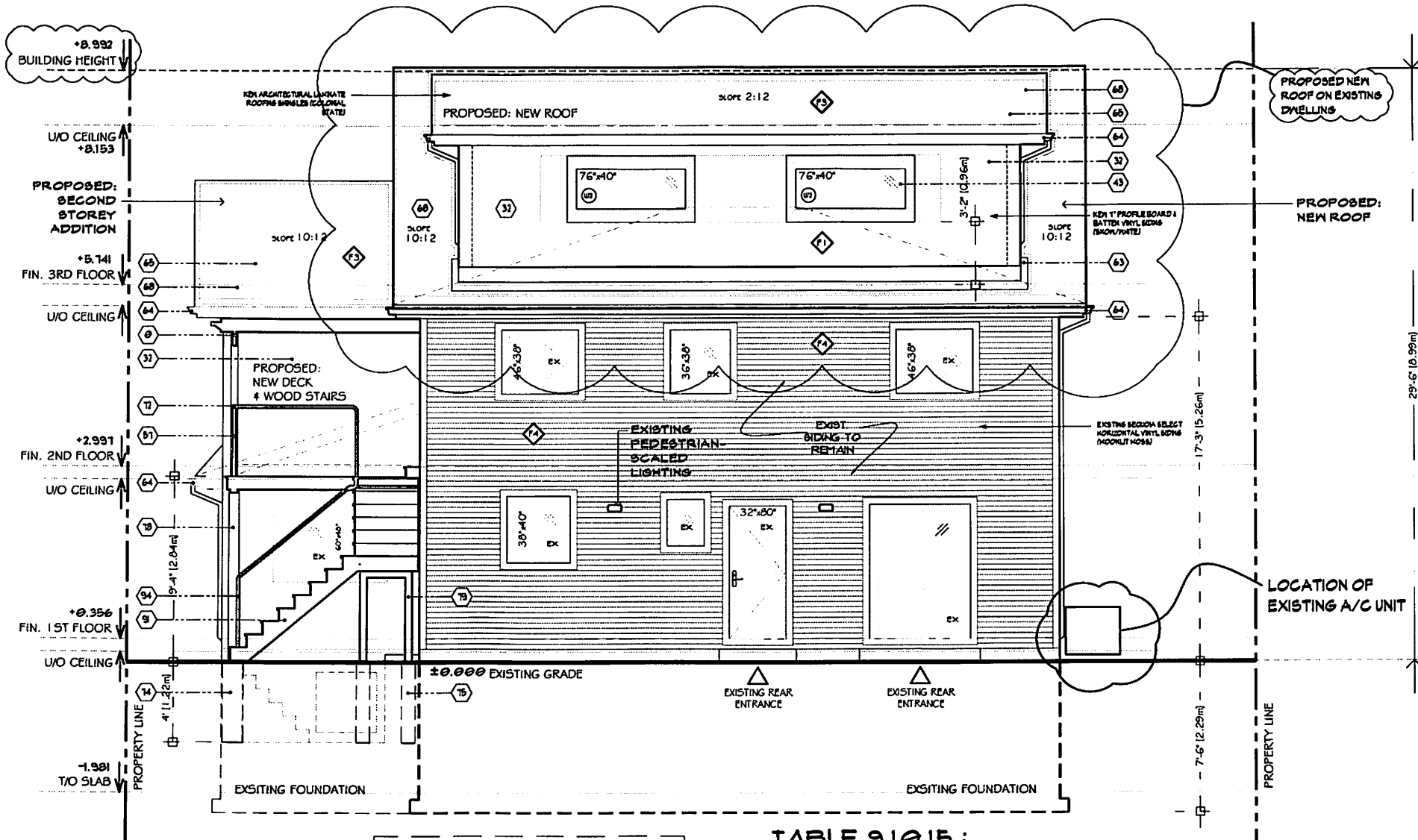
A08

DATE:

2002/2020

SCALE:

3/16" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHING MATERIAL SCHEDULE			
CODE	MATERIAL	COLOR	MANUFACTURER
1	NEW 1" PROFILE BOARD AND BATTEN VINYL SIDING	SHOWWHITE	GENIER BUILDING PRODUCTS
2	NEW SMOOTH SELECT HORIZONTAL VINYL SIDING	MOONLIT MOSS	GENIER BUILDING PRODUCTS
3	NEW ARCHITECTURAL LAMINATE ROOFING SHINGLE	COLONIAL STATE	CERTAINTEED
4	EXISTING SMOOTH SELECT HORIZONTAL VINYL SIDING	MOONLIT MOSS	GENIER BUILDING PRODUCTS

TABLE 9.10.15 :	
8 AREA OF UNPROTECTED OPENINGS	
- LIMITING DISTANCE :	= 55'-0" [16.77m]
- AREA OF EXPOSING BUILDING FACE	= 665.36 SQ. FT [61.81m²] = [100m²]
- MAXI AREA OF UNPROTECTED OPENING (S)	= 100% = 665.36 SQ. FT
W (20.9 SQ. FT) X 2	= 41.8 SQ. FT
EX. OPENINGS	= 73.28 SQ. FT
	= 121.08 SQ. FT = CONFORMS

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CITY OF BRAMPTON
LANDSCAPE PLAN
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On This ___ Day of _____

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NO	REVISION NOTES	DATE

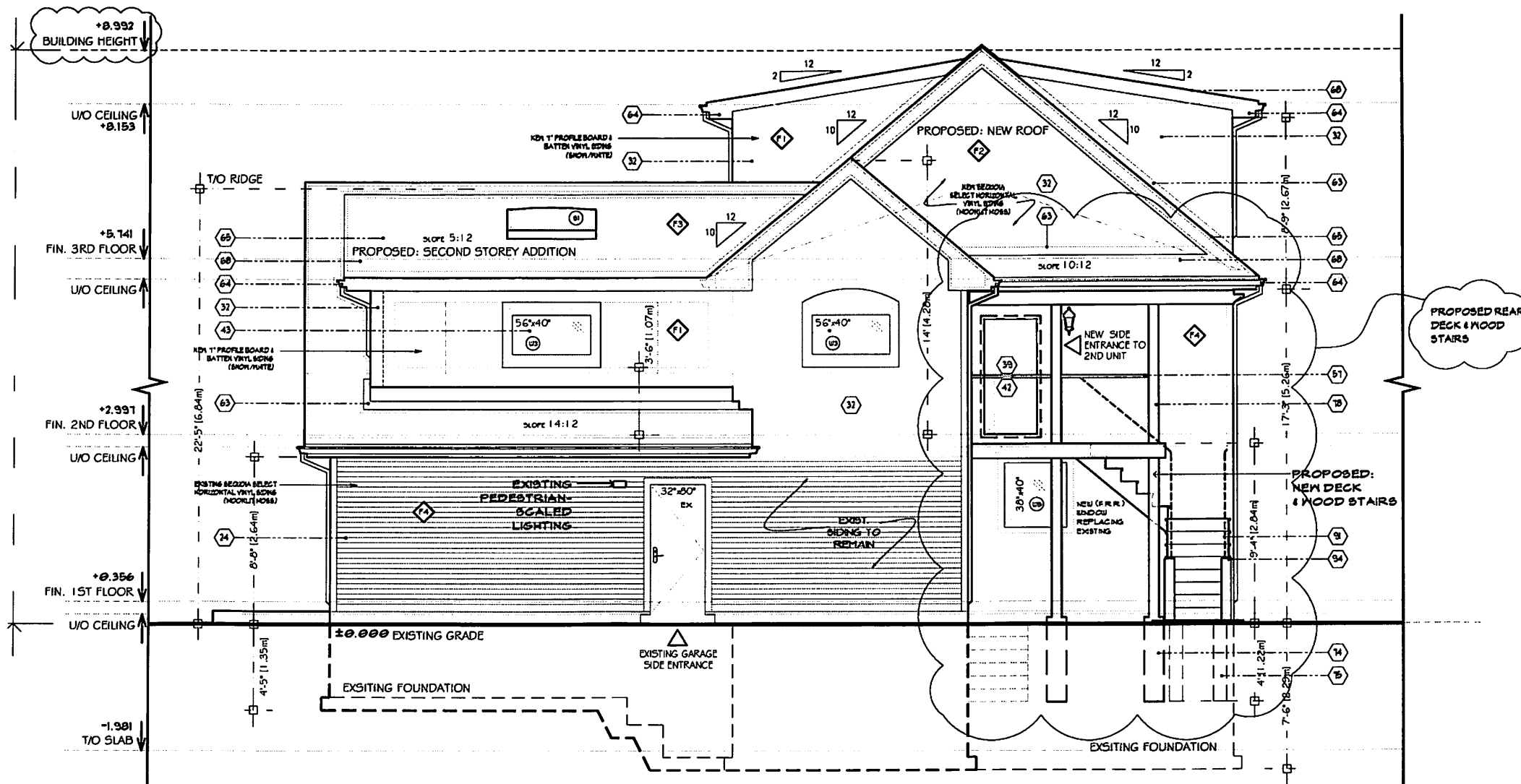
PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON

SCOPE: SECOND STOREY
ADDITION / RENOVATION

DRAWING TITLE:
WEST ELEVATION
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.	PAGE: A09
DATE: 2002/2020	
SCALE: 3/16" = 1'-0"	



PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHING MATERIAL SCHEDULE			
CODE	MATERIAL	COLOR	MANUFACTURER
1	NEW 1" PROFILE BOARD AND BATTEN VINYL SIDING	SNOWWHITE	GENEX BUILDING PRODUCTS
2	NEW SODOLIA SELECT HORIZONTAL VINYL SIDING	MOONLIT MOSS	GENEX BUILDING PRODUCTS
3	NEW ARCHITECTURAL LAMINATE ROOFING SHINGLE	COLONIAL STATE	CERTANTIDE
4	EXISTING SODOLIA SELECT HORIZONTAL VINYL SIDING	MOONLIT MOSS	GENEX BUILDING PRODUCTS

TABLE 9.10.15 : 8 AREA OF UNPROTECTED OPENINGS	
- LIMITING DISTANCE :	= 4'-8" [1.43m]
- AREA OF EXPOSING BUILDING FACE	= 541.89 SQ.FT [50.98m ²] = [50m ²]
- MAX. AREA OF UNPROTECTED OPENING (S)	= 18*38.35 SQ.FT
UB[15.5 SQ.FT]X2	= 31 SQ.FT
	= 31 SQ.FT "CONFORMS"

GENERAL NOTES

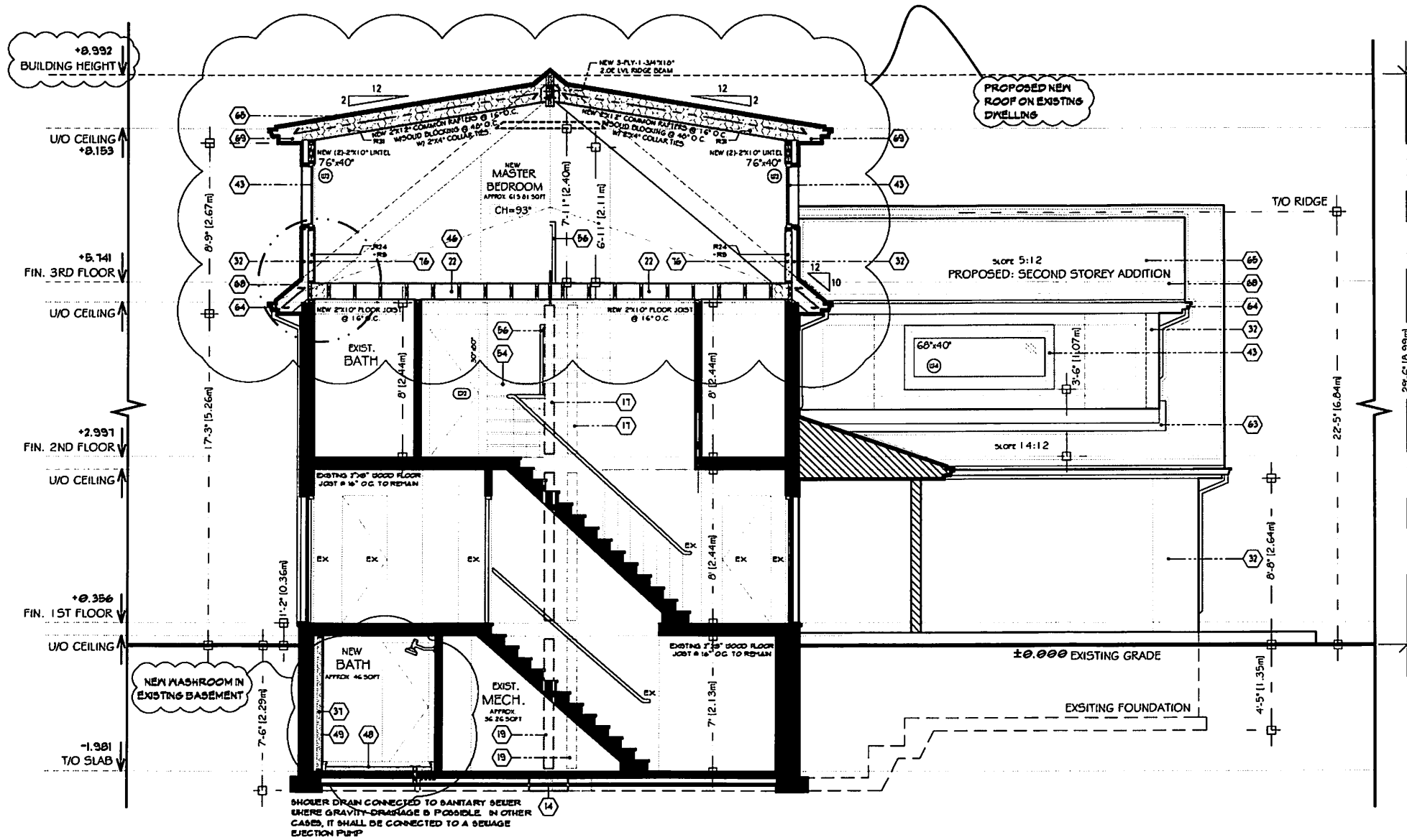
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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____
Alan Persson
Director, Development Services

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE
NORTH ELEVATION
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY:	K.S.	PAGE
DATE:	2002/2020	A10
SCALE:	3/16" = 1'-0"	



PROPOSED SECTION 2
SCALE: 3/16" = 1'-0"

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- THE CONTRACTOR AND/OR THE OWNER SHALL BE RESPONSIBLE FOR THE ARRANGEMENT OF ALL NECESSARY INSPECTIONS AND FOLLOW INSPECTION SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING BASE BUILDING SYSTEM, EQUIPMENT AND PERSONNEL DURING CONSTRUCTION.
- ALL DIMENSIONS ARE FROM FACES OF FINISHED PARTITION, UNLESS OTHERWISE INDICATED.
- PLANE SPREAD RATING AND SMOKE DEVELOPED CLASSIFICATION FOR ALL MATERIALS NOT TO EXCEED THE MAXIMUM SPECIFIED IN THE ONTARIO BUILDING CODE.
- READ THIS DRAWING IN CONJUNCTION WITH OTHER DRAWINGS: ARCH, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED

subject to an agreement ☐

On This _____ Day of _____

Allen Parsons
Director, Development Services

NO	REVISION NOTED	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON

SCOPE: SECOND STOREY
ADDITION / RENOVATION

DRAWING TITLE:
SECTION 2
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

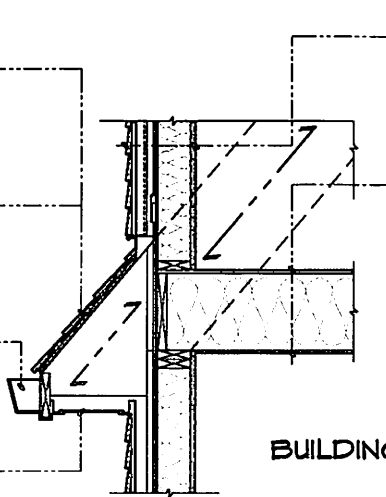
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DATE: 2002/2020	
SCALE: 3/16" = 1'-0"	

SLOPED ROOF CONSTRUCTION
NO. 110 00 10 (KARD) ASPHALT
SHINGLES (OR APPROVED
ALTERNATIVE), MIN 1/2" EXTERIOR
GRADE PLYWOOD SHEATHING.
INSTALL SELF-ADHERING ICE AND
WATER SHIELD TO ALL VALLEYS
INSTALL 18 LB FELT UNDERLAY
OVER THE ICE AND WATER
SHIELD COPPER VALLEY TO A
MINIMUM 1'-0" UP. INSTALL 16 OZ
EACH SIDE OF THE VALLEY.

APPROVED EAVES PROTECTION
TO EXTEND MIN 3'-0" FROM EDGE
OF ROOF & MIN 12" BEYOND INNER
FACE OF EXTERIOR WALL & SHALL
CONSIST OF ICE & WATER SHIELD
LAD OF MIN 4" HEAD & END LAPS
CEMENTED TOGETHER.

SAFETY TROUGH / DOWNGUTTER -
8" WIDE ALUMINUM / PREFERENCED
ALUMINUM SAFETY TROUGH
(COLOUR TO BE DETERMINED)
3"x4" COPPER / PREFERENCED
ALUMINUM DOWNGUTTER (COLOUR
TO BE DETERMINED) C/U
CONCRETE SPILL PAD (SLOPE
AWAY FROM BUILDING). NOTE
DOWNGUTTER ROUTING TO BE
DISCUSSED BY DESIGNER PRIOR
TO INSTALLATION.

SOFFIT -
1/2" "DURAPLY" OR "CREZON"
(PREFERENCED ONE SIDE WITH
CONTINUOUS PREFERENCED
ALUMINUM TO MATCH ROOF
VENT STRIP WITH ROOF
SCREENING. SEE PLANS FOR
OVERHANG DIMENSION.



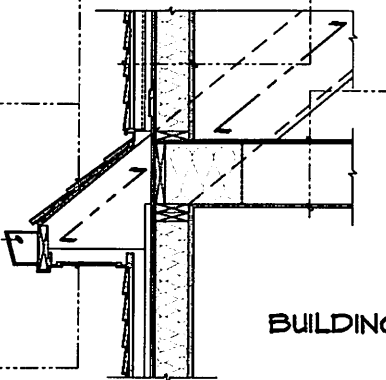
BUILDING DETAIL 01
FLOOR JOIST @
EXTERIOR WALL

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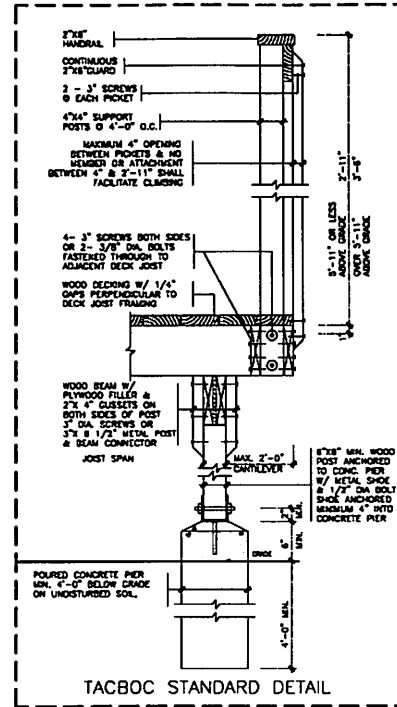
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BUILDING DETAIL 02
FLOOR JOIST @
EXTERIOR WALL

EXTERIOR WALL CONST. - 8000 -
APPROVED 8000 - 8000 AS PER
ELEVATION QUALITIES, APPROVED
RAIN SCREEN SYSTEM, APPROVED
SHEATHING PAPER, 8000 (17) RS ROAD
INSULATION ON 1500 (17) EXT. TYPE
SHEATHING, 30x40 (17x17) STUDS @
4000 (16) O.C., RS 334 (16) O.C.
INSULATION AND APPROVED VAPOUR
BARRIER AND APPROVED CONT.
AIRBARRIER, 1500 (17) INT. DRYGALL
FINISH.

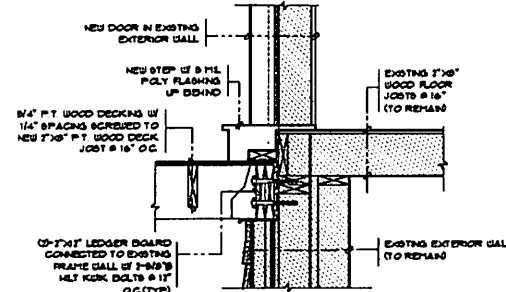
FLOOR FINISH 3/4" T&G
PLYWOOD OR APPROVED
EQUAL ON 2"x12" WOOD
FLOOR JOISTS @ 16" O.C. W/
BLOCKING AS PER FLOOR
PLANS, 1/2" GYPSUM BOARD
CEILING FINISH.



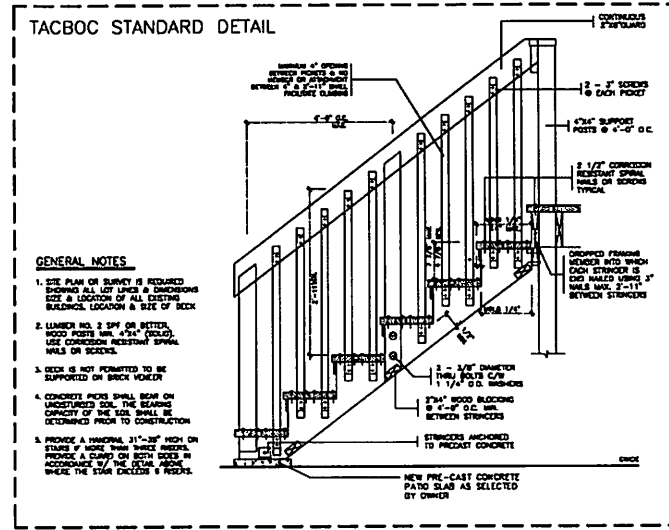
TACBOC STANDARD DETAIL

EXTERIOR WALL CONST. - 8000 -
APPROVED 8000 - 8000 AS PER
ELEVATION QUALITIES, APPROVED
RAIN SCREEN SYSTEM, APPROVED
SHEATHING PAPER, 8000 (17) RS ROAD
INSULATION ON 1500 (17) EXT. TYPE
SHEATHING, 30x40 (17x17) STUDS @
4000 (16) O.C., RS 334 (16) O.C.
INSULATION AND APPROVED VAPOUR
BARRIER AND APPROVED CONT.
AIRBARRIER, 1500 (17) INT. DRYGALL
FINISH.

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EQUAL ON 2"x12" WOOD
FLOOR JOISTS @ 16" O.C. W/
BLOCKING AS PER FLOOR
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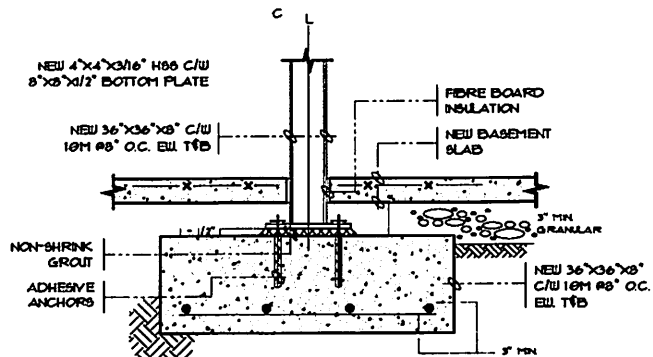
BUILDING DETAIL 03
LEDGER @ EXISTING
FRAME WALL



GENERAL NOTES

1. SITE PLAN OR SURVEY IS REQUIRED
SHOWING ALL LOT LINES & DIMENSIONS
SIZE & LOCATION OF ALL EXISTING
BUILDINGS, LEGAL & SIZE OF ROCK.
2. LUMBER NO. 2 SPF OR BETTER,
WOOD POSTS MIN. 4"x4" (SOLID),
USE CORROSION RESISTANT SPINAL
NAILS ON SCOTTS.
3. ROCK IS NOT PERMITTED TO BE
SUPPORTED ON ROCK VOUCHER.
4. CONCRETE PILES SHALL BEAR ON
UNDISTURBED SOIL. THE BEARING
CAPACITY OF THE SOIL SHALL BE
DETERMINED PRIOR TO CONSTRUCTION.
5. PROVIDE A MINIMUM 31"-38" HIGH ON
STAIRS IF MORE THAN THREE STEPS.
PROVIDE A CURB ON BOTH SIDES IN
ACCORDANCE W/ THE LOCAL CODE
WHERE THE STAIR EXCEEDS 6 STEPS.

**COLUMN @ FOOTING
TYP.**



GENERAL NOTES

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PERSONNEL, DURING CONSTRUCTION.
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INDICATED.
- FLAME SPREAD RATING AND SMOKE
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MATERIALS NOT TO EXCEED THE MAXIMUM
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**CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED**
subject to an agreement ☐
On This ___ Day of _____
Alan Parsons
Director, Development Services

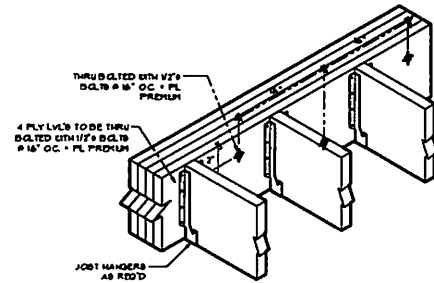
NO.	REVISION NOTES	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOTT SECOND STORY
ADDITION / RENOVATION
DRAWING TITLE:
DETAILS
PROPOSED

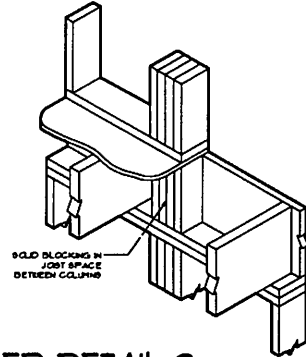
CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

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DATE: 2002/2020 **A14**
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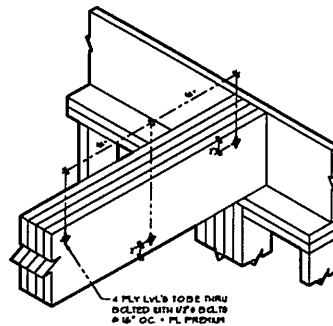
CONSTRUCTION NOTES :



TIMBER DETAIL A
FLOOR JOIST @ LVL



TIMBER DETAIL C
POST @ BLOCKING



TIMBER DETAIL B
LVL @ BEARING

- 14 NEW 24"x24"x8" POURED CONCRETE FOOTING C/W 16M #8" Q.C. BIL T&B
- 17 NEW 6X6 WOOD POST W/ SLOD BLOCKING IN JOIST SPACE BETWEEN COLUMNS
- 19 STEEL COLUMN: 4"x4"x16" H&B. C/W 8"x8"x1/2" BOTTOM PLATE & 6"x6"x3/4" TOP PLATE
- 22 FLOOR ASSEMBLY: FINISHED FLOORING OVER 3/4" T&G FLY SHEATHING GLUED AND SCREWED TO JOISTS WITH STAGGERED JOINTS. FLOOR JOISTS AND CROSS BRIDGING IF APPLICABLE AS NOTED ON DRAWINGS.
- 23 INSULATED FLOOR ASSEMBLY: FINISHED FLOORING OVER 3/4" FLY SHEATHING GLUED AND SCREWED TO JOISTS WITH STAGGERED JOINTS. WITH ALL JOINTS 6 ML VAPOUR / AIR BARRIER SEALED W/ ACOUSTIC TYPE SEALANT. JOISTS (AND CROSS BRIDGING IF APPLICABLE) AS NOTED ON PLANS. (R-30) POLYURETHANE OR POLYURETHANE SPRAY FOAM INSULATION IS RECOMMENDED FOR INSULATED FLOORS ABOVE GARAGE
- 32 EXTERIOR WALL CONST.: SIDING - APPROVED SIDING - SIDING AS PER ELEVATION WALL TYPES, APPROVED RAIN SCREEN SYSTEM, APPROVED SHEATHING PAPER, 60MM (2") RIGID INSULATION ON 13MM (1/2") EXT. TYPE SHEATHING, 38X48 (2"x6") STUDS @ 400MM (16") O.C., R24 (R24) INSULATION AND APPROVED VAPOUR BARRIER AND APPROVED CONT. AIRBARRIER, 13MM (1/2") INT. DRYWALL FINISH
- 33 45 MINUTE FIRE RATED PARTITION: 1 LAYER OF 5/8" TYPE X G.W.B. BOTH SIDES OF PARTITION
- 35 INTERIOR PARTITION: 2"x4" STUDS @ 16" O.C. PROVIDE 2"x4" BOTTOM PLATE & 2"x4" TOP PLATE. 1/2" INTERIOR GYPSUM BOARD BOTH SIDES OF STUD (TYP.)
- 36 30 MINUTE FIRE RATED AND SOUND RESISTANT CEILING: ABSORPTIVE MATERIAL IN EXISTING JOIST CAVITY. 1 LAYER OF 5/8" (18.3MM) TYPE X G.W.B. TO UNDERSIDE OF JOIST
- 37 BASEMENT INSULATION RIGID INSULATION CONTINUOUS ALONG FOUNDATION WALL, TAPE/SEAL ALL JOINTS. 2"x4" STUDS @ 16" O.C. W/ R22 BATT INSULATION. APPROVED VAPOUR BARRIER 1/2" GYPSUM BOARD FINISH
- 39 NEW INSULATED EXTERIOR DOOR: C/W WEATHER STRIPPING (TO BE SELECTED BY OWNER)
- 42 FORCED ENTRY PROTECTION: PROVIDE FORCED ENTRY PROTECTION AS PER Q.B.C. 9.1 REQUIREMENTS.
- 43 WINDOWS: (TO COMPLY WITH Q.B.C. 9.1) ALL WINDOWS ARE TO BE WOOD FRAMED CASHEMENTS SEALED CLEAR WOOD INTERIOR AND (FLUORACRON) FACTORY PREFINISHED EXTERIOR SURFACES. ALL GLAZING TO BE CLEAR LOW 'E' SEALED THERMOPLANE UNITS, ARGON GAS FILLED, 1/8" OVERALL THICKNESS. CONTRACTOR TO SUBMIT NAME AND TYPICAL DETAILS OF PROPOSED MANUFACTURER TO THE OWNER FOR APPROVAL.

- 44 SKYLIGHT (SLOPED ROOF): SKYLIGHT BY "VELUX" OR EQUIVALENT W/ TEMPERED DOUBLE GLAZED SEALED UNIT LOW-E AND ARGON FILLED. INSTALL C/W FLASHING KIT (ACCORDING TO TYPE OF ROOFING) AND AS PER MANUFACTURER SPECIFICATIONS. NOTE DOUBLE FRAME ALL SURROUNDING LUMBER AT SKYLIGHT ADJACENT FINISHED ROOF.
- 46 HARDWOOD FLOORING: 3/4" x 2 1/4" SELECT RED OAK T&G STRIP FLOORING
- 47 FLOOR TILING: (AS PER Q.B.C. 9.39.6) LAY ASPHALT SHEATHING PAPER, FELT OR POLYETHYLENE FILM, GALVANIZED WIRE MESH (20X20), SCRATCH CEMENT COAT @ 1/4" MIN. THICK. TILING/GROUTING (COLOUR TO BE DETERMINED) NOTE APPLY 2 COATS OF SEALER FOR STONE FLOORING (AS PER SUPPLIER'S / MANUFACTURER'S SPECIFICATIONS).
- 48 SHOWER FLOOR PLAN: SHOWER LINER BY "AQUAPROOF AQ 830" (OR EQUAL) RETURN UP PAN CURB AND ALL SURROUNDING WALLS. ADHERE LINER TO DRAIN SLOPE CEMENT BASE TO DRAIN.
- 49 BATHTUB AND SHOWER WALL: USE TILE-BACKER WATER-RESISTANT "DURCO WUNDERBOARD" AT ALL SURROUNDING WALLS. TAPE WITH SELF ADHESIVE FIBREGLASS MESH TAPE AND SPACKLE. USE BLUEBOARD AT REMAINING BATHROOM WALLS.
- 50 SHELVEING: PROVIDE (6) 1'-6" DEEP ADJUSTABLE SHELVEING.
- 51 HANG ROD & SHELF: 1 1/4" DIA. HANG ROD W/ BRACKETS - ALL CHROME FINISH. INSTALL @ 8'-0" O.C. A.F.F. 3/4" MELAMINE BOARD (WHITE), FINISHED EDGES, 1'-3" DEPTH, ON LEDGER BOARDS @ 2" OVER HANG ROD.
- 54 NEW STAIRS AS PER Q.B.C. DIV. B-9.8, 9 1/4" MIN TREADS @ 1 1/8" MAX. RISE W/ HEADROOM OF 6'-8"
- 56 36" HIGH GUARDS PER Q.B.C. 9.8.8 MAX 4" OPENINGS AND SHALL NOT FACILITATE CLIMBING
- 57 42" HIGH GUARDS PER Q.B.C. 9.8.8 MAX 4" OPENINGS AND SHALL NOT FACILITATE CLIMBING. INSTALLED IN ACCORDANCE WITH Q.B.C. OR APPROVED ALTERNATIVE
- 58 EXHAUST GRILLE: METAL GRILLE WITH INSECT SCREEN. DIMENSION TO SUIT EXHAUST REQUIREMENTS. NOTE CONTRACTOR TO COORDINATE DUCT RUN WITH OTHER MECHANICAL RIMS, PLUMBING RIMS AND STRUCTURE TO ELIMINATE NEED FOR BULKHEADS.
- 59 EXHAUST DUCT: 4" RIGID METAL DRYER EXHAUST DUCT. PLASTIC EXHAUST GRILLE COMPLETE WITH INSECT SCREEN SECURELY FASTENED TO EXTERIOR WALL FACE AND CAULKED.
- 60 MECHANICAL VENTILATION: PROVIDE MECHANICAL VENTILATION IN ALL BATHROOM AREAS HAVING NO NATURAL VENTILATION AS PER Q.B.C. 6.2.3.8. REQUIREMENTS.
- 61 GAS AND EXHAUST RIMS PROTECTION: PROVIDE HIGH DENSITY POLYETHYLENE LAP, TAPE AND SEAL ALL JOINTS TO INTERIOR WALLS AND CEILING. 5/8" TYPE 'X' DRYWALL FOR FIRE PROTECTION. TAPE AND SPACKLED.
- 63 FLASHING: PROVIDE PREFINISHED ALUMINUM FLASHING IN THE FOLLOWING LOCATIONS: BENEATH JOINTED MASONRY BELLS OVER HEADS OF WINDOWS AND DOORS SET FURTHER THAN 1/4" THE EAVED OVERHANG. BELOW THE ROOF AROUND CHIMNEY, OR ANY ELEMENTS CROSSING ROOF SURFACES THAT ARE NOT SUPPLIED WITH MANUFACTURER'S FLASHING AT INTERSECTION OF ROOF SURFACES WITH EXTERIOR DORMER WALLS.
- 64 EAVESTROUGH / DOWNPipes: 8" WIDE ALUMINUM / PREFINISHED ALUMINUM EAVESTROUGH (COLOUR TO BE DETERMINED) 5"x4" COPPER / PREFINISHED ALUMINUM DOWNPipes (COLOUR TO BE DETERMINED) C/W CONCRETE 6" PAD (SLOPE AWAY FROM BUILDING) NOTE DOWNPipes ROUTING TO BE DISCUSSED W/ ORCA PRIOR TO INSTALLATION.
- 65 SLOPED ROOF CONSTRUCTION: NQ 210 (0.25 KG/M2) STANDING BEAM METAL ROOF (OR APPROVED ALTERNATIVE), MIN 1/2" EXTERIOR GRADE PLYWOOD SHEATHING. INSTALL SELF ADHERING ICE AND WATER SHIELD TO ALL VALLEYS. INSTALL 15 LB. FELT UNDERLAY OVER THE ICE AND WATER SHIELD. COPPER VALLEY TO A MINIMUM 1'-0" UP. INSTALL 16 OZ EACH SIDE OF THE VALLEY.
- 68 ASPHALT SHINGLES: INSTALL SELF ADHERING ICE AND WATER SHIELD TO ALL VALLEYS. INSTALL 15 LB. FELT UNDERLAY OVER THE ICE AND WATER SHIELD. INSTALL 16 OZ COPPER VALLEY TO A MINIMUM 1'-0" UP EACH SIDE OF THE VALLEY. FOR ROOF-18" LONG "BLUE LABEL" TAPERS. IN WESTERN RED CEDAR SHINGLES WITH 1 1/2" EXPOSURE USING 5/8" BUTT EDGE, OR 5 1/2" EXPOSURE WITH 3/8" BUTT EDGE.
- 69 SOFFIT: 1/2" "DURAPLY" OR "CREZON" (PAINT-FINISHED ONE SIDE WITH CONTINUOUS PREFINISHED ALUMINUM (TO MATCH ROOF) VENT STRIP WITH INSECT SCREENING. SEE PLANS FOR OVERHANG DIMENSION.
- 70 APPROVED EAVES PROTECTION: TO EXTEND MIN 3'-0" FROM EDGE OF ROOF & MIN 12" BEYOND INNER FACE OF EXTERIOR WALL & SHALL CONSIST OF ICE & WATER SHIELD Laid W/ MIN 4" HEAD & END LAPS CEMENTED TOGETHER.
- 72 METAL RAILING: DESIGNED TO Q.B.C. 9.9.8 & 4.11.0.1 AS PREVIOUS EXPERIENCE. POSTS AND HORIZONTAL RAILS 1 1/2" S&B 3/16" WALL PICKETS 1/2"x12" SPACED 4" APART MAX. POSTS C/W 5"x5"x16" BASE PLATES C/W 3/8"x4" LONG LAG BOLTS BOLTED AT CORNERS THROUGH WALL SHEATHING AND INTO BLOCKING BENEATH.
- 73 5/4" P.T. WOOD DECKING W/ 1/4" SPACING SCREWED TO P.T. WOOD JOISTS
- 74 12" POURED CONC. PER MIN. 4" BELOW GRADE SET ON UNDET. SOL W/ 6X6 P.T. WOOD POST SET ON METAL SADDLE, ANCH. TO PIER, MIN. 8" DEEP. (TYP.)

- 75 8" POURED CONC. PIER MIN. 4" BELOW GRADE SET ON UNDET. SOL W/ 4X4 P.T. WOOD POST SET ON METAL SADDLE, ANCH. TO PIER, MIN. 8" DEEP. (TYP.)
- 76 SPRAY FOAM INSULATION: ROOF INSULATION TO CONFORM TO CAN/ULC-9109.1, THERMAL INSULATION APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY MATERIAL SPECIFICATIONS, INSULATION INSTALLERS ARE TO BE CERTIFIED BY THE MANUFACTURER. INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH CAN/ULC-9109.2-08. THERMAL INSULATION -SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY, UPON COMPLETION OF THE SPRAY FOAM INSULATION INSTALLATION, THE CERTIFIED INSTALLER OR A PROFESSIONAL ENGINEER SUBMIT THE INSPECTOR, VERIFICATION THAT THE INSTALLATION OF THE SYSTEM HAS BEEN COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTINUOUS 6 ML POLY VAPOUR BARRIER IS TO BE INSTALLED ON THE WARM SIDE OF THE CEILING. POT LIGHTS ARE ACCEPTABLE IF THEY ARE SEALED UNITS LISTED BY ULC AND THE VAPOUR BARRIER IS INSTALLED ROUND THE LIGHT.
- 78 NEW 8"x6" P.T. WOOD POST
- 79 NEW 4"x4" P.T. WOOD POST
- 83 GASPROOFING NOTES: ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING.
1. PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
 2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
 3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ ACOUSTIC SEALANT.
 4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHERSTRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING.
 5. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING & ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF A SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.
- 81 NEW WOOD STAIRS, AS PER Q.B.C. DIV. B-9.8, 9 1/4" MIN. TREADS @ 1 1/8" MAX. RISE 2"x12" STRINGERS @ 4'-0" O.C. MAX.
- 84 RAILING / GUARDS - Q.B.C. DIV. B-9.8.8, 9.8.8.8 & 9.8.8.6 HANDRAIL @ 3'-0" HIGH (5'-6" HIGH IF 5'-11" TO GRADE) NAILED 4"x4" SUP. POSTS @ 48" O.C. W/ VERTICALS SPACED @ 4" MAX. IN ACCORDANCE WITH Q.B.C. 9.8-1.
- 87 EXTERIOR GARAGE WALL: EXISTING 2"x6" STUDS @ 16" O.C. PROVIDE R24 INSUL. & APPROVED VAPOUR BARRIER. W/ APPROVED CONTINUOUS AIR BARRIER 1/2" INTERIOR GYPSUM BOARD ON INNER SIDE OF STUD.
- 88 INTERIOR GARAGE WALL: EXISTING 2"x6" STUDS @ 16" O.C. PROVIDE R24 INSUL. & APPROVED VAPOUR BARRIER. W/ APPROVED CONTINUOUS AIR BARRIER 1/2" INTERIOR GYPSUM BOARD BOTH SIDES OF STUD.

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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____

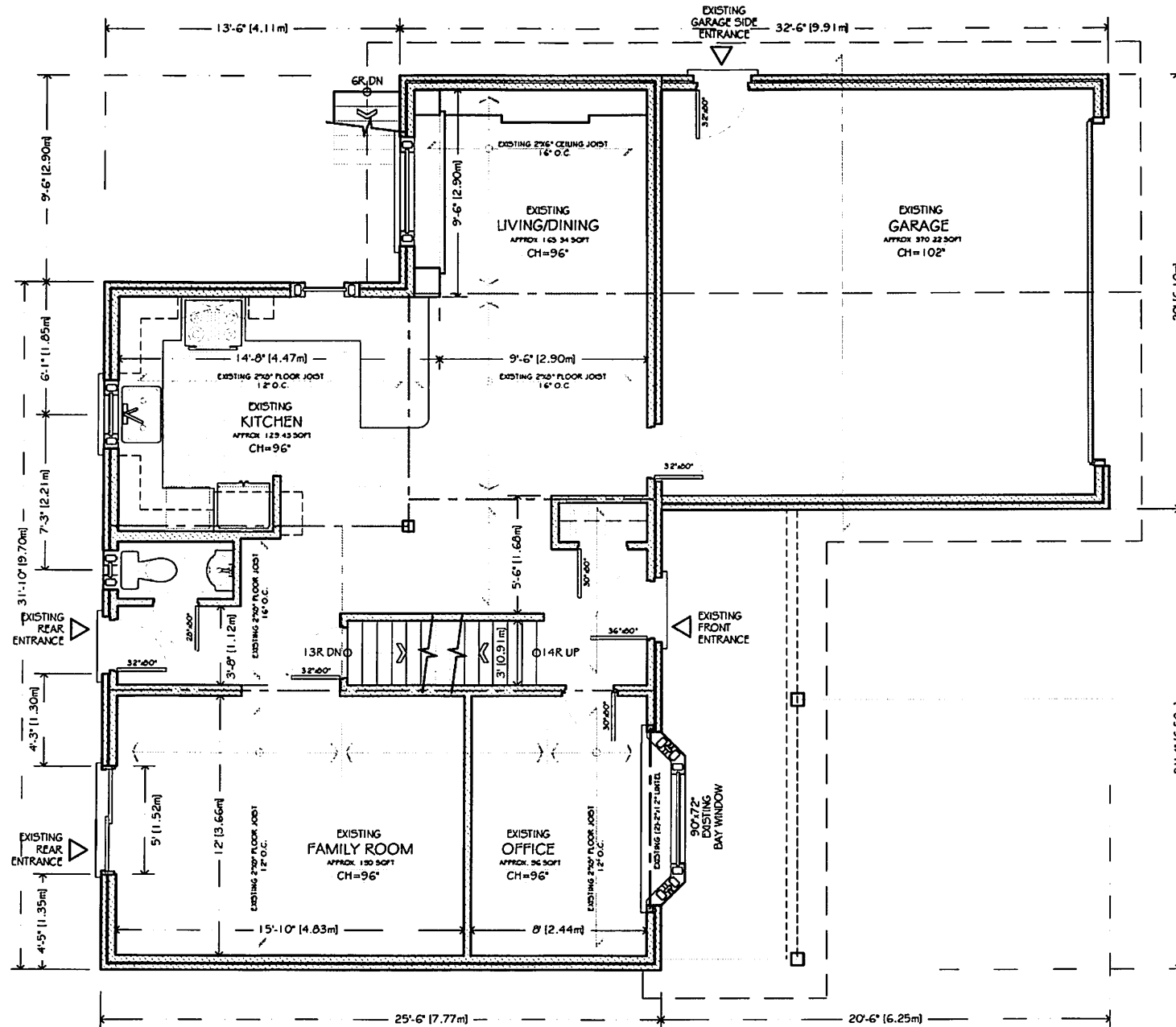
Director, Development Services

NO	REVISION NOTED	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION/RENOVATION
DRAWING TITLE:
DETAILS
PROPOSED

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: E.S.	PAGE A15
DATE: 2009/02/02	
SCALE: 3/16" = 1'-0"	



GENERAL NOTES

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- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY CONSULTANTS AND MARKED "ISSUED FOR CONSTRUCTION".
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- FLAME SPREAD RATING AND SMOKE DEVELOPED CLASSIFICATION FOR ALL MATERIALS NOT TO EXCEED THE MAXIMUM SPECIFIED IN THE ONTARIO BUILDING CODE.
- READ THIS DRAWING IN CONJUNCTION WITH OTHER DRAWINGS: ARCH, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

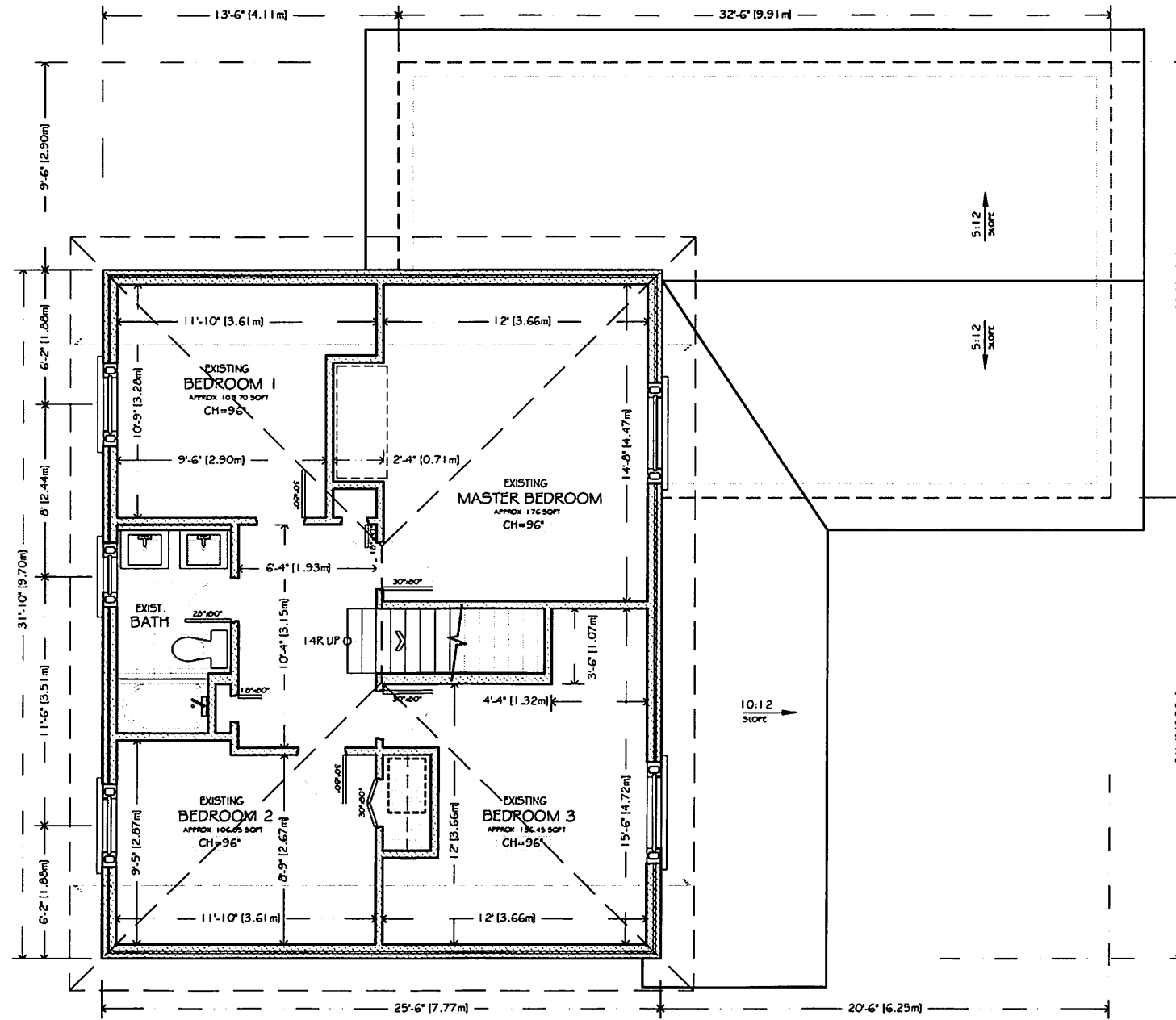
CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☒
On This _____ Day of _____
Alan Parsons
Director, Development Services

NO	REVISION NOTED	DATE

PROJECT:
FRANK
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE
FIRST FLOOR PLAN
EXISTING

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY	K.S.	PAGE
DATE	2002/2020	A17
SCALE	3/16" = 1'-0"	



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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED

subject to an agreement ☐

On This _____ Day of _____

Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT:

FRANK

BRAMPTON, ON

SOURCE: SECOND STOREY ADDITION / RENOVATION

DRAWING TITLE:

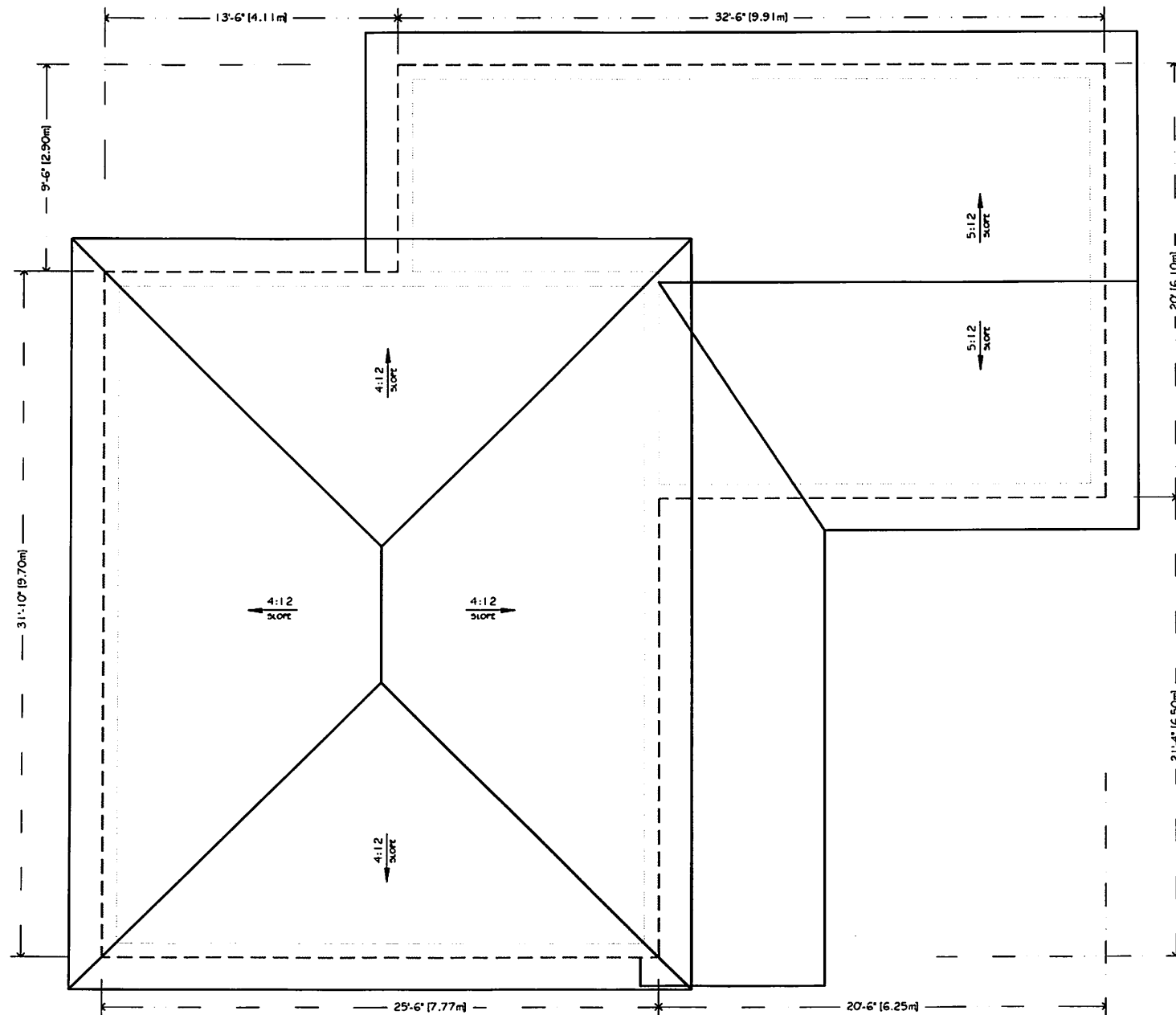
SECOND FLOOR PLAN

EXISTING

CITY SITE PLAN FILE NUMBER

(SPA-2020-0093)

DRAWN BY:	K.S.	PAGE:	A18
DATE:	2002/2020		
SCALE:	3/16" = 1'-0"		



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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____
Allan Parsons
Director, Development Services

NO.	REVISION NOTES	DATE

PROJECT:
FRANK
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
ROOF PLAN
EXISTING

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S. PAGE
DATE: 2/02/2020 A19
SCALE: 3/16" = 1'-0"



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OTHER DRAWINGS: ARCH, STRUCTURAL,
MECHANICAL, ELECTRICAL AND OTHER
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**CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED**

subject to an agreement ☐
On This _____ Day of _____

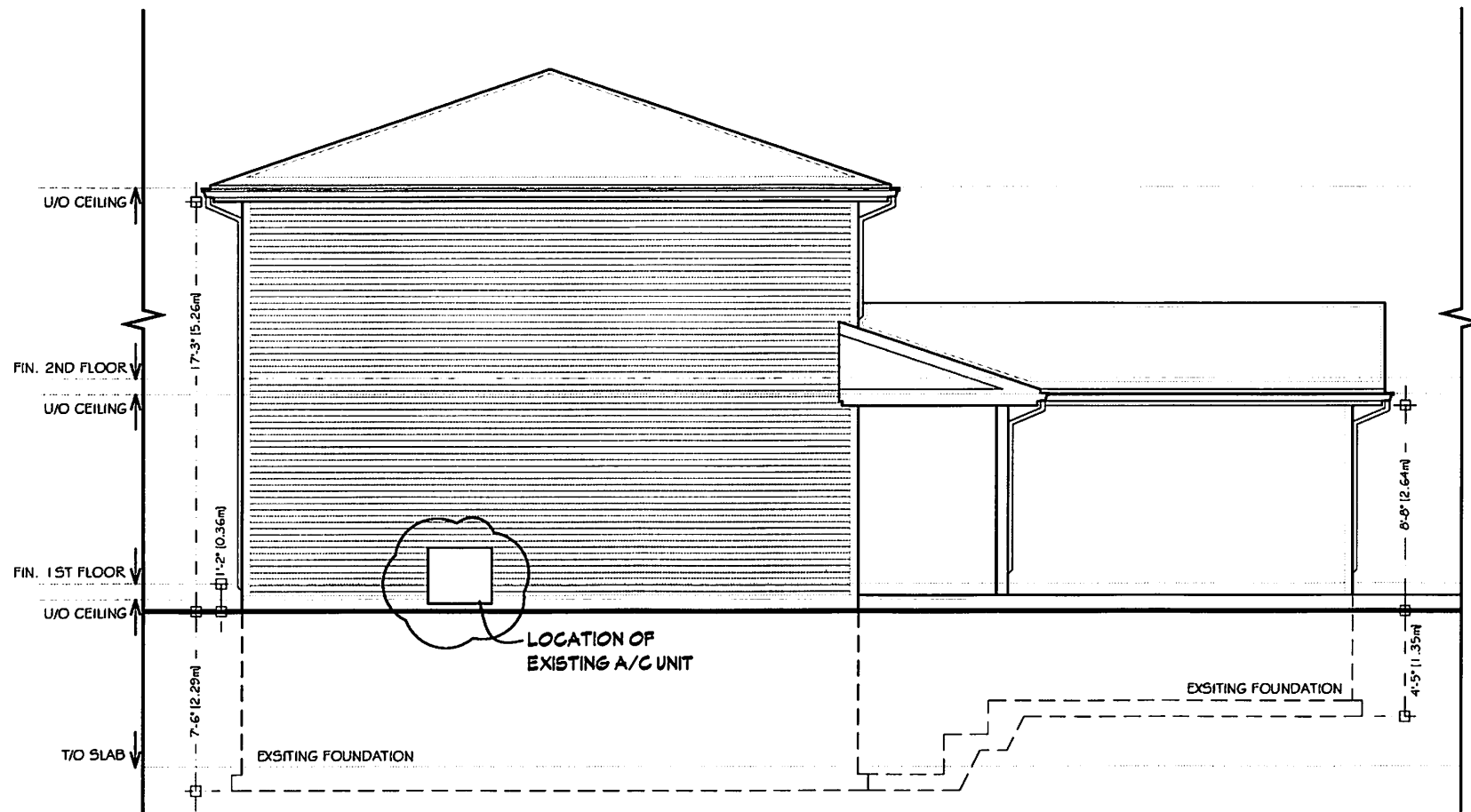
Allen Parsons
Director, Development Service

NO	REVISION NOTES	DATE

PROJECT:
FRANK
DRAUGHTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE
EAST ELEVATION
EXISTING

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY:	K.S.	PAGE	A20
DATE	2002/2020		
SCALE	3/16" = 1'-0"		



EXISTING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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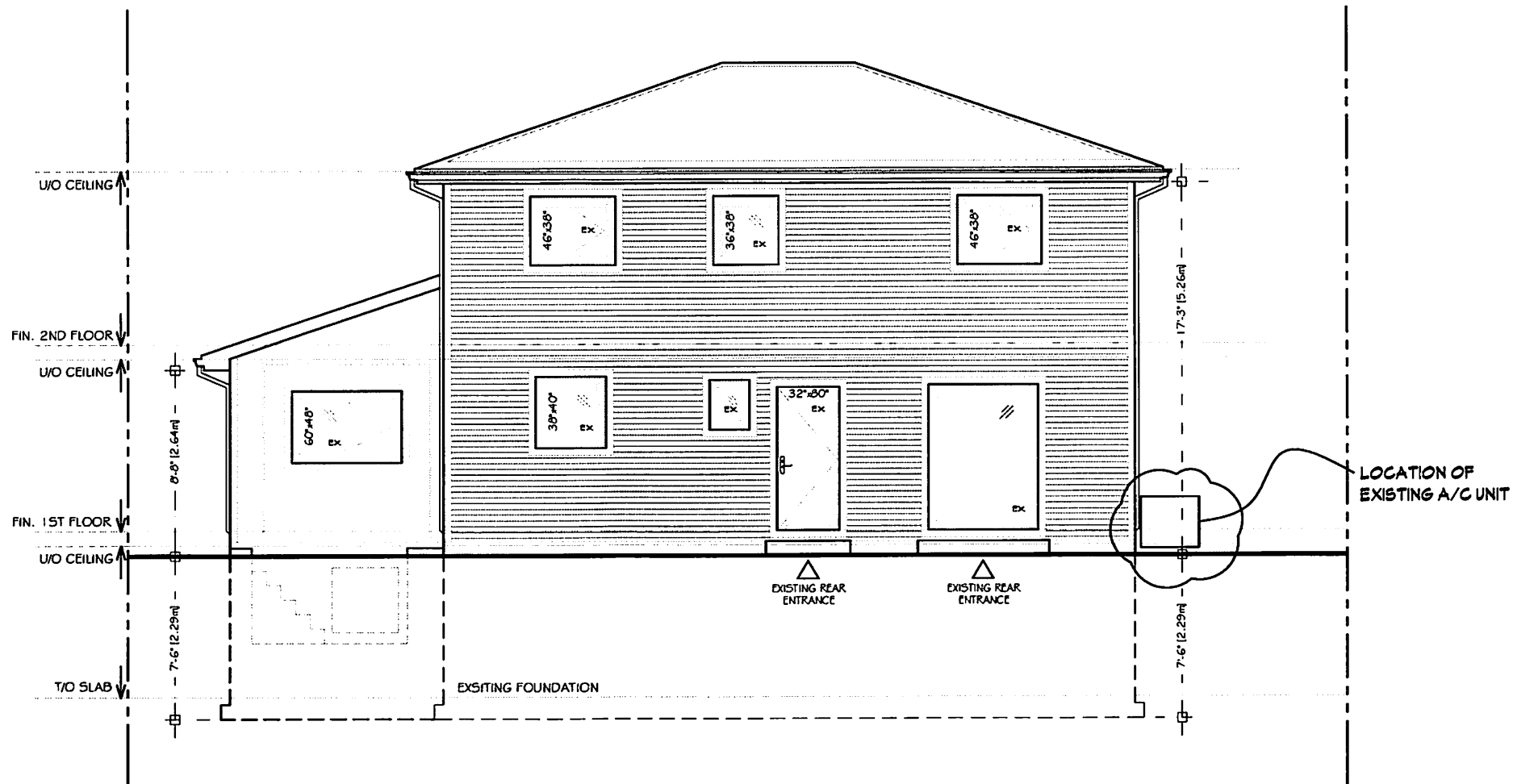
CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This ___ Day of _____
Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
SOUTH ELEVATION
EXISTING

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY:	K.S.	PAID
DATE:	2/02/2020	A21
SCALE:	3/16" = 1'-0"	



EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"

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CITY OF BRAMPTON LANDSCAPE PLAN APPROVED

subject to an agreement ☐

On This Day of

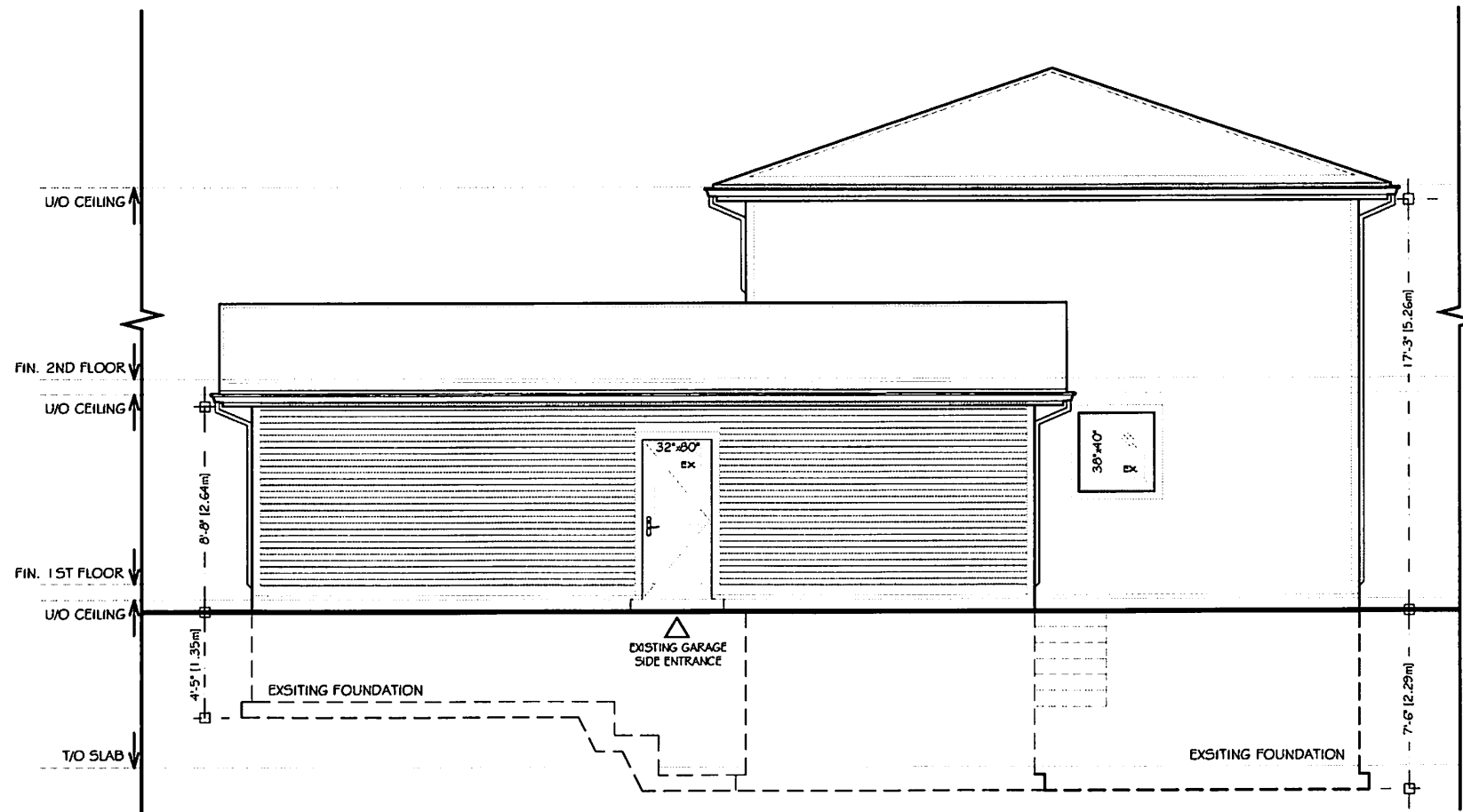
Alan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
WEST ELEVATION
EXISTING

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY: K.S.	PAGE: A22
DATE: 2002/2020	
SCALE: 3/16" = 1'-0"	



EXISTING NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
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On This ___ Day of _____
Allan Parsons
Director, Development Services

NO	REVISION NOTES	DATE

PROJECT:
12 JEROME CRESCENT
BRAMPTON, ON
SCOPE: SECOND STOREY
ADDITION / RENOVATION
DRAWING TITLE:
NORTH ELEVATION
EXISTING

CITY SITE PLAN FILE NUMBER
(SPA-2020-0093)

DRAWN BY	DATE	SCALE	PAGE
K.S.	2002/2020	3/16" = 1'-0"	A23

A-2021-0004

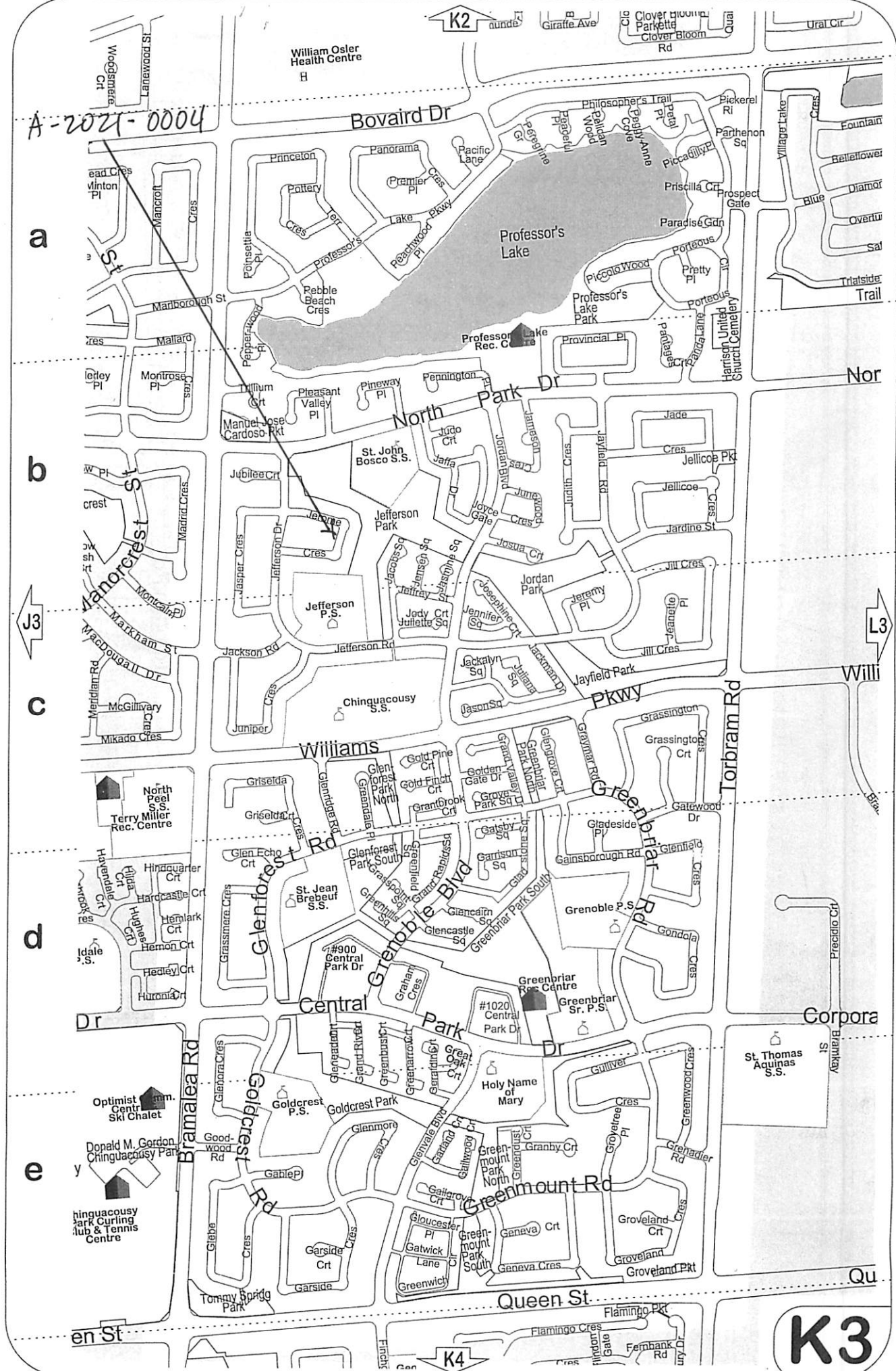
a

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K3